

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

COLORADO SPRINGS AIRPORT FILING NO. 1D - BUILDING #1

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

## NOTES

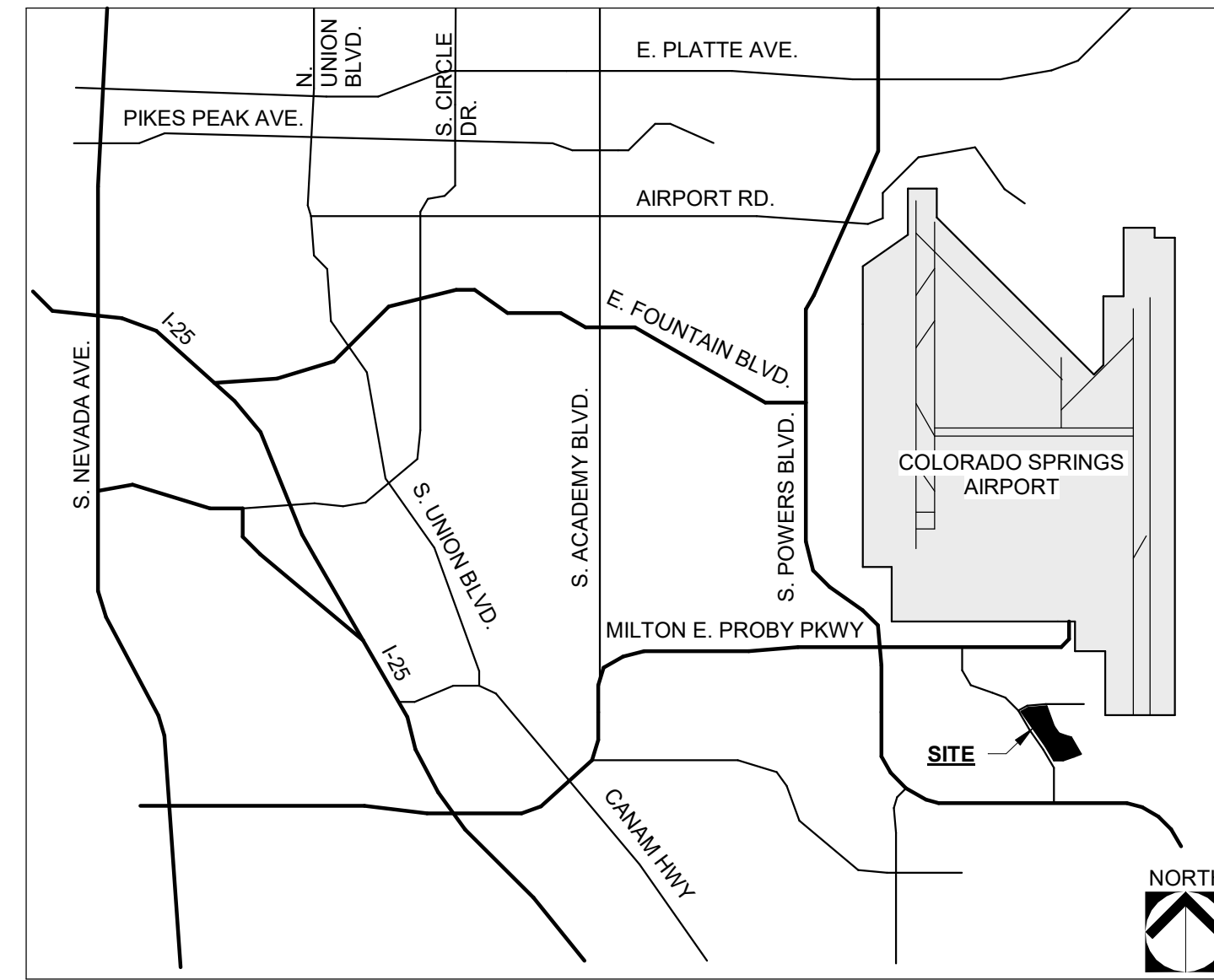
- PER FEMA FLOOD INSURANCE RATE MAP (FIRM) NO. 08041C0764G, DATED DECEMBER 7TH, 2018, THIS PARCEL IS LOCATED IN ZONE X. AREA DETERMINED TO BE AN AREA OF MINIMAL FLOOD HAZARD OUTSIDE OF THE 100-YEAR FLOOD PLAIN.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATIONS.
- ALL PRIVATE TRAFFIC SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD GUIDELINES AND INSTALLED BY THE DEVELOPER.
- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE LEASING DEVELOPER.
- ALL EXISTING CURB, GUTTER, SIDEWALK AND PEDESTRIAN RAMPS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PEAK INNOVATION PARKWAY AND EMBRAER HEIGHTS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- DEVELOPERS, REALTORS AND PRESCRIPTIVE PURCHASERS - THIS PROPERTY MAY BE IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATING INTO AND OUT OF THE COLORADO SPRINGS MUNICIPAL AIRPORT. THE BUYER SHOULD FAMILIARIZE HIM/HERSELF WITH THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.
- SUBMITTAL OF FAA FORM 7460-1 IS REQUIRED FOR CRANE USAGE AND ALL VERTICAL DEVELOPMENT ON PROPERTY WITHIN THIS PLAT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE WITHIN THE PROPERTY AND AS NOTED ON THE LANDSCAPE PLANS SHALL BE THE RESPONSIBILITY OF THE LEASING DEVELOPER, AND/OR THEIR ASSIGNS.
- PEAK METROPOLITAN DISTRICT NO. 2 WILL BE RESPONSIBLE FOR LANDSCAPE, IRRIGATION AND SIDEWALK MAINTENANCE ALONG EMBRAER HEIGHTS AND PEAK INNOVATION PARKWAY FROM BACK OF CURB TO BACK OF SIDEWALK UPON EXPIRATION OF THE 2 YEAR WARRANTY AND ACCEPTANCE BY THE CITY OF COLORADO SPRING AND DISTRICT.
- PLANS ARE SUBJECT TO ARCHITECTURAL CONTROL COMMITTEE (ACC) APPROVAL AND DECLARATION OF DESIGN COVENANTS, CONDITIONS AND RESTRICTIONS FOR PEAK INNOVATION PARK RECORDED 1/27/20 UNDER RECEPTION NO. 220011348.
- "AIRPORT ROADWAY" SHALL BE FOR USE AS PEDESTRIAN AND VEHICULAR ACCESS FOR THE PURPOSE OF INGRESS AND EGRESS FOR LAND OWNERS, TENANTS, AND THE PUBLIC ACCESSING THE COLORADO SPRINGS AIRPORT PROPERTY AS DEPICTED IN THIS CONCEPT PLAN. THE CITY OF COLORADO SPRINGS, COLORADO, A HOME RULE CITY AND COLORADO MUNICIPAL CORPORATION, BY AND THROUGH ITS ENTERPRISE, THE COLORADO SPRINGS MUNICIPAL AIRPORT SHALL RETAIN ALL RIGHTS, TITLE, AND INTEREST IN ALL "AIRPORT ROADWAYS". NOTHING HEREIN SHALL BE CONSTRUED AS A DEDICATION OF A PUBLIC RIGHT OF WAY OR PUBLIC ROADWAY WHICH DIVESTS THE COLORADO SPRINGS MUNICIPAL AIRPORT OF ITS PROPRIETARY RIGHTS, TITLE, INTEREST, OR CONTROL, IN VIOLATION OF FEDERAL, STATE, OR LOCAL LAW.
- PROPOSED PUBLIC IMPROVEMENT CORRIDORS (PIC) AS DESIGNATED ON THIS DEVELOPMENT PLAN, ARE CORRIDORS WITHIN THE BOUNDARIES OF THE AIRPORT AS MAY BE SET FORTH ON THE CITY OF COLORADO SPRINGS MUNICIPAL AIRPORT MASTER PLAN, AIRPORT EXHIBIT "A" PROPERTY MAP, AS AMENDED ("AIRPORT EXHIBIT A"), OR MAY BE PROVIDED FOR PURSUANT TO AGREEMENTS BETWEEN THE AIRPORT AND OTHER CITY ENTERPRISES AND DEPARTMENTS FOR THE PURPOSE OF PUBLIC IMPROVEMENTS, AS DEFINED BY CITY CODE SECTION 7.7.108. NOTHING HEREIN SHALL BE CONSTRUED AS A DEDICATION OF A PUBLIC RIGHT OF WAY WHICH DIVESTS THE COLORADO SPRINGS MUNICIPAL AIRPORT OF ITS PROPRIETARY RIGHTS, TITLE, INTEREST, OR CONTROL IN VIOLATION OF FEDERAL, STATE, OR LOCAL LAW.
- THE LANDSCAPE AND IRRIGATION IMPROVEMENTS BETWEEN THE EXISTING CURB AND SIDEWALKS ALONG EMBRAER HEIGHTS AND PEAK INNOVATION PARKWAY WITHIN THE ROADWAY PIC, SHALL BE DESIGNED AND CONSTRUCTED BY THE LEASING DEVELOPER AND APPROVED BY THE CITY STAFF AND PEAK ARCHITECTURAL CONTROL COMMITTEE PRIOR TO CONSTRUCTION OF THOSE IMPROVEMENTS.

## AIRPORT OVERLAY: AVIGATION NOTES:

- AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE "COLORADO SPRINGS AIRPORT FILING NO. 1D" SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069867 OF THE RECORDS OF EL PASO COUNTY, COLORADO.
- THIS PROPERTY MAY BE IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATING INTO AND OUT OF THE COLORADO SPRINGS MUNICIPAL AIRPORT. THE BUYER SHOULD FAMILIARIZE HIMSELF/HERSELF WITH THE POTENTIALITY AND THE RAMIFICATIONS THEREOF.

## PROJECT TEAM

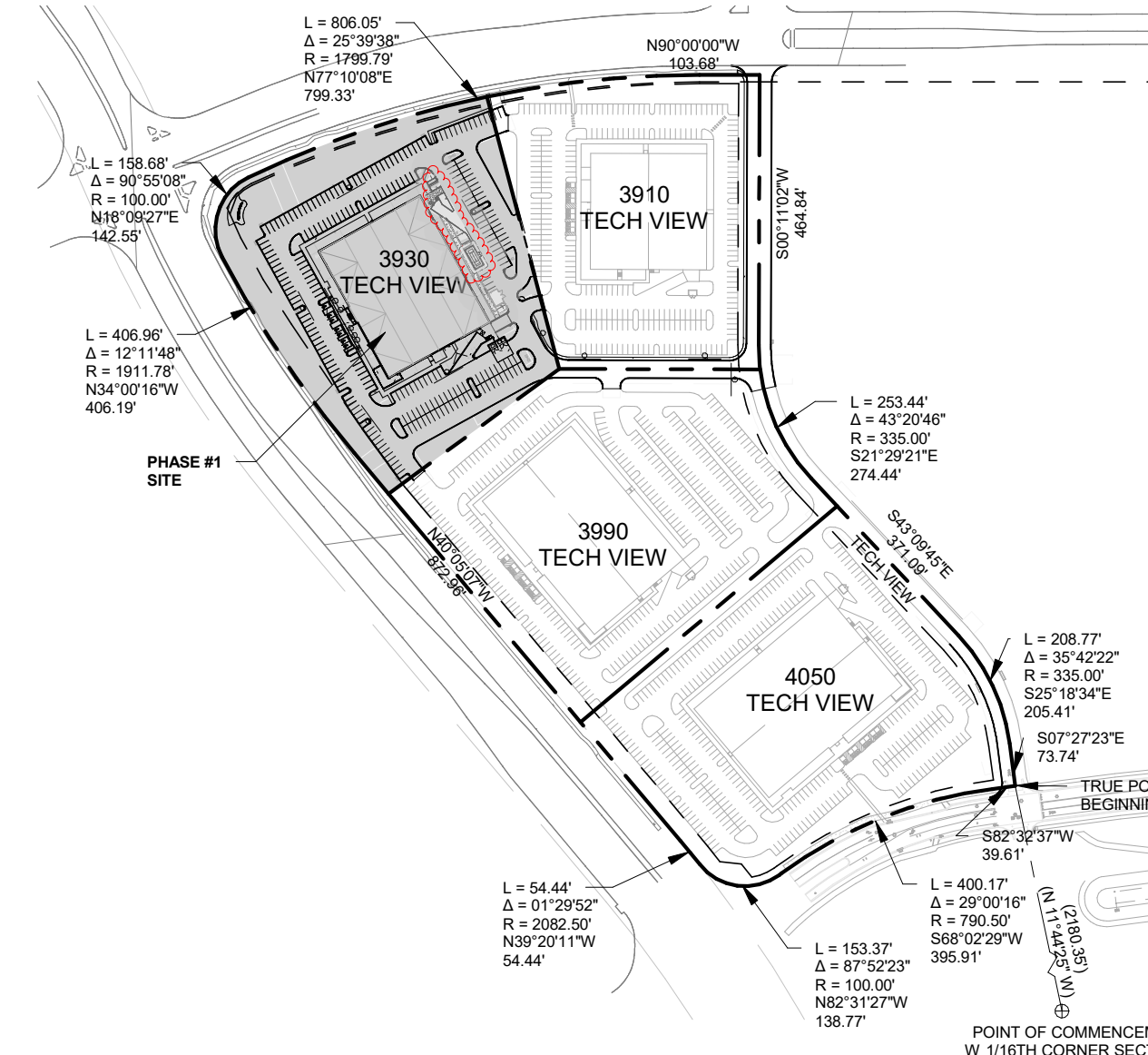
<b>OWNER:</b> COLORADO SPRINGS AIRPORT 7770 MILTON E. PROBY PKWY, SUITE 50 COLORADO SPRINGS, CO TEL: (719) 550-1967 TROY STOVER	<b>CONTRACTOR:</b> ALCORN CONSTRUCTION INC. 12081 W. ALAMEDA PKWY., SUITE 510 DENVER, CO TEL: (303) 986-7900 CHRIS ALCORN	<b>ELECTRICAL ENGINEER:</b> MEP ENGINEERS 6402 S. TROY CIRCLE, SUITE 100 CENTENNIAL, CO 80111 TEL: (303) 936-1633 TRAVIS MIDDLEBROOKS
<b>LEASING DEVELOPER:</b> FLYWHEEL CAPITAL 2828 SPEER BLVD., SUITE 220 DENVER, CO 80211 TEL: (303) 455-4475 BEN HROUDA	<b>CIVIL ENGINEER:</b> CLASSIC CONSULTING ENGINEERS 619 N. CASCADE AVE., SUITE 200 COLORADO SPRINGS, CO 80903 TEL: (719) 785-0790 KYLE CAMPBELL	
<b>ARCHITECT:</b> INTERGROUP ARCHITECTS 2000 W. LITTLETON BLVD LITTLETON, CO 80120 TEL: (303) 738-8877 BILL SMITH CODY WILSON	<b>LANDSCAPE ARCHITECT:</b> STACKLOT 5639 S. CURTIS ST. LITTLETON, CO 80120 TEL: (303) 808-4523 STEVE WIENS	



## VICINITY MAP

SCALE: 1" = 2000'-0"

<b>SITE DATA:</b>	
TAX SCHEDULE NUMBER:	TSN - 5500000430
ADDRESS:	
DEVELOPMENT SCHEDULE:	SPRING 2021
<b>DEVELOPMENT HISTORY:</b>	
- CONCEPT PLAN:	AR CP 18-00709-A3MJ20
ADDRESS:	3930 TECH VIEW, COLORADO SPRINGS, CO 80916



## KEY SITE PLAN

SCALE: 1" = 300'-0"

### PLAN LIST

COVER SHEET	SHEET 1 OF 16
SITE PLAN	SHEET 2 OF 16
GRADING PLAN	SHEET 3 OF 16
GRADING PLAN	SHEET 4 OF 16
UTILITY PLAN	SHEET 5 OF 16
UTILITY PLAN	SHEET 6 OF 16
FINAL LANDSCAPE PLAN 'A'	SHEET 7 OF 16
FINAL LANDSCAPE PLAN 'B'	SHEET 8 OF 16
LANDSCAPE DATA CHARTS	SHEET 9 OF 16
PLANT MATERIAL SCHEDULE	SHEET 10 OF 16
LANDSCAPE DETAILS	SHEET 11 OF 16
EXTERIOR ELEVATIONS	SHEET 12 OF 16
EXTERIOR ELEVATIONS	SHEET 13 OF 16
PHOTOMETRIC SITE PLAN	SHEET 14 OF 16
PHOTOMETRIC SCHEDULE	SHEET 15 OF 16
SITE DETAILS	SHEET 16 OF 16

DEVELOPMENT STANDARDS	REQUIRED	PROPOSED
ZONING	AIRPORT PLANNED DEVELOPMENT, RUNWAY PROTECTION ZONE, AIRPORT OVERLAY & ACCIDENT POTENTIAL ZONE (APD RPZ AO APZ1)	AIRPORT PLANNED DEVELOPMENT, RUNWAY PROTECTION ZONE, AIRPORT OVERLAY & ACCIDENT POTENTIAL ZONE (APD RPZ AO APZ1)
PARCEL AREA AND LOT WIDTH	MINIMUM LOT AREA = NO MINIMUM	TOTAL LOT AREA = 22.9 AC. (1,000,431 S.F.) TOTAL PHASE I LOT AREA = 5.79 AC. (25,221.4 S.F.) STREET FRONTAGE (PHASE I) ALONG EMBRAER HEIGHTS AND PEAK INNOVATION PKWY = 1085'
PERMITTED USES	GENERAL OFFICE	GENERAL OFFICE
BUILDING MAX HEIGHT	COMPLY WITH CFR 14 PART 77 AND APPROVED BY DIRECTOR OF AVIATION	26.5 FT.
MINIMUM BUILDING SETBACKS	FRONT SETBACK (PRINCIPAL ARTERIAL): 25 FT. SIDE SETBACK: 20 FT. REAR SETBACK: 20 FT.	ACTUAL FRONT YARD SETBACK: 86 FT. ACTUAL INTERIOR SIDE SETBACK: 135 FT. ACTUAL STREET SIDE SETBACK: 136 FT. ACTUAL REAR EAST SETBACK: 94 FT.
MINIMUM LANDSCAPE/SURFACE PARKING SETBACKS	FRONT SETBACK (PRINCIPAL ARTERIAL): 25 FT. FRONT SETBACK (MINOR ARTERIAL): 20 FT. SIDE SETBACK: 0 FT. REAR SETBACK: 0 FT.	ACTUAL FRONT YARD SETBACK: 30 FT. ACTUAL INTERIOR SIDE SETBACK: 0 FT. ACTUAL STREET SIDE SETBACK: 20 FT. ACTUAL REAR EAST SETBACK: 0 FT.
PARKING RATIOS	GENERAL OFFICE (ADMINISTRATIVE, BUSINESS OR PROFESSIONAL) = 1 SPACE / 400 S.F. = 50,193 S.F. / 400 S.F. = 126 SPACES TOTAL SPACES REQUIRED = 126 SPACES	274 TOTAL PARKING SPACES PROVIDED
ADA PARKING	7 ADA PARKING SPACES (INCLUDING (2) VAN ACCESSIBLE SPACES)	7 ADA PARKING SPACES PROVIDED (INCLUDING (2) VAN ACCESSIBLE SPACES)
BICYCLE PARKING	N/A	8 SPACES PROVIDED - (4) BIKE RACKS
LIGHTING - MAX POLE HEIGHT	1 - 2 STORIES = 25' MAX POLE HEIGHT	1 STORY = 25' MAX POLE HEIGHT
LANDSCAPE SURFACE RATIO	20% MIN. OPENSOURCE REQUIREMENT	87,886 S.F. (34.9%) PROVIDED
BUILDING COVERAGE - PHASE I	80% MAX. LOT COVERAGE	50,083 S.F. (19.9%) PROVIDED

## LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D, A SUBDIVISION PLAT RECORDED UNDER RECEPTION NUMBER 219714312 OF THE RECORDS OF EL PASO COUNTY, COLORADO AND THE WEST 1/2 OF SECTION 5 AND THE EAST 1/2 OF SECTION 6, ALL IN TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING (POC) AT THE WEST 1/16 CORNER OF SAID SECTION 5 (FROM WHICH THE SOUTHWEST CORNER BEARS N89°54'25"W - BASIS OF BEARING), THENCE N11°44'25"W, 2180.35 FEET TO THE TRUE POINT OF BEGINNING:

THENCE S82°32'37"W, 39.61 FEET TO A POINT OF CURVE TO THE LEFT;

THENCE WESTERLY, 400.17 FEET ALONG THE ARC OF SAID CURVE TO A POINT OF REVERSE CURVE, SAID ARC HAVING A RADIUS OF 790.50 FEET, A CENTRAL ANGLE OF 29°00'16" AND BEING SUBTENDED BY A CHORD THAT BEARS S68°02'29", 395.91 FEET;

THENCE WESTERLY, 153.37 FEET ALONG THE ARC OF SAID REVERSE CURVE TO A POINT OF ANOTHER REVERSE CURVE AND A POINT BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF PEAK INNOVATION PARKWAY (PLATTED AS CRESTERRA PARKWAY) OF SAID COLORADO SPRINGS AIRPORT FILING 1D, SAID ARC HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 87°52'23" AND BEING SUBTENDED BY A CHORD THAT BEARS N82°31'27"W, 138.77 FEET;

THENCE NORTHWESTERLY, 54.44 FEET ALONG THE ARC OF SAID REVERSE CURVE AND SAID EASTERLY RIGHT-OF-WAY LINE TO A POINT OF COMPOUND CURVE, SAID ARC HAVING A RADIUS OF 1911.78 FEET, A CENTRAL ANGLE OF 01°29'52" AND BEING SUBTENDED BY A CHORD THAT BEARS N39°20'11"W, 54.44 FEET;

THENCE N40°05'07"W, 872.96 FEET ALONG SAID EASTERLY RIGHT-OF-WAY LINE TO A POINT OF CURVE TO THE RIGHT;

THENCE NORTHERLY, 406.96 FEET ALONG THE ARC OF SAID CURVE AND SAID EASTERLY RIGHT-OF-WAY LINE TO A POINT OF COMPOUND CURVE, SAID ARC HAVING A RADIUS OF 1911.78 FEET, A CENTRAL ANGLE OF 12°11'48" AND BEING SUBTENDED BY A CHORD THAT BEARS N34°00'16"W, 406.19 FEET;

THENCE NORTHEASTERLY, 158.88 FEET ALONG THE ARC OF SAID COMPOUND CURVE TO A POINT OF ANOTHER COMPOUND CURVE, SAID ARC HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 90°55'08" AND BEING SUBTENDED BY A CHORD THAT BEARS N18°09'27"E, 142.55 FEET;

THENCE EASTERLY, 806.05 FEET ALONG THE ARC OF SAID COMPOUND CURVE TO A POINT TANGENT, SAID ARC HAVING A RADIUS OF 1799.79 FEET, A CENTRAL ANGLE OF 25°39'38" AND BEING SUBTENDED BY A CHORD THAT BEARS N77°10'08"W, 799.33 FEET;

THENCE N90°00'00"E, 103.68 FEET;

THENCE S00°11'02"W, 464.84 FEET TO A POINT OF CURVE TO THE LEFT;

THENCE SOUTHERLY, 253.44 FEET ALONG THE ARC OF SAID CURVE TO A POINT TANGENT, SAID ARC HAVING A RADIUS OF 335.00 FEET, A CENTRAL ANGLE OF 43°20'46" AND BEING SUBTENDED BY A CHORD THAT BEARS S21°29'21"E, 247.44 FEET;

THENCE S43°09'45"E, 371.09 FEET TO A POINT OF CURVE TO THE RIGHT;

THENCE SOUTHERLY, 208.77 FEET ALONG THE ARC OF SAID CURVE TO A POINT TANGENT, SAID ARC HAVING A RADIUS OF 335.00 FEET, A CENTRAL ANGLE OF 35°42'22" AND BEING SUBTENDED BY A CHORD THAT BEARS S25°18'34"E, 205.41 FEET;

THENCE S07°27'23"E, 73.74 FEET TO THE TRUE POINT OF BEGINNING.

AREA = 22.9 ACRES (1,000,431 SQ. FT.) MORE OR LESS.

## LEGAL DESCRIPTION: FLYWHEEL OFFICE PARCEL PHASE 1

A PARCEL OF LAND BEING A PORTION OF LOT 7, AS PLATTED IN COLORADO SPRINGS AIRPORT FILING NO. 1D, RECORDED UNDER RECEPTION NO. 219714312 RECORDS OF EL PASO COUNTY, COLORADO, IN THE EAST HALF OF SECTION 6 AND THE WEST HALF OF SECTION 5, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 15 SOUTH, RANGE 65 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MONUMENTED AT THE WEST END AT THE SOUTHWEST CORNER OF SECTION 5, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN BY A 3-1/4 INCH ALUMINUM SURVEYORS CAP "LS 11997" WITH APPROPRIATE MARKINGS AND AT THE EAST END AT THE WEST 1/16TH CORNER OF SECTION 5, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN BY A 2-1/2 INCH ALUMINUM SURVEYORS CAP "PLS 32822" WITH APPROPRIATE MARKINGS, IS ASSUMED TO BEAR N89°54'25"W, A DISTANCE OF 1339.06 FEET.

COMMENCING AT THE WEST 1/16TH CORNER OF SECTION 5, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF POWERS BOULEVARD.

THENCE N30°00'56"W, A DISTANCE OF 3046.28 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF PEAK INNOVATION PARKWAY PLATTED AS CRESTERRA PARKWAY IN COLORADO SPRINGS AIRPORT FILING NO. 1D RECORDED UNDER RECEPTION NO. 219714312 RECORDS OF EL PASO COUNTY, COLORADO, SAID POINT BEING THE POINT OF BEGINNING.

THENCE ON THE EASTERLY RIGHT OF WAY LINE OF SAID PEAK INNOVATION PARKWAY THE FOLLOWING TWO (2) COURSES:

- N40°05'07"W, A DISTANCE OF 93.92 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 12°07'36", A RADIUS OF 1917.50 FEET AND A DISTANCE OF 408.84 FEET TO A POINT OF COMPOUND CURVE;

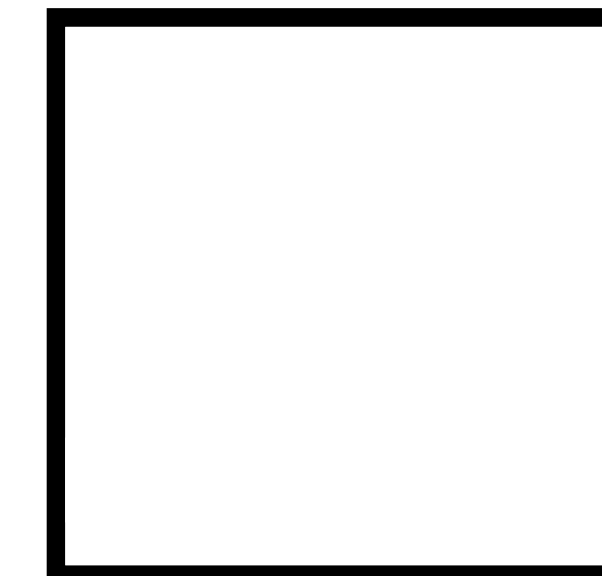
THENCE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 92°20'38", A RADIUS OF 100.00 FEET, AND A DISTANCE OF 161.17 FEET TO A POINT OF COMPOUND CURVE;

THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 13°52'54", A RADIUS OF 1800.00 FEET AND A DISTANCE OF 438.10 FEET TO A POINT OF TANGENT;

THENCE S14°53'45"E, A DISTANCE OF 484.95 FEET;

THENCE S53°51'25"W, A DISTANCE OF 365.02 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 5.791 ACRES.



AR DP 20-00865

REVISIONS	DATE	DESCRIPTION
	02-25-2021	2ND SUBMITTAL
	04-02-2021	3RD SUBMITTAL

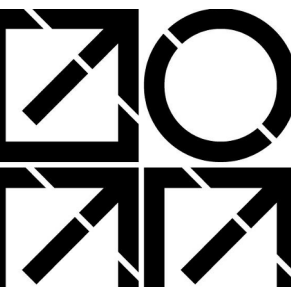
DRAWN: CBW

CHECKED: BS

DESIGNED: KS

FILENAME: BS - 10990

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS  
COVER SHEET



INTERGROUP ARCHITECTS

architecture  
planning  
interiors  
2000 West Littleton Blvd  
Littleton, Colorado 80120  
P. 303.738.8877 F. 303.738.2294  
www.igarch.com

JOB NO. BS - 10990

SCALE AS SHOWN

DATE 12/16/2020

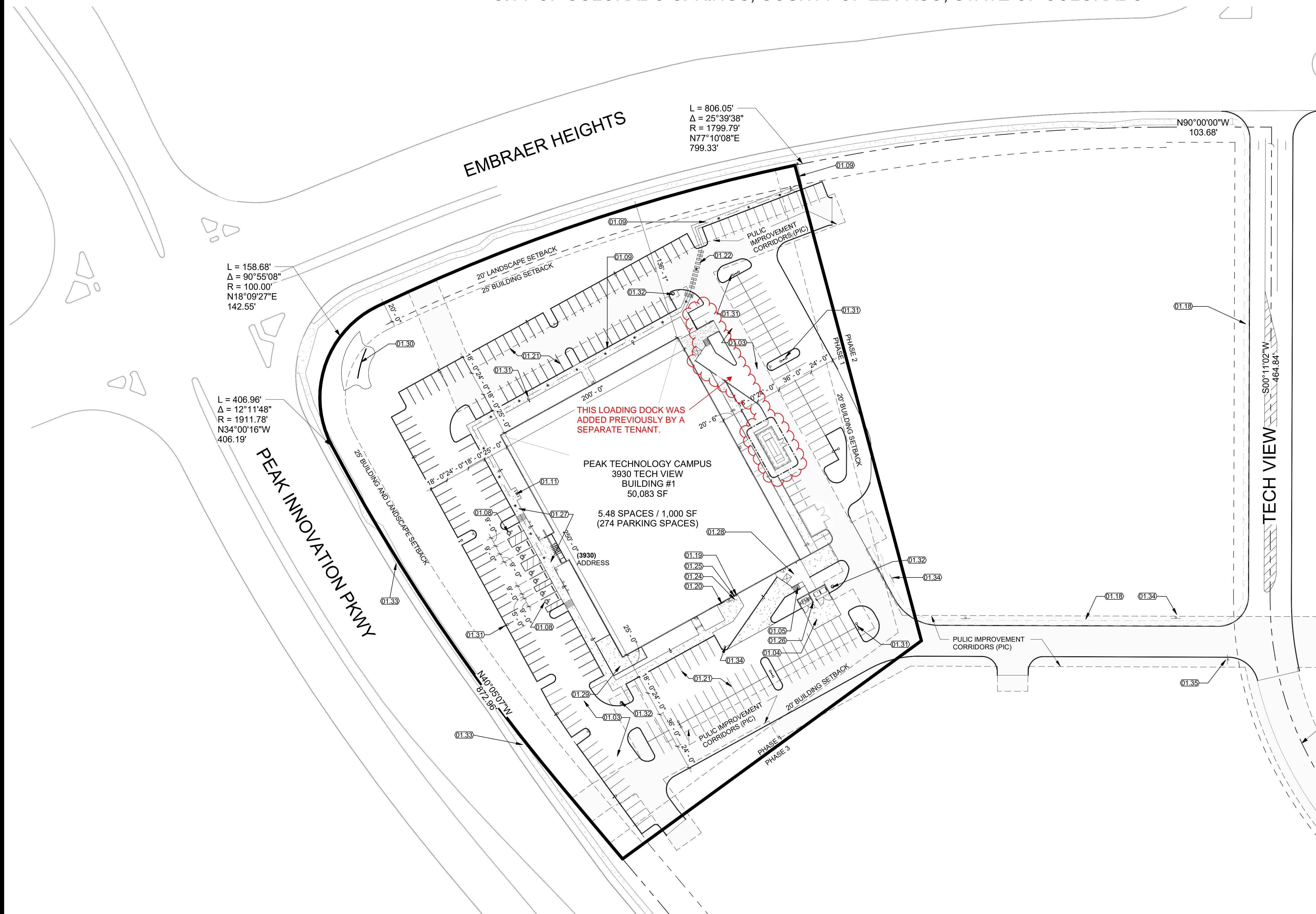
SHEETS 16

SHEET 1

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

COLORADO SPRINGS AIRPORT FILING NO. 1D - BUILDING #1

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



PARKING CALCULATIONS:		
OFF-STREET PARKING REQUIRED:		
1 SPACE / 1000 SF (5,270 SF OF WAREHOUSE)	=	6 SPACES
1 SPACE / LOADING BAY	=	2 SPACES
1 SPACE / 400 SF (44,923 SF OF OFFICE)	=	113 SPACES
TOTAL REQUIRED	=	121 SPACES
OFF-STREET A.D.A. PARKING REQUIRED	=	7 SPACES
BICYCLE PARKING REQUIRED	=	N/A
OFF-STREET PARKING PROVIDED	=	258 SPACES
A.D.A. PARKING PROVIDED	=	8 SPACES
TOTAL PROVIDED	=	266 SPACES
BICYCLE PARKING PROVIDED	=	8 SPACES

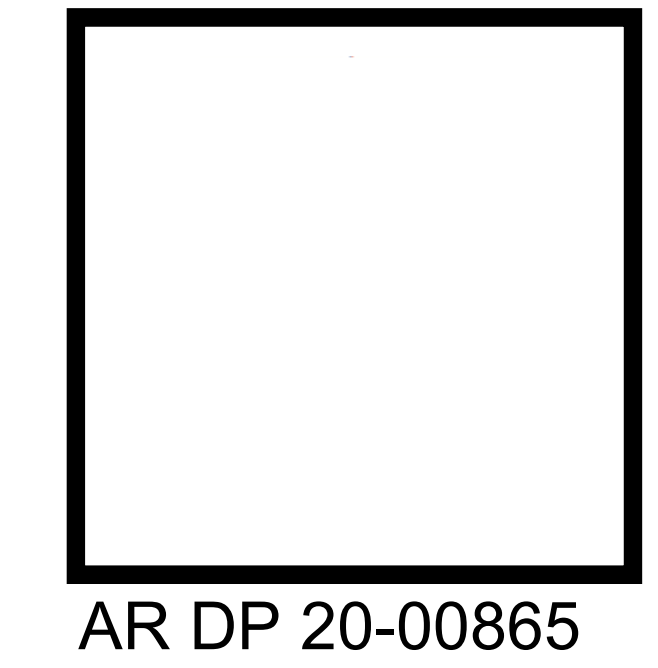
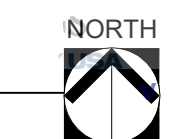
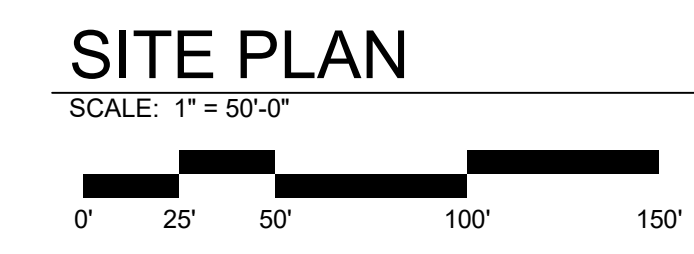
- KEYNOTES:**
- 01.03 6" FULL DEPTH ASPHALT PAVING FOR TRUCK AND EMERGENCY VEHICLE TRAFFIC. PROVIDE 5" FULL DEPTH ASPHALT PAVING AT PARKING AREAS. SEE SOILS REPORT & CIVIL DRAWINGS.
  - 01.04 8" REINFORCED CONCRETE PAVING AT TRASH ENCLOSURE AND LOADING DOCKS - BROOM FINISH.
  - 01.05 REINFORCED CONC. STAIRCASE. PROVIDE 1 1/2"Ø x 36" H. STEEL HANDRAIL ON EA. SIDE. SEE DETAIL 9/ SHEET 16.
  - 01.08 VAN ACCESSIBLE H.C. PARKING SPACES = 12'-0" x 18'-0" WITH 5'-0" AISLE. PROVIDE CURB RAMP AND STANDARD H.C. PARKING SIGN WITH "VAN ACCESSIBLE" PLACARD BELOW. SEE DETAIL 1/ SHEET 16.
  - 01.09 ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO ENTRY.  
(4) BIKE RACKS. SEE DETAIL 4/ SHEET 16.
  - 01.11 FUTURE SIDEWALK TO BE BUILT WITH PHASE II.
  - 01.19 GAS METER LOCATION. SEE CIVIL DWGS.
  - 01.20 ELECTRICAL METER & CT CABINET LOCATIONS.
  - 01.21 PAINTED WHITE LINES, 4" WIDE, TYP. STANDARD PARKING SPACES ARE 9'-0"W x 18'-0"D.
  - 01.22 PEDESTRIAN CROSSWALK STRIPING. SEE DETAIL 8/ SHEET 16.
  - 01.24 FIRE DEPARTMENT CONNECTION (FDC). VERIFY WITH LOCAL FIRE AUTHORITY ON EXACT LOCATION PRIOR TO INSTALLATION.
  - 01.25 KNOX BOX. VERIFY WITH LOCAL FIRE AUTHORITY ON EXACT LOCATION AND APPROVED MODEL PRIOR TO INSTALLATION.
  - 01.26 SITE CAST TILT-UP CONC. TRASH AND TRANSFORMER ENCLOSURE WITH METAL ACCESS GATES. PROVIDE 8" REINFORCED CONCRETE SLAB FOR HEAVY TRUCK TRAFFIC. SEE SOILS REPORT AND CIVIL DWGS. SEE DETAIL 10/ SHEET 16.
  - 01.27 4" THICK REINFORCED CONCRETE SIDEWALK WITH 6x6 x 1.4x1.4 WWF. PROVIDE BROOM FINISH.
  - 01.28 CONCRETE LOADING DOCK.
  - 01.29 CONCRETE SLAB FOR PATIO.
  - 01.30 EXTERIOR LIT. SITE CAST CONC. MONUMENT SIGN FOR ENTIRE "PEAK TECHNOLOGY CAMPUS". SEE DETAIL 3/ SHEET 13.
  - 01.31 20'-0"H. LIGHT POLE WITH SHOE BOX / FULL CUT-OFF STYLE FIXTURE. PROVIDE 6" MAX CONC. BASE ABOVE GRADE AT LANDSCAPE AREAS. PROVIDE 2'-6" CONC. BASE ABOVE GRADE AT ASPHALT AREA.
  - 01.32 FIRE HYDRANT. SEE CIVIL DWGS.
  - 01.33 EXISTING SIDEWALK TO REMAIN.
  - 01.34 NO PARKING FIRE LANE SIGN. SEE DETAIL 3 SHEET 16.
  - 01.35 STOP SIGN. SEE CIVIL PLANS

L = 158.68'  
Δ = 90°55'08"  
R = 100.00'  
N18°09'27"E  
142.55'

L = 406.96'  
Δ = 12°11'48"  
R = 1911.78'  
N34°00'16"W  
406.19'

L = 806.05'  
Δ = 25°39'38"  
R = 1799.79'  
N77°10'08"E  
799.33'

L = 253.44'  
Δ = 43°20'46"  
R = 335.00'  
S21°29'21"E  
274.44'



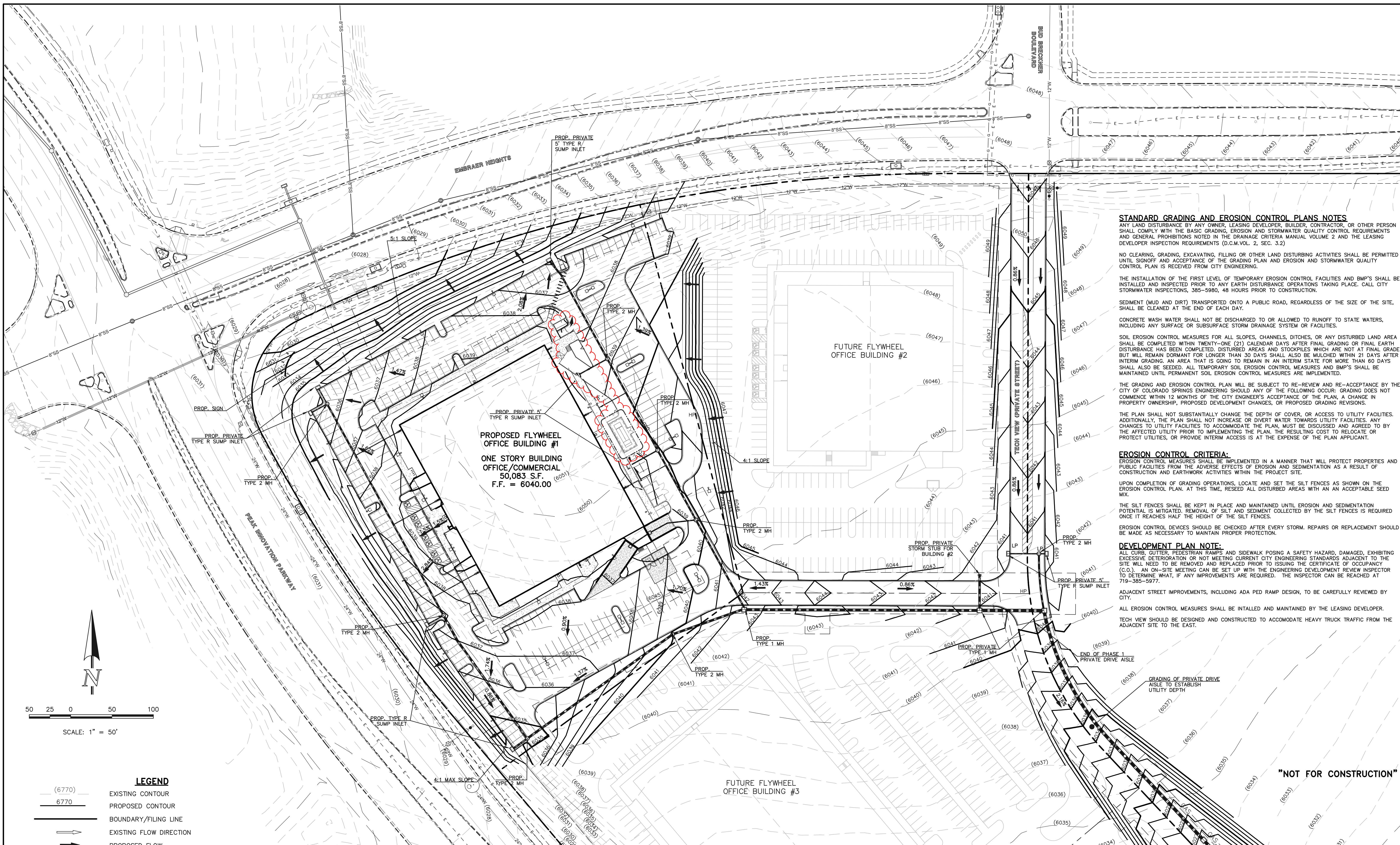
REVISIONS	DESCRIPTION
DATE	2ND SUBMITTAL
02-25-2021	04-02-2021
BY	

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10990

**DEVELOPMENT PLAN**  
**PEAK TECHNOLOGY CAMPUS**  
**SITE PLAN**



architecture	planning	interiors
2000 West Littleton Blvd Littleton, Colorado 80120 P. 303.758.8877 F. 303.758.2294 www.igarch.com		
JOB NO.	BS - 10990	
SCALE	AS SHOWN	
DATE	12/16/2020	
SHEETS	16	SHEET
		2



**STANDARD GRADING AND EROSION CONTROL PLANS NOTES**  
 ANY LAND DISTURBANCE BY ANY OWNER, LEASING DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION AND STORMWATER QUALITY CONTROL REQUIREMENTS AND GENERAL PROHIBITIONS NOTED IN THE DRAINAGE CRITERIA MANUAL VOLUME 2 AND THE LEASING DEVELOPER INSPECTION REQUIREMENTS (D.C.M.VOL. 2, SEC. 3.2)

NO CLEARING, GRADING, EXCAVATING, FILLING OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING PLAN AND EROSION AND STORMWATER QUALITY CONTROL PLAN IS RECEIVED FROM CITY ENGINEERING.

THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE. CALL CITY STORMWATER INSPECTIONS, 385-5980, 48 HOURS PRIOR TO CONSTRUCTION.

SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED AT THE END OF EACH DAY.

CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.

SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

THE GRADING AND EROSION CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF COLORADO SPRINGS ENGINEERING SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN 12 MONTHS OF THE CITY ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.

THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN, THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

**EROSION CONTROL CRITERIA:**  
 EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IN A MANNER THAT WILL PROTECT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.

UPON COMPLETION OF GRADING OPERATIONS, LOCATE AND SET THE SILT FENCES AS SHOWN ON THE EROSION CONTROL PLAN. AT THIS TIME, RESEED ALL DISTURBED AREAS WITH AN ACCEPTABLE SEED MIX.

THE SILT FENCES SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL EROSION AND SEDIMENTATION POTENTIAL IS MITIGATED. REMOVAL OF SILT AND SEDIMENT COLLECTED BY THE SILT FENCES IS REQUIRED ONCE IT REACHES HALF THE HEIGHT OF THE SILT FENCES.

EROSION CONTROL DEVICES SHOULD BE CHECKED AFTER EVERY STORM. REPAIRS OR REPLACEMENT SHOULD BE MADE AS NECESSARY TO MAINTAIN PROPER PROTECTION.

**DEVELOPMENT PLAN NOTE:**  
 ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.

ADJACENT STREET IMPROVEMENTS, INCLUDING ADA PED RAMP DESIGN, TO BE CAREFULLY REVIEWED BY CITY.

ALL EROSION CONTROL MEASURES SHALL BE INTALLED AND MAINTAINED BY THE LEASING DEVELOPER. TECH VIEW SHOULD BE DESIGNED AND CONSTRUCTED TO ACCOMODATE HEAVY TRUCK TRAFFIC FROM THE ADJACENT SITE TO THE EAST.

**SITE SPECIFIC NOTES:**  
 ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.  
 ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.  
 ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE PUBLIC IMPROVEMENT CORRIDOR SHALL MEET CURRENT CITY STANDARDS.  
 ALL PROPOSED STORM INFRASTRUCTURE WHICH IS LOCATED ON AIRPORT PROPERTY SHOULD BE PRIVATE, THE LEASING DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE, REPAIRS AND REPLACEMENTS OF ALL STORM DRAINAGE IMPROVEMENTS LOCATED WITHIN THE LEASED PREMISES UP TO, AND INCLUDING THE PROPOSED TYPE 1 MANHOLE LOCATED IN TECH VIEW. THE AIRPORT OR METRO DISTRICT WILL BE RESPONSIBLE FOR MAINTENANCE, REPAIRS AND REPLACEMENTS OF ALL STORM DRAINAGE IMPROVEMENTS FROM THE TYPE 1 MANHOLE DOWNSTREAM TO AND INCLUDING POND 700.  
 ALL TYPE R INLETS ALONG THE PERIMETER OF THE PROPERTY SHALL HAVE GRADE TO THE TOP ELEVATION OF THE INLET. NO CONCRETE ON THE SIDES OF THE INLETS SHALL BE VISIBLE.

- LEGEND**
- (6770) EXISTING CONTOUR
  - 6770 PROPOSED CONTOUR
  - BOUNDARY/FILING LINE
  - EXISTING FLOW DIRECTION
  - PROPOSED FLOW
  - EXISTING VEGETATION
  - PROPOSED INLET
  - PROPOSED STORM SEWER PIPE
  - HP PROPOSED HIGH POINT
  - LP PROPOSED LOW POINT

MATCH LINE (SEE SHEET 4)

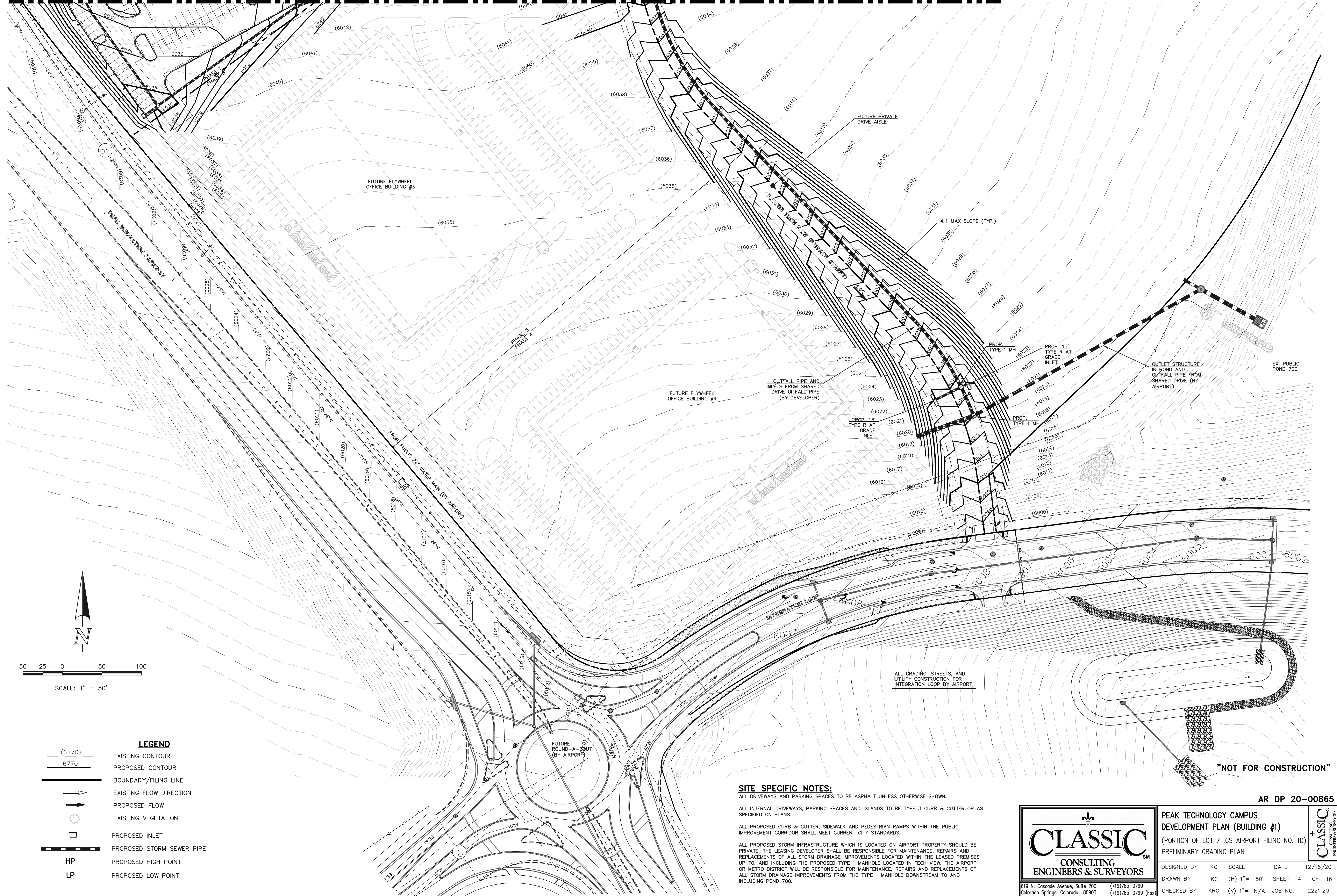
"NOT FOR CONSTRUCTION"

AR DP 20-00865

		<b>PEAK TECHNOLOGY CAMPUS</b> <b>DEVELOPMENT PLAN (BUILDING #1)</b> (PORTION OF LOT 7, CS AIRPORT FILING NO. 1D) PRELIMINARY GRADING PLAN		
		DESIGNED BY	KC	SCALE
DRAWN BY	KC	(H) 1" = 50'	SHEET	3 OF 16
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2221.20
619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719) 785-0790 (719) 785-0799 (Fax)		02/25/21 (2nd SUBMITTAL) - 04/02/21 (3rd SUBMITTAL) - 04/21/21 (4th SUBMITTAL)		

N:\222120\DRAWINGS\DEVELOPMENT\222120-PC-CR.dwg, 4/15/2021, 3:52:39 PM, 11

MATCH LINE (SEE SHEET ...)



50 25 0 50 100  
SCALE: 1" = 50'

- LEGEND**
- (6770) EXISTING CONTOUR
  - 6770 PROPOSED CONTOUR
  - BOUNDARY/FILING LINE
  - EXISTING FLOW DIRECTION
  - PROPOSED FLOW
  - EXISTING VEGETATION
  - PROPOSED INLET
  - PROPOSED STORM SEWER PIPE
  - HP PROPOSED HIGH POINT
  - LP PROPOSED LOW POINT

**SITE SPECIFIC NOTES:**

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.

ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS WITHIN THE PUBLIC IMPROVEMENT CORRIDOR SHALL MEET CURRENT CITY STANDARDS.

ALL PROPOSED STORM INFRASTRUCTURE WHICH IS LOCATED ON AIRPORT PROPERTY SHOULD BE PRIVATE, THE LEASING DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE, REPAIRS AND REPLACEMENTS OF ALL STORM DRAINAGE IMPROVEMENTS LOCATED WITHIN THE LEASED PREMISES UP TO, AND INCLUDING THE PROPOSED TYPE 1 MANHOLE LOCATED IN TECH VIEW, THE AIRPORT OR METRO DISTRICT WILL BE RESPONSIBLE FOR MAINTENANCE, REPAIRS AND REPLACEMENTS OF ALL STORM DRAINAGE IMPROVEMENTS FROM THE TYPE 1 MANHOLE DOWNSTREAM TO AND INCLUDING POND 700.

ALL GRADING, STREETS, AND UTILITY CONSTRUCTION FOR INTEGRATION LOOP BY AIRPORT

"NOT FOR CONSTRUCTION"

AR DP 20-00865

**CLASSIC**  
CONSULTING ENGINEERS & SURVEYORS

**PEAK TECHNOLOGY CAMPUS DEVELOPMENT PLAN (BUILDING #1)**  
(PORTION OF LOT 7, CS AIRPORT FILING NO. 1D)  
PRELIMINARY GRADING PLAN

DESIGNED BY	KC	SCALE	DATE	12/16/20
DRAWN BY	KC	(H) 1" = 50'	SHEET	4 OF 16
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2221.20

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903

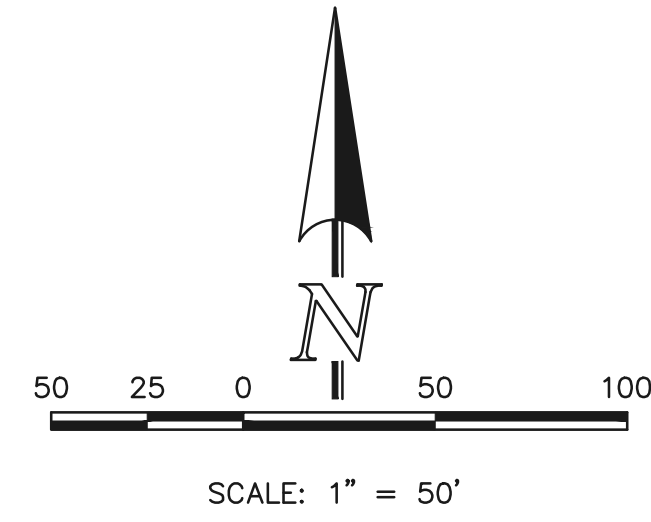
(719) 785-0790  
(719) 785-0799 (Fax)

02/25/21 (2nd SUBMITTAL) - 04/02/21 (3rd SUBMITTAL) - 04/21/21 (4th SUBMITTAL)

N:\222120\DRAWINGS\DEVELOPMENT\222120-PC-02.dwg, 4/15/2021, 3:51:40 PM, 1:1

**SITE SPECIFIC NOTES:**

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.  
 ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.  
 ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS SHALL MEET CURRENT CITY STANDARDS.  
 ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF AN IMPROVEMENTS ARE REQUIRED, THE INSPECTOR CAN BE REACHED AT 385-5977.  
 A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.  
 UTILITY PLAN IS ACCEPTABLE BASED ON CSU'S APPROVAL.



**PROPOSED BUILDING**  
 GROSS SF: 50,083 S.F. GROSS  
 TYPE CONSTRUCTION: II-B  
 REQ. GPM FIRE FLOW = 4,750 gpm  
 50% REDUCTION REQ. GPM FIRE FLOW = 2,500 gpm  
 REQ. MIN. NUMBER HYDRANTS = 3  
 AVG. DIST. BETWEEN HYDRANTS = 450'  
 MAX. HOSE LENGTH = 225'  
 BUILDING IS SPRINKLERED THEREFORE THERE IS A 50% REDUCTION IN REQ. GPM FIRE FLOW  
 AREA SEPARATION WALLS ARE NOT USED

DESCRIPTION	SYMBOL
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
PROPOSED SANITARY MAIN	
PROPOSED WATER MAIN	
BOUNDARY LINE	
"NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB (AT NO TIME SHALL VEHICLES BE PARKED IN THE DRIVEWAYS THAT ACCESS THIS SITE.)	

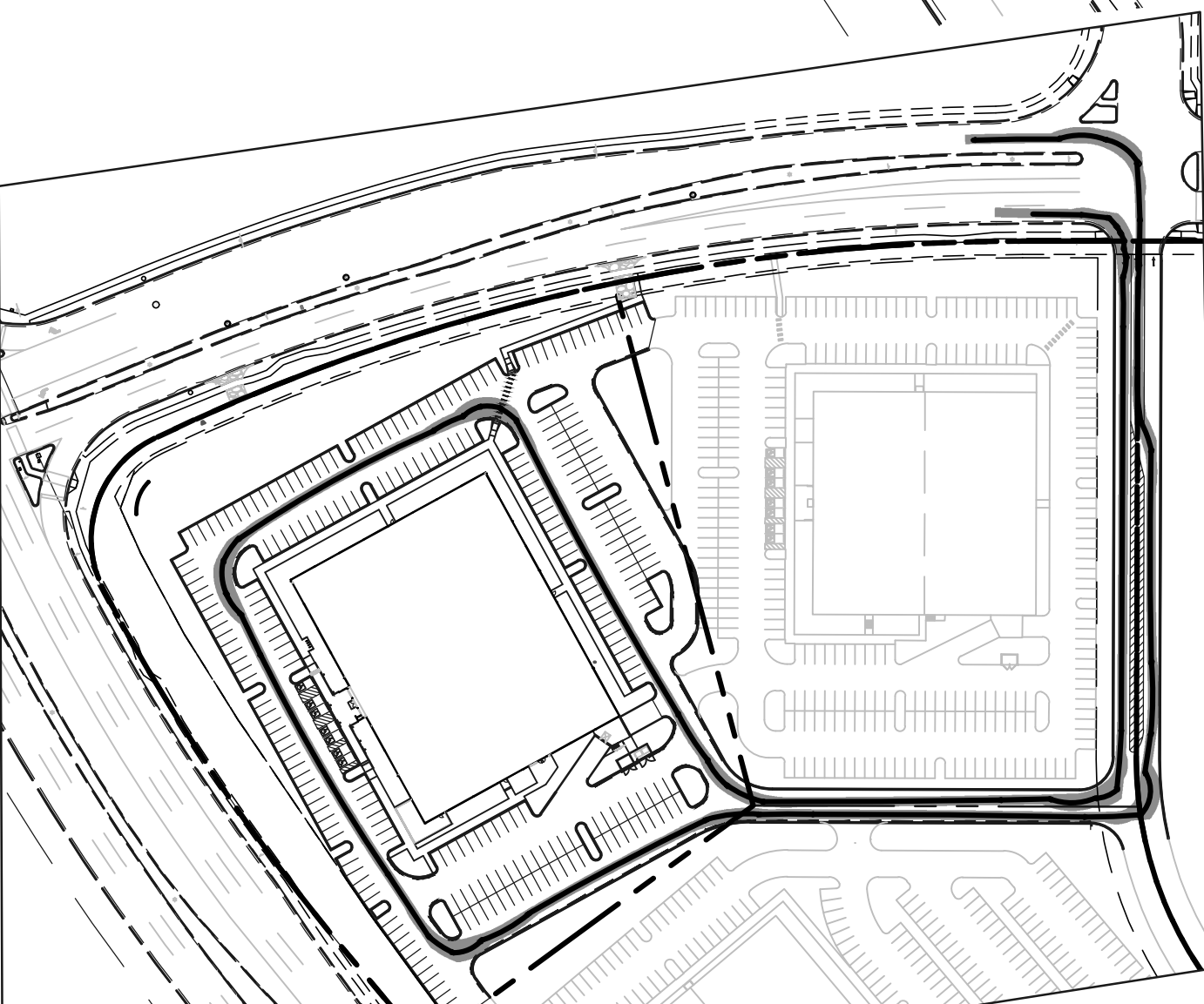
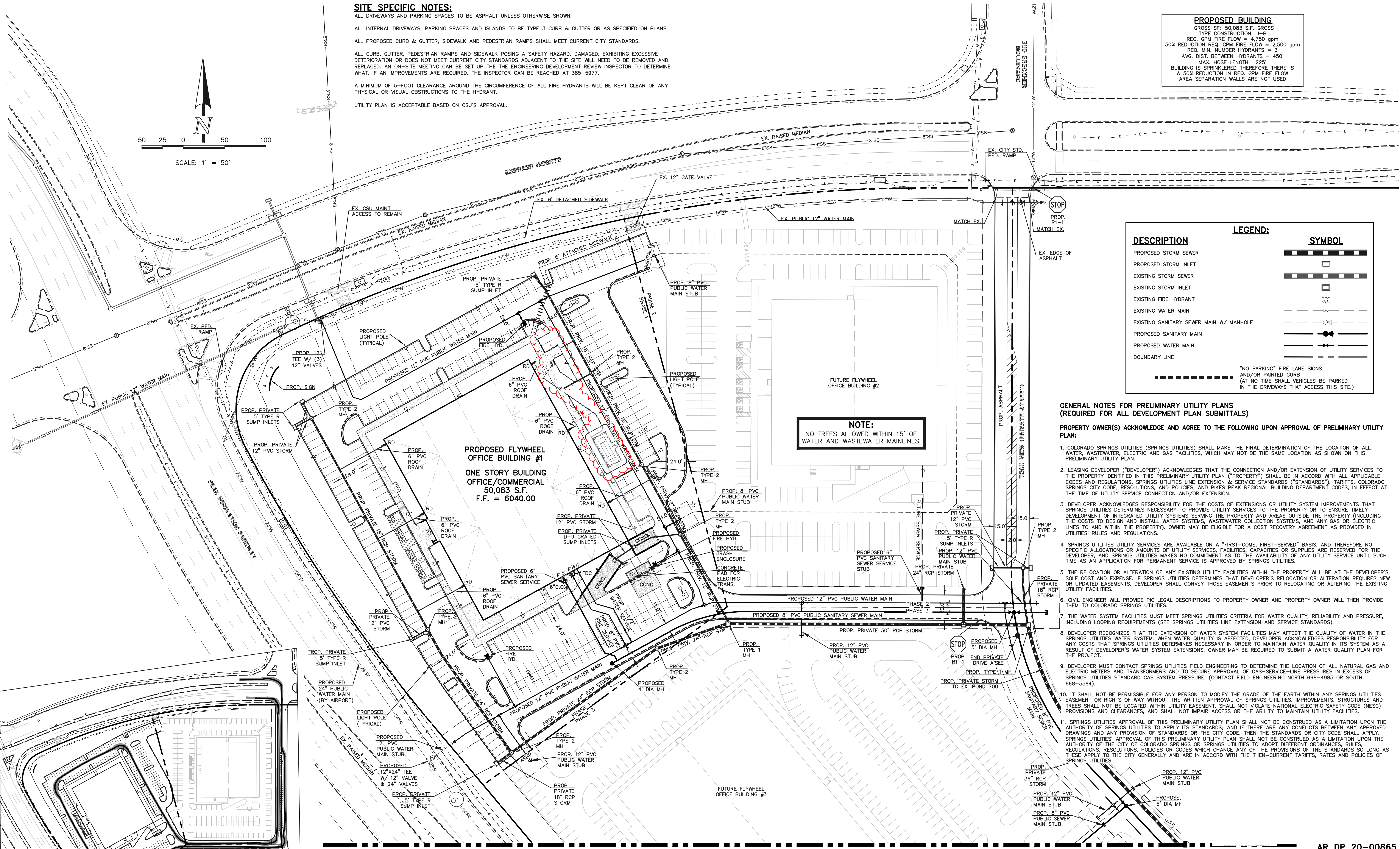
**GENERAL NOTES FOR PRELIMINARY UTILITY PLANS (REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)**

**PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:**

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- LEASING DEVELOPER ("DEVELOPER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, ORDINANCES AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- DEVELOPER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE DEVELOPER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE DEVELOPER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT DEVELOPER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, DEVELOPER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- CIVIL ENGINEER WILL PROVIDE PIC LEGAL DESCRIPTIONS TO PROPERTY OWNER AND PROPERTY OWNER WILL THEN PROVIDE THEM TO COLORADO SPRINGS UTILITIES.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- DEVELOPER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, DEVELOPER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF DEVELOPER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- DEVELOPER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

**NOTE:**  
 NO TREES ALLOWED WITHIN 15' OF WATER AND WASTEWATER MAINLINES.

**PROPOSED FLYWHEEL OFFICE BUILDING #1**  
 ONE STORY BUILDING OFFICE/COMMERCIAL  
 50,083 S.F.  
 F.F. = 6040.00



MATCH LINE (SEE SHEET 6)

**SITE SPECIFIC NOTES (CONTINUED):**

ALL PROPOSED STORM INFRASTRUCTURE WHICH IS LOCATED ON AIRPORT PROPERTY SHOULD BE PRIVATE, THE LEASING DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE, REPAIRS AND REPLACEMENTS OF ALL STORM DRAINAGE IMPROVEMENTS LOCATED WITHIN THE LEASED PREMISES UP TO, AND INCLUDING THE PROPOSED TYPE 1 MANHOLE LOCATED IN TECH VIEW. THE AIRPORT OR METRO DISTRICT WILL BE RESPONSIBLE FOR MAINTENANCE, REPAIRS AND REPLACEMENTS OF ALL STORM DRAINAGE IMPROVEMENTS FROM THE TYPE 1 MANHOLE DOWNSTREAM TO AND INCLUDING POND 700.

ALL TYPE R INLETS ALONG THE PERIMETER OF THE PROPERTY SHALL HAVE GRADE TO THE TOP ELEVATION OF THE INLET. NO CONCRETE ON THE SIDES OF THE INLETS SHALL BE VISIBLE.  
 TECH VIEW SHOULD BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE HEAVY TRUCK TRAFFIC FROM THE ADJACENT SITE TO THE EAST.

AR DP 20-00865

CLASSIC CONSULTING ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200  
 Colorado Springs, Colorado 80903  
 (719) 785-0790  
 (719) 785-0799 (Fax)

**PEAK TECHNOLOGY CAMPUS**  
**DEVELOPMENT PLAN (BUILDING #1)**  
 PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

DESIGNED BY: KC SCALE: DATE: 12/16/20  
 DRAWN BY: KC (H) 1" = 50' SHEET 5 OF 16  
 CHECKED BY: KRC (V) 1" = N/A JOB NO.: 2221.20

N:\2221.20\DRAWINGS\DEVELOPMENT\2221.20-P1-01.dwg, 4/19/2021, 3:53:14 PM, 1:1

MATCH LINE (SEE SHEET )

**SITE SPECIFIC NOTES:**

ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.

ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS TO BE TYPE 3 CURB & GUTTER OR AS SPECIFIED ON PLANS.

ALL PROPOSED CURB & GUTTER, SIDEWALK AND PEDESTRIAN RAMPS SHALL MEET CURRENT CITY STANDARDS.

ALL CURB, GUTTER, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY STANDARDS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED. AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF AN IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.

A MINIMUM OF 5-FOOT CLEARANCE AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS WILL BE KEPT CLEAR OF ANY PHYSICAL OR VISUAL OBSTRUCTIONS TO THE HYDRANT.

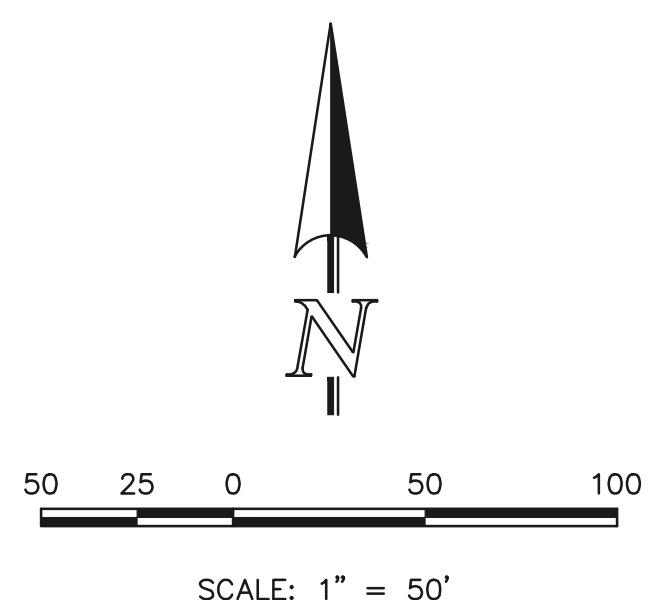
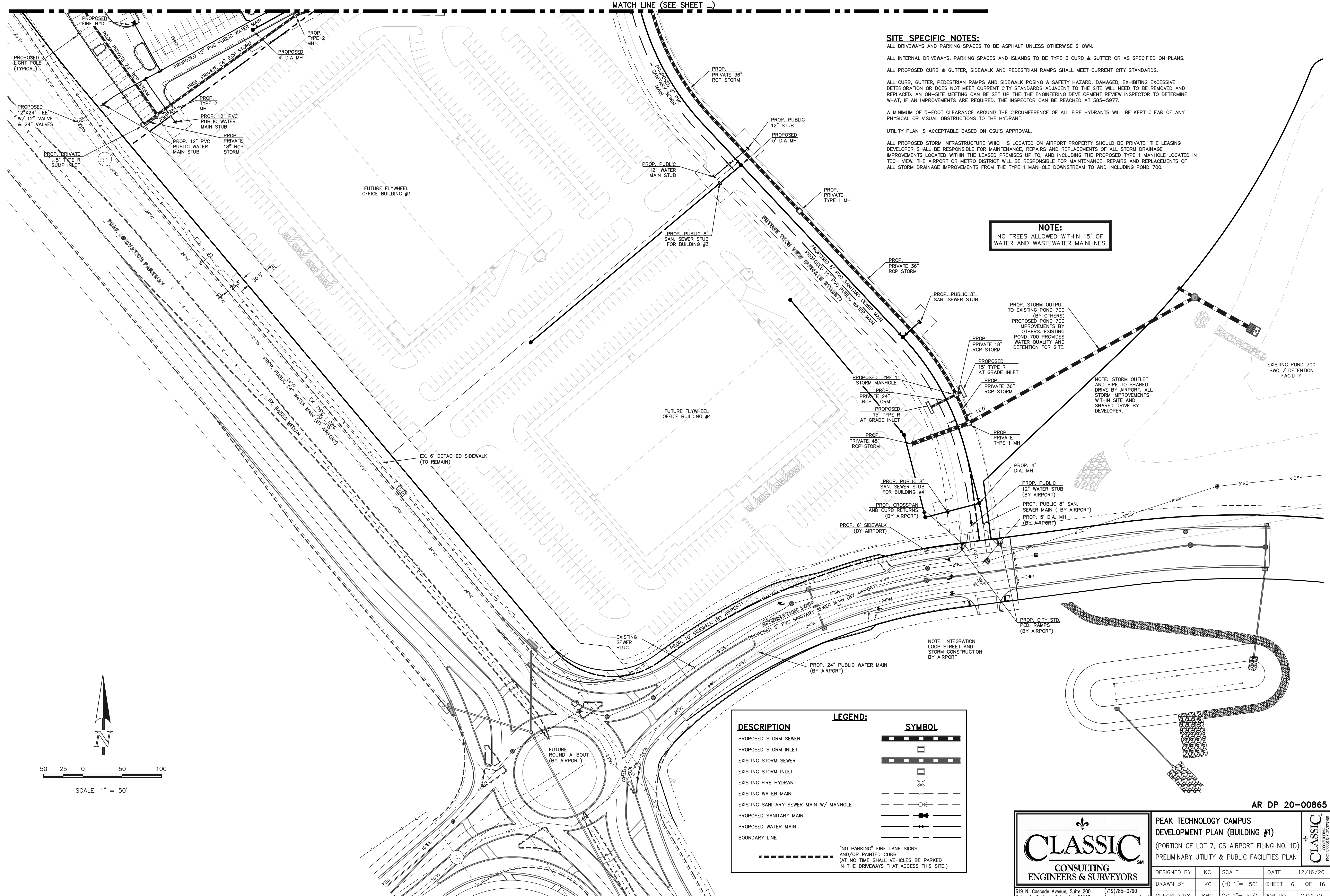
UTILITY PLAN IS ACCEPTABLE BASED ON CSU'S APPROVAL.

ALL PROPOSED STORM INFRASTRUCTURE WHICH IS LOCATED ON AIRPORT PROPERTY SHOULD BE PRIVATE, THE LEASING DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE, REPAIRS AND REPLACEMENTS OF ALL STORM DRAINAGE IMPROVEMENTS LOCATED WITHIN THE LEASED PREMISES UP TO, AND INCLUDING THE PROPOSED TYPE 1 MANHOLE LOCATED IN TECH VIEW. THE AIRPORT OR METRO DISTRICT WILL BE RESPONSIBLE FOR MAINTENANCE, REPAIRS AND REPLACEMENTS OF ALL STORM DRAINAGE IMPROVEMENTS FROM THE TYPE 1 MANHOLE DOWNSTREAM TO AND INCLUDING POND 700.

**NOTE:**  
NO TREES ALLOWED WITHIN 15' OF WATER AND WASTEWATER MAINLINES.

**NOTE:** STORM OUTLET AND PIPE TO SHARED DRIVE BY AIRPORT. ALL STORM IMPROVEMENTS WITHIN SITE AND SHARED DRIVE BY DEVELOPER.

**NOTE:** INTEGRATION LOOP STREET AND STORM CONSTRUCTION BY AIRPORT



DESCRIPTION	SYMBOL
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
PROPOSED SANITARY MAIN	
PROPOSED WATER MAIN	
BOUNDARY LINE	

**LEGEND:**

--- "NO PARKING" FIRE LANE SIGNS AND/OR PAINTED CURB (AT NO TIME SHALL VEHICLES BE PARKED IN THE DRIVEWAYS THAT ACCESS THIS SITE.)

**CLASSIC**  
CONSULTING ENGINEERS & SURVEYORS

**PEAK TECHNOLOGY CAMPUS DEVELOPMENT PLAN (BUILDING #1)**  
(PORTION OF LOT 7, CS AIRPORT FILING NO. 14)  
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

DESIGNED BY	KC	SCALE	DATE	12/16/20
DRAWN BY	KC	(H) 1" = 50'	SHEET	6 OF 16
CHECKED BY	KRC	(V) 1" = N/A	JOB NO.	2221.20

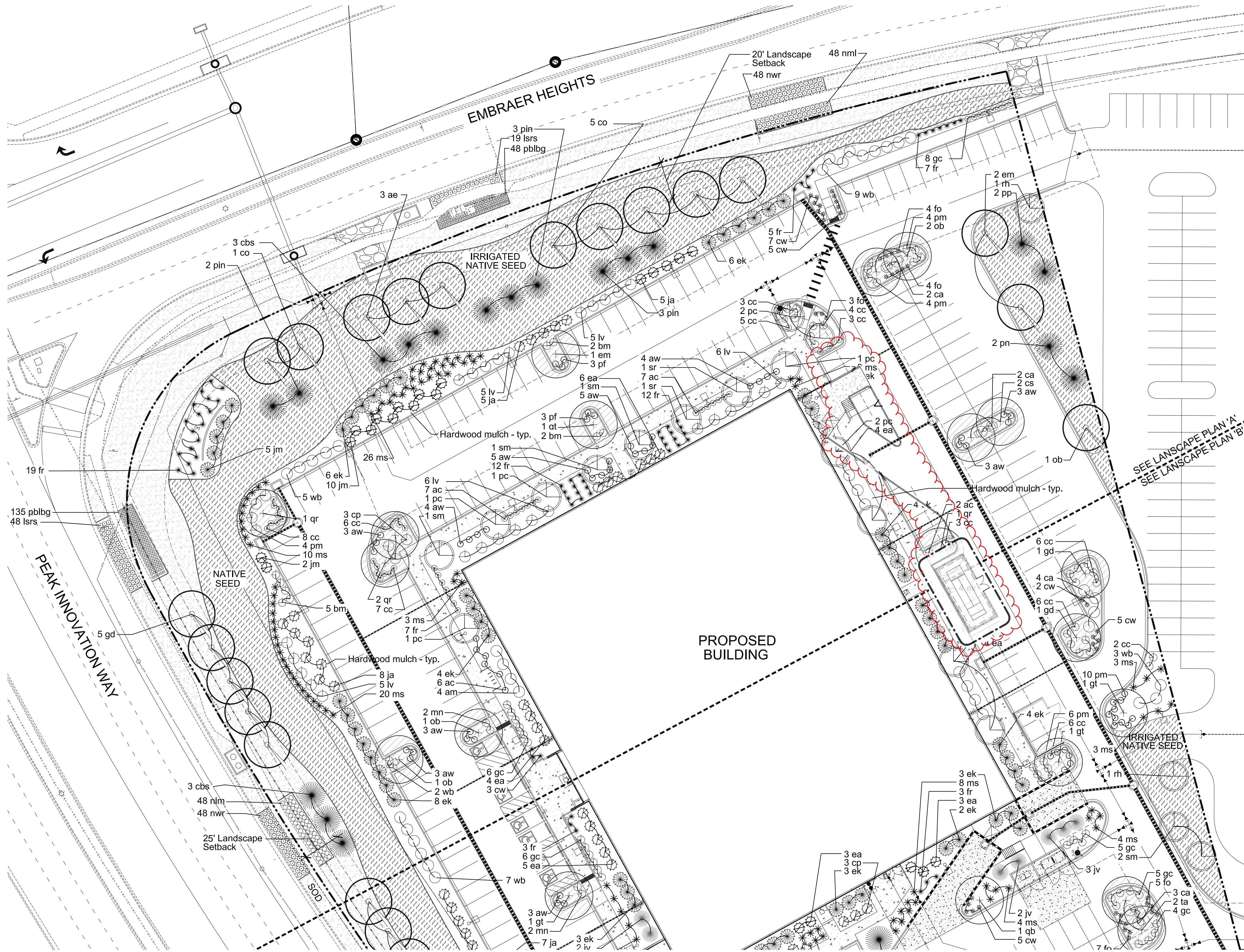
AR DP 20-00865

N:\222120\DRAWINGS\DEVELOPMENT\222120-P11-02.dwg, 4/15/2021, 3:55:13 PM, 1:1

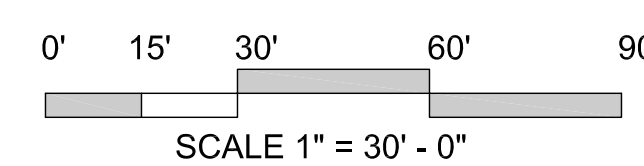
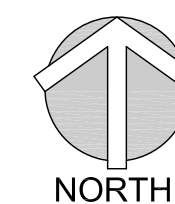
# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

COLORADO SPRINGS AIRPORT FILING NO. 1D - BUILDING #1

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



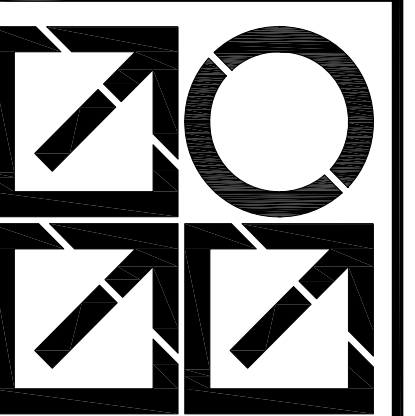
FINAL LANDSCAPE PLAN 'A'



By	Date	Description
SL	2.25.21	Second Submittal
SL	3.31.21	Third Submittal
SL	4.21.21	Fourth Submittal

DRAWN	SDW
CHECKED	JAH
DESIGNED	SDW
FILENAME	

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS  
FINAL LANDSCAPE PLAN 'A'



INTERGROUP  
ARCHITECTS

architecture  
planning  
interiors  
2000 West Littleton Blvd  
Littleton, Colorado 80120  
P. 303.736.8677 F. 303.736.2294  
www.igarch.com

JOB NO.	BS - 10990
SCALE	SEE PLAN
DATE	DECEMBER 16TH, 2020
SHEETS	SHEET

5639 SOUTH CURTICE STREET  
LITTLETON, COLORADO 80120  
phone. 303.808.4523

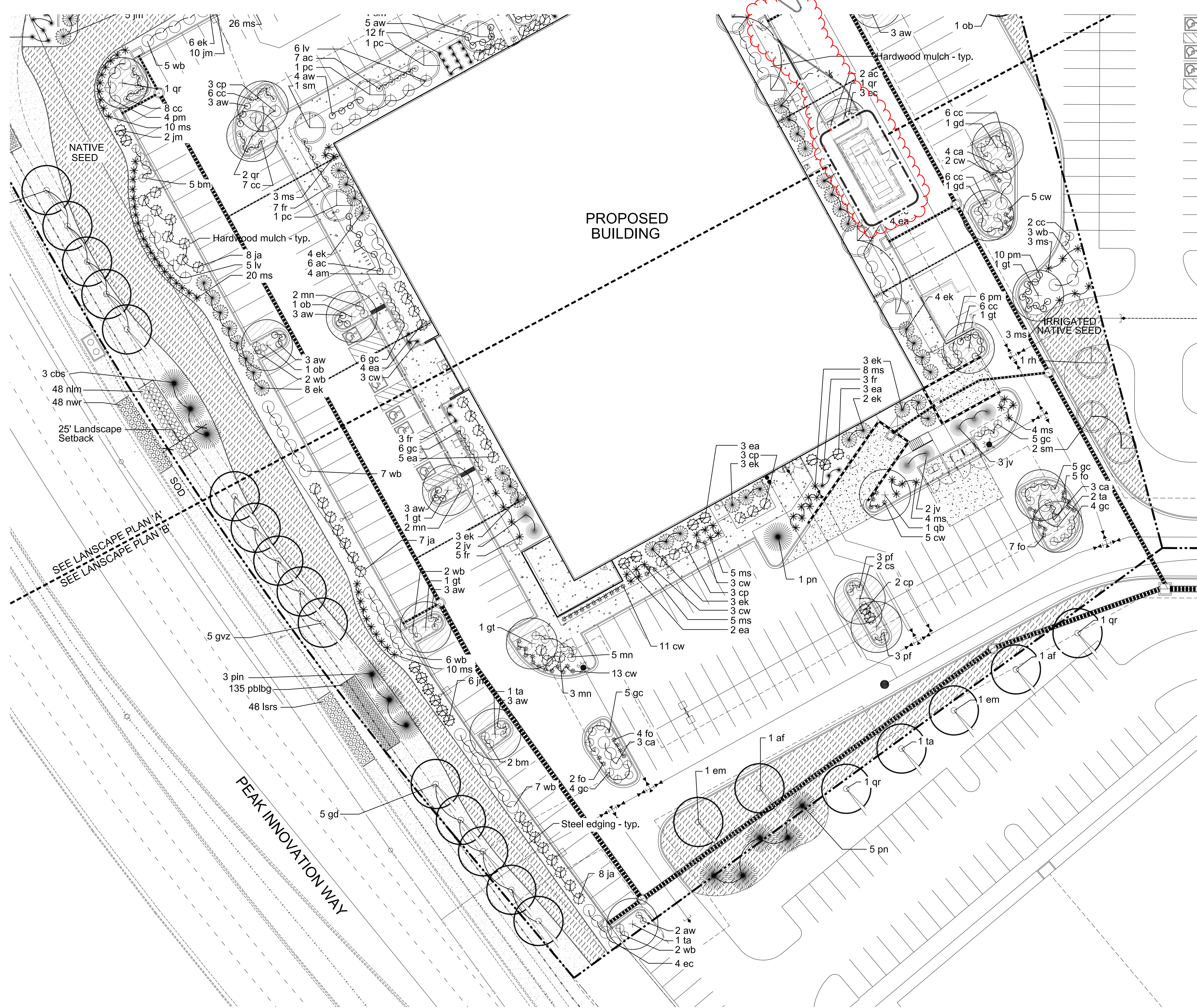
AR DP 20-00865

**16** **7**

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

COLORADO SPRINGS AIRPORT FILING NO. 1D -

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



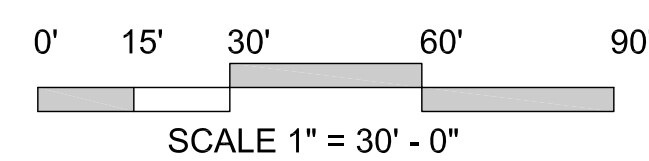
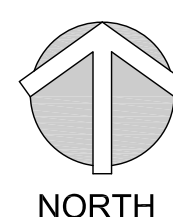
## GENERAL LANDSCAPE NOTES:

1. SOIL ANALYSIS TO BE SUBMITTED WITH FINAL LANDSCAPE PLAN AT TIME OF BUILDING PERMIT.
2. A FINAL LANDSCAPE PLAN AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENTLY WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
3. ALL PROPOSED LANDSCAPE IMPROVEMENT SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

## LANDSCAPE LEGEND:

—	STEEL EDGING		
24,739 sf.		TEXAS HYBRID 'THERMAL BLUE'	
37,658 sf.		NATIVE SEED MIX	
		BLUE GRAMA (B. GRACILLIS), LOVINTON	.4
		LITTLE BLUESTEM (S. SCOPARIUS) PASTURA	1.2
		SIDEOTS GRAMA (B. CURIPEN-DULA), BUTTE OR VAUGHN	1.6
		PRAIRIE SANDREED (C. LONGIFOLIA) GOSHEN	1.1
		SAND DROPSEED (S. CRYPTANDRUS)	.1
		GREEN NEEDLEGRASS (S. VIRIDULA)	1.7
		STREAMBANK WHEATGRASS, SODAR	2
			8.1 #pls
36,700 sf.		HARDWOOD MULCH	

FINAL LANDSCAPE PLAN 'B'



5639 SOUTH CURTICE STREET  
LITTLETON, COLORADO 80120  
phone. 303.808.4523

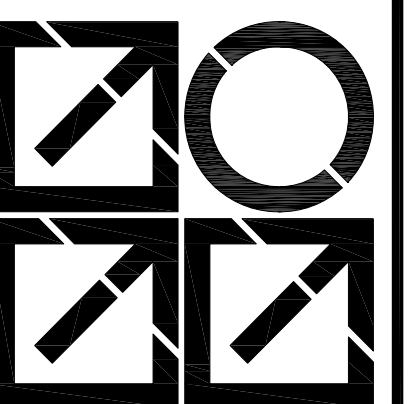
AR DP 20-00865

By	Date	Description
SL	2.25.21	Second Submittal
SL	3.31.21	Third Submittal
SL	4.21.21	Fourth Submittal

DRAWN	SDW
CHECKED	JAH
DESIGNED	SDW
FILENAME	

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS

FINAL LANDSCAPE PLAN 'B'



INTERGROUP  
ARCHITECTS

architecture  
planning  
interiors  
2000 West Littleton Blvd  
Littleton, Colorado 80120  
P. 303.736.8677 F. 303.736.2294  
www.igarch.com

JOB NO. BS - 10990

SCALE SEE PLAN

DATE DECEMBER 16TH, 2020

SHEETS SHEET

16 8

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

**COLORADO SPRINGS AIRPORT FILING NO. 1D -**

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

## LANDSCAPE DATA CHART:

### LANDSCAPE SETBACKS:

STREET NAME	STREET CLASSIFICATION	WIDTH (IN. FT.) REQ./PROVIDED	LINEAR FEET	TREE/FEET REQUIRED	NO. OF TREES REQ. / PROVIDED
EMBRAER HEIGHTS	MINOR ARTERIAL	20' / 20'	517 LN.FT.	1 / 25'	21 / 21
PEAK INNOVATION WAY	PRINCIPAL ARTERIAL	25' / 25'	438 LN. FT.	1 / 25'	18 / 23

### MOTOR VEHICLE LOTS

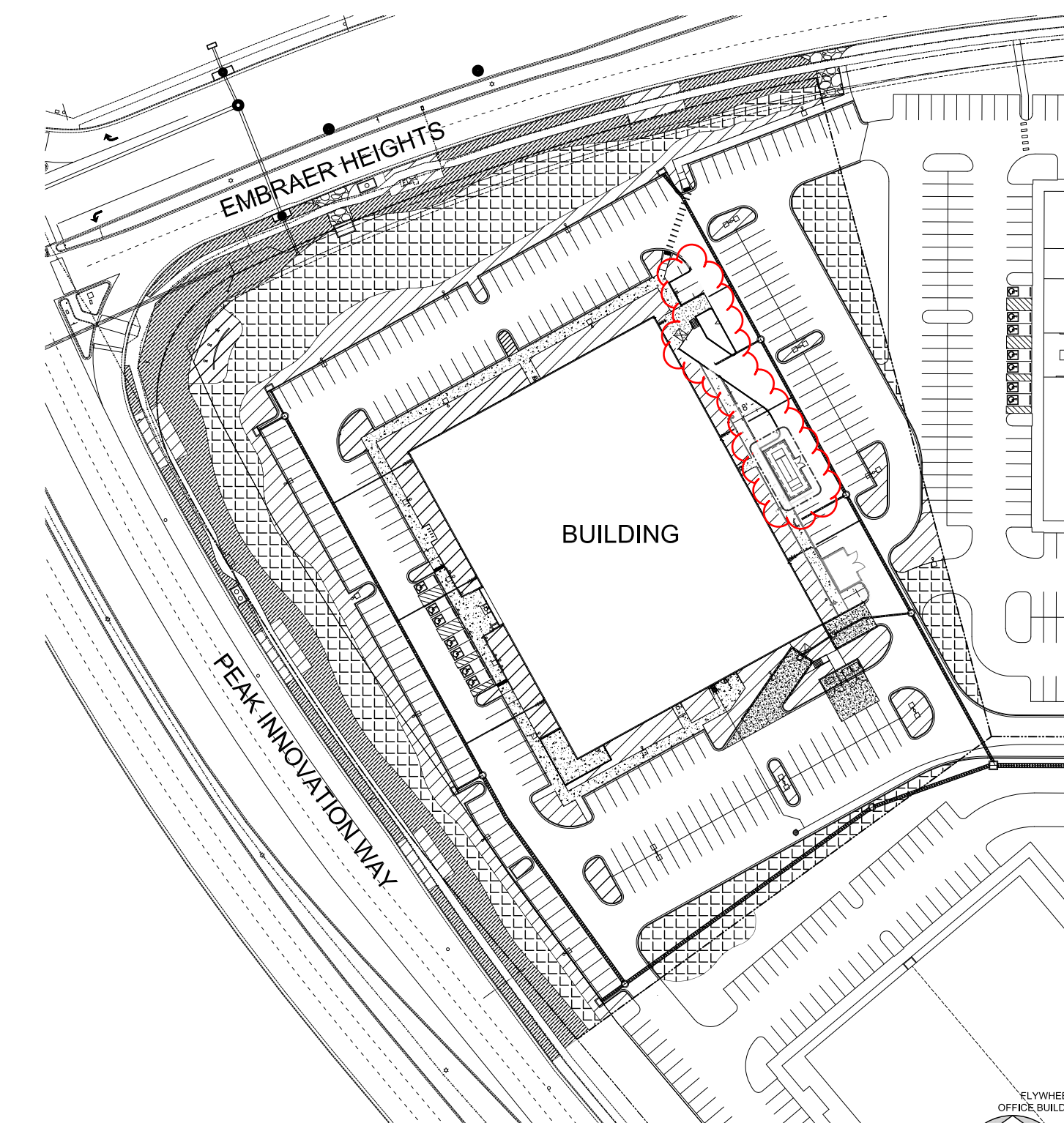
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROVIDED
274	19 / 25

### INTERNAL LANDSCAPING

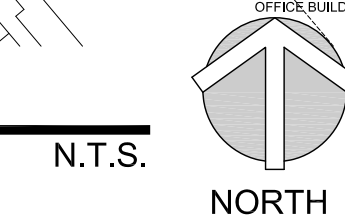
NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REQ. / PROVIDED	INTERNAL TREES (1/500 SF.) REQ. / PROVIDED
5.79 AC. / 252,251.40 SF.	NON RES. (5%)	12,612.57 SF. / 84,771.00 SF.	26 / 37

## LANDSCAPE LEGEND:

—	STEEL EDGING		
24,739 sf.	TEXAS HYBRID ' THERMAL BLUE'		
37,658 sf.	NATIVE SEED MIX	lbs. pls per acre drilled	lbs. pls per acre broadcast
	BLUE GRAMA (B. GRACILLIS), LOVINTON	.4	.8
	LITTLE BLUESTEM (S. SCOPARIUS) PASTURA	1.2	2.4
	SIDEOATS GRAMA (B. CURIPEN-DULA), BUTTE OR VAUGHN	1.6	3.1
	PRAIRIE SANDREED (C. LONGIFOLIA) GOSHEN	1.1	2.2
	SAND DROPSEED (S. CRYPTANDRUS)	.1	.1
	GREEN NEEDLEGRASS (S. VIRIDULA)	1.7	3.4
	STREAMBANK WHEATGRASS, SODAR	2	4.0
		8.1 #pls	16.1#pls
36,700 sf.	HARDWOOD MULCH		



LANDSCAPE DATA CHART:



## WATER DEMAND

	LOW DEMAND - 37,658 SF.
	MEDIUM DEMAND - 36,700 SF.
	HIGH DEMAND - 24,739 SF.

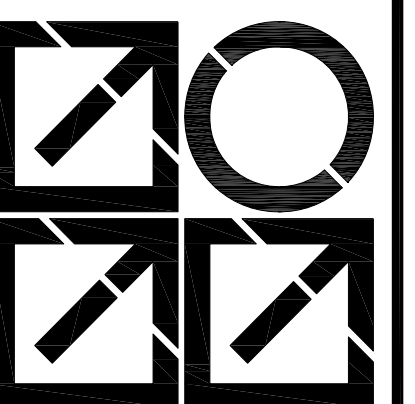
5639 SOUTH CURTICE STREET  
LITTLETON, COLORADO 80120  
phone. 303.808.4523

AR DP 20-00865

By	Date	Description
SL	2.25.21	Second Submittal
SL	3.31.21	Third Submittal
SL	4.21.21	Fourth Submittal

DRAWN	SDW
CHECKED	JAH
DESIGNED	SDW
FILENAME	

DEVELOPMENT PLAN  
 PEAK TECHNOLOGY CAMPUS  
 LANDSCAPE DATA CHARTS



**INTERGROUP  
ARCHITECTS**

**architecture**  
**planning**  
**interiors**  
 2000 West Littleton Blvd  
 Littleton, Colorado 80120  
 P. 303.736.8677 F. 303.736.2294  
 www.igarch.com

JOB NO. BS - 10990

SCALE SEE PLAN

DATE DECEMBER 16TH, 2020

SHEETS SHEET

**16 9**

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

**COLORADO SPRINGS AIRPORT FILING NO. 1D -**

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

## GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (1/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE 3/8 INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC UNDERGROUD IRRIGATION SYSTEM. WITH SEPARATE ZONES FOR TURF AND SHRUBS / TREES / GROUND COVER.
- IF TRANSFORMERS, GROUND MOUNTED HVAC EQUIPMENT, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPE/SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

## PLANT MATERIAL SCHEDULE:

QTY	KEY	BOTANICAL NAME	COMMON NAME	KEY FROM APPENDIX B	MATURE WIDTH	PLANTING SIZE	NOTES
<b>SHADE TREES</b>							
3	ae	ULMUS DAVIDIANA VAR. JAPONICA 'MORTON'	ACCOLADE ELM	-	30'-40'	2" CAL.	B & B
5	gvz	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	-	35'-45'	2" CAL.	B & B
6	qr	QUERCUS RUBRA	NORTHERN RED OAK	C	40'-60'	2" CAL.	B & B
2	af	ACER X FREMANII	AUTUMN BLAZE MAPLE	-	25'-30'	2" CAL.	B & B
5	em	EMERALD QUEEN MAPLE	ACER PLATANOIDES 'EMERALD QUEEN'	C	25'-30'	2" CAL.	B & B
7	co	CELTIS OCCIDENTALIS	COMMON HACKBERRY	C,N	40'-50'	2" CAL.	B & B
5	ta	TILIA AMERICANA	AMERICAN LINDEN	C	25'-30'	2" CAL.	B & B
1	qb	QUERCUS BICOLOR	SWAMP WHITE OAK	C	40'-80'	2" CAL.	B & B
5	ob	AESCULUS GLABRA	OHIO BUCKEY	-	40'-20'	2" CAL.	B & B
6	gt	GLEDTISIA TRIACANTHOS	HONEY LOCUST	C	40'-40'	2" CAL.	B & B
12	gd	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	C	50'-40'	2" CAL.	B & B
<b>EVERGREEN TREES</b>							
6	cbs	PICEA PUNGENS 'CONTINENTAL'	CONTINENTAL BLUE SPRUCE	C	15'-20'	6' HT.	B & B
11	pin	PINUS EDULIS	PINON PINE	C	30'-40'	6' HT.	B & B
8	pn	PINUS NIGRA	AUSTRIAN PINE	C	30'-40'	6' HT.	B & B
2	pp	PINUS PONDEROSA	PONDEROSA PINE	B,N	30'-40'	6' HT.	B & B
7	jv	JUNIPERUS VIRGINIANA 'SKYROCKET'	SKYROCKET JUNIPER	jv	4'-5'	6' HT.	B & B
<b>ORNAMENTAL TREES</b>							
5	sm	MALUS SP. 'SPRINGSNOW'	SPRINGSNOW CRABAPPLE	C	15'-20'	2" CAL.	B & B
2	sr	SYRINGA RETICULATA	JAPANESE TREE LILAC	C	15'-25'	2" CAL.	B & B
10	pc	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	-	20'-30'	2" CAL.	B & B
2	rh	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	C	15'-20'	2" CAL.	B & B
<b>SHRUBS</b>							
115	lsrs	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE RUSSIAN SAGE	-	2'-3'	5 GAL.	CONT.
96	nwr	ROSA 'NEARLY WILD'	NEARLY WILD ROSE	-	2'-3'	5 GAL.	CONT.
12	mn	PHYSOCARPUS MANOGYNUS	MOUNTAIN NINEBARK	N	3'-5'	5 GAL.	CONT.
43	wb	WINTERGEM BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	-	4'-4'	5 GAL.	CONT.
43	gc	RIBES AUREUM	GOLDEN CURRANT	N	3'-3-6"	5 GAL.	CONT.
22	ac	RIBES ALPINUM	ALPINE CURRANT	N	3'-3-6"	5 GAL.	CONT.
11	cp	COTONEASTER ADPRESSUS 'PRAECOX'	CREeping COTONEASTER	-	5'-6"	5 GAL.	CONT.
31	ea	EUONYMUS ALTATUS 'COMPACTA'	DWARF BURNING BUSH	C	4'-5'	5 GAL.	CONT.
59	cc	CARYOPTERIS X CLANDONENSIS	BLUEMIST SPIREA	C	2'-3'	5 GAL.	CONT.
33	ja	JUNIPERUS CHINENSIS 'ARMSTRONGII'	ARMSTRONG JUNIPER	-	4'-5'	5 GAL.	CONT.
4	ec	EUONYMUS FORTUENI 'CANADALE GOLD'	EUONYMUS CANADALE GOLD	-	3'-4'	5 GAL.	CONT.
43	wb	BUXUS MICROPHYLLA 'WINTERGEM'	WINTERGEM BOXWOOD	-	3'-4'	5 GAL.	CONT.
23	jm	JUNIPERUS X PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER	-	4'-6"	5 GAL.	CONT.
4	am	ARONIA MELANOCARPA	BLACK CHOKEBERRY	C	3'-5' / 3'-5'	5 GAL.	CONT.
14	ca	COTONEASTER APICULATUS	CRANBERRY COTONEASTER	C	24"-5"	5 GAL.	CONT.
27	lv	LIGUSTRUM X VICARYI	GOLDEN PRIVET	-	5'-3.5'	5 GAL.	CONT.
28	pm	PHILADELPHUS MICROPHYLLUS	LITTLELEAF MOCKORANGE	C,N	4'-4'	5 GAL.	CONT.
12	pf	POTENTILLA FRUTICOSA	POTENTILLA	C	3'-3'	5 GAL.	CONT.
44	aw	SPIREA BUMALDA 'ANTHONEY WATERER'	ANTHONEY WATERER SPIREA	-	3'-3'	5 GAL.	CONT.
54	ek	EUONUMUS KTAUTSCHOVICA 'MANHATTAN'	MANHATTAN EUONYMUS	-	5'-6"	5 GAL.	CONT.
<b>ORNAMENTAL GRASS</b>							
104	ms	MISCANTHUS SINESIS 'YAKU JIMA'	DWARF MAIDEN GRASS 'YAKU JIMA'	-	3'-4'	1 GAL.	CONT.
29	fo	FESUCA OVINA GLAUCA	BLUE FESCUE	C	8"-12"	1 GAL.	CONT.
73	fr	CALAMAGROSTIS ACUTIFLORA	FEATHER REED GRASS	-	2'-3"	1 GAL.	CONT.
57	cw	AGROPYRON CRISTATUM	CRESTED WHEATGRASS	C,N	18"-24"	1 GAL.	CONT.
48	nlm	MISCANTHUS SINENSIS 'SARABNDE'	NARROW LEAF MAIDEN GRASS	-	18"-24"	1 GAL.	CONT.
318	pblbg	SCHIZACHYRIUM SCOPARIUM 'PRAIRIE BLUES'	PRAIRIE BLUES LITTLE BLUESTEM	-	18"-24"	1 GAL.	CONT.

## SOIL ANALYSIS CONTRACTOR REQUIREMENT

"THE REQUIRED SOIL ANALYSIS REPORT IS REQUIRED TO BE SUBMITTED AND APPROVED WITH THE IRRIGATION PLAN SUBMITTAL AND BEFORE ANY LANDSCAPE CONSTRUCTION. THIS WOULD INCLUDE COMPLETING THE SOIL SAMPLING AND SUBMITTING THE SAMPLES TO A SOILS LAB FOR TESTING. A SEPARATE LAB TEST REPORT AND SOIL PREPARATION RECOMMENDATIONS (AMENDMENT/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPING (SHRUB BEDS/SOD/NATIVE SEED) WILL NEED TO BE PROVIDED TO CITY STAFF FOR REVIEW AND APPROVAL."

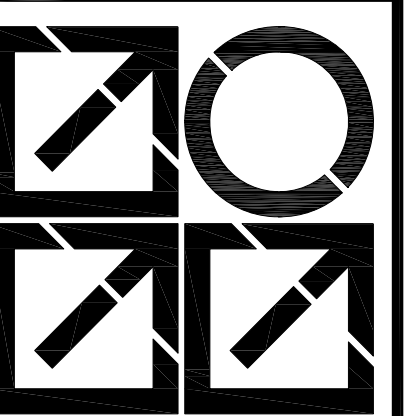
## SOIL AMENDMENTS

PRIOR TO PLANTING, ALL SITES FOR PLANTINGS SHALL INCORPORATE SOIL AMENDMENTS AT A RATE OF 3 CUBIC YARDS PER 1000 SQUARE FEET TO A MINIMUM DEPTH OF 6". A LESSER AMOUNT SHALL BE ALLOWED IF A SOIL TEST SHOWS THAT 3 CUBIC YARDS PER 1000 SQUARE FEET IS NOT NECESSARY FOR WATER RETENTION AND DEEP ROOTING OF PLANT MATERIALS. IF THE SPECIFIED PLANT MATERIAL REQUIRES LESS FERTILE SOIL, THOSE AREAS MAY HAVE LESS SOIL AMENDMENTS INSTALLED IF APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR. THESE AREAS SHALL BE IDENTIFIED ON THE LANDSCAPE PLAN. EXISTING TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS SOIL AMENDMENTS OR TOPSOIL. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS THE CITY APPROVES THE TRANSFER OF TOPSOIL TO A CITY-OWNED PARK OR OPEN SPACE AREA. A NOTE SHALL BE PLACED ON THE LANDSCAPE PLAN REFLECTING THE ABOVE REQUIREMENTS REGARDING SOIL AMENDMENTS AND TOPSOIL. EXAMPLES OF ACCEPTABLE SOIL AMENDMENTS INCLUDE COMPOST AND AGED MANURE. MOUNTAIN PEAT AND INORGANIC MATERIALS SUCH AS SAND, GYPSUM AND LIME ARE PROHIBITED SOIL AMENDMENTS. ALL SITES ARE SUBJECT TO INSPECTION BY THE CITY FOR COMPLIANCE WITH SOIL AMENDMENT REQUIREMENTS.

By	Date	Description
SL	2.25.21	Second Submittal
SL	3.31.21	Third Submittal
SL	4.21.21	Fourth Submittal

DRAWN	SDW
CHECKED	JAH
DESIGNED	SDW
FILENAME	

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS  
PLANT MATERIAL SCHEDULE



**INTERGROUP  
ARCHITECTS**

architecture  
planning  
interiors

2000 West Littleton Blvd  
Littleton, Colorado 80120  
P. 303.736.8877 F. 303.736.2294  
www.igarch.com

JOB NO.	BS - 10990
SCALE	SEE PLAN
DATE	DECEMBER 16TH, 2020
SHEETS	SHEET

5639 SOUTH CURTICE STREET  
LITTLETON, COLORADO 80120  
phone. 303.808.4523

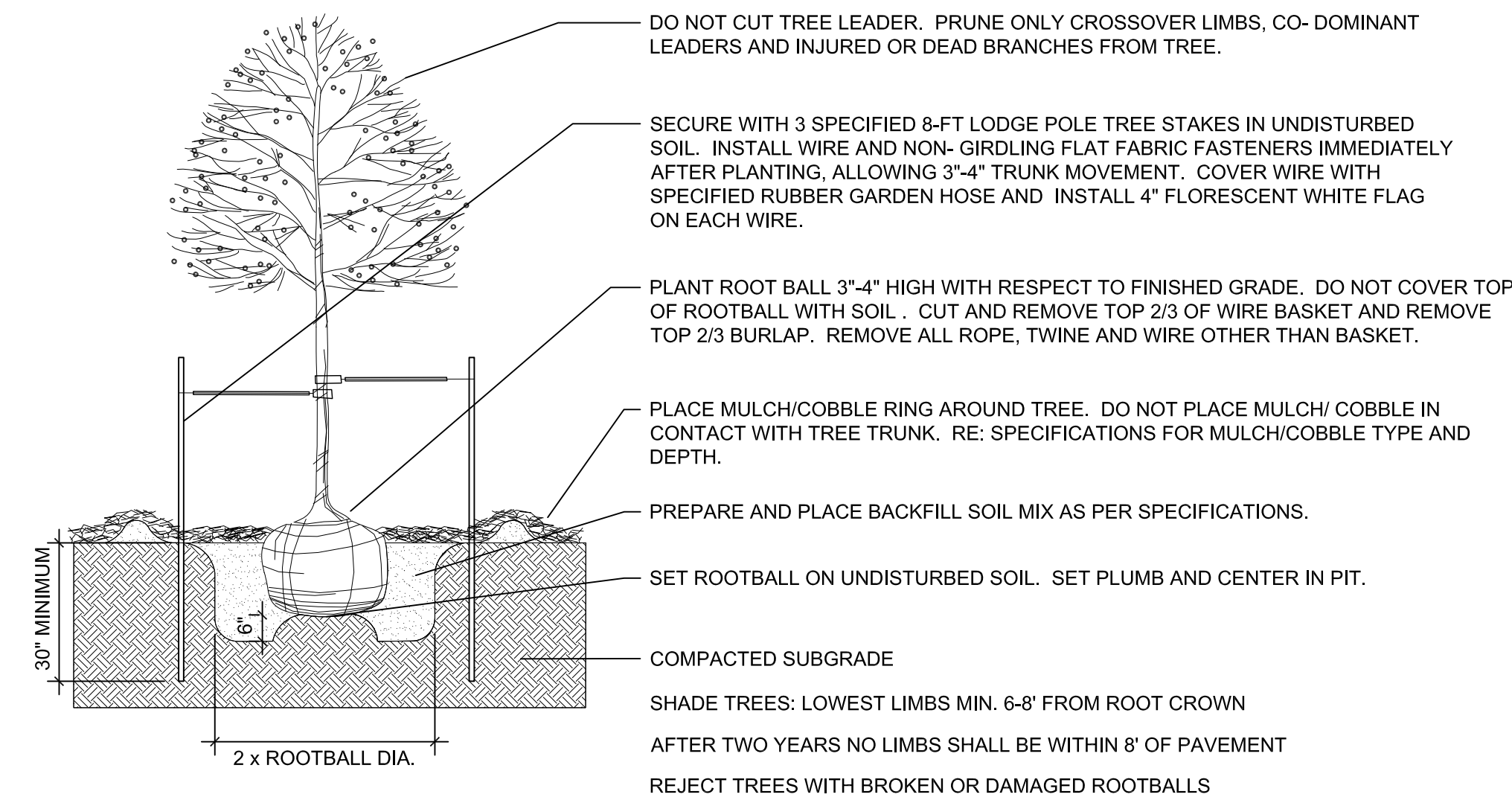
AR DP 20-00865

**16 10**

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

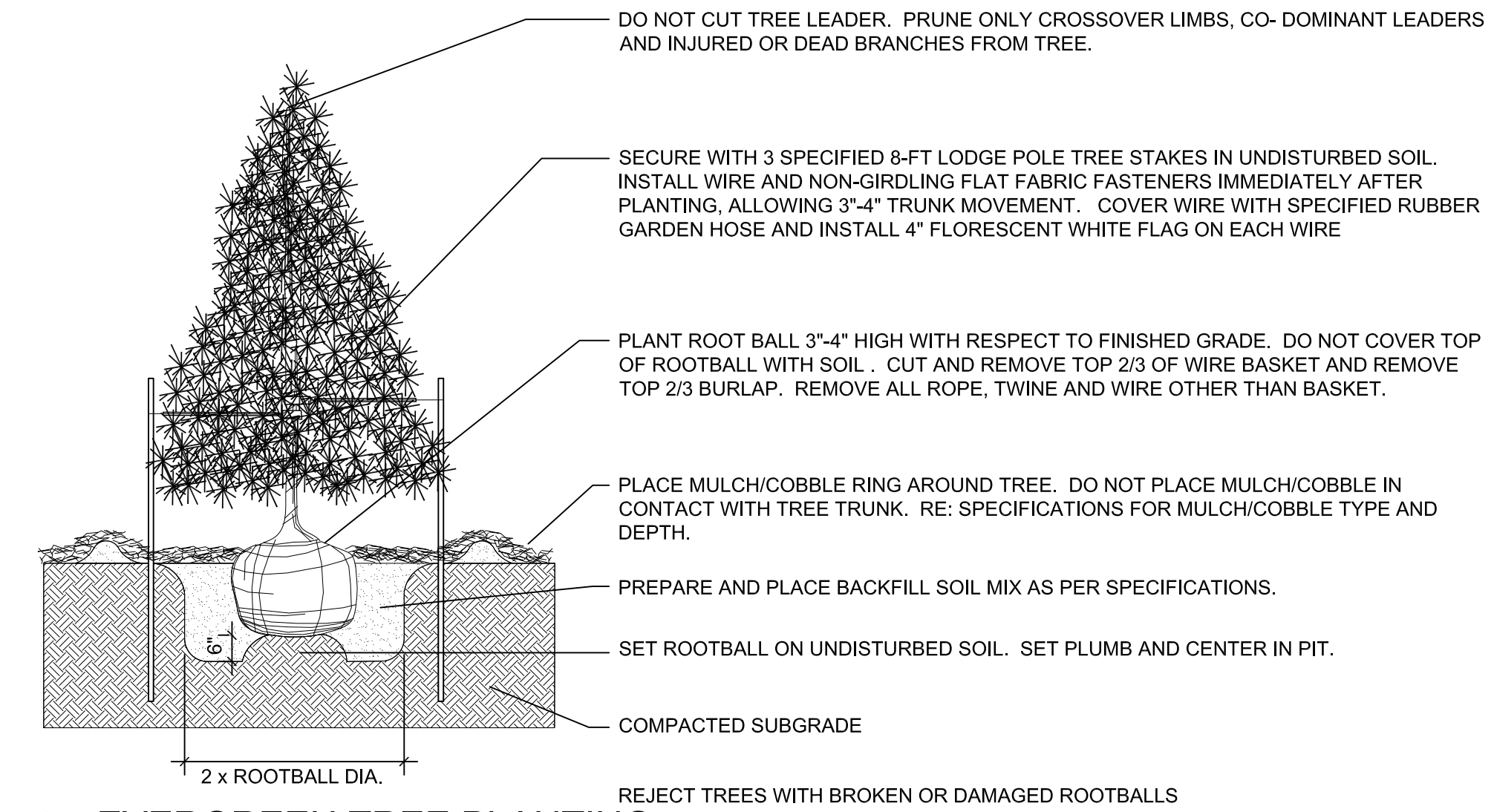
COLORADO SPRINGS AIRPORT FILING NO. 1D -

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



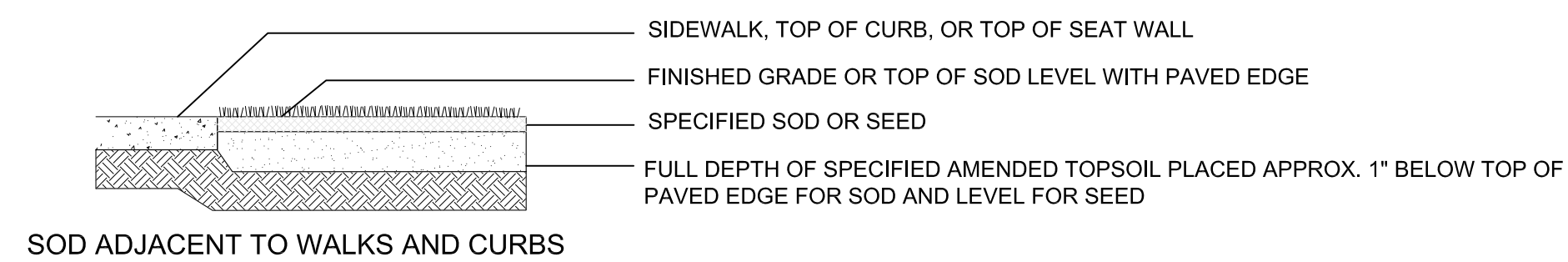
1 DECIDUOUS TREE

NOT TO SCALE

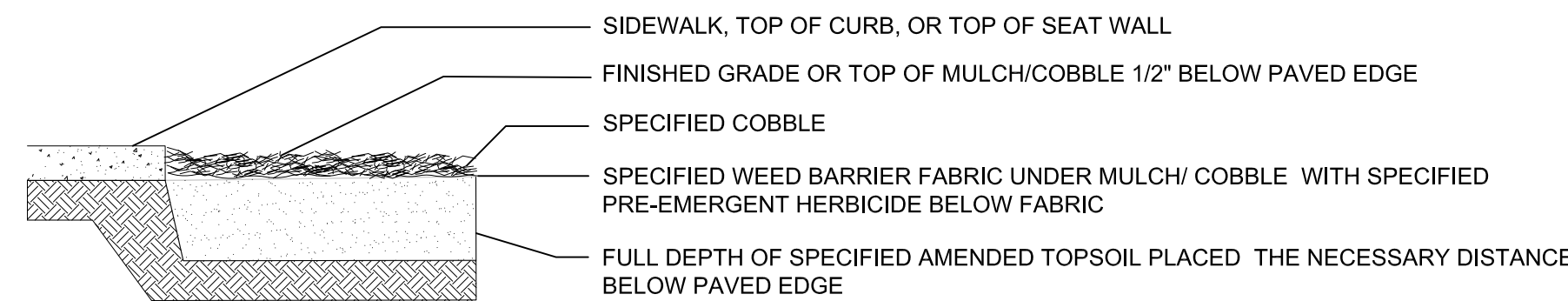


2 EVERGREEN TREE PLANTING

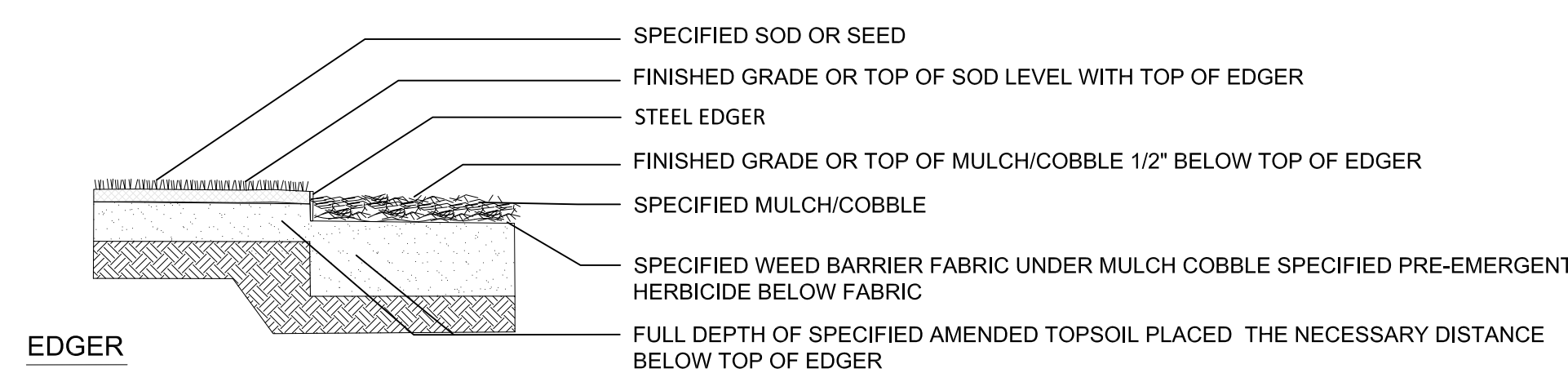
NOT TO SCALE



SOD ADJACENT TO WALKS AND CURBS



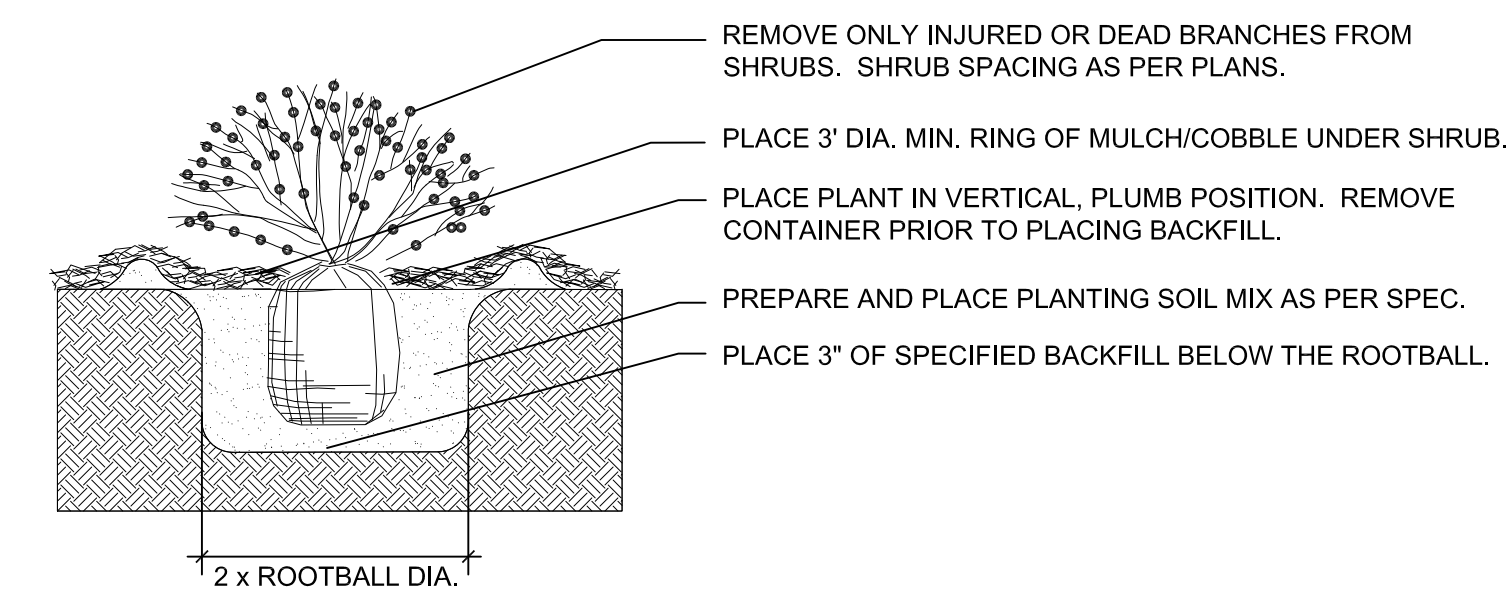
MULCH ADJACENT TO WALKS AND CURBS



EDGER

3 EDGE TREATMENT

NOT TO SCALE



4 SHRUB PLANTING

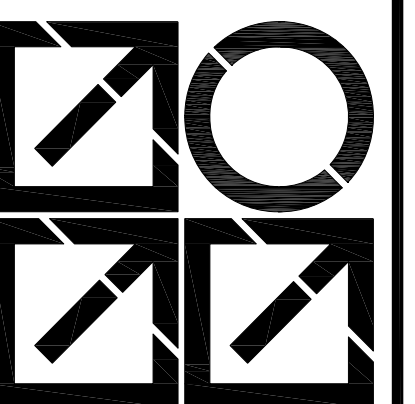
NOT TO SCALE

REVISIONS	
Date	Description
2.25.21	Second Submittal
3.31.21	Third Submittal
4.21.21	Fourth Submittal

By	SL	SDW
Checked	SL	JAH
Designed	SL	SDW
File Name		

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS

LANDSCAPE DETAILS



INTERGROUP  
ARCHITECTS

architecture  
planning  
interiors  
2000 West Littleton Blvd  
Littleton, Colorado 80120  
P. 303.736.8677 F. 303.736.2294  
www.igarch.com

JOB NO. BS - 10990

SCALE SEE PLAN

DATE DECEMBER 16TH, 2020

SHEETS SHEET

16 11

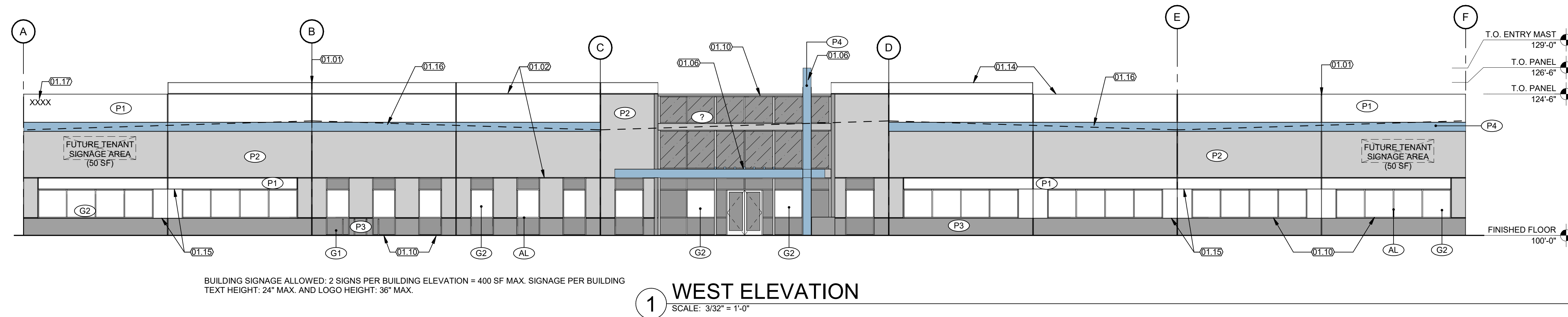
5639 SOUTH CURTICE STREET  
LITTLETON, COLORADO 80120  
phone. 303.808.4523

AR DP 20-00865

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

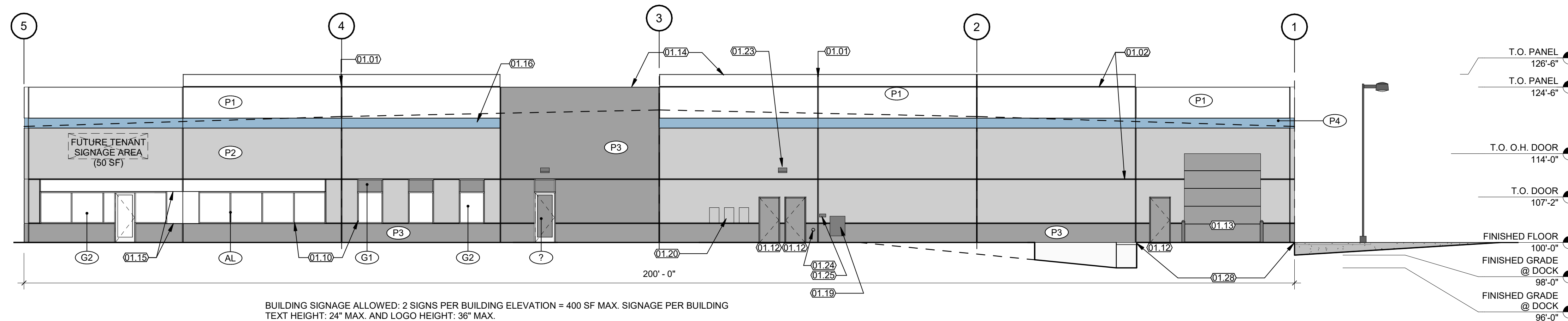
COLORADO SPRINGS AIRPORT FILING NO. 1D - BUILDING #1

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



BUILDING SIGNAGE ALLOWED: 2 SIGNS PER BUILDING ELEVATION = 400 SF MAX. SIGNAGE PER BUILDING  
TEXT HEIGHT: 24" MAX. AND LOGO HEIGHT: 36" MAX.

1 WEST ELEVATION  
SCALE: 3/32" = 1'-0"



BUILDING SIGNAGE ALLOWED: 2 SIGNS PER BUILDING ELEVATION = 400 SF MAX. SIGNAGE PER BUILDING  
TEXT HEIGHT: 24" MAX. AND LOGO HEIGHT: 36" MAX.

2 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

**GENERAL NOTES:**

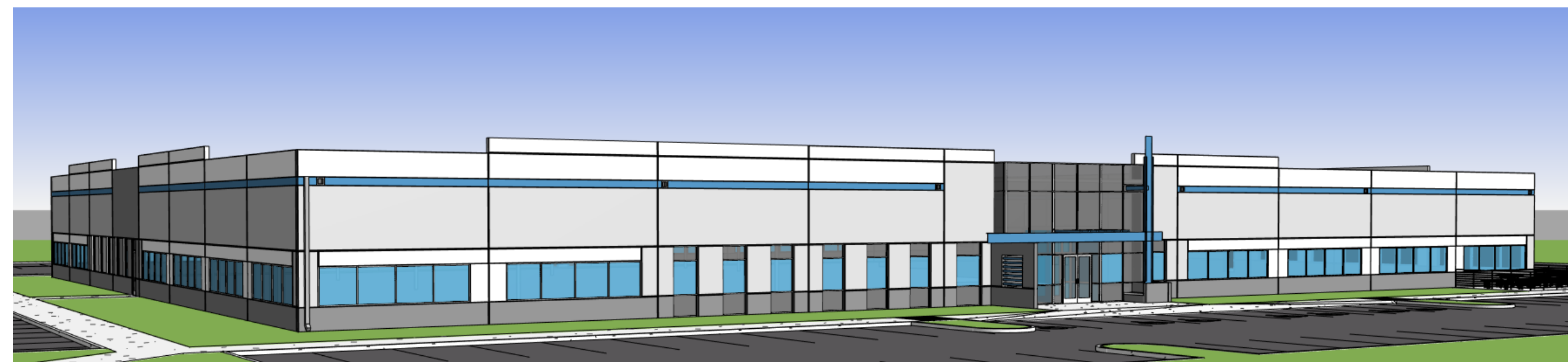
- All rooftop mechanical shall be screened by the parapet. If not possible, mechanical equipment screens shall be provided. Screening and materials if provided, shall be submitted to the ACC for review and approval.
- All gas lines shall be run internal to the building. No wall mounted gas lines are allowed.
- Electrical equipment on the building exterior shall be limited to the minimum code requirements (i.e. disconnect and meter housing). All other equipment including panels, distribution equipment, bus ducting, etc. shall be located on the interior of the building.

**KEYNOTES:**

- 01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH.
- 01.02 3/4" x 2 1/4" REVEAL, PAINTED.
- 01.06 PAINTED TUBE STEEL CANOPY AND W.T. SUPPORT. PROVIDE PAINTED W.F. STEEL COLUMN MAST.
- 01.10 INSULATED TINTED GLAZING IN ANODIZED ALUMINUM STOREFRONT SYSTEM. SEE FINISH LEGEND.
- 01.12 INSULATED H.M. MAN DOOR, PAINT TO MATCH ADJACENT WALL SURFACE COLOR, U.N.O.
- 01.13 INSULATED STEEL O.H. DOOR, PAINTED - SEE FINISH LEGEND.
- 01.14 SITE CAST TILT-UP CONCRETE PANEL, PAINTED WITH MEDIUM TEXTURED PAINT. SEE EXTERIOR FINISH LEGEND FOR SPECIFIC COLORS.
- 01.15 5'-0" H. x 3/4" DEEP RECESS INTO CONCRETE PANEL, CHAMFER EDGES AND PAINT PER EXTERIOR FINISH LEGEND.
- 01.16 1'-0" H. x 3/4" DEEP RECESS INTO CONCRETE PANEL, CHAMFER EDGES AND PAINT PER EXTERIOR FINISH LEGEND.
- 01.17 BUILDING ADDRESS LOCATION, VERIFY WITH LOCAL FIRE DEPARTMENT PRIOR TO FINAL PLACEMENT. PROVIDE 18" ALUMINUM ADDRESS NUMBERS WITH 1/2" STROKE THICKNESS IN A COLOR CONTRASTING TO THE ADJACENT BUILDING COLOR PER FIRE DEPARTMENT STANDARDS.
- 01.19 GAS METER LOCATION, SEE CIVIL DWGS.
- 01.20 ELECTRICAL METER & CT CABINET LOCATIONS.
- 01.23 EXTERIOR WALL MOUNTED LIGHT FIXTURE. SEE SITE PHOTOMETRIC PLAN.
- 01.24 FIRE DEPARTMENT CONNECTION (FDC), VERIFY WITH LOCAL FIRE AUTHORITY ON EXACT LOCATION PRIOR TO INSTALLATION.
- 01.25 KNOX BOX, VERIFY WITH LOCAL FIRE AUTHORITY ON EXACT LOCATION AND APPROVED MODEL PRIOR TO INSTALLATION.
- 01.28 CONCRETE LOADING DOCK.

**EXTERIOR FINISH LEGEND**

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
P1	PAINT		GLIDDEN #00NN 62/000 "UNIVERSAL GREY"	SAND TEXTURE @ CONC. WALLS
P2	PAINT		GLIDDEN #00NN 37/000 "GRANITE GREY"	SAND TEXTURE @ CONC. WALLS
P3	PAINT		GLIDDEN #00NN 16/000 "GREY TABBY"	SAND TEXTURE @ CONC. WALLS
P4	PAINT - ACCENT		GLIDDEN #10BB 11/126 "AMERICA'S CUP"	SAND TEXTURE @ CONC. WALLS
G1	GLAZING		PPG - GRAYLITE II	
G2	GLAZING		PPG - SCARBLEUE	
G3	GLAZING		PPG - GRAYLITE II	
AL	STOREFRONT FRAME		CLEAR ANODIZED ALUMINUM	



NORTHWEST PERSPECTIVE

SCALE: N.T.S.

REVISIONS	DATE	DESCRIPTION
	02-25-2021	2ND SUBMITTAL
	04-02-2021	3RD SUBMITTAL

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10990

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS  
EXTERIOR ELEVATIONS



architecture  
planning  
interiors  
2000 West Litchton Blvd  
Litchton, Colorado 80120  
P. 303.758.8877 F. 303.758.2294  
www.igarch.com

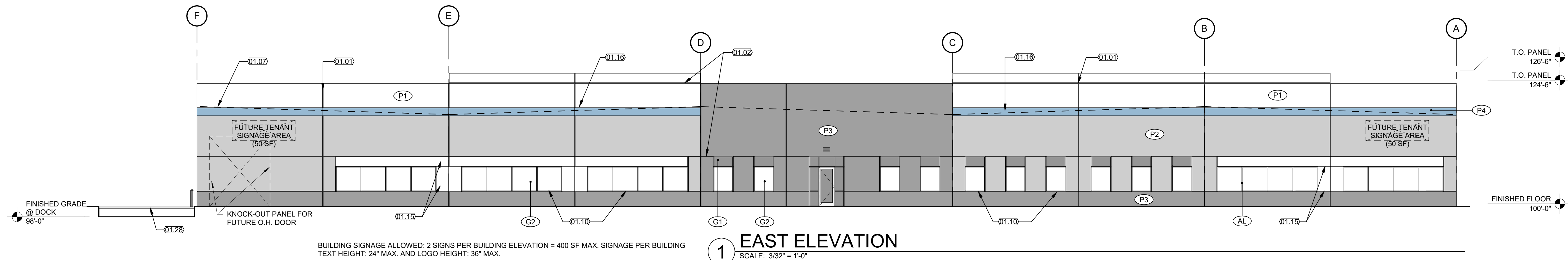
JOB NO.	BS - 10990
SCALE	AS SHOWN
DATE	12/16/2020
SHEETS	16
SHEET	12

AR DP 20-00865

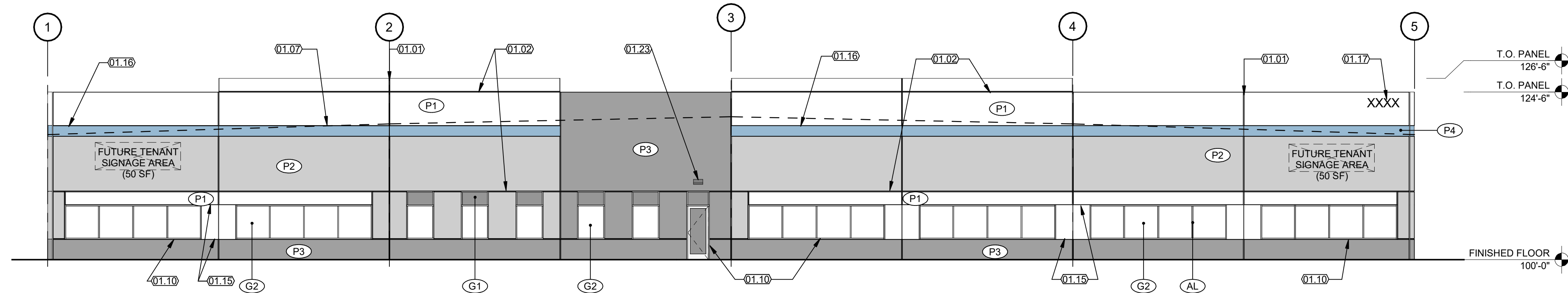
# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

COLORADO SPRINGS AIRPORT FILING NO. 1D - BUILDING #1

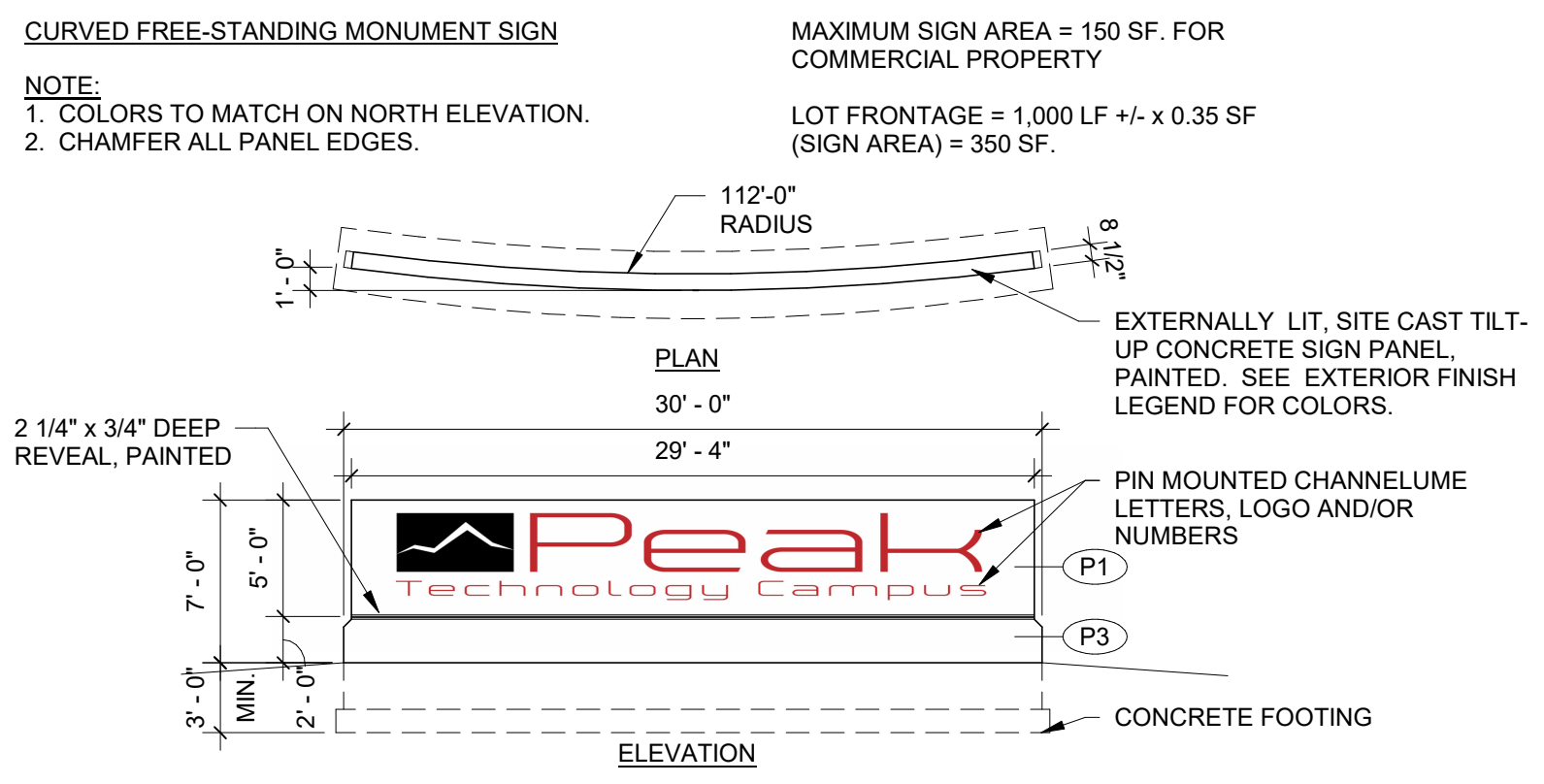
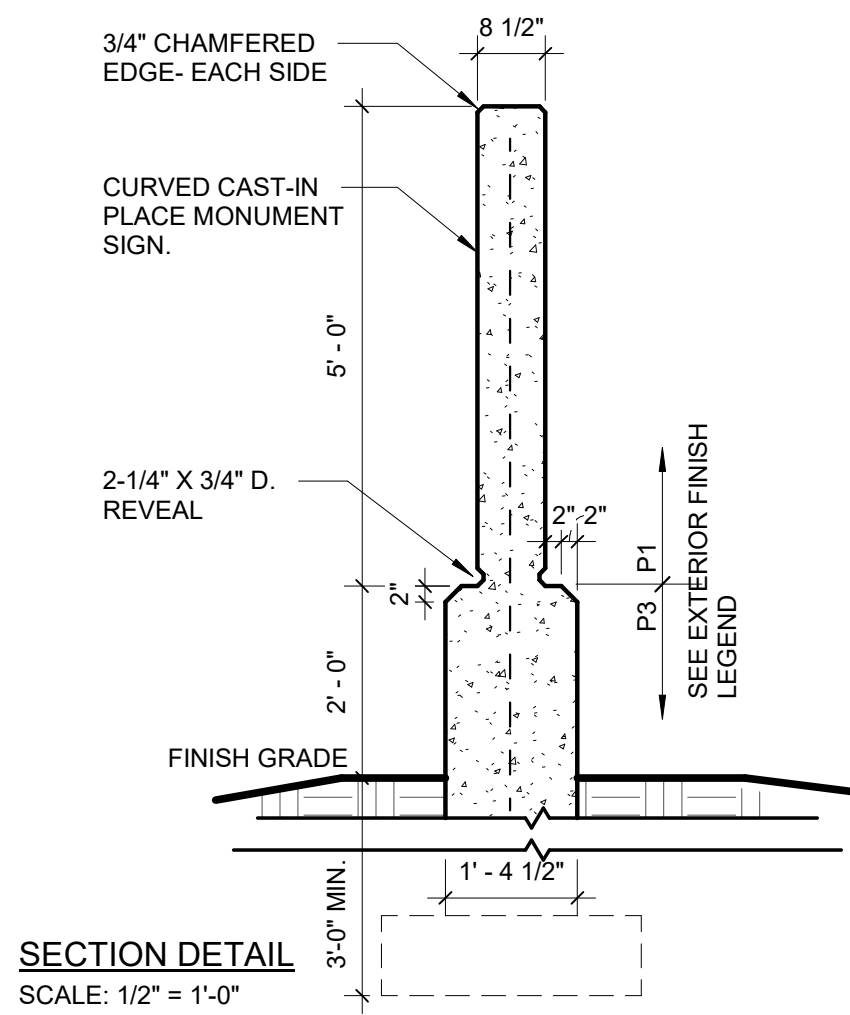
A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



**1 EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**CURVED FREE-STANDING MONUMENT SIGN**  
NOTE:  
1. COLORS TO MATCH ON NORTH ELEVATION.  
2. CHAMFER ALL PANEL EDGES.  
MAXIMUM SIGN AREA = 150 SF. FOR COMMERCIAL PROPERTY  
LOT FRONTAGE = 1,000 LF +/- x 0.35 SF (SIGN AREA) = 350 SF.

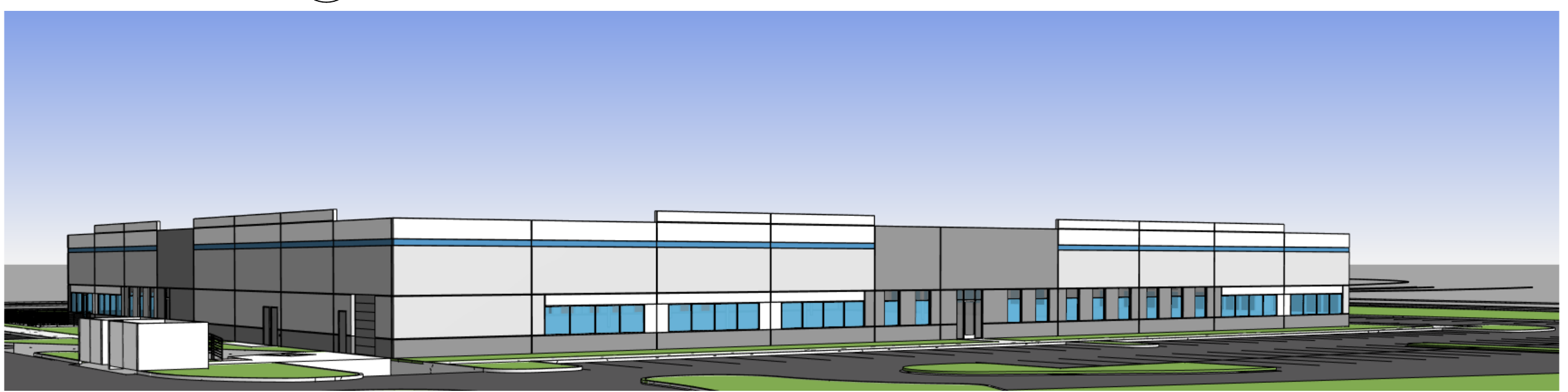
**3 MONUMENT SIGN**  
SCALE: 1/8" = 1'-0"

### KEYNOTES:

- 01.01 CONCRETE PANEL JOINT WITH 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH.
- 01.02 3/4" x 2 1/4" REVEAL, PAINTED.
- 01.07 DASHED LINE INDICATES MECHANICALLY FASTENED SINGLE-PLY TPO ROOF LINE BEYOND PANEL.
- 01.10 INSULATED TINTED GLAZING IN ANODIZED ALUMINUM STOREFRONT SYSTEM. SEE FINISH LEGEND.
- 01.15 5'-0" H. x 3/4" DEEP RECESS INTO CONCRETE PANEL, CHAMFER EDGES AND PAINT PER EXTERIOR FINISH LEGEND.
- 01.16 1'-0" H. x 3/4" DEEP RECESS INTO CONCRETE PANEL, CHAMFER EDGES AND PAINT PER EXTERIOR FINISH LEGEND.
- 01.17 BUILDING ADDRESS LOCATION. VERIFY WITH LOCAL FIRE DEPARTMENT PRIOR TO FINAL PLACEMENT. PROVIDE 18"H. ALUMINUM ADDRESS NUMBERS WITH 1/2" STROKE THICKNESS IN A COLOR CONTRASTING TO THE ADJACENT BUILDING COLOR PER FIRE DEPARTMENT STANDARDS.
- 01.23 EXTERIOR WALL MOUNTED LIGHT FIXTURE. SEE SITE PHOTOMETRIC PLAN.
- 01.28 CONCRETE LOADING DOCK.

### EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
P1	PAINT		GLIDDEN #00NN 62/000 "UNIVERSAL GREY"	SAND TEXTURE @ CONC. WALLS
P2	PAINT		GLIDDEN #00NN 37/000 "GRANITE GREY"	SAND TEXTURE @ CONC. WALLS
P3	PAINT		GLIDDEN #00NN 16/000 "GREY MARBLE"	SAND TEXTURE @ CONC. WALLS
P4	PAINT - ACCENT		GLIDDEN #10BB 1 "AMERICA'S CUP"	
G1	GLAZING		PPG - GRAYLITE I	
G2	GLAZING		PPG - SOLARBLUE	
G3	GLAZING		PPG - GRAYLITE II	SPAYERS GLAZING
AL	STOREFRONT FRAME		CLEAR ANODIZED ALUMINUM	



**SOUTHEAST PERSPECTIVE**  
SCALE: N.T.S.

AR DP 20-00865

REVISIONS	DESCRIPTION
DATE	2ND SUBMITTAL
02-25-2021	04-02-2021
BY	

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10990

**DEVELOPMENT PLAN**  
**PEAK TECHNOLOGY CAMPUS**  
**EXTERIOR ELEVATIONS**



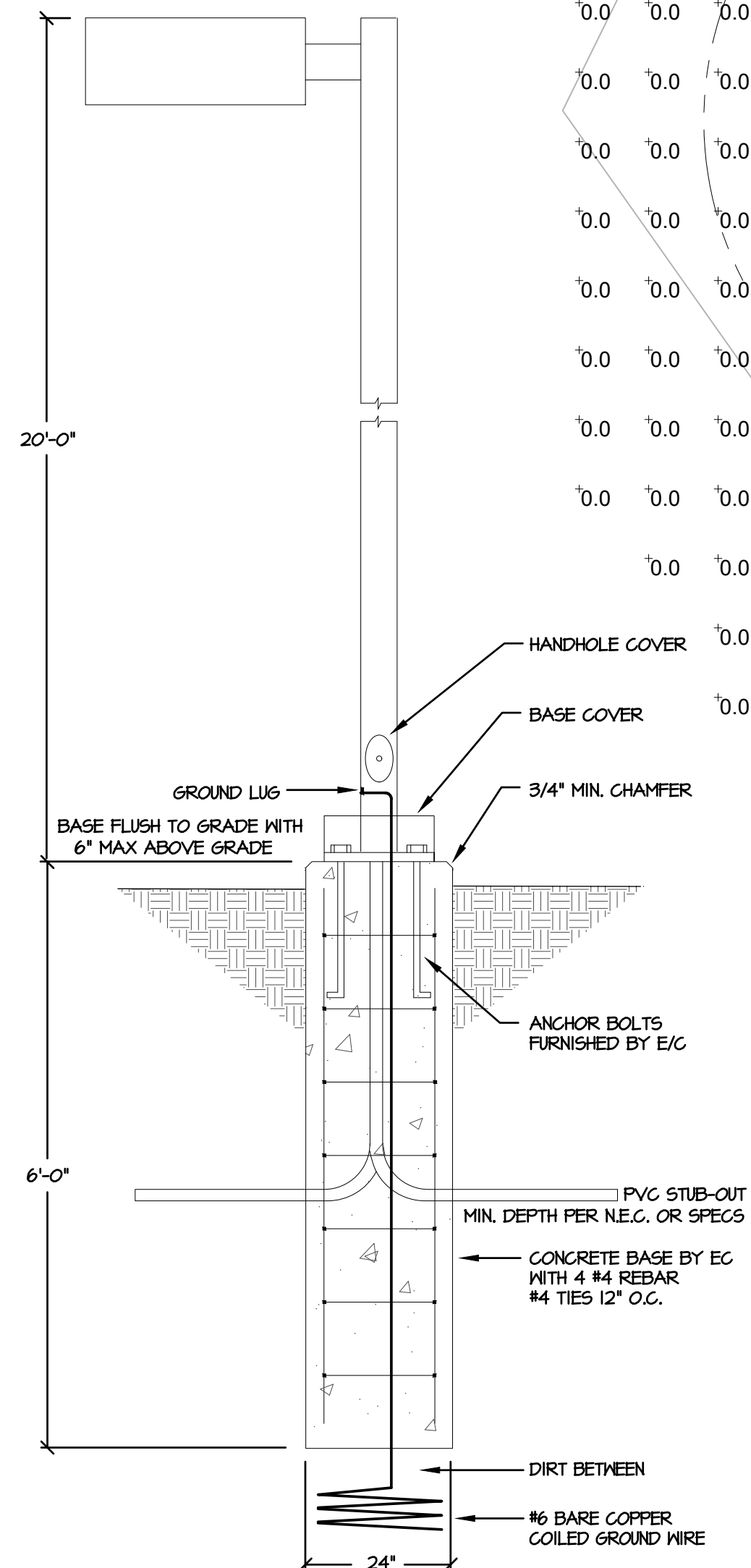
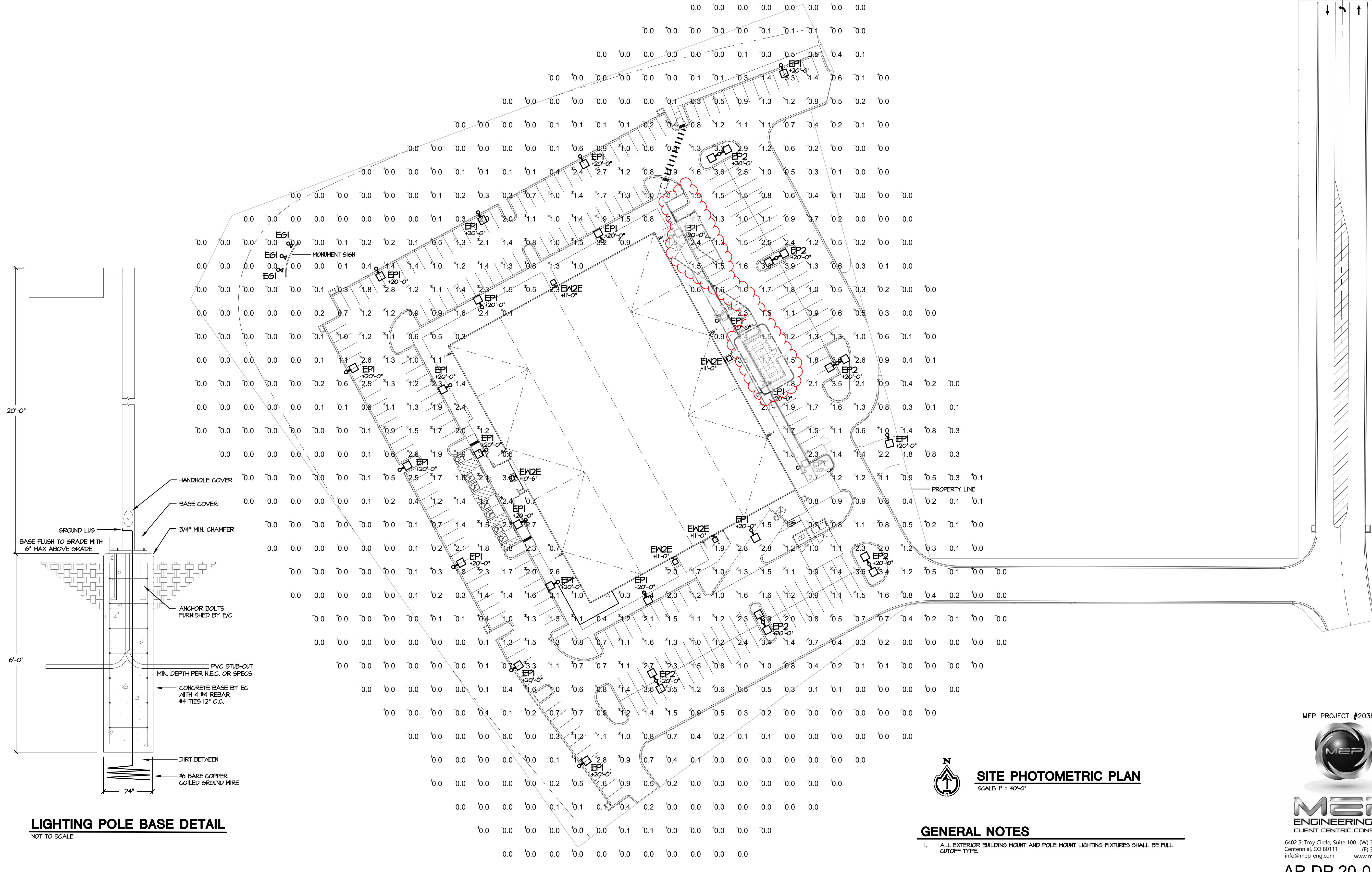
**architecture**  
**planning**  
**interiors**  
 2000 West Littleton Blvd  
 Littleton, Colorado 80120  
 P. 303.758.8877 F. 303.758.2294  
 www.igarch.com

JOB NO.  
 BS - 10990  
 SCALE  
 AS SHOWN  
 DATE  
 12/16/2020  
 SHEETS  
 SHEET  
**16** **13**

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

COLORADO SPRINGS AIRPORT FILING NO. 1D - BUILDING #1

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



**LIGHTING POLE BASE DETAIL**  
NOT TO SCALE

**SITE PHOTOMETRIC PLAN**  
 SCALE: 1" = 40'-0"

**GENERAL NOTES**  
I. ALL EXTERIOR BUILDING MOUNT AND POLE MOUNT LIGHTING FIXTURES SHALL BE FULL CUTOFF TYPE.

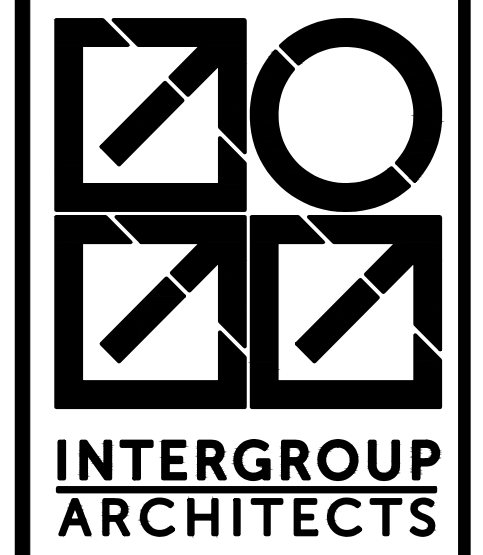
MEP PROJECT #20386

**MEP**  
ENGINEERING INC.  
CLIENT CENTRIC CONSULTING

6402 S. Troy Circle, Suite 100 (W) 303.936.1633  
Centennial, CO 80111 (F) 303.934.3299  
info@mep-eng.com www.mep-eng.com

REVISIONS		Description
Date	By	
2-25-2021	TJM	2ND SUBMITTAL
4-21-2021	RCC	3RD SUBMITTAL
DRAWN	CHECKED	DESIGNED
TJM	RCC	TJM
FILENAME		

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS  
SITE PHOTOMETRIC PLAN



**architecture**  
**planning**  
**interiors**  
 2000 West Littleton Blvd  
 Littleton, Colorado 80120  
 P. 303.736.8877 F. 303.736.2294  
 www.igarch.com

JOB NO.	BS - 10990
SCALE	SEE PLAN
DATE	DECEMBER 16TH, 2020
SHEETS	SHEET
16	14

AR DP 20-00865

# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

COLORADO SPRINGS AIRPORT FILING NO. 1D - BUILDING #1

A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

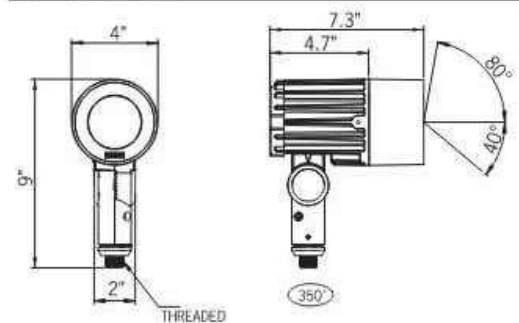
## EXTERIOR LIGHTING FIXTURE SCHEDULE

LUMINAIRE ID	MANUFACTURER	MODEL	CATALOG NUMBER	DESCRIPTION	DISTRIBUTION	VOLTAGE	DIMMING	MOUNTING	LAMPS			ROLE				
									QTY.	TYPE	WATTS	LUMENS	COLOR TEMP./CRI	BASE HT.	SHAPE	POLE HT.
EG1	LIGMAN	ODESSA 1	UOD-50051-21W-VH-MB-OI-I20/2T1	GRADE MOUNTED LANDSCAPE LED SIGN LIGHTING FIXTURE, DIE-CAST ALUMINUM HOUSING, UNIVERSAL VOLTAGE (120-277V) DRIVER, PEDESTAL MOUNT, VERY WIDE OPTICS, BLACK FINISH	VERY WIDE	120-277	N	GRADE / PEDESTAL	1	LED	21W	1,600	3000K / 80+	-	-	-
EP1	LITHONIA	RSX1 LED SERIES	RSX1 LED-P1-30K-R4-MVOLT-RPA-DBLXD-HS-NLTAIR2	SINGLE HEAD LED PARKING LOT FIXTURE, FLAT LENS, DIE-CAST ALUMINUM HOUSING, UNIVERSAL VOLTAGE (120-277V) DRIVER, TYPE IV WIDE DISTRIBUTION OPTICS, ROUND POLE, BLACK FINISH, HOUSE-SIDE SHIELD, WIRELESS MODULE	TYPE IV WIDE FULL CUTOFF	120-277	N	POLE +20'-0"	1	LED	51W	6,543	3000K / 80+	6' MAX	4" ROUND	20'-0"
EP2	LITHONIA	RSX1 LED SERIES	(2)RSX1 LED-P1-30K-R4-MVOLT-RPA-DBLXD-NLTAIR2	SIMILAR TO TYPE EP1 EXCEPT DUAL HEAD AND NO HOUSE-SIDE SHIELD	TYPE IV WIDE FULL CUTOFF	120-277	N	POLE +20'-0"	2	LED	(2)51W	(2)6,543	3000K / 80+	6' MAX	4" ROUND	20'-0"
EW2E	LITHONIA	WST LED SERIES	WST LED-P1-30K-VF-MVOLT-ETNG-DBLXD	WALL MOUNTED EXTERIOR RATED LED AREA LIGHTING FIXTURE, DIE-CAST ALUMINUM HOUSING, UNIVERSAL VOLTAGE (120-277V) DRIVER, FORWARD DISTRIBUTION OPTICS, INTEGRAL EM BATTERY, BLACK FINISH	FORWARD FULL CUTOFF	120-277	N	WALL +10'-0"	1	LED	12W	1,694	3000K / 80+	-	-	-

### UOD-50051 TYPE EG1 Odessa 1 Small Threaded Knuckle Floodlight



21W COB 1688 Lumens  
IP66 - Suitable For Wet Locations  
IK07 - Impact Resistant (Vandal Resistant)  
Weight 5.7 lbs



Odessa Product Family

**Construction**  
Aluminum Casting  
Less than 0.1% copper content - Marine Grade 5052 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
Pre-paint  
8 step degrease and phosphate process that includes descaling and etching as well as a zinc and nickel phosphate process before product painting.  
Memory Retentive - Silicon Gasket  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.  
Thermal management  
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
Surge Suppression  
Standard 10kv surge suppressor provided with all fixtures.  
BUG Rating  
B2 - LD - GD

**Stylish adjustable projector range. Naturally beautiful and unique contemporary family, Odessa packs a punch with an abundance of options and accessories.**  
The Odessa family of floodlights have a modern aesthetic design and are a perfect lighting solution for most small to medium size spotlight and floodlight requirements. The floodlights can be aimed and locked in place to highlight specific features or elements in the environment, as well as provide security when illuminating dark areas on campuses and parks.  
This small and medium range of high performance LED floodlight luminaires provides a robust design for demanding applications such as recreational areas, public spaces and architectural structures.  
The luminaire has integrated heat sinks to facilitate LED cooling, as well as an integral driver. The Odessa is available in Narrow, Medium, Wide and Very Wide light distributions. Color temperature 2700K, 3000K, 3500K and 4000K. Luminaire has optional accessories, such as a ground spike, visors, louvers, and linear spread lenses.  
For non standard fixture variations, as well as specific reflector requirements and, please contact the factory. 3 mounting options are available, namely yoke mount, pedestal and 1/2" threaded knuckle system with a fully rotatable with locking screw option for after installation aiming.



**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.  
**Paint**  
UV Stabilized 4.0Ml thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.  
**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.  
**Anti-Static Screw Holes**  
Tapped holes are infused with a special anti static compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optics & LED**  
Precision optic design provides exceptional light control and precise distribution of light. LED CRI > 80  
**Lumen - Maintenance Life**  
L80 T810 at 50,000 hours (This means that at least 80% of the LED will achieve 80% of their original flux)



### TYPES EP1 / EP2 RSX1 LED Area Luminaire



**Specifications**  
EPA (ft@0°): 0.57 ft (0.05 m)  
Length: 21.8" (55.4 cm) (SPA mount)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
7.2" (18.4 cm) Arm  
Weight: 22.0 lbs (10.0 kg) (SPA mount)



Ordering Information

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K	R2	MVOLT (120V-277V) <sup>1</sup>	SPA
	P2	40K	R3	MVOLT (120V-277V) <sup>1</sup>	RPA
	P3	50K	R3S	208 <sup>1</sup> 277 <sup>1</sup>	MA
	P4	50K	R4	120 <sup>1</sup> 277 <sup>1</sup>	IS
			R5	208 <sup>1</sup> 347 <sup>1</sup>	WBA
			R5S	240 <sup>1</sup> 480 <sup>1</sup>	WBAS
			ATR		AASP
			AFRR90		AASP
			ARHS		ARHS
			ARL90		ARHS

Options	Shipped Installed	Finish
RS	Recessed (side view) <sup>1</sup>	DBR20
FE	Flashed (side view) <sup>1</sup>	DBL20
PE	Phosphor coated external threaded, adjustable <sup>1</sup>	DBW20
PERZ	Seven wire twist lock receptacle only (no opening) <sup>1</sup>	DBR20D
CE34	Conduit entry 3/4" NPT (Qty 2)	DBL20D
SP	Single face (120, 277, 347) <sup>1</sup>	DBW20D
DF	Double face (208, 347, 480) <sup>1</sup>	DBW20D
SPD20K	200V Surge protector (200V standard)	DBW20D
IAO	Field adjustable output <sup>1</sup>	DBW20D
DMG	D-100 (dimming) extends out back of housing for external control (remote extend optional) <sup>1</sup>	DBW20D

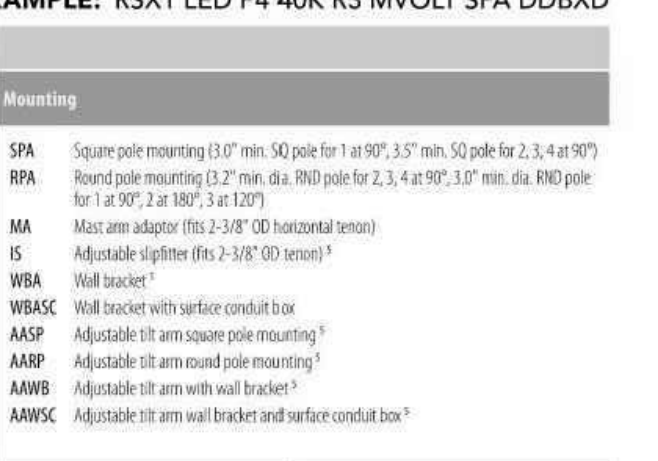
LITHONIA LIGHTING COMMERCIAL OUTDOOR  
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (2738) • www.lithonia.com  
© 2018-2019 Acuity Brands Lighting, Inc. All rights reserved.

### TYPE EW2E WST LED Architectural Wall Sconce

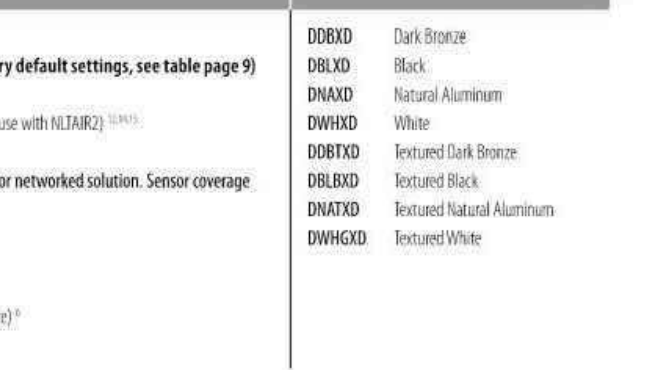


**Specifications**  
Luminaire  
Height: 8-1/2" (21.56 cm)  
Width: 17" (43.18 cm)  
Depth: 10-3/16" (26.8 cm)  
Weight: 20 lbs (9.1 kg)

Optional Back Box (PBBW)

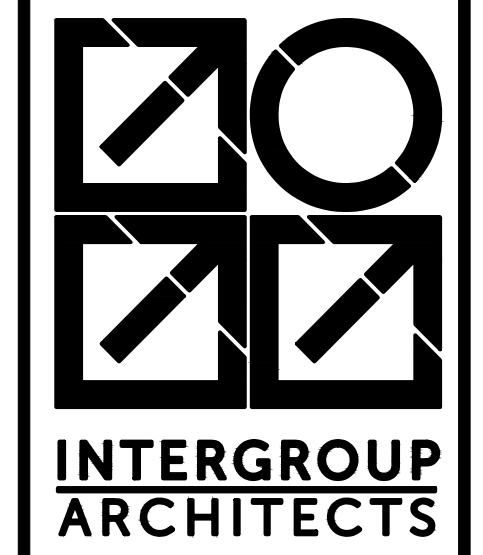


Optional Back Box (BBW)



LITHONIA LIGHTING COMMERCIAL OUTDOOR  
One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (2738) • www.lithonia.com  
© 2011-2020 Acuity Brands Lighting, Inc. All rights reserved.

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS  
PHOTOMETRIC SCHEDULE



architecture  
planning  
interiors  
2000 West Littleton Blvd  
Littleton, Colorado 80120  
P: 303.793.8877 F: 303.793.2294  
www.igarch.com

MEP PROJECT #20386  
MEP ENGINEERING INC.  
CLIENT CENTRIC CONSULTING  
6402 S. Troy Circle, Suite 100 (W) 303.936.1633  
Centennial, CO 80111 (F) 303.934.3299  
info@mep-eng.com www.mep-eng.com

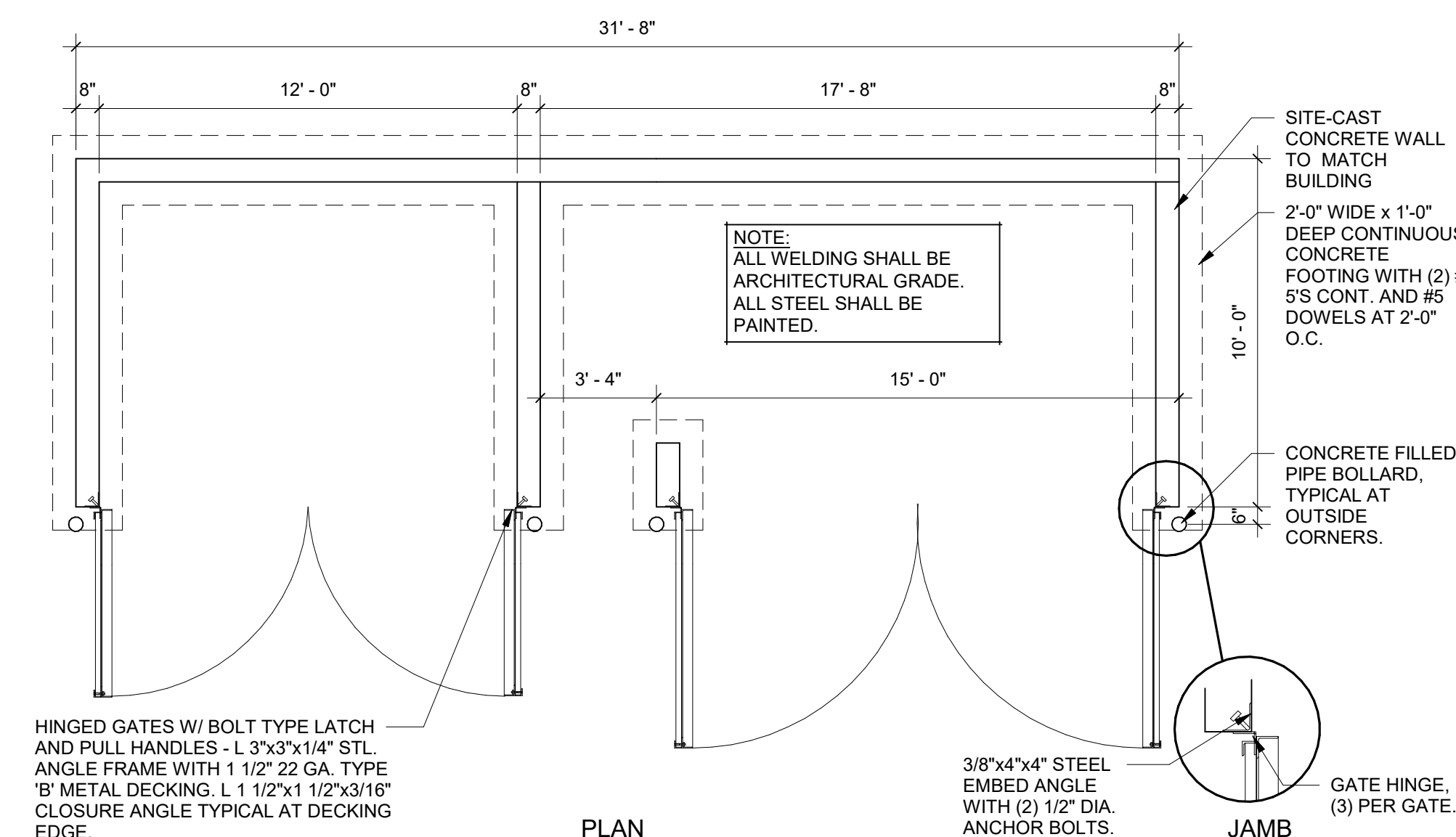
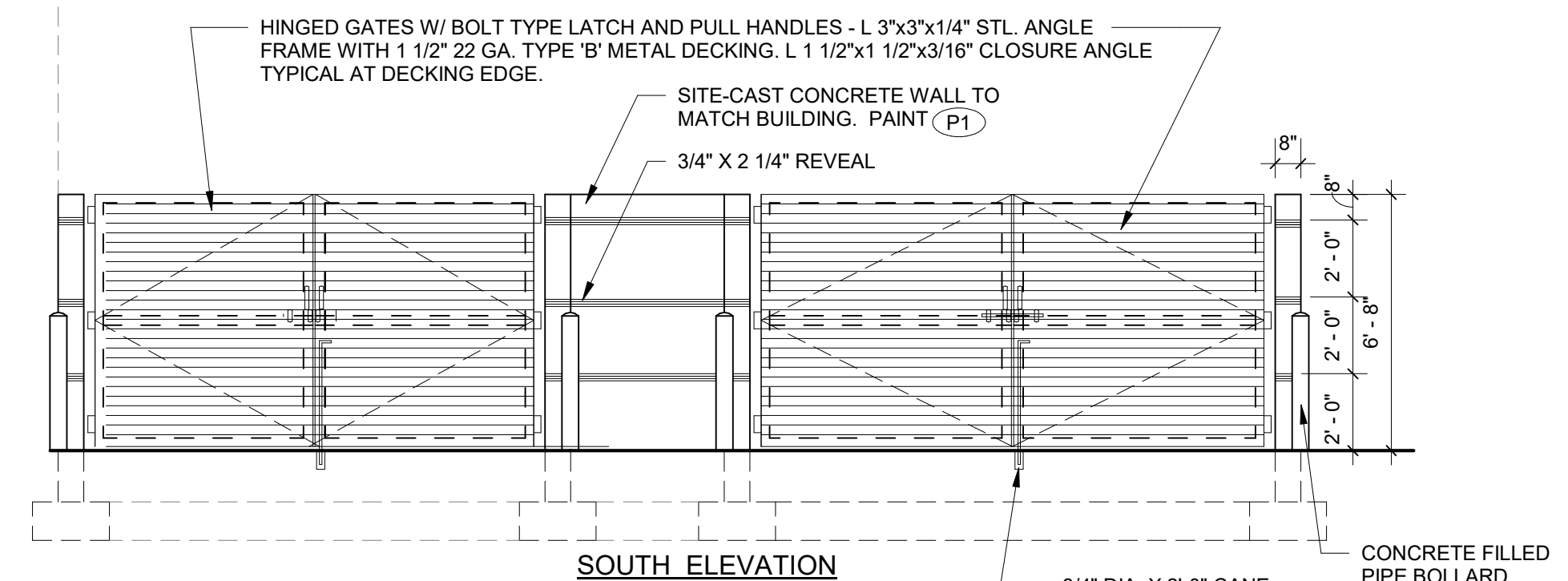
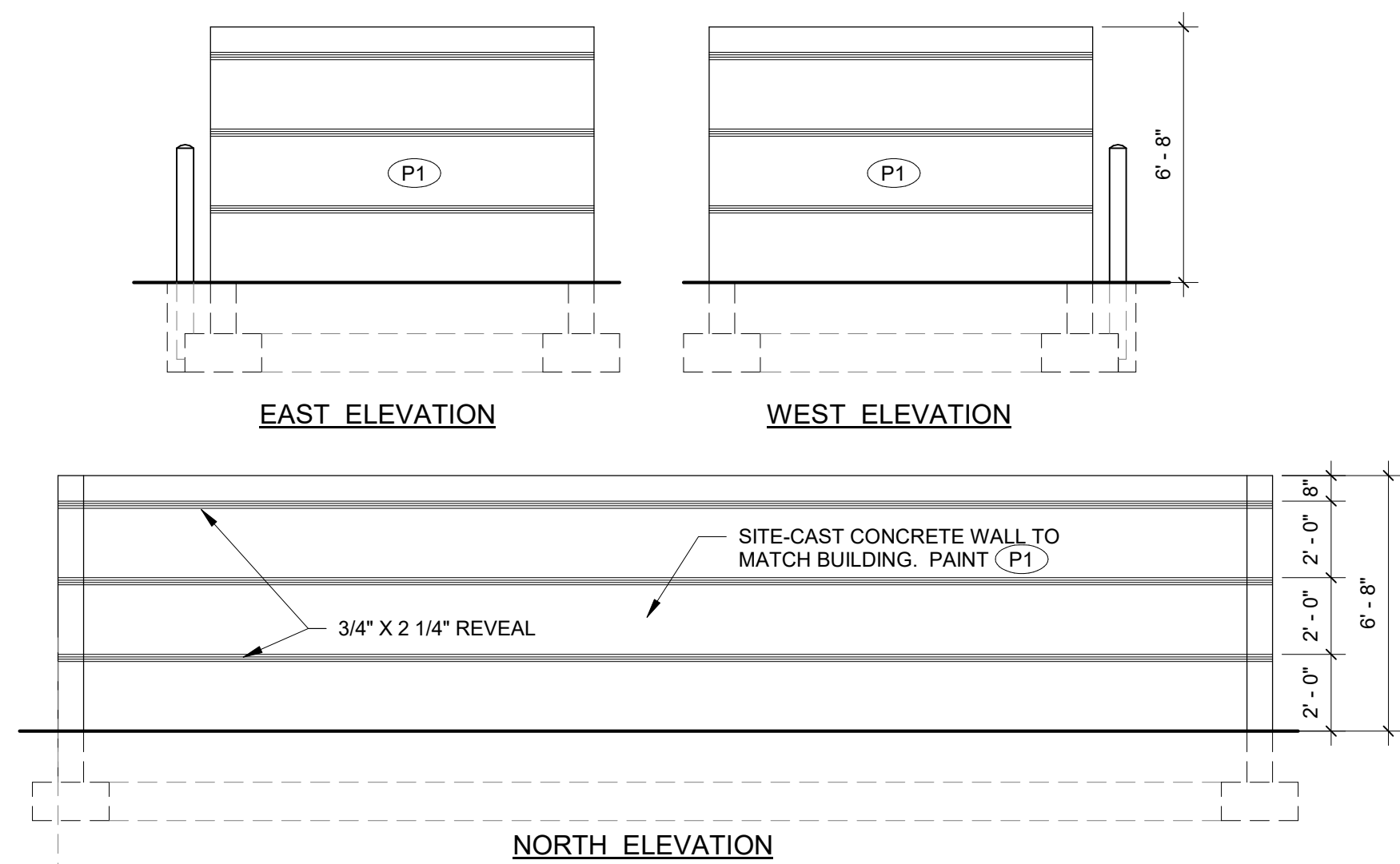
AR DP 20-00865

JOB NO. BS - 10990  
SCALE SEE PLAN  
DATE DECEMBER 16TH, 2020  
SHEETS 16 SHEET 15

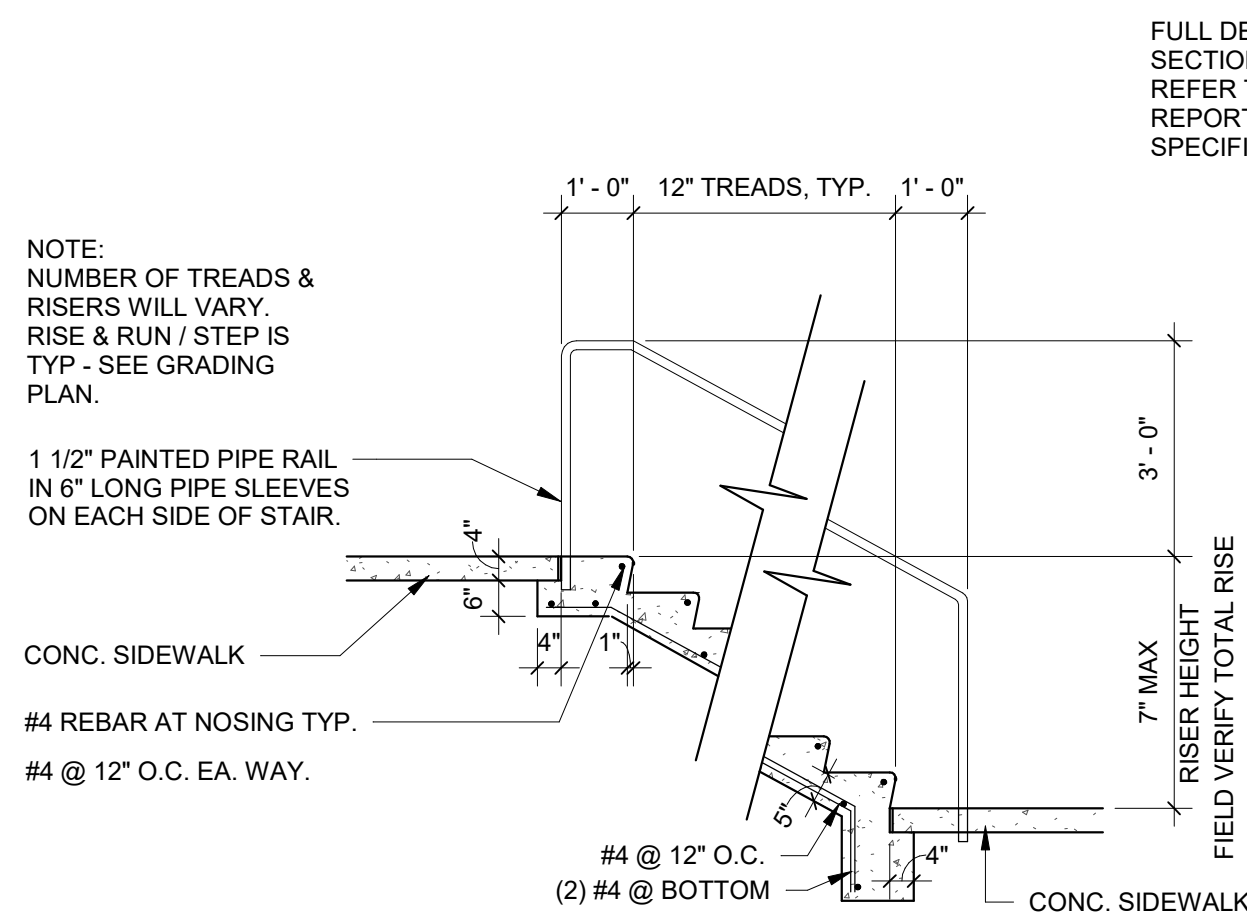
# DEVELOPMENT PLAN PEAK TECHNOLOGY CAMPUS

COLORADO SPRINGS AIRPORT FILING NO. 1D - BUILDING #1

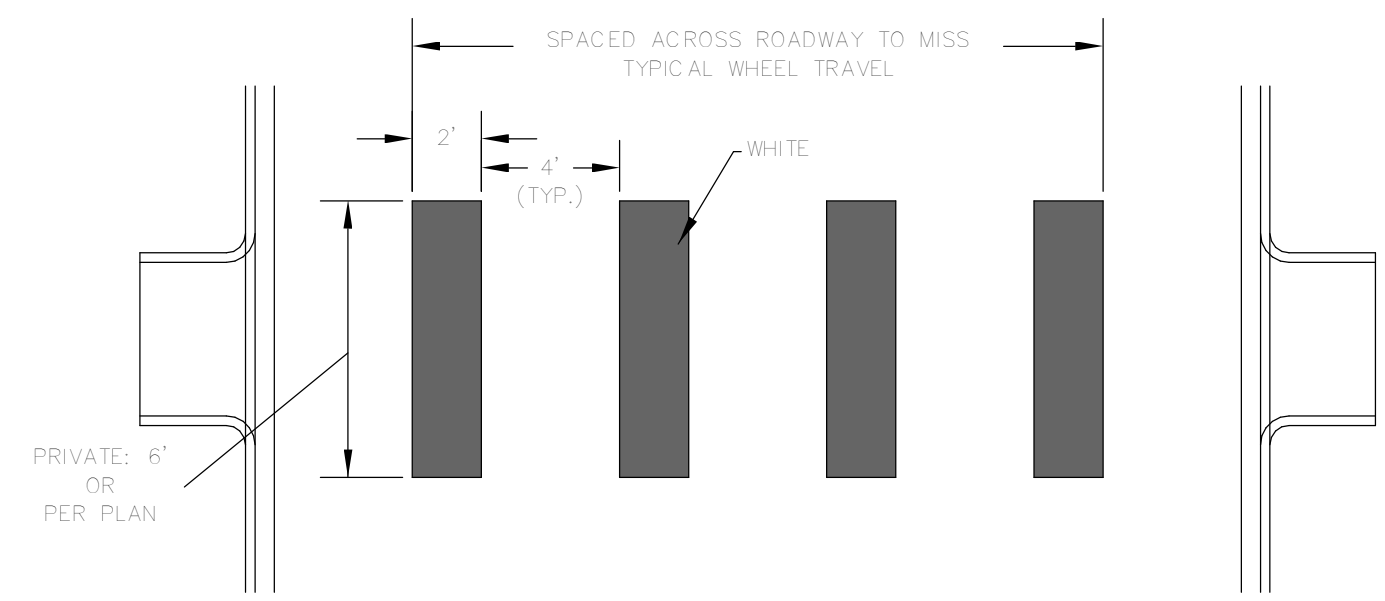
A TRACT OF LAND LOCATED IN A PORTION OF LOT 7, COLORADO SPRINGS AIRPORT FILING 1D,  
LOCATED IN WEST 1/2 OF SECTION 5 & THE EAST 1/2 OF SECTION 6, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



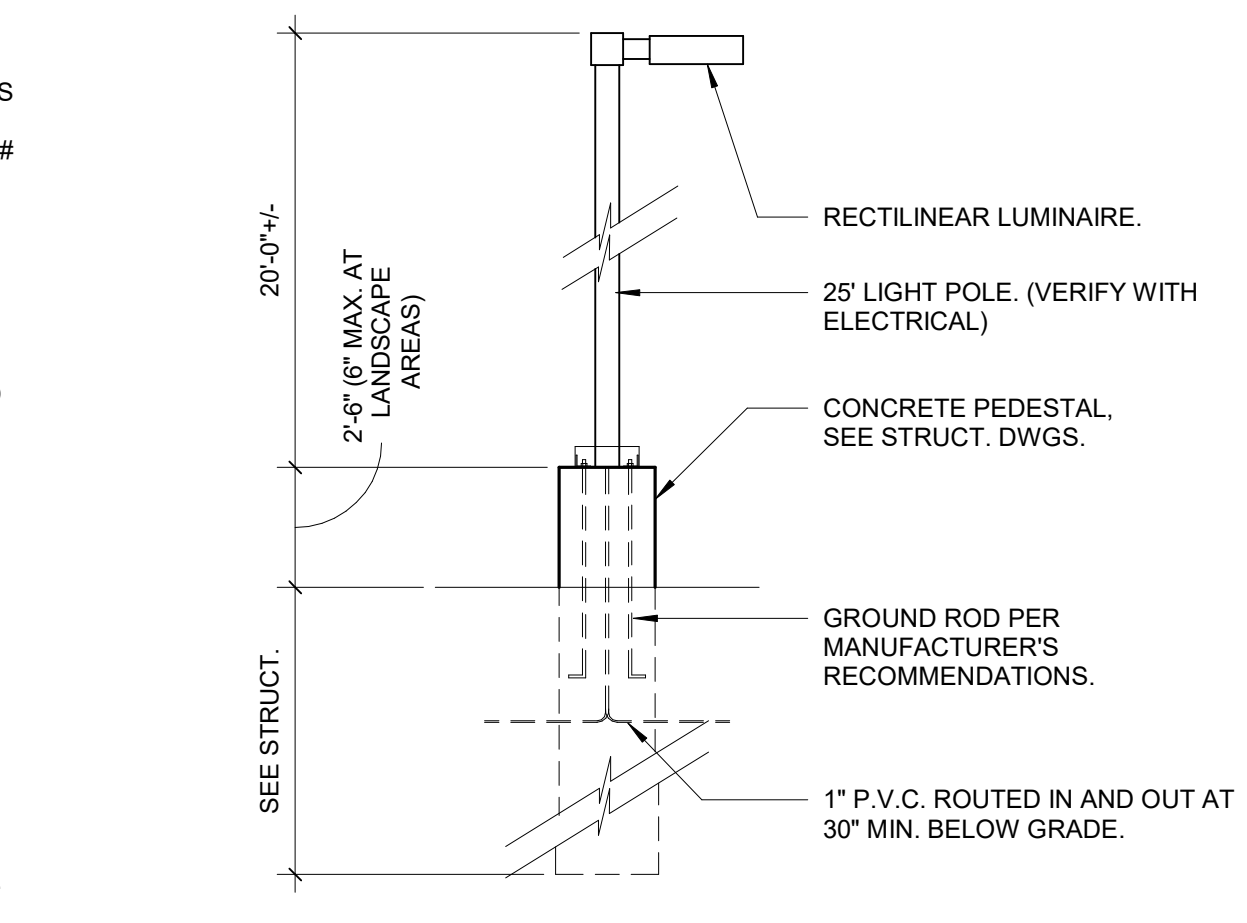
**10 TRASH / TRANSFORMER ENCLOSURE DETAIL**  
SCALE: 1/4" = 1'-0"



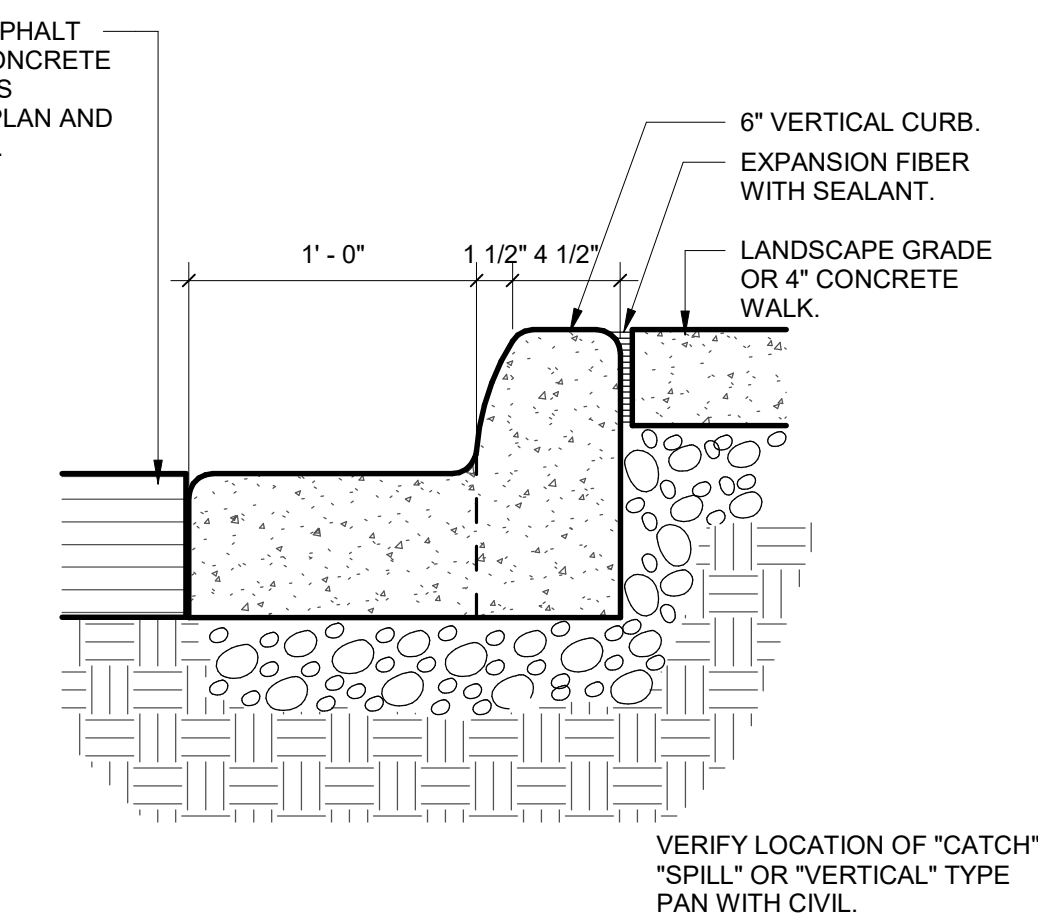
**9 LANDSCAPE STAIR DETAIL**  
SCALE: 3/8" = 1'-0"



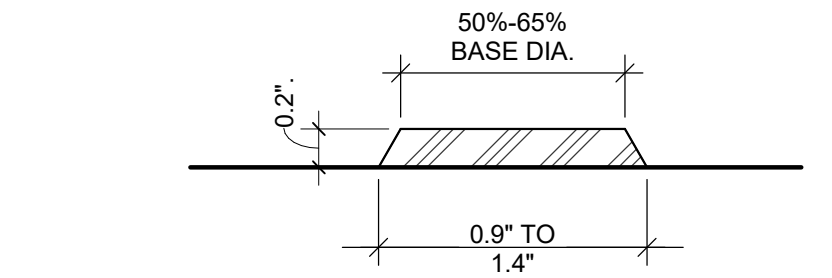
**8 CROSS WALK STRIPING DETAIL**  
SCALE: 1/2" = 1'-0"



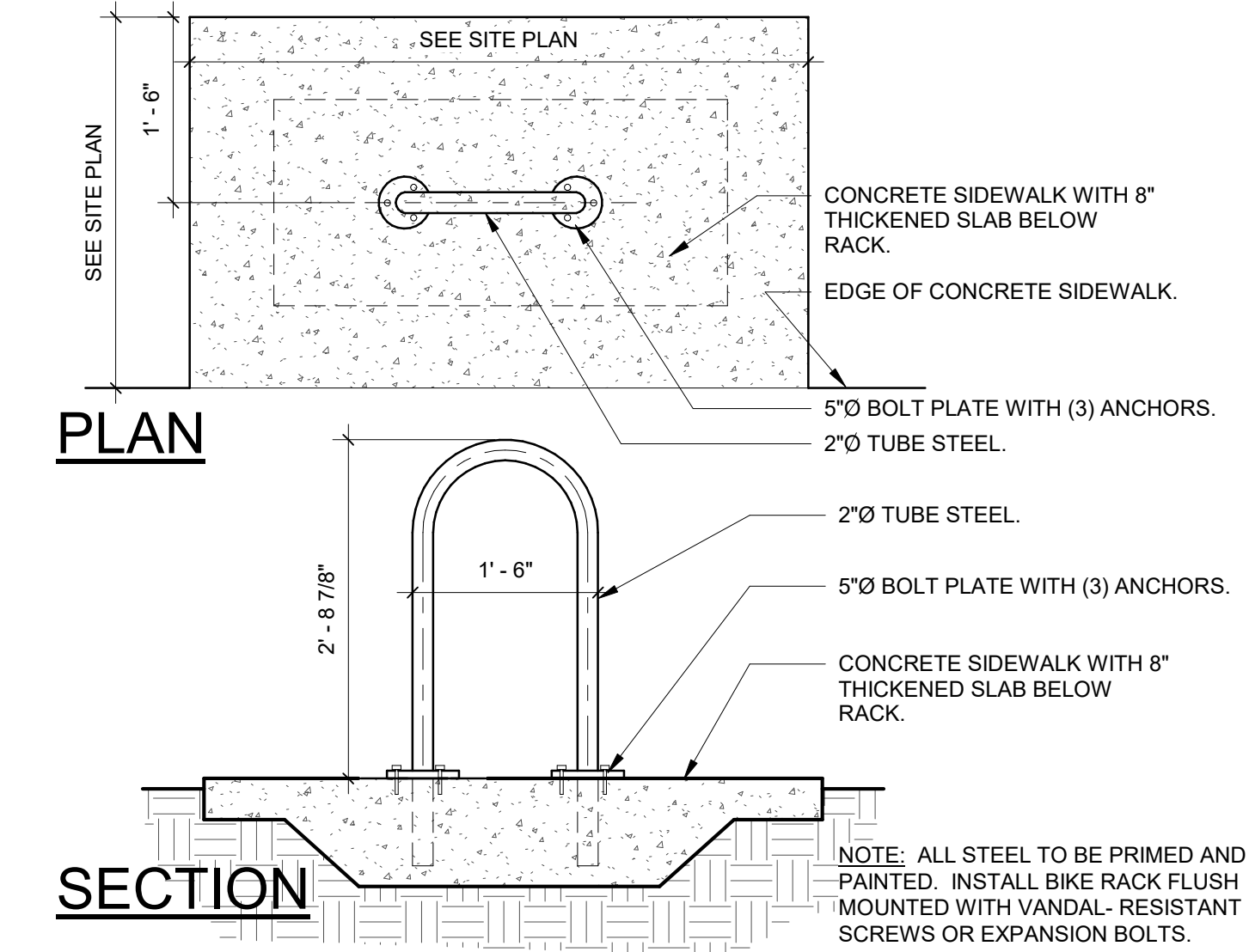
**7 SITE LIGHT DETAIL**  
SCALE: 1/4" = 1'-0"



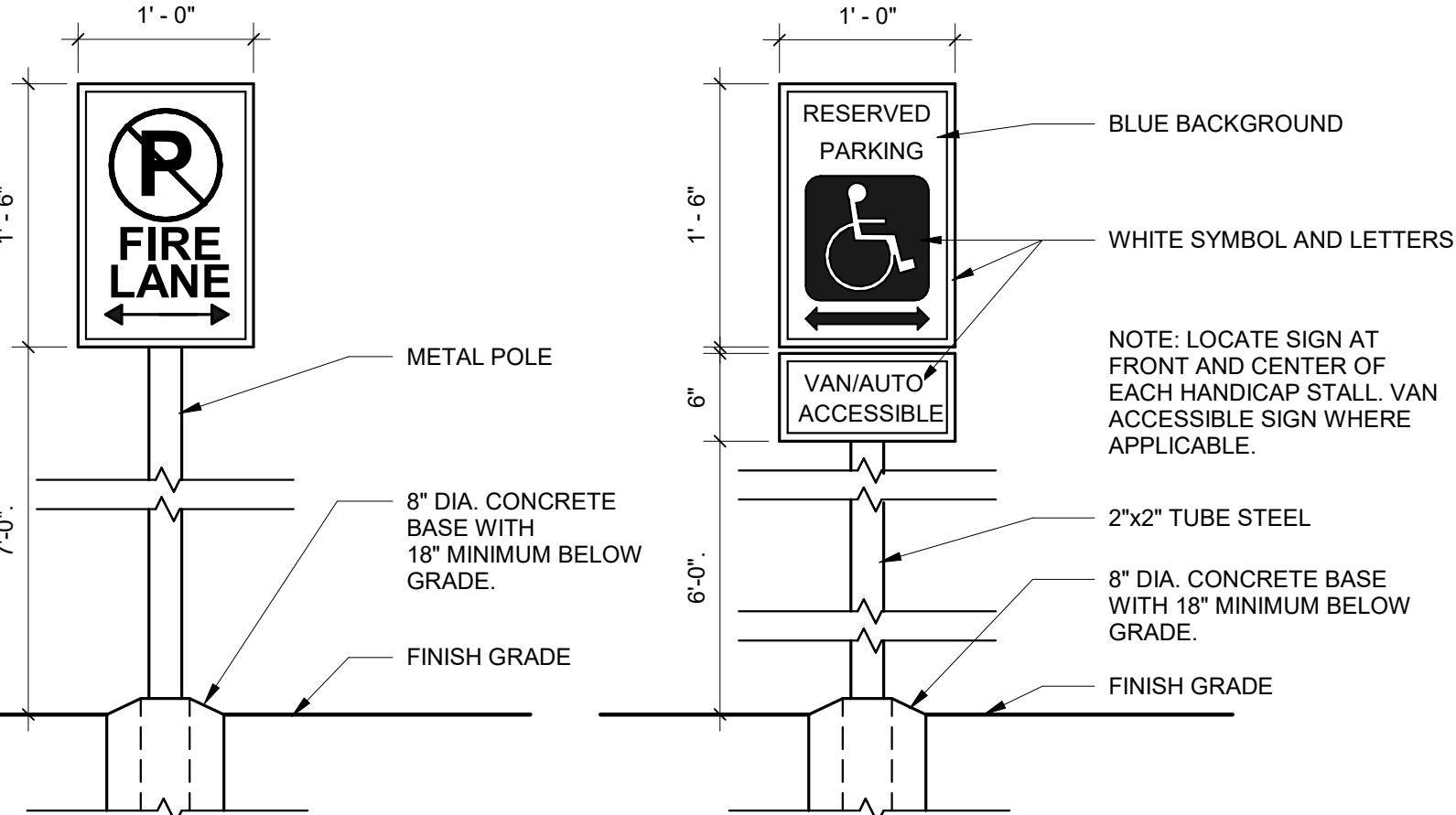
**6 CURB DETAIL**  
SCALE: 1 1/2" = 1'-0"



**5 TRUNCATED DOME SIZING & SPACING**  
SCALE: 3" = 1'-0"

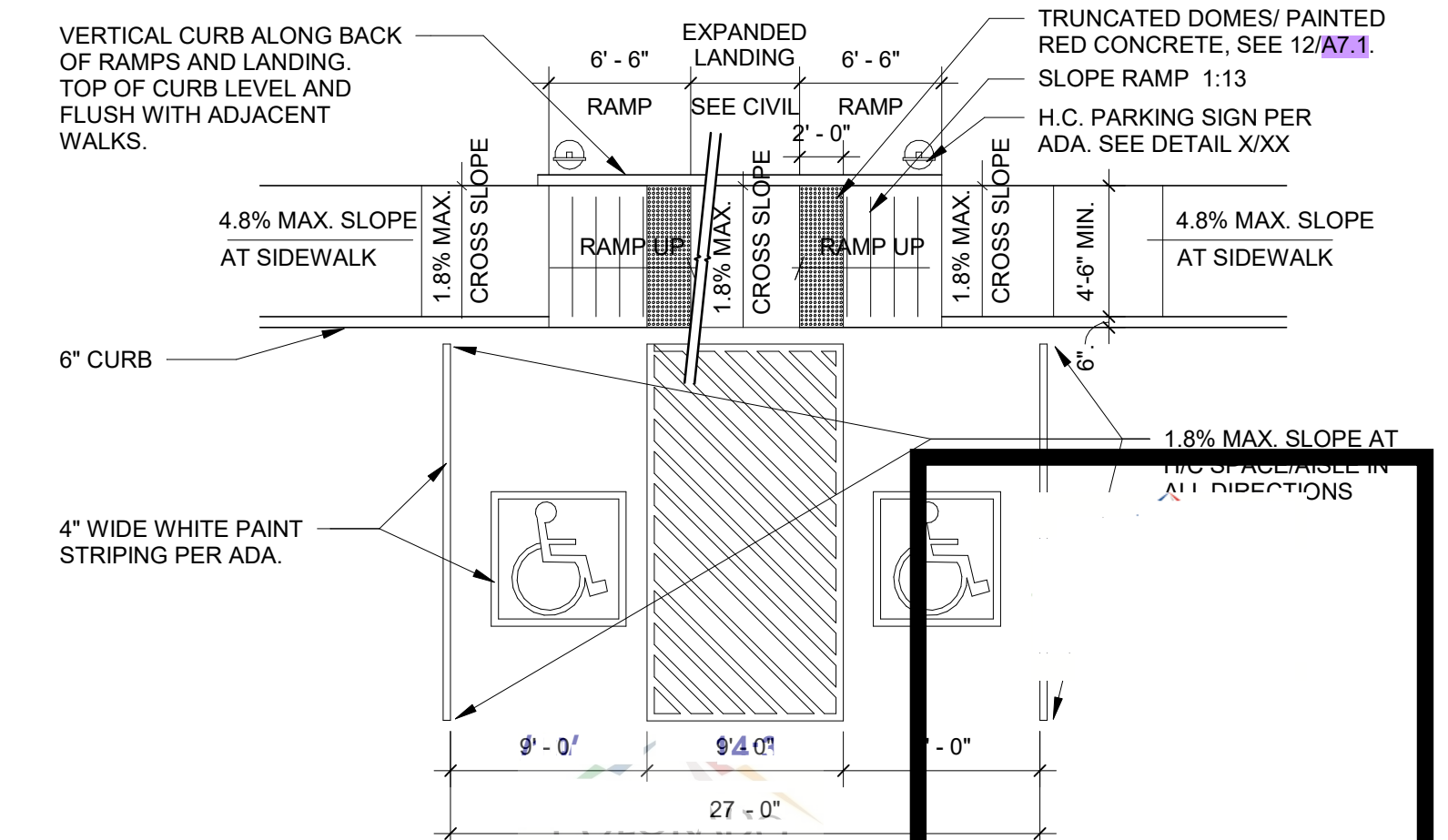


**4 BIKE RACK DETAIL**  
SCALE: 3/4" = 1'-0"



**3 FIRE LANE SIGN**  
SCALE: 1" = 1'-0"

**2 HC PARKING SIGN**  
SCALE: 1" = 1'-0"



**1 HC PARKING DETAIL**  
SCALE: 1/8" = 1'-0"

REVISIONS	DATE	DESCRIPTION
BY	02-25-2021	2ND SUBMITTAL
	04-02-2021	3RD SUBMITTAL

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10990

DEVELOPMENT PLAN  
PEAK TECHNOLOGY CAMPUS  
SITE DETAILS



architecture  
planning  
interiors  
2000 West Littleton Blvd  
Littleton, Colorado 80120  
P. 303.756.8877 F. 303.756.2294  
www.igarch.com

JOB NO.	BS - 10990
SCALE	AS SHOWN
DATE	12/16/2020
SHEETS	SHEET
16	16

AR DP 20-00865

