



Final Acceptance Punchlist
El Paso County – Department of Public Works - Stormwater Section

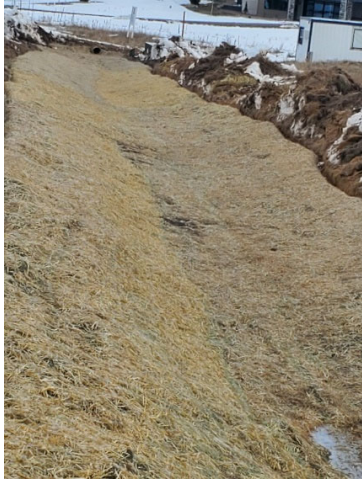
Project Name:	Winsome Filing 1
EDARP Filing Number(s):	EGP201, SF203
ESQCP Number:	ESQ2023
Attendees:	DPW SW: Josh Augustenborg, Ben Jones DPW Development Services: Brad Walters, Joe Jackman, Gilbert LaForce Developer: Charlie Williams, Connie Miller, Joe DesJardin
Date of Walk-through:	10-22-2024
Walk-through Number:	1st

*A pre-walk-through was completed by DPW Stormwater on 10-22-2024 And the following personnel were in attendance:
Josh Augustenborg, Ben Jones*

The following items are to be addressed prior to scheduling a follow-up walk-through. Once all Punchlist items are completed, please contact the Stormwater Inspector to request a follow-up walk-through.

Final Acceptance (FA) Items

- 1.Drainage culvert outfall at Mosey Trail, Install riprap pad per approved detail. (19' wide x 40' long x 36"deep soil riprap.) Reference sheet 42 of 54 of the CDs Culvert Mosey Trail 2 Profile. See photo # 6. **Complete.** Dimensions were verified in the field prior to blanket installation and as-built submitted and approved.
- 2.Drainage culvert outfall at Winsome Way and Mosey Trail needs to have a riprap pad installed per approved detail 3' wide x 27' long x 24"deep soil riprap. Currently there is a hole present. Reference sheet 42 of 54 of the CDs Culvert Mosey Trail 1 Profile. See photo # 7. **Complete.** Dimensions were verified at time of maintenance and as-built submitted and approved.
- 3.Drainage ditch on the east side of Winsome Way just north of Mosey Trail is highly eroded out and needs repair. Reference sheet 42 of 54 of the CDs Culvert Mosey Trail 1 Profile. See photo #s 8 and 9. **Complete.** Repair completed by grading, additional topsoil and seed and erosion control blanket applied for stabilization.



4. Drainage ditch on the east side of Winsome Way just north of Clove Hitch Ct is eroded out and needs repair. See photo # 11. **Complete.** Erosion not addressed by builder and homeowner. Added topsoil, seed and erosion control blanket.



6. Rock placed in drainage easement at WQ pond B will be removed by Murphy's custom home builders. See photo # 13. Responsibility of Murphy's Custom Homes.
5. Seed under blanket where riprap is installed and ensure 70% vegetation throughout site. **Confirmed.** 70% has been achieved from pre-existing development conditions.
6. Submit a spec sheet and PO/receipt for the grass seed mix that was purchased and used. **Complete.** See attached from Vendor.

Pond's B, C, D and #3 [Reference Sheets # 42-54 of the Construction Documents]:

7. Establish vegetation at bottom of pond in detention Pond C. Reference sheet 45 of 54. See photo's # 2 and 3. **Complete.** Added topsoil, seed and erosion control blanket.



8. Establish vegetation at bottom of pond in detention Pond D. Reference sheet 47 of 54. See photo #4. **Complete.** Added topsoil, seed and erosion control blanket.



9. Sediment transfer at the north side of lot 13 in drainage ditch needs to be removed and stabilized. See photo # 5. **Complete** . Addressed by removing sediment from builder and homeowner. Topsoil, seed and erosion control blanket.



10. Runoff reduction on the Northwest side of Hodgen Road has sparse vegetation. Reference detail Sheet 1-3 of the approved CDs. See photo # 12. **70% of pre-existing development conditions have been achieved.** Additional seed will be broadcasted on the area.
11. Runoff reduction on Winsome Way at the northwest side of street just north of Mosey Trail has sparse vegetation. Sheet 1-3 of the approved CDs. See photo # 14. ECB has been installed - **see photo below.**
12. Runoff reduction just north of Bison Meadows Ct at the mailbox station has sparse vegetation. Sheet 1-3 of the approved CDs. See photo # 15. Rock and ECB blanket have been installed - **see photos below.**
13. Drainage easement that runs behind lots 24, 25 and 26 on east side of Winsome Way is full of sediment. Clean out and reestablish easement where needed. See photo # 16. **Please defer to note #8 on plat 'All property owners are responsible for maintaining proper water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements.**
14. Drainage easement on Rambling Road is inundated with sediment on the north side of road. See photo # 10. **This easement is in Filing 2.**
15. Please complete and return as much of the attached PCM Contact Information table as possible for the owner and maintenance entity of the PCM(s).
16. An approved "PCM Maintenance Agreement" (formerly the "Private Detention Basin / Stormwater Quality Best Management Practice Maintenance Agreement and Easement") has not yet been signed by the responsible party and uploaded to EDARP. Please contact Erica Rylander (EricaRylander@elpasoco.com) to resolve. Statement is incorrect; **DMA was signed by all parties and recorded with final plat on 03/02/2021.**

○ <https://epcdpw.maps.arcgis.com/apps/mapviewer/index.html?webmap=6c23fbe8cb5a4c0e869b498cbe4df46df>

As-Built Drawings and Pond Certification Information

Per ECM Chapter 5.10.6 As-Built drawings shall be submitted at the initiation of the Preliminary Acceptance process. Approved As-Built drawings are not required to enter the 2-yr defect warranty period (Final Acceptance). As-Built drawings must be approved by the ECM Administrator prior to Final Acceptance.

Please have your engineer submit the following items (if they haven't already): Joe DesJardin submitted to Brad Walters on 07/12/2022 via email

- Engineering Record Drawings (As-Built drawings) consistent with Section 5.10.6 of the ECM.
 - Even if everything was built exactly per plan, we need an electronic PDF of the original drawings to be signed, dated, and stamped with "As-Built" on each sheet.
 - Changes from design to as-built conditions are to be shown in red text with red clouds/bubbles.
- Volume Certification Letter(s) for PCM(s). See ECM Chap 5.10.6.B for details on what type of statement should be included in the letter. A summary of these requirements is provided below:
 - Letter to be stamped by Engineer.
 - State in the Certification Letter that the site and adjacent properties (as affected by work performed under the County permit) are stable with respect to settlement and subsidence, sloughing of cut and fill slopes, revegetation or other ground cover, and that the improvements (public improvements, site grading) meet or exceed the minimum design requirements.
 - For sites that include PCM(s), the Certification Letter shall include a statement that the facilities provide the required storage volume and will meet the required release rates.
- Re-submit the UD-Detention spreadsheet per changes from the original design to the as-built condition. This can be included with Volume Certification Letter.
 - When applicable, if significant changes, EPC staff will need to submit the updated UD-Detention calcs to the SDI Facility Notification website.

These documents are to be submitted to and reviewed on EDARP under an "ASB" project type. The request must be made to the Development Services Inspection Supervisor (Brad Walters). **This was not the policy at the time of asbuilt.**

Photos:



Photo 1: Detention pond #3. Photo for reference.



Photo 2: Detention Pond C. Establish vegetation in pond bottom. **Repair completed – see photo above.**



Photo 3: Detention Pond C. Establish vegetation in pond bottom. **Repair completed – see photo above.**



Photo 4: Detention pond D. Establish vegetation adjacent to outlet structure. **Repair completed – see photo above.**



Photo 5: Sediment transfer at north side of lot 13 in drainage ditch needs to be removed and stabilized.

Repair completed – see photo above.



- **Photo 6:** Drainage culvert outfall at Mosey Trail needs to have a riprap pad installed per approved detail 19' wide x 40' long x 36'' deep soil riprap. Reference sheet 42 of 54 of the CDs Culvert Mosey Trail 2 Profile. Seed under blanket wherever riprap is installed and ensure 70% vegetation throughout site.

Confirmed - as-built submitted and approved.



Photo 7: Drainage culvert outfall at Winsome Way and Mosey Trail needs to have a riprap pad installed per approved detail 3' wide x 27' long x 24" deep soil riprap. Reference sheet 42 of 54 of the CDs Culvert Mosey Trail 1 Profile. **Repair completed – see photo above.**

Photo 8: Drainage ditch on east side of Winsome Way just north of Mosey Trail is highly eroded out and needs repair. **Repair completed – see photo above.**



Photo 9: Drainage ditch on east side of Winsome Way just north of Mosey Trail is highly eroded out and needs repair. **Repair completed – see photo above.**

Photo 10: Drainage easement on Rambling Road is inundated with sediment on the north side of road. **Not applicable – in Filing 2.**



Photo 11: Drainage ditch on east side of Winsome Way just north of Clove Hitch Ct is eroded out and needs repair. **Repair completed – see photo above.**

Photo 12: Runoff reduction on Northwest side of Hodgen Road has sparse vegetation. Reference. Sheet 1-3 of the approved CDs. **Repair completed – drill seeded 60'. See photo.**



Photo 13: Rock placed in drainage easement at WQ pond B will be removed by Murphy's custom home builders.



Photo 14: Runoff reduction on Winsome Way at the northwest side of street just north of Mosey Trail has sparse vegetation. Sheet 1-3 of the approved CDs. **Repair completed – See photo.**



Photo 15: Runoff reduction just north of Bison Meadows Ct at the mailbox station has sparse vegetation. Sheet 1-3 of the approved CDs. Completed - ECB/landscape rock installed. See photos below.	Photo 16: Drainage easement that runs behind lots 24, 25 and 26 on east side of Winsome Way is full of sediment. Clean out and reestablish easement where needed. Responsibility of lot owner per plat.
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Subdivision/Business: _____

For sites with PCM(s), please complete and return as much of this table as possible for the PCM(s):

<u>Contact Info</u>	<u>Owner</u>	<u>Responsible Maintenance Entity</u> (if different from Owner)
Company/Business Name:	Winsome, LLC	Public Alliance
Entity Type: (HOA, Metro District, Trust, Individual, Contractor, Business, etc)	Metropolitan District	Metropolitan District
Mailing Address:		405 Urban Street Suite #310 Lakewood CO 80228
Primary Contact Name(s):		AJ Beckman – District Manager
Primary Phone Number:		303-877-6284
Primary Email Address:		aj@publicalliancellc.com
Additional Email Addresses to Add to Distribution List:		
Additional Information / Comments:		



Denver, CO
 303-696-8960
 10801 E. 54th Ave.
 Denver, CO 80239

Loveland, CO
 970-535-0863
 4495 Woods Ave.
 Loveland, CO 80538

Colorado Springs, CO
 719-257-7840
 1830 Palmer Park Blvd.
 Colorado Springs, CO 80909


Quick Colorado Inc.
 dba Bowman
 Construction Supply

Shipment Confirmation

Shipment Number: BCS183877
Date: 11/18/2024
Customer ID: 109741
Truck #: CPU
Ordered By:
Phone:
Salesperson: Ryan Anderson

Ship From:
 1830 Palmer Park Blvd
 Colorado Springs, CO 80909

SHIP TO:		NOTE:		
Dail Landscaping Customer Pick Up 1830 Palmer Park Blvd Colorado Springs CO 80909				
SHIP VIA		FOB POINT		WAREHOUSE
Customer Pick Up				BCS-CSP
SO TYPE	SO NUMBER	CUSTOMER P.O. NO.		
SO	BCS186756			
JOB NAME				DRIVER
NO.	ITEM	UOM	QTY. SHIPPED	BACKORDER
1	43001096: El Paso Mix 50lb bag	BAG	5.00	0.00

Signature:		Total Qty:	5.00
		Total Weight (LBS):	250
We are not responsible for any damage inside the bed of a customer's vehicle due to loading the vehicle by our employees. All other damages must be reported to us before leaving the yard.		Loaded by:	Scan QR Code to tell us about our service. 
We make deliveries on private property at customer's risk only and accept no responsibility for damage resulting from such deliveries.			

Quick Colorado Inc. dba Bowman Construction Supply

GENERAL POLICIES

Each item below is subject to change based on subjects and terms. Quick Colorado Inc. dba Bowman Construction Supply will work with each client to reach a satisfactory outcome.

No allowance will be given after products have been installed.

Our responsibility will not exceed our selling price of the merchandise to our customer.

All shortages, damages product problems or exceptions of any kind must be noted on a delivery ticket or brought to the attention of your salesperson or dispatcher within 48 hours of product delivery.

Sales tax will be charged on all applicable items unless you have a customer account and a tax exempt certificate on file with our accounting office. Cash (non-account) customers must notify the sales staff of tax exempt status when ordering.

Payment terms are cash, check or credit card or open customer account. All orders must be prepaid. No C.O.D. orders will be accepted.

We reserve the right to protect our mechanic's lien on all unpaid balances.

We assess a \$30.00 charge on all returned checks.

We will charge \$125.00 per hour for detention of all loads on-site that are not unloaded within an hour of arrival.

A second delivery charge may apply if we have to redeliver or come back to move product.

Prices are subject to change without notice.

Due to inherent characteristics of concrete, color may vary slightly. No guarantee of color or shade is made or implied.

RETURN POLICY

All returns or warranty claims must be accompanied by the original sales receipt, and are subject to a restocking fee.

Due to the nature of the product, we do not accept returns of bagged goods (i.e. cement products, mortar color, or polymeric sand products).

We do not accept returns of special order products or items originally sold as seconds.

No returns accepted after 60 days of original purchase date.

Pallet deposits will only be refunded if the pallets are returned in reusable condition, accompanied by a proof of purchase.

Refunds for cash accounts will be applied to credit card used for purchase or will be issued by a check in approximately 10 business days.

Kind: EL PASO MIX

Lot: ELPASO-24

Kind & Variety

Perennial Ryegrass

Crested Wheatgrass

Switchgrass

Sideoats Grama

Blue Grama

Pure%	Germ%	Origin
39.83	95	MN
38.45	92	ND
9.99	83	SD
4.84	96	IA
3.94	91	KS

Crop: 0.28% Inert: 2.50% Weeds: 0.60% Net Wt: 50#

TEST DATE: 01/2024 NOXIOUS WEEDS: NONE FOUND

EL PASO VALLEY FEEDS INC. MONROVIA, CA 91701

