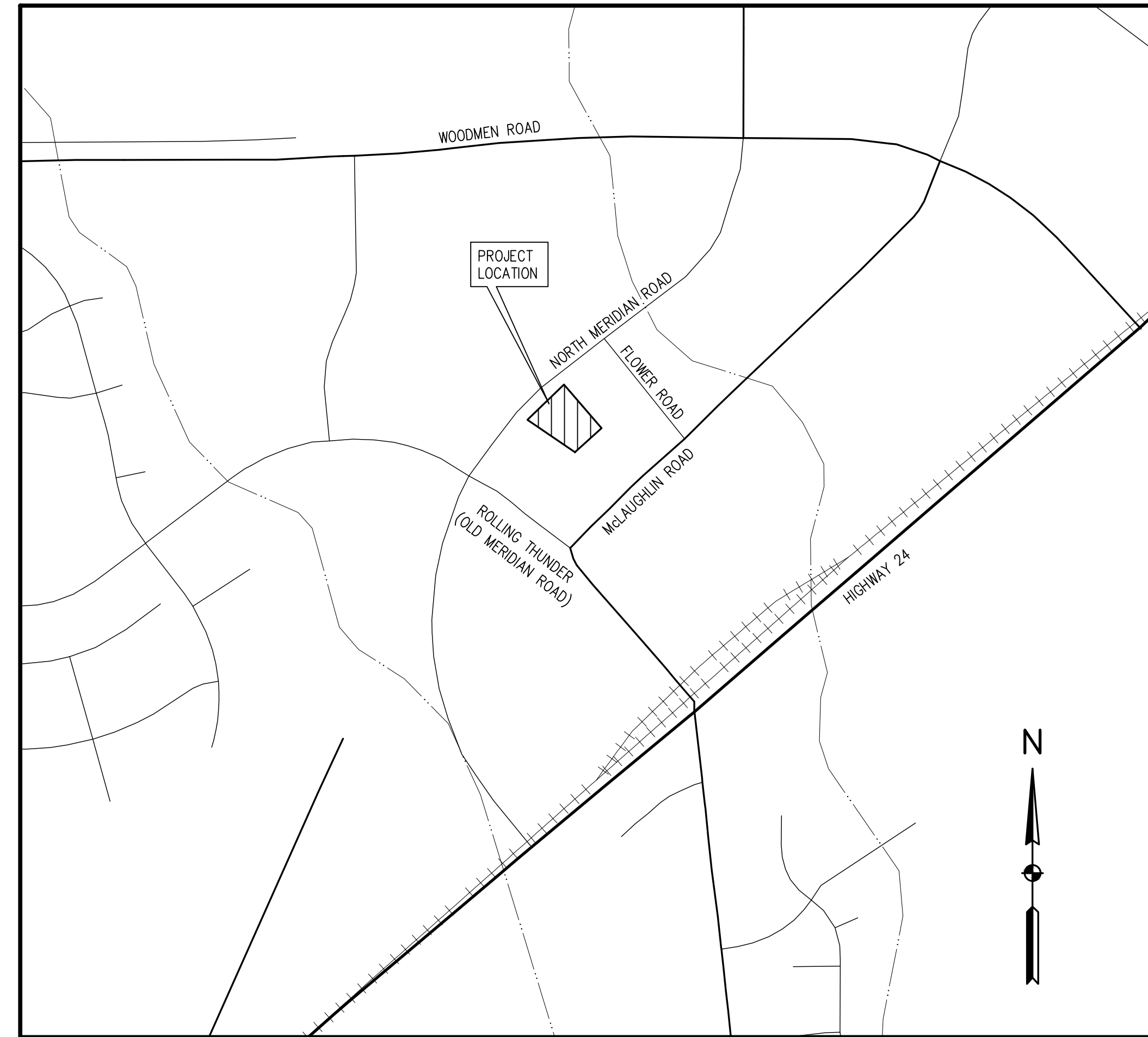


# SITE DEVELOPMENT PLAN LOT 2, MERIDIAN CROSSING FILING NO. 1

LOCATED IN SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST  
OF THE 6th PRINCIPAL MERIDIAN  
TOWN OF FALCON, EL PASO COUNTY, COLORADO

**SITE DEVELOPMENT/PLOT PLAN NOTES**

- LEGAL DESCRIPTION  
PARCEL A: LOT 2, MERIDIAN CROSSING FILING NO. 1, COUNTY OF EL PASO, STATE OF COLORADO  
  
PARCEL B:  
NON-EXCLUSIVE EASEMENTS FOR CROSS-ACCESS, INGRESS AND EGRESS ON, OVER AND ACROSS ALL PARKING AREAS, STREETS AND ROADS DESIGNATED AS COMMON IMPROVEMENTS; FOR CROSS PARKING ON AREAS DESIGNATED AS COMMON IMPROVEMENTS; FOR THE INSTALLATION, MAINTENANCE AND REPAIR OF DETENTION PONDS, STORM WATER FACILITIES AND UNDERGROUND SEWER, WATER, ELECTRICITY, GAS, TELEPHONE AND OTHER UTILITY SERVICES IN, TO, OVER, UNDER, ALONG AND ACROSS THOSE PORTIONS OF THE PROPERTY NECESSARY FOR THE INSTALLATION, OPERATION, FLOW, PASSAGE, USE, MAINTENANCE, CONNECTION, REPAIR, RELOCATION AND REMOVAL OF UTILITY LINES; FOR THE DISCHARGE OF SURFACE STORM WATER DRAINAGE AND/OR RUNOFF OVER, UPON AND ACROSS THE PROPERTY; FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF LANDSCAPING; AND FOR THE MAINTENANCE AND REPLACEMENT OF LIGHTING, SIGNS, AND ANY OTHER IMPROVEMENTS ON THE PROPERTY DESIGNATED AS COMMON IMPROVEMENTS; AS SET FORTH AND GRANTED IN THE MERIDIAN CROSSING MAINTENANCE AGREEMENT AND DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED SEPTEMBER 9, 2008 UNDER RECEPTION NO. 208099925 AND FIRST AMENDMENT THERETO RECORDED APRIL 8, 2009 UNDER RECEPTION NO. 209035924.
- THE SITE DEVELOPMENT (PLOT) PLAN CONSISTS OF THE SITE, GRADING/EROSION CONTROL, LANDSCAPING AND BUILDING ELEVATION PLANS ALL PREPARED IN ACCORDANCE WITH THE EL PASO COUNTY LAND DEVELOPMENT CODE.
- THE SITE IS CURRENTLY LOCATED WITHIN LOT 2, MERIDIAN CROSSING FLG1. THE SITE IS CURRENTLY VACANT, AND HAS BEEN OVERLOT GRADED. PROPOSED UTILITY STUBS ARE AVAILABLE. THERE IS AN EXISTING CURB CUT ON THE WEST SIDE AND A SHARED ACCESS WITH MCDONALDS ON THE EAST SIDE. NO BUILDINGS ARE CURRENTLY PRESENT ON-SITE. EXISTING WATER AND SANITARY LINES RUN ALONG THE SOUTH OF THE PROPERTY. THERE IS AN EXISTING HYDRANT ACROSS THE STREET ON THE SOUTHERN BOUNDARY. THERE IS AN EXISTING CURB CUT OFF OF THE WEST STREET AND A SHARED ACCESS TO THE MCDONALDS TO THE EAST.
- THE EXISTING GRADES OF THE SITE GENERALLY SLOPE FROM THE NORTH TO THE SOUTH. FLOWS CURRENTLY OVERLAND FLOW TO THE STREET TO THE SOUTH ARE CONVEYED BY CURB AND GUTTER TO THE EXISTING DETENTION POND TO THE WEST OF THE SITE.
- WATER AND WASTEWATER SERVICES WILL BE EXTENDED TO THE NEW BUILDING WITH SERVICE BEING PROVIDED BY THE FALCON HIGHLANDS METROPOLITAN DISTRICT AND WOODMEN HILLS METROPOLITAN DISTRICT. ELECTRIC SERVICE WILL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC. FIRE PROTECTION WILL BE PROVIDED BY THE CIMARRON HILLS FIRE DEPARTMENT. GAS WILL BE PROVIDED BY COLORADO NATURAL GAS.
- ACCESS, PARKING AND PROCESS AREA SURFACE TREATMENT WILL BE ASPHALT ALONG WITH 6" VERTICAL CURB.
- STORMWATER MANAGEMENT CONSISTS OF A DRAINAGE SWALE AROUND THE BUILDING. SHEET FLOW INTO THE PARKING LOT WHICH FLOWS SOUTH. CURB AND GUTTER WITHIN THE LOT DIRECTS FLOWS THROUGH TWO CURB CUTS WHICH OUTLET RUNOFF OFFSITE INTO PRIVATE DRIVES WHICH DRAIN TO THE MERIDIAN CROSSING DETENTION POND. REFER TO THE GRADING AND EROSION CONTROL PLANS FOR DETAILS.



**VICINITY MAP**  
SCALE: 1" = 500'

**PROJECT BENCHMARK:**  
FMS BLT167  
2" ALUMINUM CAP IN SE CORNER  
ELECTRIC VAULT AT SE CORNER OF  
WOODMEN ROAD AND MERIDIAN ROAD.  
ELEVATION 6873.18 (NVDQ29)

INDEX OF SHEETS	
SHEET NUMBER	SHEET TITLE
C1	COVER SHEET
C2	EXISTING CONDITIONS AND DEMOLITION PLAN
C3	SITE PLAN
C4	SITE DETAILS
C5	UTILITY PLAN



**APPLICANT & OWNER**

WMD DEVELOPMENT  
1200 NETWORK CENTREX DRIVE, SUITE 3  
EFFINGHAM, ILLINOIS 62401  
CONTACT: BRIAN SCHRÖCK  
217.540.2191  
BSCHROCK@WMDDEVELOPMENT.COM

**CIVIL ENGINEER**

BASELINE ENGINEERING, PLANNING, AND SURVEYING  
112 N RUBEY DRIVE, SUITE 210  
GOLDEN, COLORADO 80403  
CONTACT: MIKE BEURSKENS, P.E.  
970.879.1825  
MIKE.BEURSKENS@BASELINECORP.COM

**LANDSCAPE ARCHITECT**

BASELINE ENGINEERING, PLANNING, AND SURVEYING  
112 N RUBEY DRIVE, SUITE 210  
GOLDEN, COLORADO 80403  
CONTACT: SARAH WILLIAMS, PLA, CPSI  
303.940.9966 EXT.223  
SARAH.WILLIAMS@BASELINECORP.COM

**ARCHITECT**

DP3 ARCHITECTS, LTD.  
15 SOUTH MAIN STREET, SUITE 400  
GREENVIEW, SOUTH CAROLINA 29601  
CONTACT:  
864.232.8200  
WWW.DP3ARCHITECTS.COM

**COUNTY**

EL PASO COUNTY  
PLANNING AND COMMUNITY DEVELOPMENT  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, COLORADO 80910  
719.520.6447

**WATER**

FALCON HIGHLANDS METROPOLITAN DISTRICT  
8390 EAST CRESCENT PARKWAY #300  
GREENWOOD VILLAGE, COLORADO 80111  
719.284.7226

**SANITATION**

WOODMEN HILLS METROPOLITAN DISTRICT  
8046 EASTONVILLE ROAD  
FALCON, COLORADO 80831  
719.495.2500

**ELECTRIC**

MOUNTAIN VIEW ELECTRIC ASSOCIATION  
11140 EAST WOODMEN ROAD  
FALCON, COLORADO 80831-8127  
719.495.2283

**GAS**

COLORADO NATURAL GAS  
10825 EAST GEDDES AVENUE, SUITE 410  
CENTENNIAL, COLORADO 80112  
303.979.7680

**FIRE PROTECTION**

FALCON FIRE PROTECTION DISTRICT  
7030 OLD MERIDIAN ROAD  
PEYTON, COLORADO 80831  
719.495.4050  
CHIEF HARWIG



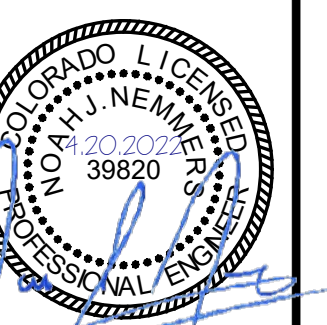
DESIGNED BY: LDS  
DRAWN BY: JDD  
CHECKED BY: MRB

PREPARED BY: DATE:

REVISION DESCRIPTION:

EL PASO COUNTY  
LOT 2, MERIDIAN CROSSING FILING 1  
7725 N. MERIDIAN ROAD  
COVER SHEET

PREPARED UNDER THE DIRECT SUPERVISION OF:



FOR AND ON BEHALF OF BASELINE CORPORATION

INITIAL SUBMITTAL 8/25/2021

DRAWING SIZE 24" X 36"

SURVEY FIRM SURVEY DATE  
BEC 4/08/2021

JOB NO. C035036

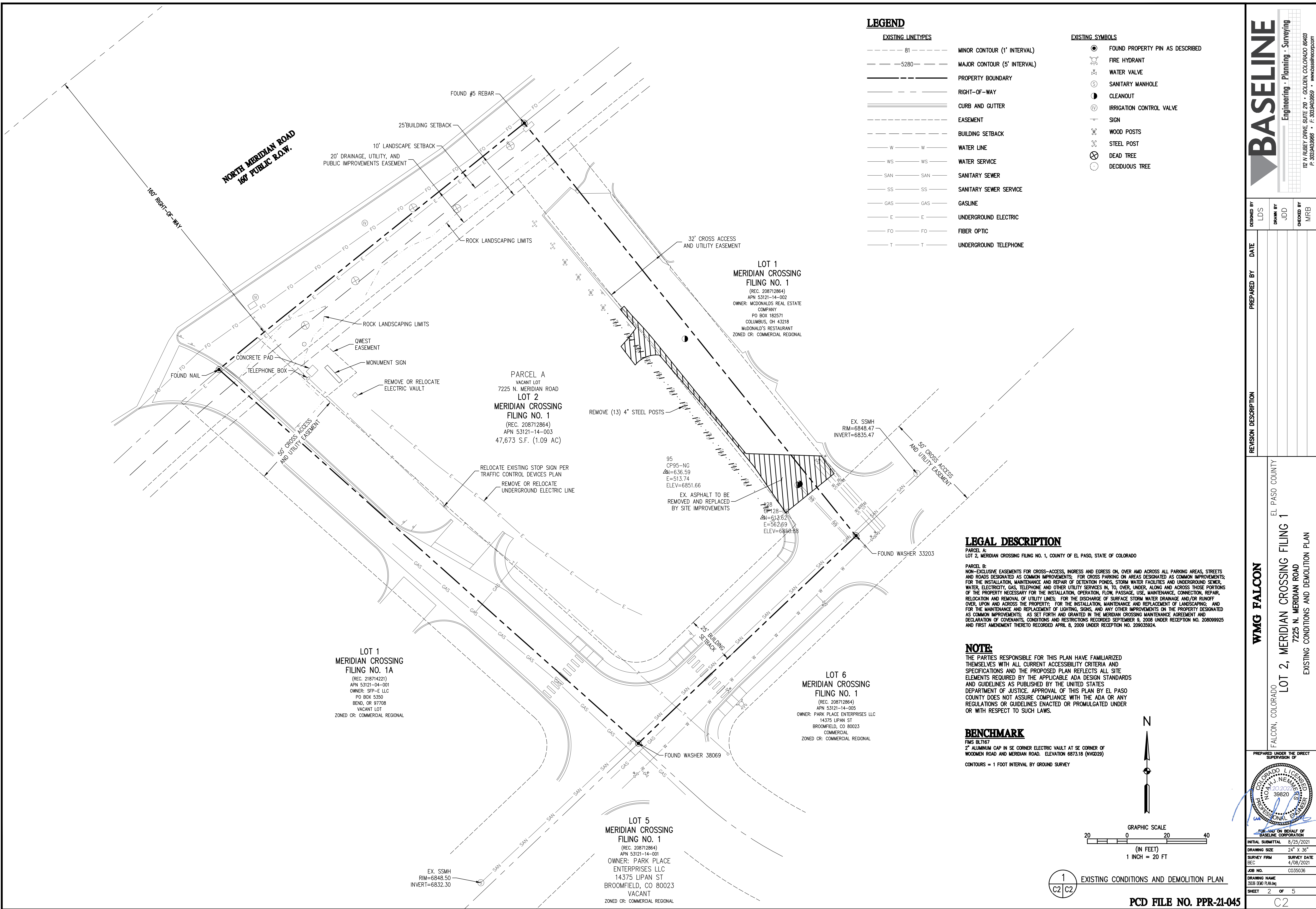
DRAWING NAME  
3036 COVER SHEET.dwg

SHEET 1 OF 5

C1



N:\co35036CS - WMG Falcon\Drawings\Planning Documents\SDP\35036 DEMO PLAN.dwg, 4/7/2022 1:14:38 PM, Luke Seebler



**LEGEND**

- |                           |                             |                         |                                 |
|---------------------------|-----------------------------|-------------------------|---------------------------------|
| <b>EXISTING LINETYPES</b> |                             | <b>EXISTING SYMBOLS</b> |                                 |
| --- 81 ---                | MINOR CONTOUR (1' INTERVAL) | ⊙                       | FOUND PROPERTY PIN AS DESCRIBED |
| --- 5280 ---              | MAJOR CONTOUR (5' INTERVAL) | ⊕                       | FIRE HYDRANT                    |
| ---                       | PROPERTY BOUNDARY           | ⊕                       | WATER VALVE                     |
| ---                       | RIGHT-OF-WAY                | ⊕                       | SANITARY MANHOLE                |
| ---                       | CURB AND GUTTER             | ⊕                       | CLEANOUT                        |
| ---                       | EASEMENT                    | ⊕                       | IRRIGATION CONTROL VALVE        |
| ---                       | BUILDING SETBACK            | ⊕                       | SIGN                            |
| ---                       | WATER LINE                  | ⊕                       | WOOD POSTS                      |
| ---                       | WATER SERVICE               | ⊕                       | STEEL POST                      |
| ---                       | SANITARY SEWER              | ⊕                       | DEAD TREE                       |
| ---                       | SANITARY SEWER SERVICE      | ⊕                       | DECIDUOUS TREE                  |
| ---                       | GASLINE                     |                         |                                 |
| ---                       | UNDERGROUND ELECTRIC        |                         |                                 |
| ---                       | FIBER OPTIC                 |                         |                                 |
| ---                       | UNDERGROUND TELEPHONE       |                         |                                 |

**BASELINE**  
 Engineering - Planning - Surveying  
 112 N. RIBEY DRIVE SUITE 270 • GOLDEN, COLORADO 80403  
 P. 303.940.9666 • F. 303.940.9669 • www.baselinecorp.com

DESIGNED BY	LDS	DATE	
DRAWN BY	JDD	PREPARED BY	
CHECKED BY	MRB	REVISION DESCRIPTION	

**PARCEL A**  
 VACANT LOT  
 7225 N. MERIDIAN ROAD  
 LOT 2  
**MERIDIAN CROSSING**  
 FILING NO. 1  
 (REC. 208712864)  
 APN 53121-14-003  
 47,673 S.F. (1.09 AC)

**LOT 1**  
**MERIDIAN CROSSING**  
 FILING NO. 1  
 (REC. 208712864)  
 APN 53121-14-002  
 OWNER: MCDONALD'S REAL ESTATE COMPANY  
 PO BOX 182571  
 COLUMBUS, OH 43218  
 MCDONALD'S RESTAURANT  
 ZONED CR: COMMERCIAL REGIONAL

**LOT 1**  
**MERIDIAN CROSSING**  
 FILING NO. 1A  
 (REC. 218714221)  
 APN 53121-04-001  
 OWNER: SFP-E LLC  
 PO BOX 5350  
 BEND, OR 97708  
 VACANT LOT  
 ZONED CR: COMMERCIAL REGIONAL

**LOT 6**  
**MERIDIAN CROSSING**  
 FILING NO. 1  
 (REC. 208712864)  
 APN 53121-14-005  
 OWNER: PARK PLACE ENTERPRISES LLC  
 14375 LIPAN ST  
 BROOMFIELD, CO 80023  
 COMMERCIAL  
 ZONED CR: COMMERCIAL REGIONAL

**LOT 5**  
**MERIDIAN CROSSING**  
 FILING NO. 1  
 (REC. 208712864)  
 APN 53121-14-001  
 OWNER: PARK PLACE ENTERPRISES LLC  
 14375 LIPAN ST  
 BROOMFIELD, CO 80023  
 VACANT  
 ZONED CR: COMMERCIAL REGIONAL

**LEGAL DESCRIPTION**

PARCEL A:  
 LOT 2, MERIDIAN CROSSING FILING NO. 1, COUNTY OF EL PASO, STATE OF COLORADO

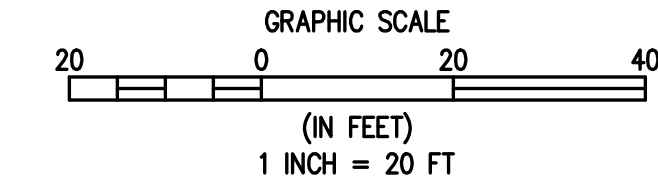
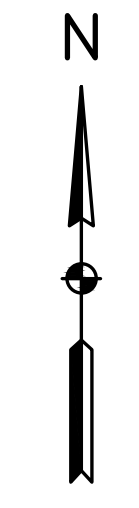
PARCEL B:  
 NON-EXCLUSIVE EASEMENTS FOR CROSS-ACCESS, INGRESS AND EGRESS ON, OVER AND ACROSS ALL PARKING AREAS, STREETS AND ROADS DESIGNATED AS COMMON IMPROVEMENTS; FOR CROSS PARKING ON AREAS DESIGNATED AS COMMON IMPROVEMENTS; FOR THE INSTALLATION, MAINTENANCE AND REPAIR OF DETENTION PONDS, STORM WATER FACILITIES AND UNDERGROUND SEWER, WATER, ELECTRICITY, GAS, TELEPHONE AND OTHER UTILITY SERVICES IN, TO, OVER, UNDER, ALONG AND ACROSS THOSE PORTIONS OF THE PROPERTY NECESSARY FOR THE INSTALLATION, OPERATION, FLOW, PASSAGE, USE, MAINTENANCE, CONNECTION, REPAIR, RELOCATION AND REMOVAL OF UTILITY LINES; FOR THE DISCHARGE OF SURFACE STORM WATER DRAINAGE AND/OR RUNOFF OVER, UPON AND ACROSS THE PROPERTY; FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF LANDSCAPING; AND FOR THE MAINTENANCE AND REPLACEMENT OF LIGHTING, SIGNS, AND ANY OTHER IMPROVEMENTS ON THE PROPERTY DESIGNATED AS COMMON IMPROVEMENTS; AS SET FORTH AND GRANTED IN THE MERIDIAN CROSSING MAINTENANCE AGREEMENT AND DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED SEPTEMBER 9, 2008 UNDER RECEPTION NO. 208099925 AND FIRST AMENDMENT THERETO RECORDED APRIL 8, 2009 UNDER RECEPTION NO. 209035924.

**NOTE:**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

**BENCHMARK**

FMS BL767  
 2" ALUMINUM CAP IN SE CORNER ELECTRIC VAULT AT SE CORNER OF WOODMEN ROAD AND MERIDIAN ROAD. ELEVATION 6873.18 (NYGD29)  
 CONTOURS = 1 FOOT INTERVAL BY GROUND SURVEY



1  
 C2 C2 EXISTING CONDITIONS AND DEMOLITION PLAN

PCD FILE NO. PPR-21-045

EL PASO COUNTY  
**LOT 2, MERIDIAN CROSSING FILING 1**  
 7225 N. MERIDIAN ROAD  
 EXISTING CONDITIONS AND DEMOLITION PLAN

**WMG FALCON**  
 FALCON, COLORADO

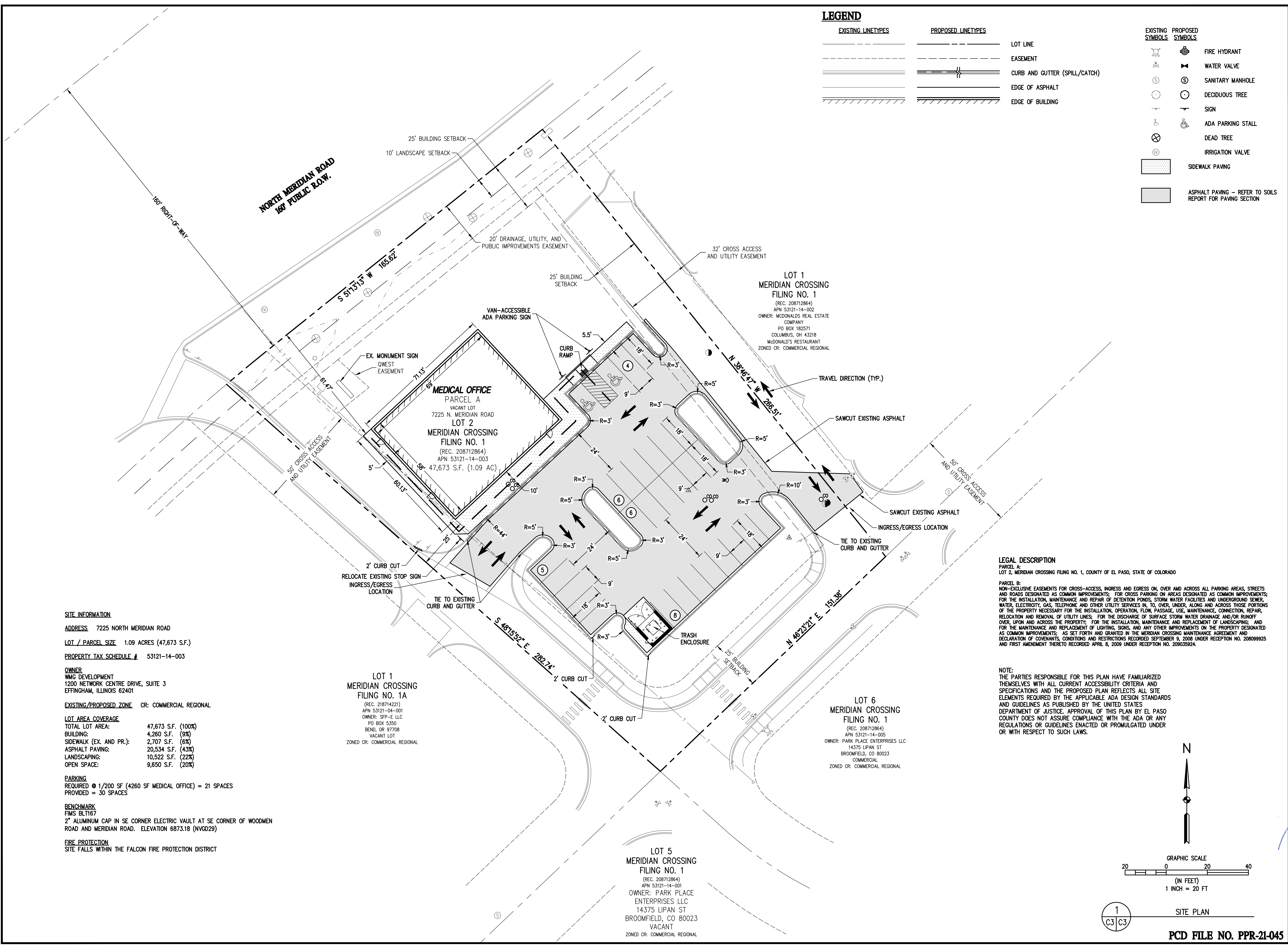
PREPARED UNDER THE DIRECT SUPERVISION OF

FOR AND ON BEHALF OF  
 BASELINE CORPORATION

INITIAL SUBMITTAL	8/25/2021
DRAWING SIZE	24" X 36"
SURVEY FIRM	SURVEY DATE
BEC	4/08/2021
JOB NO.	C035036
DRAWING NAME	3036 (E)O PLAN.dwg
SHEET	2 OF 5

C2

N:\c035036CS - WMG Falcon\Drawings\Planning Documents\SDP\35036 SITE PLAN.dwg, 4/17/2022 1:14:52 PM, Luke Steber



**SITE INFORMATION**  
**ADDRESS** 7225 NORTH MERIDIAN ROAD  
**LOT / PARCEL SIZE** 1.09 ACRES (47,673 S.F.)  
**PROPERTY TAX SCHEDULE #** 53121-14-003  
**OWNER**  
 WMG DEVELOPMENT  
 1200 NETWORK CENTRE DRIVE, SUITE 3  
 EFFINGHAM, ILLINOIS 62401  
**EXISTING/PROPOSED ZONE** CR: COMMERCIAL REGIONAL  
**LOT AREA COVERAGE**  
 TOTAL LOT AREA: 47,673 S.F. (100%)  
 BUILDING: 4,260 S.F. (9%)  
 SIDEWALK (EX. AND PR.): 2,707 S.F. (6%)  
 ASPHALT PAVING: 20,534 S.F. (43%)  
 LANDSCAPING: 10,522 S.F. (22%)  
 OPEN SPACE: 9,650 S.F. (20%)

**PARKING**  
 REQUIRED @ 1/200 SF (4260 SF MEDICAL OFFICE) = 21 SPACES  
 PROVIDED = 30 SPACES

**BENCHMARK**  
 FMS BLT167  
 2" ALUMINUM CAP IN SE CORNER ELECTRIC VAULT AT SE CORNER OF WOODMEN ROAD AND MERIDIAN ROAD. ELEVATION 6873.18 (NVGD29)

**FIRE PROTECTION**  
 SITE FALLS WITHIN THE FALCON FIRE PROTECTION DISTRICT

**LOT 1  
 MERIDIAN CROSSING  
 FILING NO. 1A**  
 (REC. 218714221)  
 APN 53121-04-001  
 OWNER: SFP-E LLC  
 PO BOX 5350  
 BEND, OR 97708  
 VACANT LOT  
 ZONED CR: COMMERCIAL REGIONAL

**LOT 5  
 MERIDIAN CROSSING  
 FILING NO. 1**  
 (REC. 208712864)  
 APN 53121-14-001  
 OWNER: PARK PLACE ENTERPRISES LLC  
 14375 LIPAN ST  
 BROOMFIELD, CO 80023  
 VACANT  
 ZONED CR: COMMERCIAL REGIONAL

**LOT 6  
 MERIDIAN CROSSING  
 FILING NO. 1**  
 (REC. 208712864)  
 APN 53121-14-005  
 OWNER: PARK PLACE ENTERPRISES LLC  
 14375 LIPAN ST  
 BROOMFIELD, CO 80023  
 COMMERCIAL  
 ZONED CR: COMMERCIAL REGIONAL

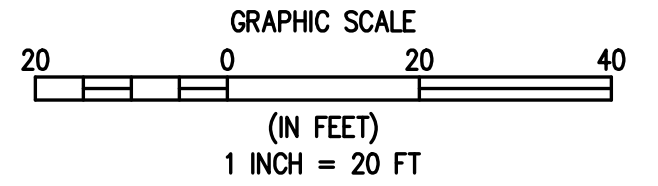
**LOT 1  
 MERIDIAN CROSSING  
 FILING NO. 1**  
 (REC. 208712864)  
 APN 53121-14-002  
 OWNER: MCDONALD'S REAL ESTATE COMPANY  
 PO BOX 182571  
 COLUMBUS, OH 43218  
 MCDONALD'S RESTAURANT  
 ZONED CR: COMMERCIAL REGIONAL

**LEGEND**

EXISTING LINETYPES	PROPOSED LINETYPES	SYMBOLS	SYMBOLS
---	---	○	FIRE HYDRANT
---	---	⊕	WATER VALVE
---	---	○	SANITARY MANHOLE
---	---	○	DECIDUOUS TREE
---	---	+	SIGN
---	---	⊕	ADA PARKING STALL
---	---	⊗	DEAD TREE
---	---	⊕	IRRIGATION VALVE
---	---	▨	SIDEWALK PAVING
---	---	▨	ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION

**LEGAL DESCRIPTION**  
 PARCEL A:  
 LOT 2, MERIDIAN CROSSING FILING NO. 1, COUNTY OF EL PASO, STATE OF COLORADO  
 PARCEL B:  
 NON-EXCLUSIVE EASEMENTS FOR CROSS-ACCESS, INGRESS AND EGRESS ON, OVER AND ACROSS ALL PARKING AREAS, STREETS AND ROADS DESIGNATED AS COMMON IMPROVEMENTS; FOR CROSS PARKING ON AREAS DESIGNATED AS COMMON IMPROVEMENTS; FOR THE INSTALLATION, MAINTENANCE AND REPAIR OF DETENTION PONDS, STORM WATER FACILITIES AND UNDERGROUND SEWER, WATER, ELECTRICITY, GAS, TELEPHONE AND OTHER UTILITY SERVICES IN, TO, OVER, UNDER, ALONG AND ACROSS THOSE PORTIONS OF THE PROPERTY NECESSARY FOR THE INSTALLATION, OPERATION, FLOW, PASSAGE, USE, MAINTENANCE, CONNECTION, REPAIR, RELOCATION AND REMOVAL OF UTILITY LINES; FOR THE DISCHARGE OF SURFACE STORM WATER DRAINAGE AND/OR RUNOFF OVER, UPON AND ACROSS THE PROPERTY; FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF LANDSCAPING; AND FOR THE MAINTENANCE AND REPLACEMENT OF LIGHTING, SIGNS, AND ANY OTHER IMPROVEMENTS ON THE PROPERTY DESIGNATED AS COMMON IMPROVEMENTS; AS SET FORTH AND GRANTED IN THE MERIDIAN CROSSING MAINTENANCE AGREEMENT AND DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED SEPTEMBER 9, 2008 UNDER RECEPTION NO. 208099925 AND FIRST AMENDMENT THERETO RECORDED APRIL 8, 2009 UNDER RECEPTION NO. 208035924.

**NOTE:**  
 THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



1  
 C3 C3  
 SITE PLAN

PCD FILE NO. PPR-21-045

**BASELINE**  
 Engineering - Planning - Surveying  
 112 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403  
 P. 303.940.9966 • F. 303.940.9969 • www.baselinepc.com

DESIGNED BY	DATE	PREPARED BY	REVISION DESCRIPTION
LDS			
JDD			
MRB			

EL PASO COUNTY  
 FALCON, COLORADO  
 LOT 2, MERIDIAN CROSSING FILING 1  
 7225 N. MERIDIAN ROAD  
 SITE PLAN

PREPARED UNDER THE DIRECT SUPERVISION OF

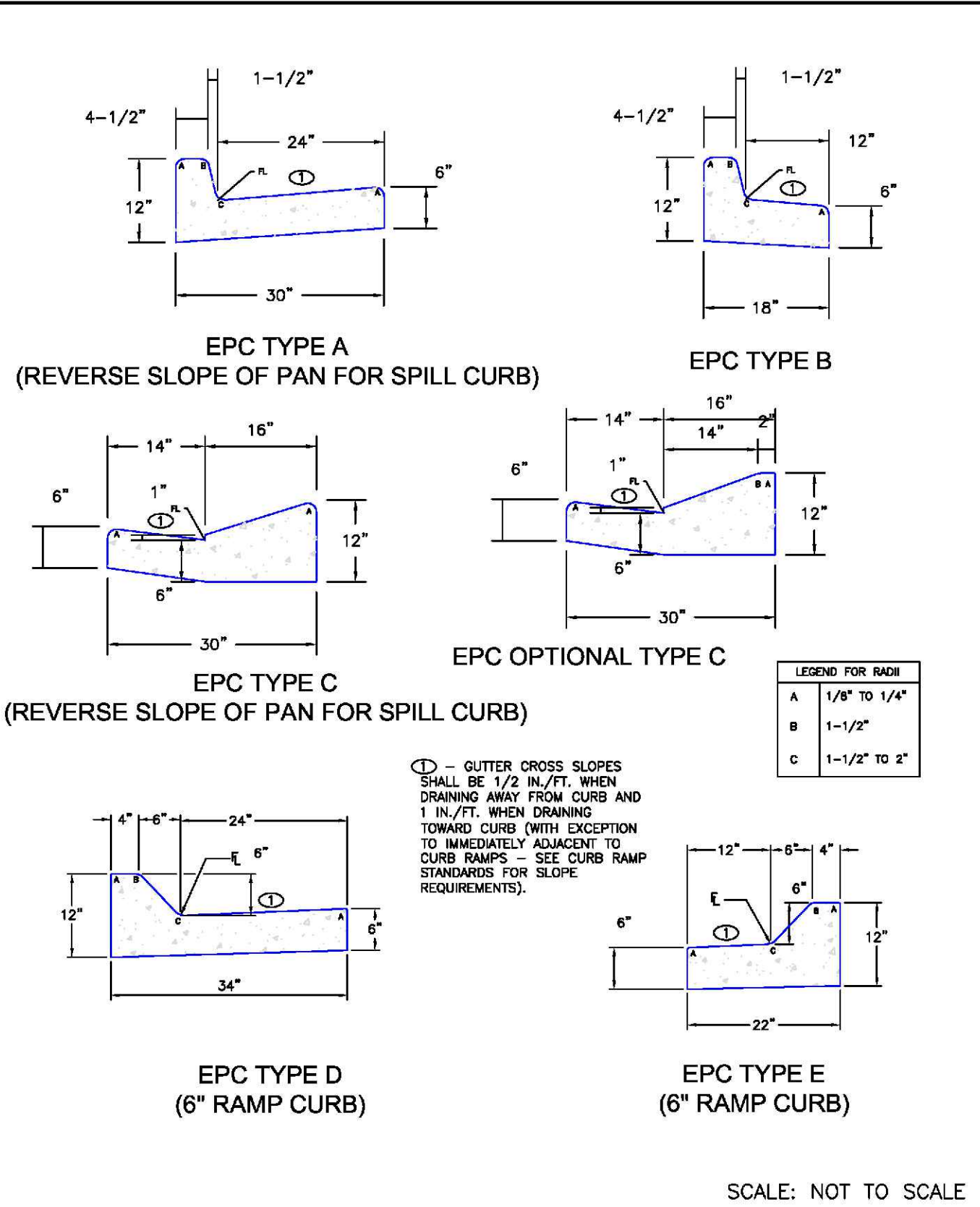
FOR AND ON BEHALF OF  
 BASELINE CORPORATION

INITIAL SUBMITTAL	DATE
	8/25/2021

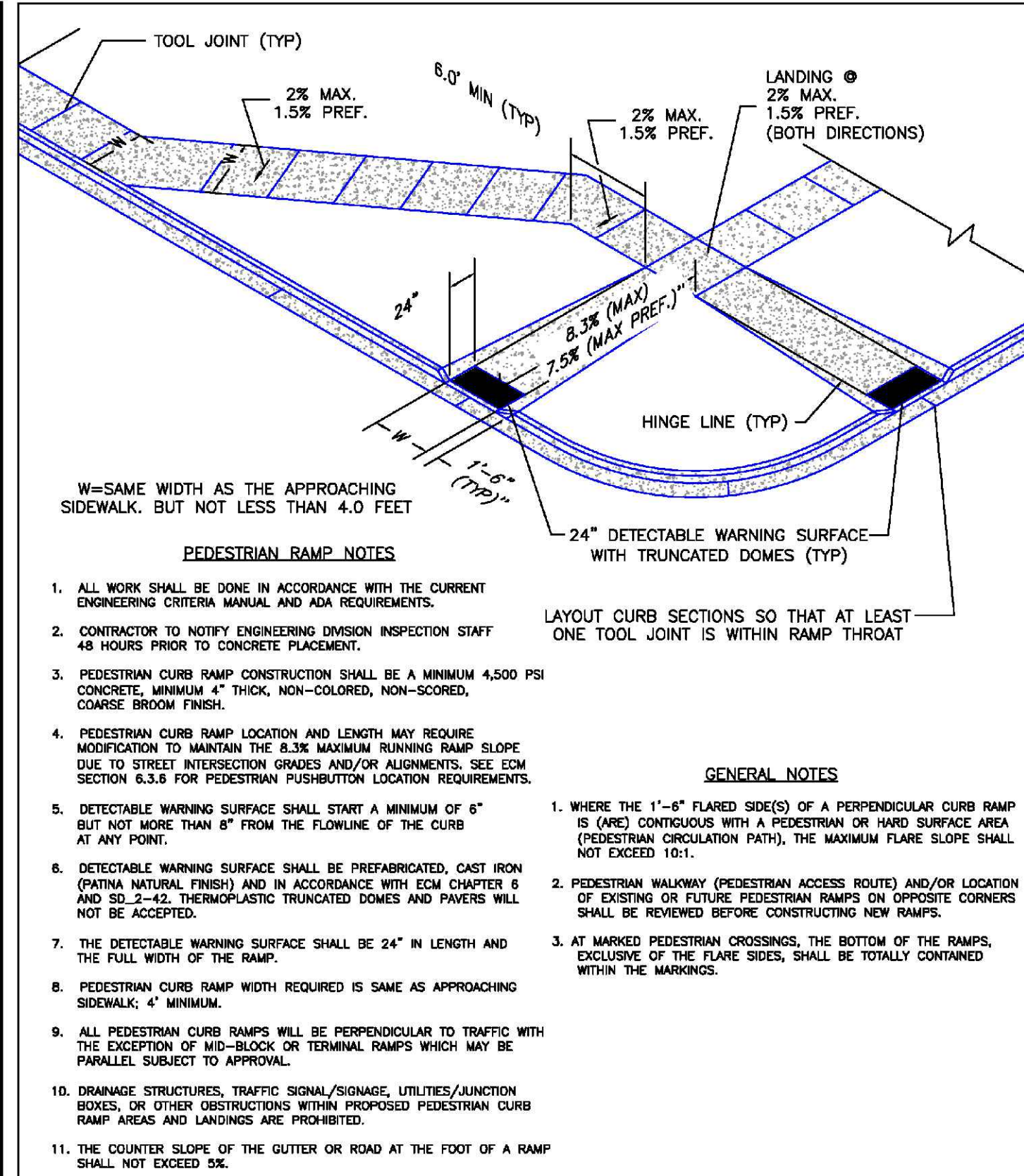
DRAWING SIZE	SURVEY FIRM	SURVEY DATE
24" X 36"	BEC	4/08/2021

JOB NO.	DRAWING NAME	SHEET	OF
C035036	3036 SITE PLAN.dwg	3	5

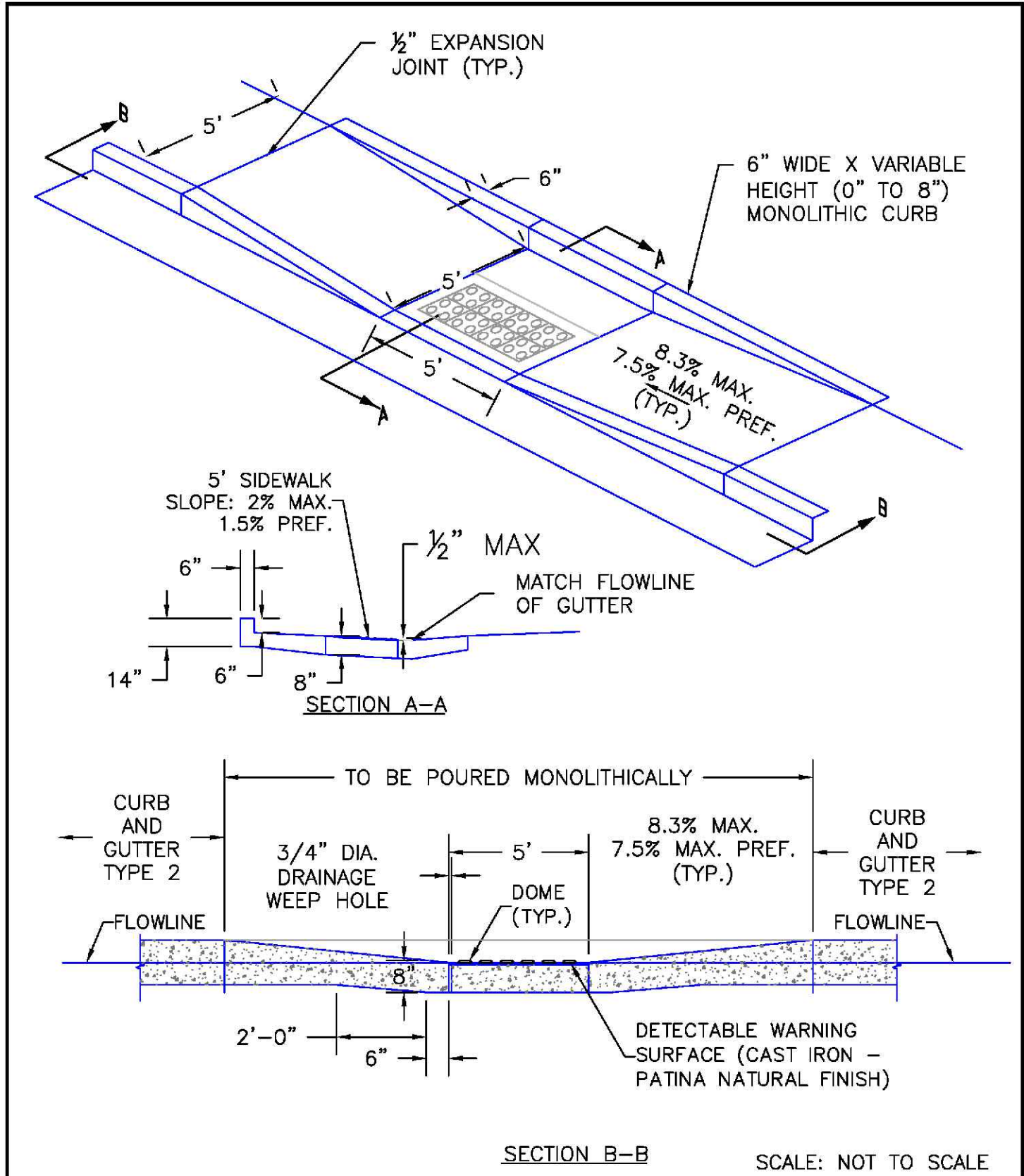
C3



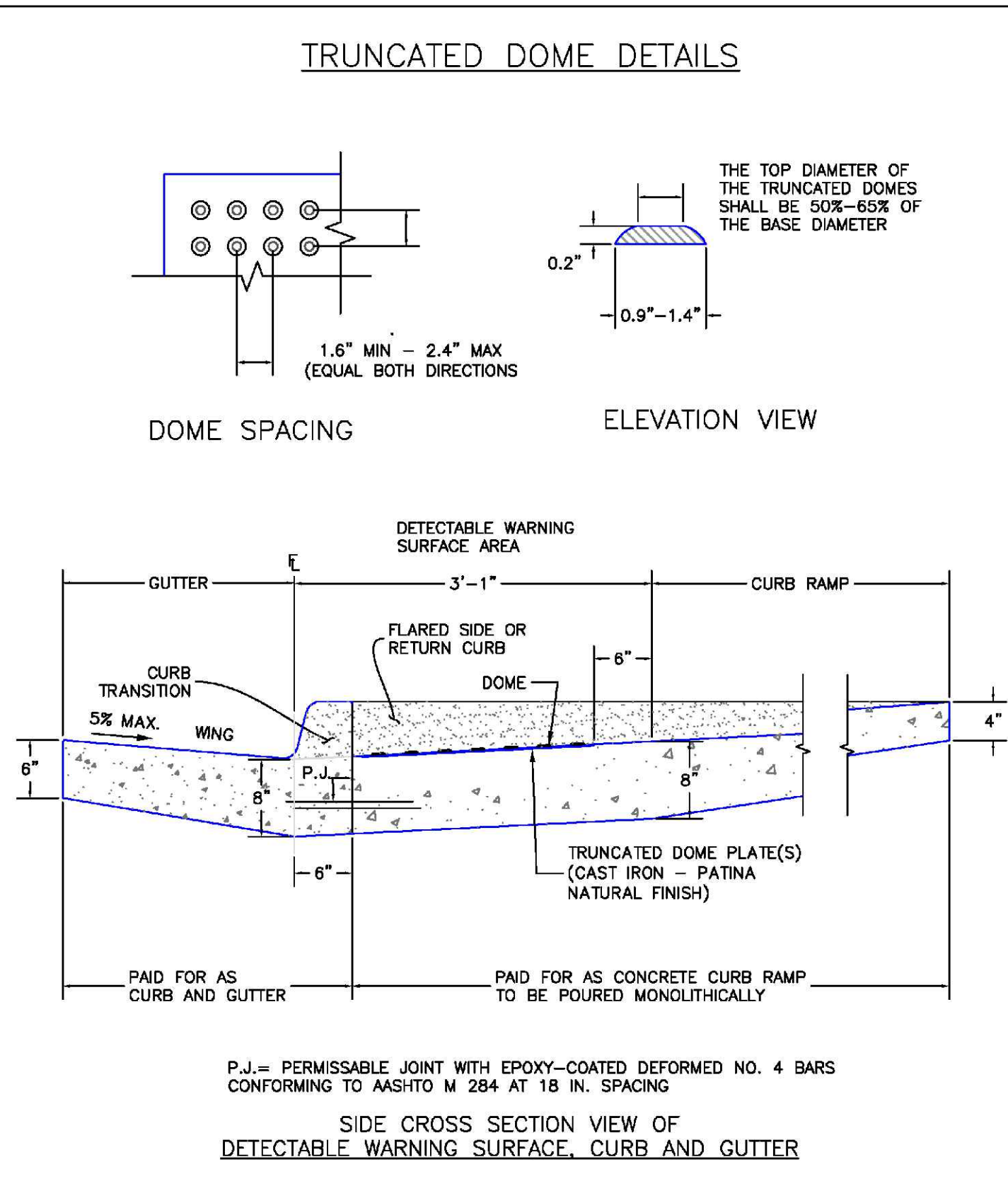
6/23/20	Typical Curb and Gutter Details	DEPARTMENT OF PUBLIC WORKS
DATE APPROVED:	REVISION DATE: 6/23/20	FILE NAME: SD_2-20
Jennifer E. Irvine		



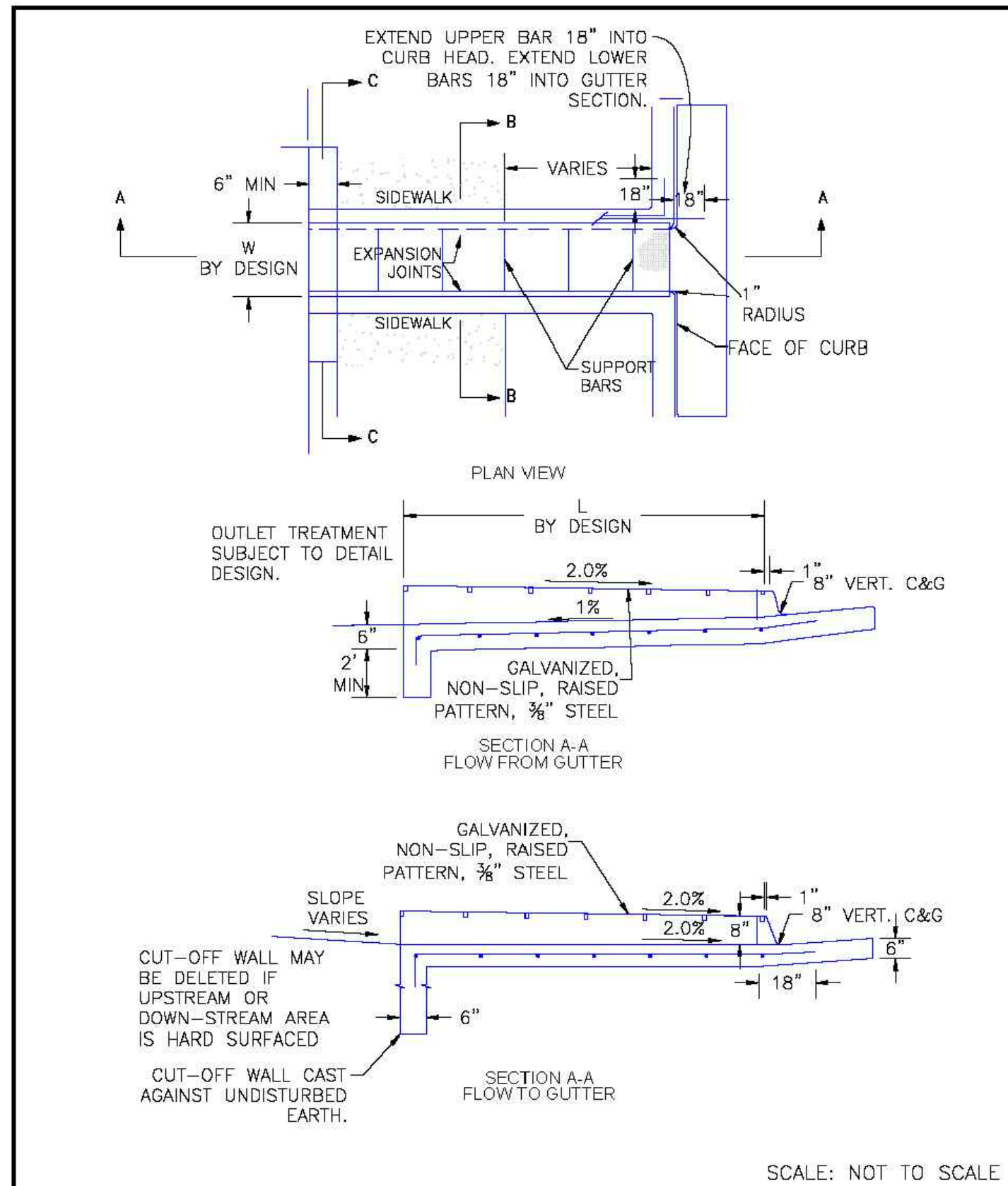
6/23/20	Pedestrian Curb Ramp Detail	DEPARTMENT OF PUBLIC WORKS
DATE APPROVED:	REVISION DATE: 6/23/20	FILE NAME: SD_2-41
Jennifer E. Irvine		



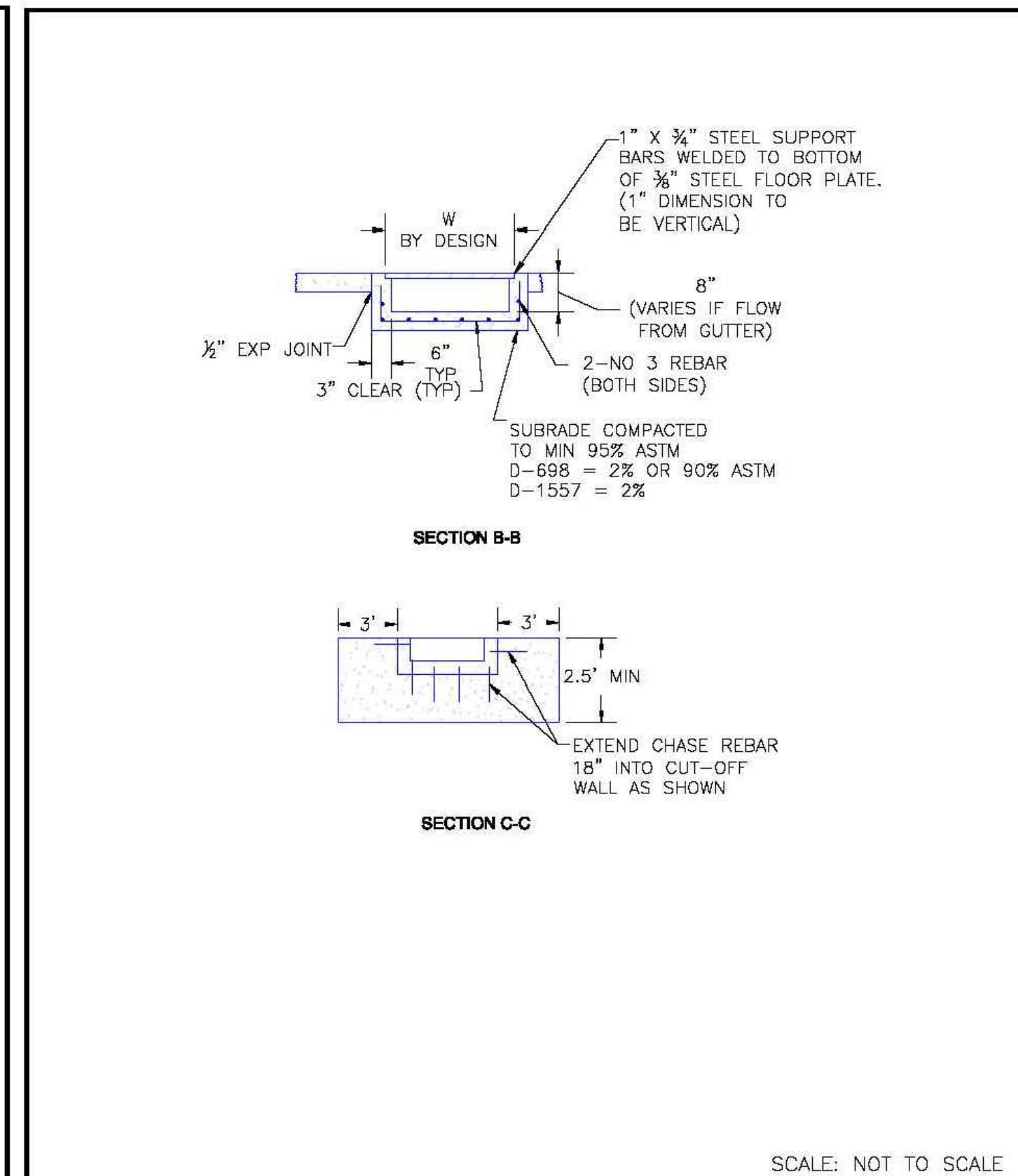
6/23/20	Parallel Pedestrian Curb Ramp Detail	DEPARTMENT OF PUBLIC WORKS
DATE APPROVED:	REVISION DATE: 6/23/20	FILE NAME: SD_2-50
Jennifer E. Irvine		



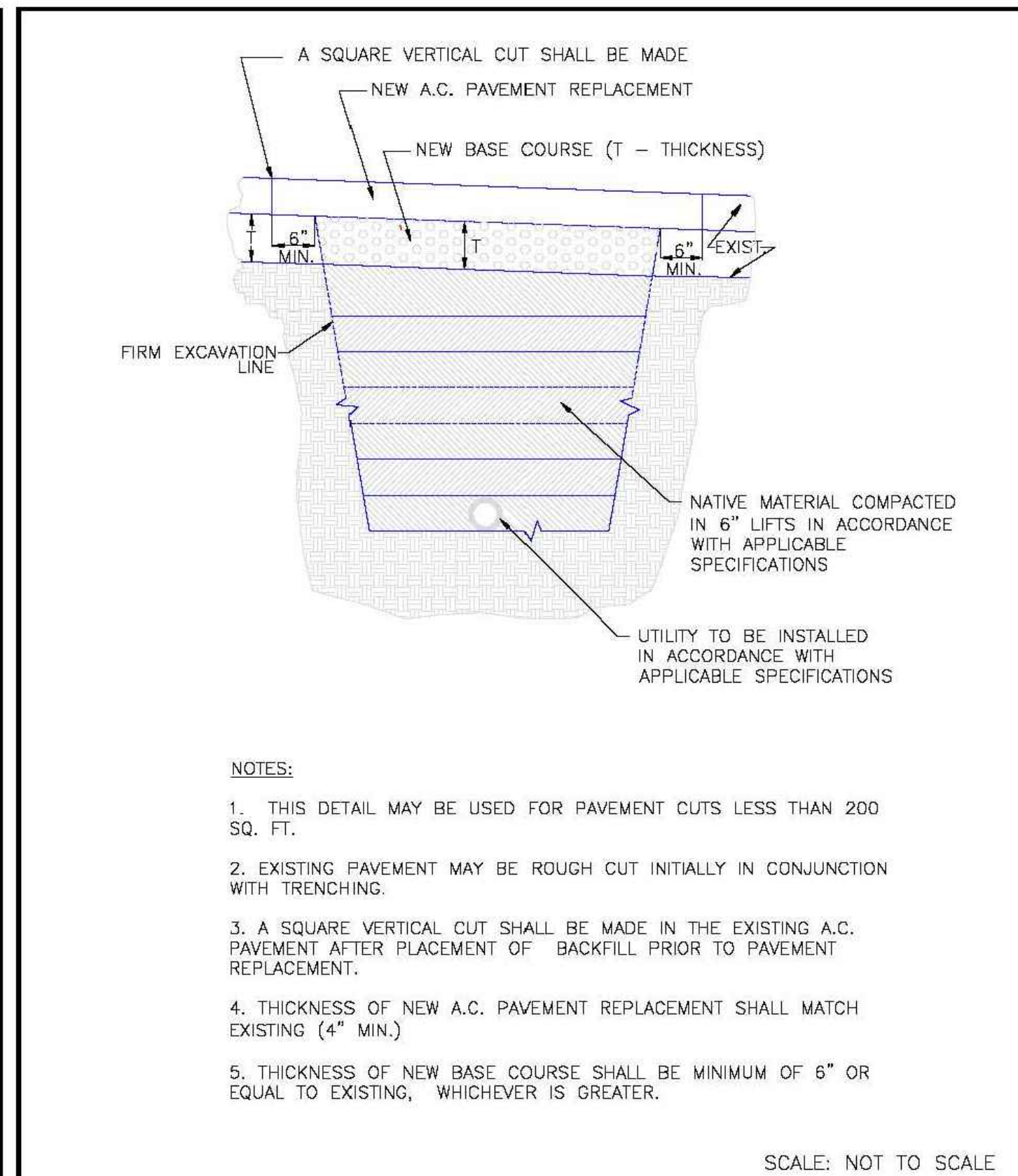
6/23/20	Detectable Warning Surface Details	DEPARTMENT OF PUBLIC WORKS
DATE APPROVED:	REVISION DATE: 6/23/20	FILE NAME: SD_2-42
Jennifer E. Irvine		



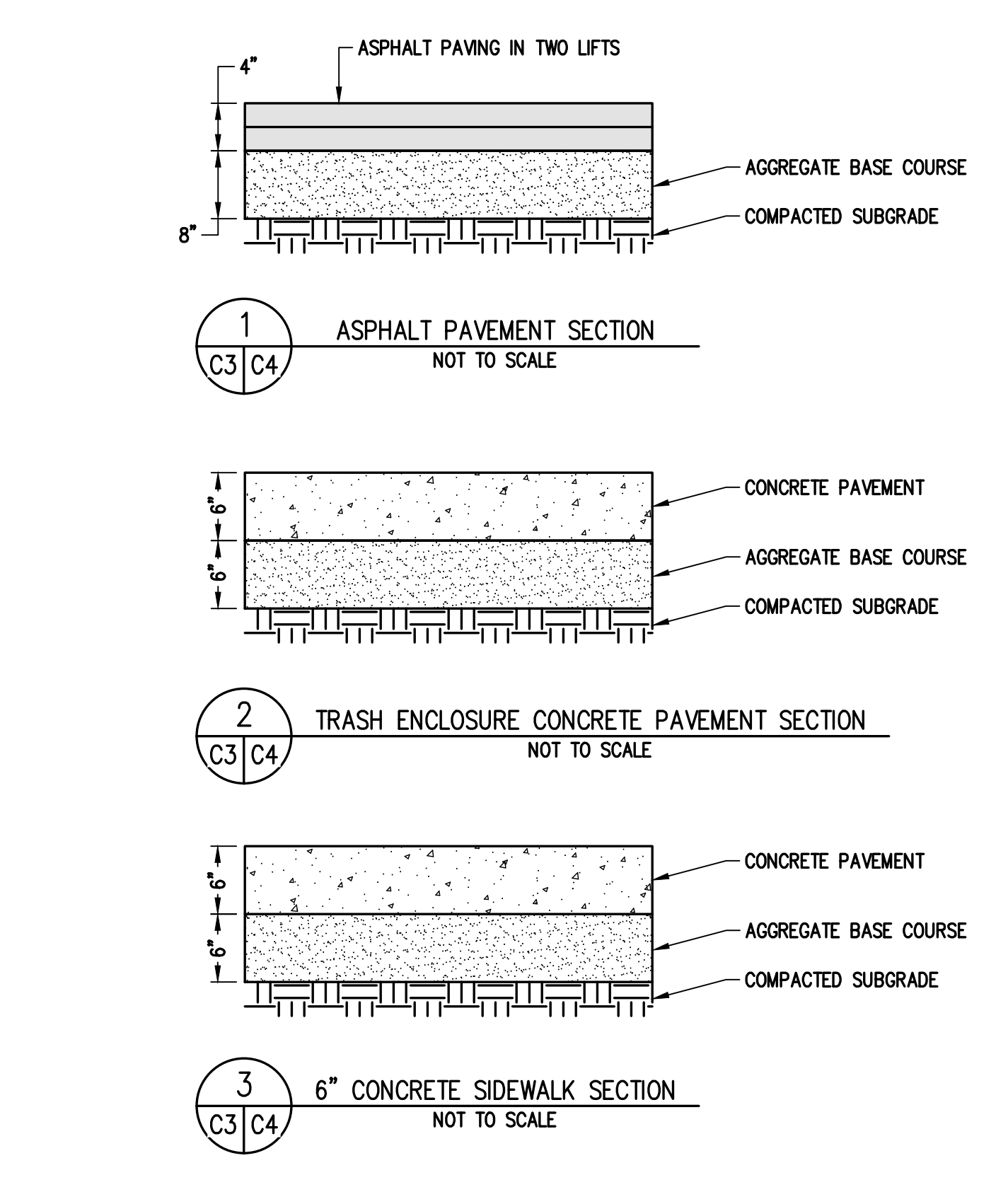
8/11/11	Curb Opening with Drainage Chase Detail 1 of 2	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION
DATE APPROVED:	REVISION DATE: 12/8/15	FILE NAME: SD_3-25
André P. Brackin		



8/11/11	Curb Opening with Drainage Chase Detail 2 of 2	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION
DATE APPROVED:	REVISION DATE: 11/10/04	FILE NAME: SD_3-25A
André P. Brackin		



8/11/11	Utility Trench Repair Detail Asphalt Pavement	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION
DATE APPROVED:	REVISION DATE: 11/10/04	FILE NAME: SD_4-20
André P. Brackin		



8/11/11	Asphalt Paving in Two Lifts	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION
DATE APPROVED:	REVISION DATE: 11/10/04	FILE NAME: SD_4-20
André P. Brackin		

**BASELINE**  
 Engineering - Planning - Surveying  
 102 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403  
 P. 303.940.9966 • F. 303.940.9969 • www.baselinecorp.com

DESIGNED BY: LDS  
 DRAWN BY: JDD  
 CHECKED BY: MRB

DATE: \_\_\_\_\_  
 PREPARED BY: \_\_\_\_\_

REVISION DESCRIPTION

EL PASO COUNTY  
 WMG FALCON  
 LOT 2, MERIDIAN CROSSING FILING 1  
 7225 N. MERIDIAN ROAD  
 SITE DETAILS

FOR AND ON BEHALF OF  
 BASELINE CORPORATION  
 INITIAL SUBMITTAL 8/25/2021  
 DRAWING SIZE 24" X 36"  
 SURVEY FIRM SURVEY DATE  
 BEC 4/08/2021  
 JOB NO. C035036  
 DRAWING NAME 3006 DETAIL SHEET.dwg  
 SHEET 4 OF 5

PCD FILE NO. PPR-21-045

**WOODMEN HILLS METROPOLITAN DISTRICT GENERAL UTILITY NOTES**

- (SEWER ONLY)
- ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS (WHMD) SPECIFICATIONS. WHMD SPECIFICATIONS ARE CONSISTENT WITH COLORADO SPRINGS UTILITIES UNLESS OTHERWISE NOTED.
  - ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED "NOT VALID".
  - ALL STATIONING IS CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTERLINE UNLESS OTHERWISE NOTED.
  - SANITARY SEWER LENGTHS ARE MH CENTER-MH CENTER. ALL SANITARY SEWER PIPES SHALL BE SDR 35 PVC OR EQUAL. SEWER LINES MAY NOT EXCEED 7% GRADE FOR ANY SIZE WITHOUT PRIOR APPROVAL OF THE DISTRICT. ALL NEWLY CONSTRUCTED RESIDENTIAL SANITARY SEWER TAPS SHALL USE PRE-MANUFACTURED IN-LINE PVC PUSH-ON WYES. TAPPING SADDLES MAY ONLY BE USED FOR TAPPING PRE-EXISTING MAINS.
  - ALL SANITARY SEWER MANHOLES SHALL BE FIVE (5) FOOT IN DIAMETER AND WRAPPED WITH RU116 - RUBER-NEK JOINT WRAP OR EQUIVALENT AND COATED.
  - THE UNDERDRAIN SYSTEM IS TO BE PASSIVE AND THE SIZE TO BE DETERMINED BY THE ENGINEER. EACH MANHOLE TO CONTAIN TWO (2) SIX (6) INCH CLEAN-OUTS PER DISTRICT STANDARD DETAIL.
  - ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE WOODMEN HILLS METROPOLITAN DISTRICT. THE METROPOLITAN DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
  - THE DEVELOPER OR ITS ENGINEER SHALL LOCATE ALL SERVICE STUB OUTS FOR FUTURE DEVELOPMENT. ANY REQUIRED REALIGNMENT, (HORIZONTAL OR VERTICAL) SHALL BE AT THE EXPENSE OF THE DEVELOPER.
  - ALL SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN "S" FOR SEWER.
  - DUCTILE IRON PIPES, INCLUDING FITTINGS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT, AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATINGS.
  - ALL DUCTILE IRON PIPE LESS THAN 12 INCHES, AND FITTINGS, SHALL HAVE CATHODIC PROTECTION USING TWO NO. 6 WIRES WITH 17 LB MAGNESIUM ANODES EVERY 400 FEET AND 9 LB MAGNESIUM ANODES AT EACH FITTING. ALL DUCTILE IRON PIPE 12 INCHES AND GREATER, AND FITTINGS, SHALL HAVE CATHODIC PROTECTION USING TWO NO. 6 WIRES WITH 17 LB MAGNESIUM ANODES EVERY 300 FEET AND 9 LB MAGNESIUM ANODES AT EACH FITTING.
  - ALL MAIN LINES (PVC & DUCTILE IRON) SHALL BE INSTALLED WITH COATED NO. 12 TRACER WIRE WITH TEST STATIONS EVERY 500 FT (UNLESS VALVE BOXES CAN BE USED AT INTERSECTIONS AND SERVICE STUBS).
  - ALL PIPE MATERIAL, BACKFILL, AND INSTALLATION SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS, COLORADO DEPARTMENT OF TRANSPORTATION, EL PASO COUNTY DEPARTMENT OF TRANSPORTATION, COLORADO SPRINGS UTILITIES, AND THE GEOTECHNICAL ENGINEER.
  - COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STAFF AS IMPOSED BY OTHER AGENCIES HAVING THE RIGHT-OF-WAY JURISDICTION. THIS SHALL INCLUDE ALL SEWER SERVICE LINES AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
  - THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE DISTRICT SHALL BE NOTIFIED OF ANY DEVIATIONS TO THE LINE AND/OR GRADE AS DEPICTED ON THE PLANS. CONTRACTOR SHALL SUBMIT TO THE DISTRICT AND THE ENGINEER OF RECORD A REPORT OF THE FIELD VERIFIED INFORMATION PRIOR TO THE START OF CONSTRUCTION.
  - ALL BENDS SHALL BE FIELD STAKED PRIOR TO THE START OF CONSTRUCTION.
  - BENDS, DEFLECTIONS, AND CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER LINES TO NO MORE THAN 0.5' FROM THE DESIGNED ALIGNMENT. CONSTRUCTION STAKES TO BE AT 25' INTERVALS ALONG CURVES TO ASSURE LOCATION OF PIPE LINE CONSTRUCTION.
  - AT ALL LOCATIONS WHERE CAP AND STUB IS NOTED ON DRAWINGS, PROVIDE A PLUG AT THE END OF THE PIPE JOINT NEAREST THE SPECIFIED STATION.
  - AT THE CONTRACTOR'S EXPENSE, ALL UTILITY MAINS SHALL BE SUPPORTED AND PROTECTED SUCH THAT THEY SHALL FUNCTION CONTINUOUSLY DURING CONSTRUCTION OPERATIONS. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR OR THE WOODMEN HILLS METROPOLITAN DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR/DEVELOPER.
  - PUMPING OR BYPASS OPERATIONS SHALL BE REVIEWED AND APPROVED BY BOTH THE WOODMEN HILLS METROPOLITAN DISTRICT AND THE ENGINEER PRIOR TO EXECUTION.
  - THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, FENCES, LANDSCAPING, CURB AND GUTTER, AND/OR ASPHALT, THAT MAY BE CAUSED DURING CONSTRUCTION.
  - ALL CONTRACTORS WORKING ON OR NEAR A SEWER FACILITY (TO INCLUDE SERVICE LINES) SHALL HAVE LIABILITY INSURANCE NAMING THE DISTRICT AS AN ADDITIONAL INSURER AND SHALL PROVIDE A CURRENT COPY OF WORKER'S COMPENSATION INSURANCE ON FILE WITH THE DISTRICT. NO WORK CAN PROCEED WITHOUT CURRENT CERTIFICATES ON FILE AT THE DISTRICT'S OFFICE.
  - THE CONTRACTOR SHALL NOTIFY THE WOODMEN HILLS METROPOLITAN DISTRICT AND ALL AFFECTED UTILITY COMPANIES ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER, AND ALL OTHER PARTIES AS DEEMED NECESSARY BY THE DISTRICT.
  - COMMENCEMENT OF CONSTRUCTION OF SEWER SYSTEMS FOR THE WOODMEN HILLS METROPOLITAN DISTRICT:
    - PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS REQUIRED A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. A REPRESENTATIVE OF THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR, AND DESIGN ENGINEER ARE REQUIRED TO ATTEND. CONTACT THE METROPOLITAN DISTRICT TO SCHEDULE THE PRE-CONSTRUCTION MEETING. NO PRE-CONSTRUCTION MEETING CAN BE SCHEDULED PRIOR TO FOUR (4) SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE WOODMEN HILLS METROPOLITAN DISTRICT.
    - THE CONTRACTOR IS REQUIRED TO NOTIFY THE WOODMEN HILLS METROPOLITAN DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
  - TESTING OF FACILITIES:
    - THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF ANY TESTING.
    - ALL SANITARY SEWER FACILITIES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS:
      - ALL LINES SHALL BE JET CLEANED PRIOR TO VACUUM OR PRESSURE TESTING
      - ALL MANHOLES SHALL BE VACUUM TESTED WITH DISTRICT STAFF PRESENT PRIOR TO CCTV INSPECTION.
      - SEWER MAINS TO BE PRESSURE TESTED PRIOR TO CCTV INSPECTION
      - ALL LINES SHALL BE CCTV INSPECTED, AND VIDEO SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL
  - COMMENCEMENT OF USE OF SEWER LINES AND/OR SYSTEMS:
    - NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL THE COMPLETION OF ALL JET CLEANING, PRESSURE TESTING, VACUUM TESTING, CCTV INSPECTION, COMPACTION TESTING, AS-BUILT DRAWINGS, AND REVIEWS ARE COMPLETE AND APPROVED BY THE DISTRICT.
    - NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, ANY REQUIRED SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
    - ALL NECESSARY EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.

- H) DOWNSTREAM PLUG CAN BE REMOVED ONCE FIRST LIFT OF ASPHALT IS DOWN AND THE ABOVE REQUIREMENTS ARE MET.
27. PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY ELECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTOR'S COST.
28. FINAL ACCEPTANCE BY THE DISTRICT OF ANY LINE OR SYSTEM SHALL NOT OCCUR UNTIL COMPLETION OF FINAL ASPHALT LAYERS AND/OR FINAL COMPLETION AND/OR RESTORATION OF ALL SURFACE IMPROVEMENTS. THE WARRANTY PERIOD FOR ALL FACILITIES PRIOR TO FINAL ACCEPTANCE SHALL BE 12 MONTHS MINIMUM COMMENCING WHT PRELIMINARY ACCEPTANCE.
29. ACCEPTANCE:
  - THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK-THRU HAS OCCURRED.
  - A SECOND ACCEPTANCE MAY OCCUR ONCE FIRST LIFT OF ASPHALT GOES DOWN, AND A SECOND WALK OF THE SYSTEM MAY OCCUR IF ALL FACILITIES ARE CLEAN/ACCESSIBLE. A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).
30. ALL SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE WOODMEN HILLS METROPOLITAN DISTRICT.
31. INSPECTION FEES: CALL THE DISTRICT FOR THEIR FEE SCHEDULE.
32. AN EIGHT INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO THE COMMERCIAL/BUSINESS DEVELOPMENTS; A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARBONITE MARKER ALONG WITH TRACER WIRE.
33. AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES, AND/OR SERVICES, CONSTRUCTION MUST BE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.
34. WOODMEN HILLS METROPOLITAN DISTRICT CONTACT NUMBER: 719-495-2500

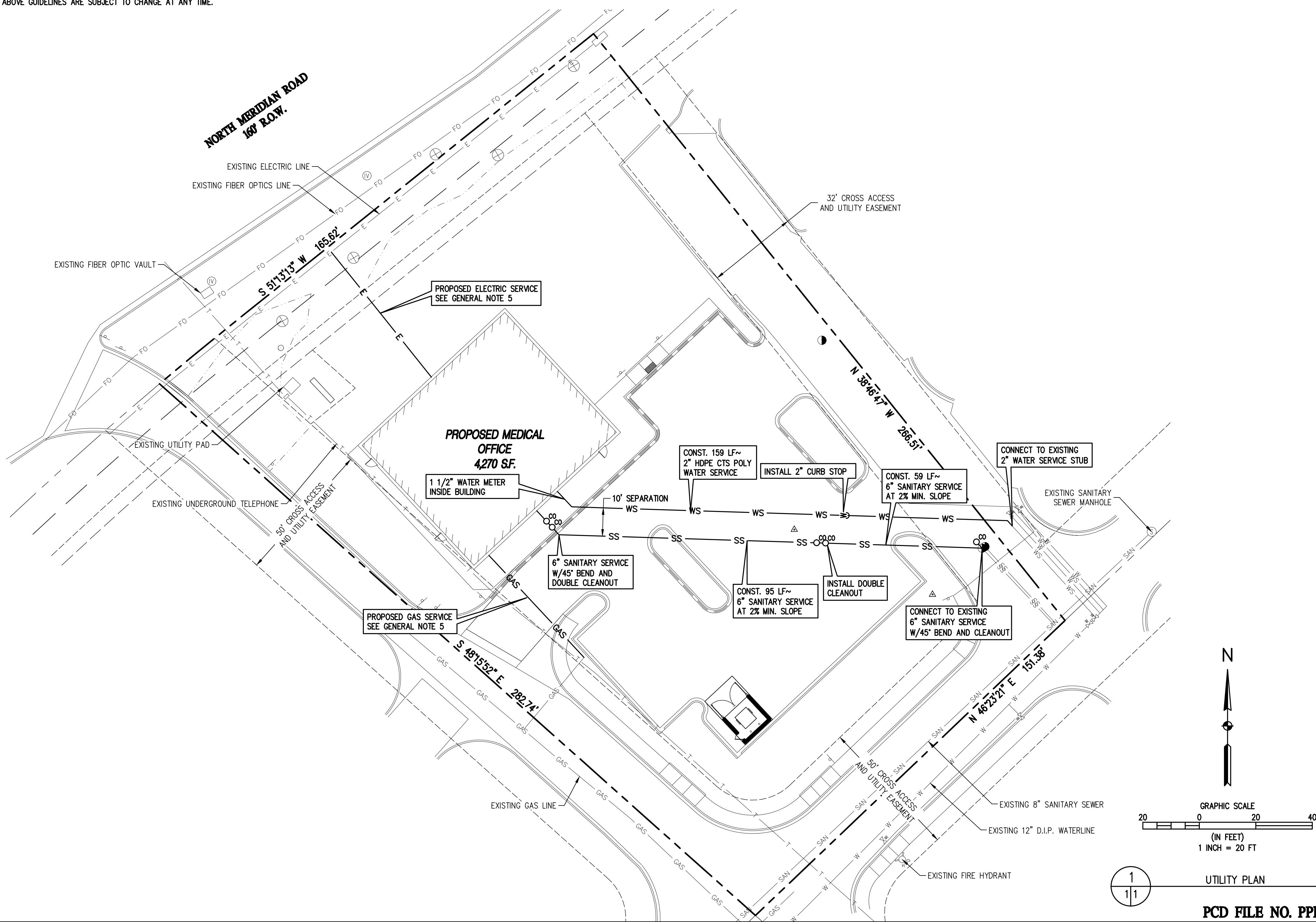
THE ABOVE GUIDELINES ARE SUBJECT TO CHANGE AT ANY TIME.

**GENERAL NOTES:**

- ALL SIDEWALK SHALL HAVE A 2% MAXIMUM CROSS SLOPE.
- CONTRACTOR TO MATCH GRADE AT PROPERTY LINE LIMITS.
- THE MAXIMUM SLOPES FOR ADA STALLS SHALL BE A 2.0% IN ALL DIRECTIONS
- ALL CURB & GUTTER SHALL BE 6" UNLESS OTHERWISE NOTED.
- LOCATIONS OF UTILITY SERVICES ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND COORDINATE INSTALLATION WITH LOCAL UTILITY CONSULTANT.

**LEGEND**

EXISTING LINETYPES	PROPOSED LINETYPES	EXISTING SYMBOLS	PROPOSED SYMBOLS
81	81	(Symbol)	FIRE HYDRANT
		(Symbol)	WATER VALVE
		(Symbol)	SANITARY MANHOLE
		(Symbol)	DECIDUOUS TREE
		(Symbol)	SIGN
		(Symbol)	ADA PARKING STALL
		(Symbol)	DEAD TREE
		(Symbol)	IRRIGATION VALVE
		(Symbol)	CLEANOUT
SAN	SAN	(Symbol)	SANITARY SEWER MAIN
W	W	(Symbol)	WATER LINE
FO	FO	(Symbol)	FIBER OPTIC
E	E	(Symbol)	UNDERGROUND ELECTRIC
T	T	(Symbol)	UNDERGROUND TELEPHONE
GAS	GAS	(Symbol)	GASLINE
		(Symbol)	EDGE OF BUILDING
WS	WS	(Symbol)	WATER SERVICE
SS	SS	(Symbol)	SANITARY SEWER SERVICE



**BASELINE**  
Engineering - Planning - Surveying  
172 N. RIBBEY DRIVE, SUITE 270 • GOLDEN, COLORADO 80403  
P. 303.940.9666 • F. 303.940.9669 • www.baselinecorp.com

DESIGNED BY	LDS	DATE	4/7/2022
PREPARED BY	LDS	REVISION DESCRIPTION	ADDED COMMENTS
DRAWN BY	JDD	EL PASO COUNTY	LOT 2, MERIDIAN CROSSING FILING 1
CHECKED BY	MRB	FALCON, COLORADO	7225 N. MERIDIAN ROAD
			UTILITY PLAN

PREPARED UNDER THE DIRECT SUPERVISION OF

**WGM FALCON**

FOR AND ON BEHALF OF  
BASELINE CORPORATION  
NO. 10001 NE MEADOWS  
39820  
PROFESSIONAL ENGINEER

INITIAL SUBMITTAL 8/25/2021  
DRAWING SIZE 24" X 36"  
SURVEY FIRM SURVEY DATE  
BEC 4/08/2021  
JOB NO. C035036  
DRAWING NAME 303X UTIL PLAN.dwg  
SHEET 5 OF 1

PCD FILE NO. PPR-21-045

C5

N:\c035036\303X - WGM Falcon\Drawings\Planning Documents\303X\35036 UTIL PLAN.dwg - 4/7/2022 1:15:18 PM, Luke Seebler