

(Splice)

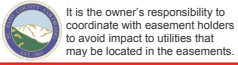
SFD25755
PLAT-14921
RS-5000

APPROVED
Plan Review

08/19/2026 9:42:37 AM

dsdhills

EPC Planning & Community
Development Department



It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.



ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBLIVATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION

Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Diversion of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department

This property is located in a Wildland Urban Interface Area and is subject to Appendix E, Wildfire Resiliency Requirements, of the El Paso County Land Development Code. This property is located in a:

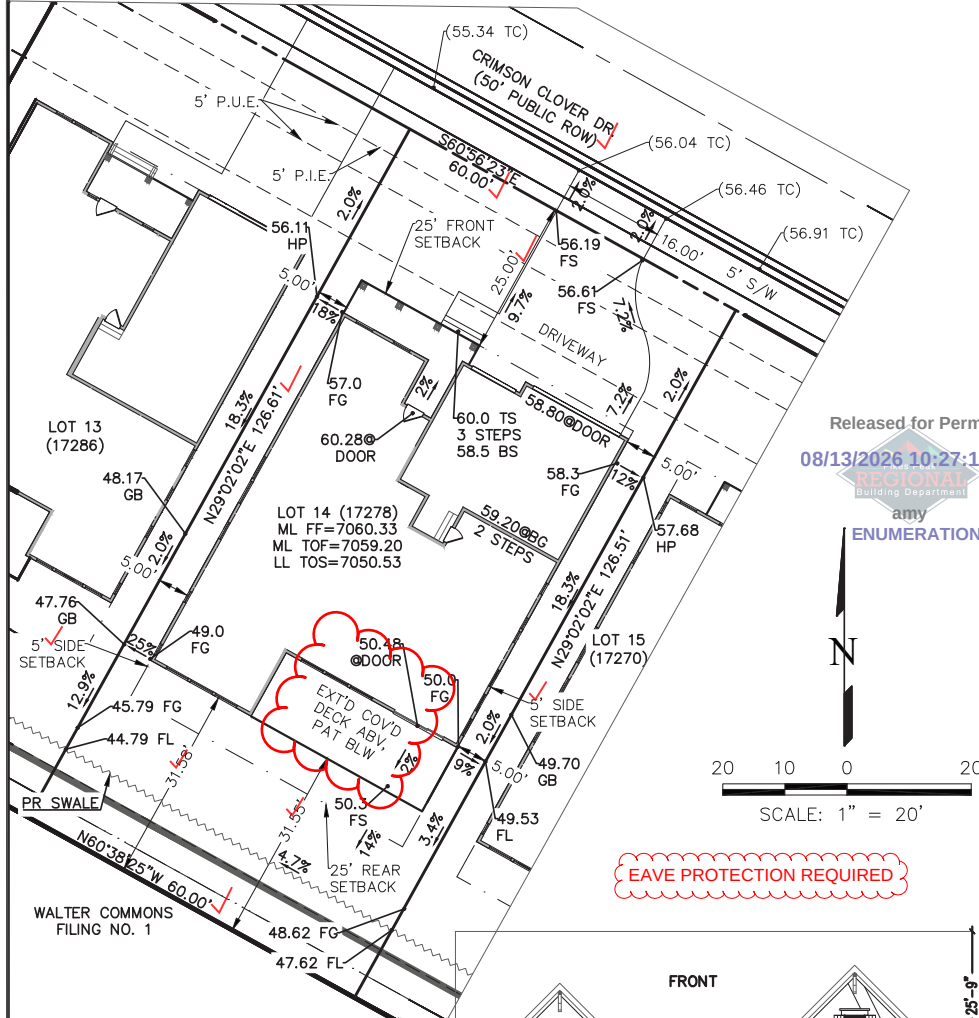
☐ Low Fire Intensity Classification and is subject to Class I requirements

☐ Moderate or High Fire Intensity Classification and is subject to Class I and Class II requirements

PLOT PLAN

CLOVERLEAF FILING NO. 2

LOT NO. 14



Released for Permit

08/13/2026 10:27:19 AM

REGIONAL Building Department

amy

ENUMERATION

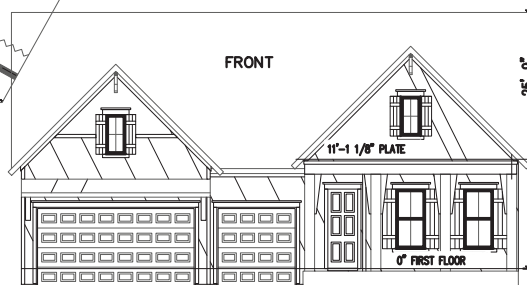


20 10 0 20

SCALE: 1" = 20'

EAVE PROTECTION REQUIRED

AVERAGE FINISHED GRADE: 7053.58
TAX SCHEDULE #: 7124202250
DRIVEWAY: 36% OF FRONT SETBACK
HOUSE: 3,439 SF (45% OF TOTAL LOT)
ZONING: RS-5000
MODEL #: B980-B



BUILDING SQUARE FOOTAGES
BSMT.: 1,890 S.F.
MAIN: 2,211 S.F.
UPPER: N.A.
GARAGE: 646 S.F.

STORM DRAINAGE SQ. FT.
ROOF: 3,720 S.F.
DRIVEWAY / WALKWAY: 698 S.F.

LOT SIZE INFORMATION
LOT SIZE: 7,594 S.F.
BLDG SIZE: 3,439 S.F.
LOT COVERAGE: 45%
BLDG HEIGHT: 25'-9"

SUBDIVISION: CLOVERLEAF FILING NO. 2
ADDRESS: 17278 CRIMSON CLOVER DRIVE
DATE DRAWN: 7/3/26

LOT: 14 ZONE: R
CITY/COUNTY: COLO. SPGS. EL PASO
TYPE OF UNIT: SINGLE FAMILY

BUILDER:
DAVID WEEKLEY HOMES
7150 CAMPUS DRIVE, STE 320
COLORADO SPRINGS, COLORADO 80920
(719)453-0164

TERRA NOVA
ENGINEERING, INC.

721 S. 23rd Street, Colorado Springs, CO 80904
719-635-6422 • Fax: 719-635-6426 • www.tnesinc.com

SITE



2023 PPRBC

~~2021 IECC~~

2024 IECC & CO MERSRC

Address: 17278 CRIMSON CLOVER DR, MONUMENT

Parcel: 7124202250

Plan Track #: 204338



Received: 13-Aug-2026 (AMY)

Description:

RESIDENCE

Type of Unit:

Garage	677
Lower Level 2	1914
Main Level	1748
Upper Level 1	1720
6059	Total Square Feet

Required PPRBD Departments (2)

Enumeration

APPROVED

AMY

7/30/2025 3:06:11 PM

Floodplain

(N/A) RBD GIS

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

08/19/2026 9:51:07 AM

dsdhills

EPC Planning & Community
Development Department

Released for Permit

08/13/2026 11:53:56 AM



Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.