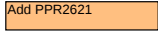
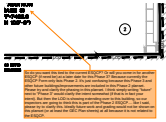
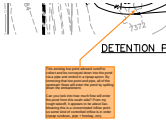
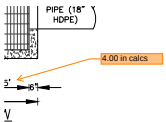


V1_Grading & Erosion Control (GEC) Plan_COMMENTS.pdf Markup Summary

Glenn Reese - EPC Stormwater (5)

	Subject: SW - Textbox Page Label: [1] C1.0-DP Author: Glenn Reese - EPC Stormwater Date: 8/12/2026 1:16:04 PM Status: Color: ■ Layer: Space:	Add PPR2621
IO. EGP 261		
	Subject: SW - Textbox with Arrow Page Label: [1] C3.4-A Author: Glenn Reese - EPC Stormwater Date: 8/12/2026 2:30:25 PM Status: Color: ■ Layer: Space:	So do you want this tied to the current ESQCP? Or will you come in for another ESQCP (if need be) at a later date for this Phase 3? Because currently the ESQCP Form only lists Phase 2. It's just confusing because this Phase 3 and other future buildings/improvements are included in this Phase 2 planset. Please try and clarify the phasing in this planset. I think simply writing "future" next to "Phase 3" would clarify the intent somewhat (if that is in fact your intent). But then the LOD is showing extending over to this building, so our inspectors are going to think this is part of the Phase 2 ESQCP.... like I said, please try to clarify this. Ideally future work and grading would not be shown on this planset (or at least the GEC Plan sheets) at all because it is not related to the ESQCP.
	Subject: SW - Textbox with Arrow Page Label: [1] C3.5-DP Author: Glenn Reese - EPC Stormwater Date: 8/12/2026 1:55:36 PM Status: Color: ■ Layer: Space:	This existing low point allowed runoff to collect and be conveyed down into the pond via a pipe and ended in a riprap apron. By removing that low point and pipe, all of the upstream flows will enter the pond by spilling down the embankment. Can you look into how much flow will enter the pond from this south side? From my rough takeoff, it appears to be about 3ac. Meaning this is a concentrated inflow point so some kind of controlled inflow is in order (riprap rundown, pipe + forebay, etc).
	Subject: SW - Textbox with Arrow Page Label: [1] C3.5-DP Author: Glenn Reese - EPC Stormwater Date: 8/12/2026 1:50:20 PM Status: Color: ■ Layer: Space:	4.00 in calcs



Subject: SW - Textbox with Arrow
Page Label: [1] C3.5-DP
Author: Glenn Reese - EPC Stormwater
Date: 8/12/2026 2:00:28 PM
Status:
Color: ■
Layer:
Space:

Gasket: Provide more detailed gasket info like thickness, width, brand/model, etc.

Based on input gathered from industry experts, below is the recommended gasket spec:

The gasket shall be made of 1/4-inch thick, 60 durometer EPDM rubber in a continuous sheet the size of the orifice plate. The sheet shall be placed between the orifice plate and the concrete wall, with the width of the overlap between the plate and the concrete. Openings shall be cut into the sheet corresponding to the plate bolt holes and the concrete wall opening, cuts made either by the contractor in the field or by the manufacturer. Or equivalent gasket approved by EPC. Note that caulk is not an approved equivalent and will not be accepted by EPC.

COUNTY GENERAL NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER’S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER’S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER’S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR’S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP WITH CLASS B BEDDING UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW (DEPT. OF PUBLIC WORKS) AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
- EL PASO COUNTY DOES NOT OWN AND IS NOT RESPONSIBLE FOR THE UNDERDRAINS OR GROUNDWATER DISCHARGE SYSTEMS SHOWN ON THESE PLANS (IF APPLICABLE) AND ASSUMES NO LIABILITY FOR WATER RIGHTS ADMINISTRATION BY APPROVING THESE PLANS. MAINTENANCE AND WATER RIGHTS ARE THE RESPONSIBILITY OF THE DEVELOPER.

COUNTY SIGNING AND STRIPING NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW).
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8"BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 35 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 12" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE FHWA STANDARD HIGHWAY SIGNS: 2004 EDITION WITH 2012 SUPPLEMENT. SIGNAL POLE MOUNTED AND OVERHEAD STREET NAME SIGNS SHALL BE PER MUTCD SIZE STANDARDS.
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM DIAMOND GRADE RETROREFLECTIVE SHEETING THAT MEETS ASTM D4956 TYPE XI SHEETING REQUIREMENTS.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.125" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 24" WIDE AND A MINIMUM OF 9' LONG. CROSSWALKS SHALL BE INLAID IN ACCORDANCE WITH SECTION 627 OF THE 2025 CDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.
- WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 18 MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH CDOT STANDARD S-614-1 OR MUTCD FIGURE 2A-2.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DPW – INSPECTIONS (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DPW PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

PROJECT GENERAL CIVIL NOTES:

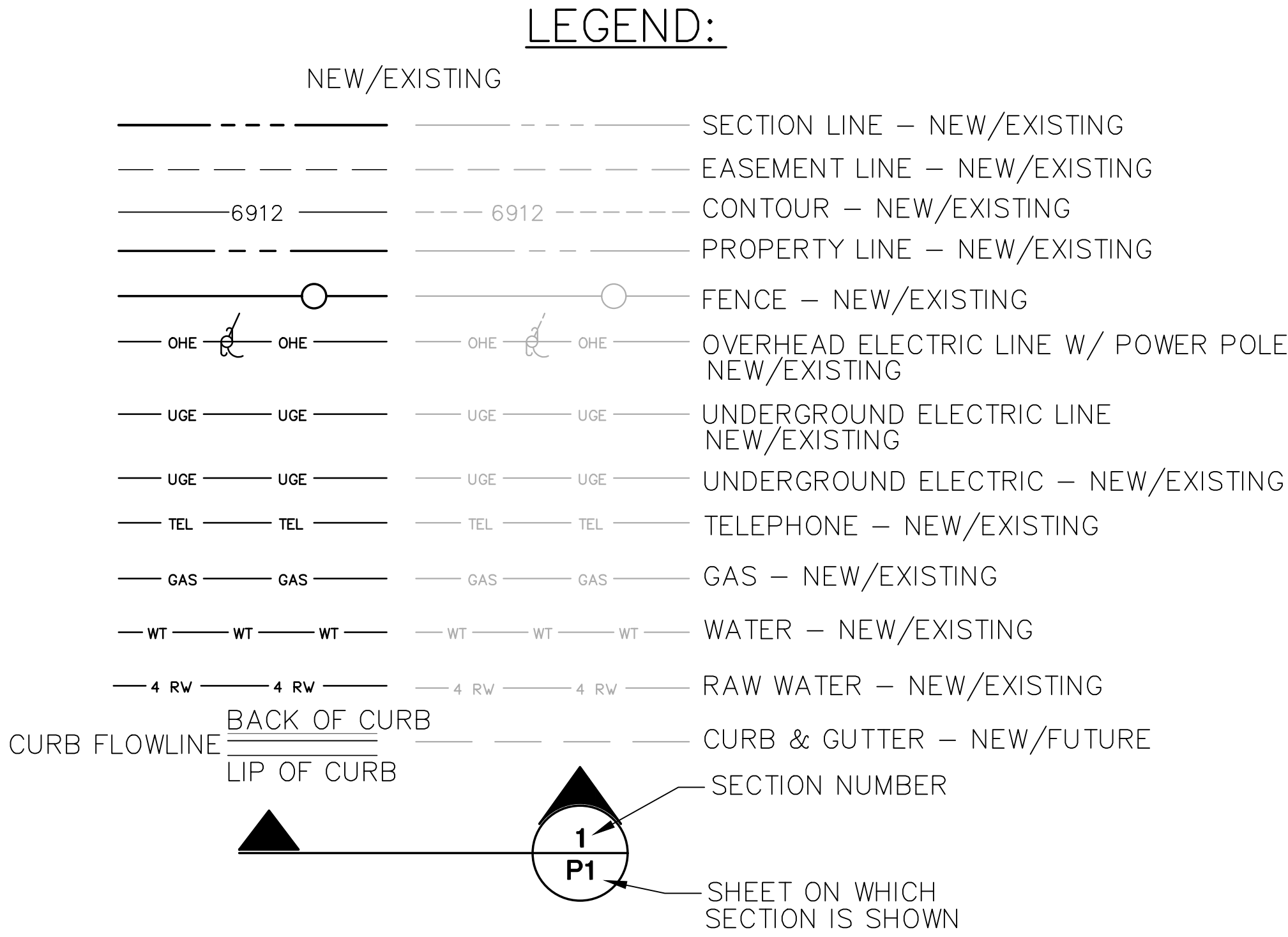
- ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
 - INTERNATIONAL BUILDING CODE, LATEST EDITION ADOPTED BY LOCAL JURISDICTION
 - PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION.
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM), LATEST EDITION.
 - PROJECT GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPLICABLE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR’S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND CITY SPECIFICATIONS.
- CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSPAN CONSTRUCTION SHALL MEET CITY CRITERIA.
- ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

GENERAL DRAINAGE NOTES:

- INDIVIDUAL BUILDERS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND ACCOUNT FOR POTENTIAL CROSS-LOT DRAINAGE IMPACTS WITHIN EACH LOT.
- BUILDERS AND PROPERTY OWNERS SHALL IMPLEMENT & MAINTAIN EROSION CONTROL BEST MANAGEMENT PRACTICES FOR PROTECTION OF DOWNSTREAM PROPERTIES AND FACILITIES INCLUDING PROTECTION OF EXISTING GRASS BUFFER STRIPS ALONG THE DOWNSTREAM PROPERTY BOUNDARIES.
- GRADING AND DRAINAGE WITHIN LOTS IS THE RESPONSIBILITY OF THE INDIVIDUAL BUILDERS AND PROPERTY OWNERS.

HANDICAP ACCESS NOTES:

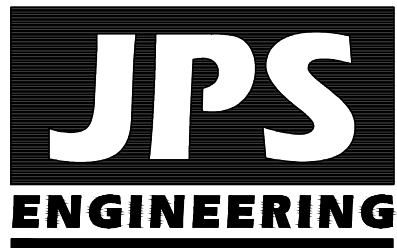
- RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.
- ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.
- HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 8% (1:12).
- THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
- HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.



MONUMENT ACADEMY

4303 Pinehurst Circle
Colorado Springs, CO 80908

PHASE 2
CONSTRUCTION DOCUMENTS



19 E. Willamette Ave.
Colorado Springs, CO
80903

PH: 719-477-9429
FAX: 719-471-0766
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ARCHITECTS AIA
100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

GENERAL NOTES AND LEGEND

TRUE N.	PLAN N.	DATE:	09/18/2025
		DRAWN BY:	CRP
		CHECKED BY:	CRP
		REVISED:	03/30/2026

C1.2-GEC

4303 Pinehurst Circle
Colorado Springs, CO 80908

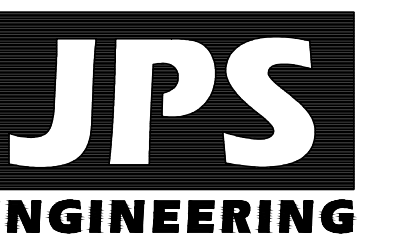
SITE DEVELOPMENT PLAN

SITE DEVELOPMENT PLAN



NOTES:

- NOTE: EXISTING SITE VEGETATION CONSISTS OF NATIVE MEADOW GRASSES WITH A DENSITY OF APPROXIMATELY 70% BASED ON VISUAL OBSERVATION.



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INITIAL CONTROL MEASURES:

- INTERIM CONTROL MEASURES:

- INLET PROTECTION

- FINAL CONTROL MEASURES:

- RIPRAP APRONS
- PERMANENT DETENTION AND/OR WATER QUALITY FACILITIES
- SEEDING AND MULCHING

NOTE: NO DEDICATED ASPHALT/CONCRETE
BATCH PLANTS ARE PROPOSED

LOCATIONS:

- SCHOOL SITE
- ACCESS ROADS
- STAGING AREAS

- CONTROL MEASURES:
- PROPER HOUSEKEEPING MEASURES
 - PROPER SPILL CONTAINMENT PROCEDURES

NOTE: CONTRACTOR SHALL PROVIDE APPROPRIATE METHOD OF PROTECTION OF AREAS OUTSIDE OF THIS SITE CONSTRUCTION BOUNDARY (SUCH AS CONSTRUCTION FENCE, FLAGGING, BARRICADES, ETC.)

NORTH SITE GRADING & EROSION CONTROL PLAN

SCALE: 1"=40'

DATE:	07/20/2025
DRAWN BY:	CRP
CHECKED BY:	CRP
REVISED:	07/23/2026

C2.1-DP



- 1 CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA. MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
- 2 PREPARE AND COMPACT CONCRETE SLABS & WALKS PER PROJECT GEOTECHNICAL REPORT
- 3 BUILDING MATERIAL STORAGE AREA
- 4 TOPSOIL STOCKPILE AREA

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 8,092 CY

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 8,092 CY
* TOTAL FILL = 15,971 CY
NET (FILL) = 7,879 CY
* (ASSUMES 15% COMPACTION FACTOR)

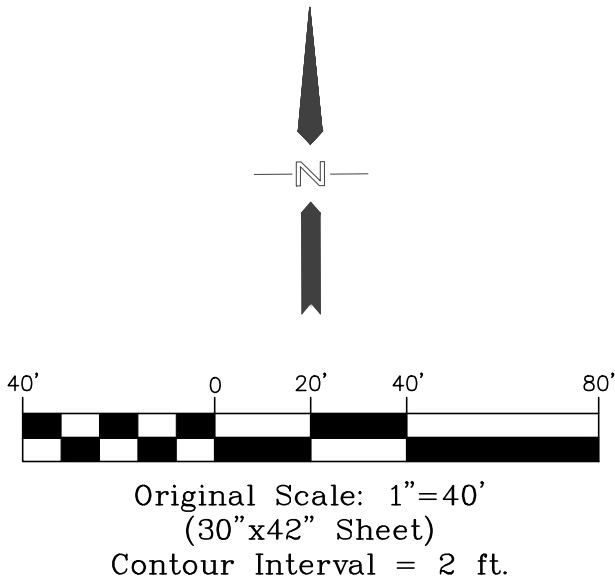
NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

MONUMENT
ACADEMY

ADDITION

4303 Pinehurst Circle
Colorado Springs, CO 80908

SITE DEVELOPMENT PLAN



LEGEND

---	PROPERTY LINE
- - -	LIMITS OF DISTURBANCE
- - -	EASEMENT
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
X 99.0	PROPOSED SPOT ELEVATION (FLOWLINE)
X 99.0	EXIST. SPOT ELEVATION
GI	GRATED INLET (18" NYOPLAST OR EQUAL)
(E)	EXISTING
(P)	PROPOSED
(SF)	SILT FENCE
(VTC)	VEHICLE TRACKING PAD
(IP)	INLET PROTECTION
(GB)	GRASS BUFFER
(CWA)	CONCRETE WASHOUT AREA
(RR)	RIPRAP PAD
(SM)	SEED & MULCH
(SB)	SEDIMENT BASIN
(EDB)	EXTENDED DETENTION BASIN
(ECB)	EROSION CONTROL BLANKET DITCH LINING (ERONET P300 OR EQUAL)

NOTE:
ALL EROSION CONTROL MEASURES SHALL CONFORM TO CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL, VOLUME 2 REQUIREMENTS.

KEYED NOTES:

- CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA. MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
- PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- HEAVY DUTY PAVEMENT:
5" HBP OVER 5" ABC (REFER TO GEOTECH REPORT)
- LIGHT DUTY PAVEMENT:
4" HBP OVER 5" ABC (REFER TO GEOTECH REPORT)
- 2' CURB CHASE
- BUILDING MATERIAL STORAGE AREA
- TOPSOIL STOCKPILE AREA



JPS
ENGINEERING

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ARCHITECTS AIA
100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

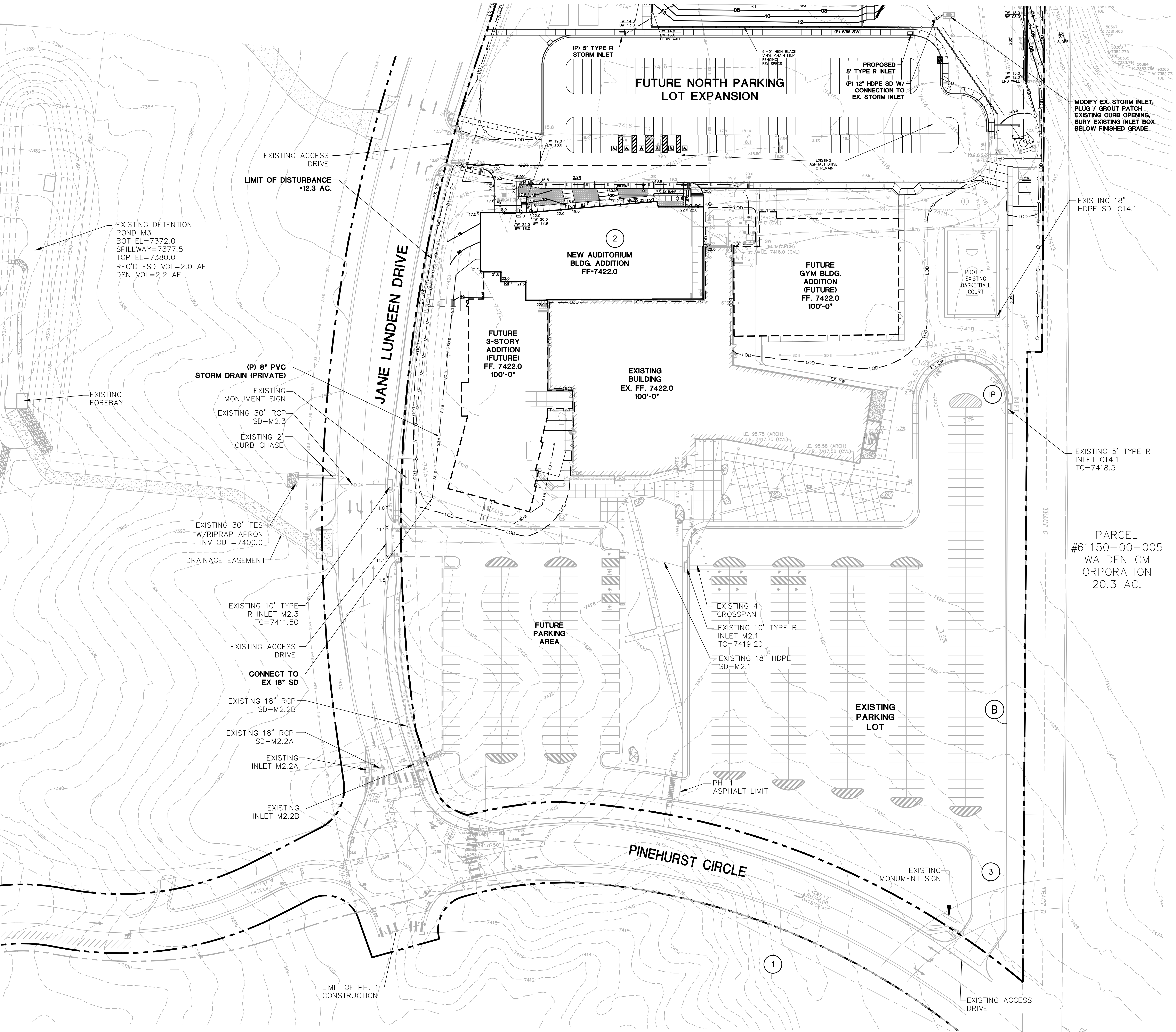
SOUTH SITE GRADING &
EROSION CONTROL PLAN

SCALE : 1"=40'

TRUE N. PLAN N. DATE: 09/18/2025
DRAWN BY: PV
CHECKED BY: JPS
REVISED: 07/23/2026



C2.2-DP



BENCHMARK:
BENCHMARK 4 BB RESET 1984 NAVD 88 DATUM
ELEV.=7570.80 FOUND BRASS CAP IN CONCRETE
INT HWY 83 & HODGEN RD.

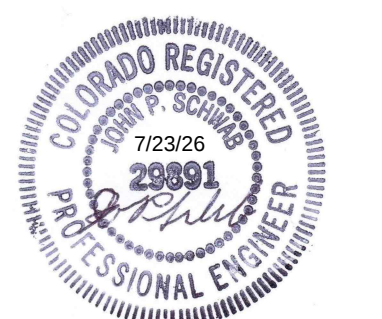
Original Scale: 1"=20'
(30"x42" Sheet)
Contour Interval = 2 ft.

PHASE 2
CONSTRUCTION DOCUMENTS

- KEYED NOTES:

1. CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA . MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
2. PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
3. BUILDING MATERIAL STORAGE AREA
4. TOPSOIL STOCKPILE AREA

REVISION SCHEDULE		
REV	DESCRIPTION	DATE
2	ASI-3	6/12/28
3	RFI-011	6/30/28



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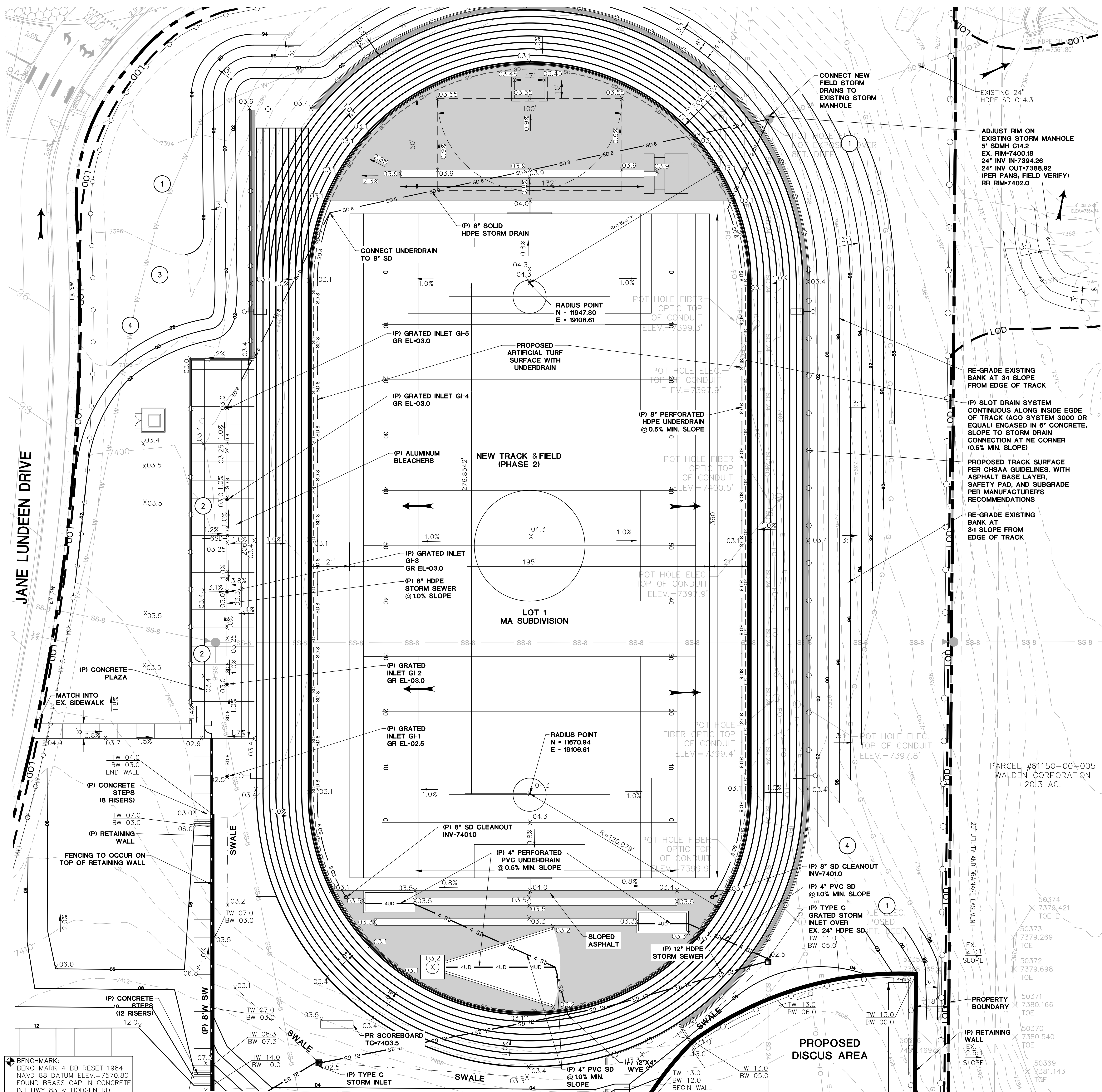
CRP ARCHITECTS AIA
100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

TRACK & FIELD AREA GRADING PLAN

SCALE: 1"=20'

TRUE N.	PLAN N.	DATE:	09/18/2025
		DRAWN BY:	PV
		CHECKED BY:	JPS
		REVISED:	06/30/2026

C3.2-GEC **3**

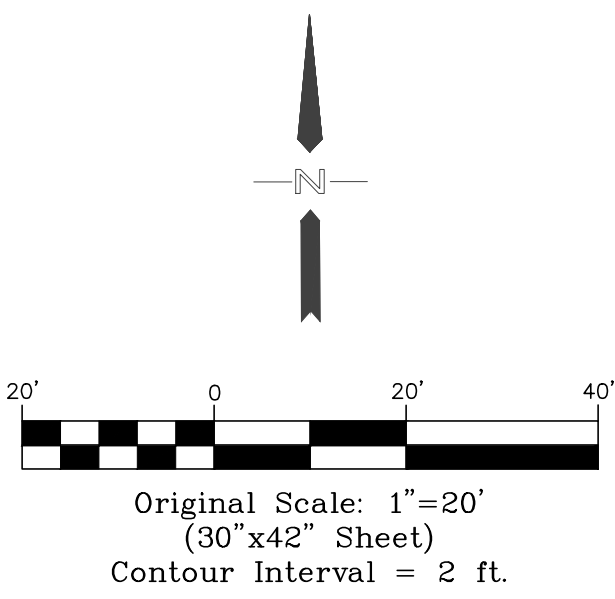


MONUMENT
ACADEMY
PERFORMING
ARTS CENTER

ADDITION

4303 Pinehurst Circle
Colorado Springs, CO 80908

PHASE 3
CONSTRUCTION DOCUMENTS



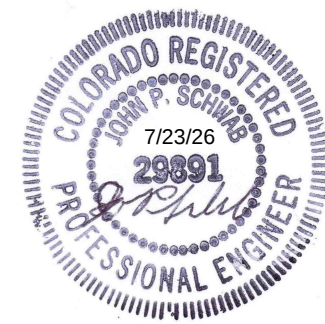
LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- EASEMENT
- 6520 PROPOSED CONTOUR
- 6520 EXISTING CONTOUR
- X 99.0 PROPOSED SPOT ELEVATION (FLOWLINE)
- X 99.0 EXIST. SPOT ELEVATION
- GI GRATED INLET (18" NYOPLAST OR EQUAL)
- (E) EXISTING
- (P) PROPOSED
- (SF) SILT FENCE
- (VTC) VEHICLE TRACKING PAD
- (IP) INLET PROTECTION
- (GB) GRASS BUFFER
- (CWA) CONCRETE WASHOUT AREA
- (RR) RIPRAP PAD
- (SM) SEED & MULCH
- (SB) SEDIMENT BASIN
- (EDB) EXTENDED DETENTION BASIN
- (ECB) EROSION CONTROL BLANKET DITCH LINING (ERONET P300 OR EQUAL)
- RD ROOF DRAIN CONNECTIONS: INSTALL TRANSITION COUPLINGS & EXTEND 12" PVC STORM DRAIN TO STORM SEWER SYSTEM @ 1.0% MIN. SLOPE UNLESS NOTED OTHERWISE (COORDINATE W/ARCH. & PLUMBING PLANS)

NOTE:
ALL EROSION CONTROL MEASURES SHALL CONFORM TO CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL, VOLUME 2 REQUIREMENTS.

KEYED NOTES:

- 1 CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA - MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
- 2 PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- 3 HEAVY DUTY PAVEMENT:
5" HBP OVER 5" ABC (REFER TO GEOTECH REPORT)
- 4 LIGHT DUTY PAVEMENT:
4" HBP OVER 5" ABC (REFER TO GEOTECH REPORT)
- 5 2' CURB CHASE
- 6 BUILDING MATERIAL STORAGE AREA
- 7 TOPSOIL STOCKPILE AREA



**JPS
ENGINEERING**

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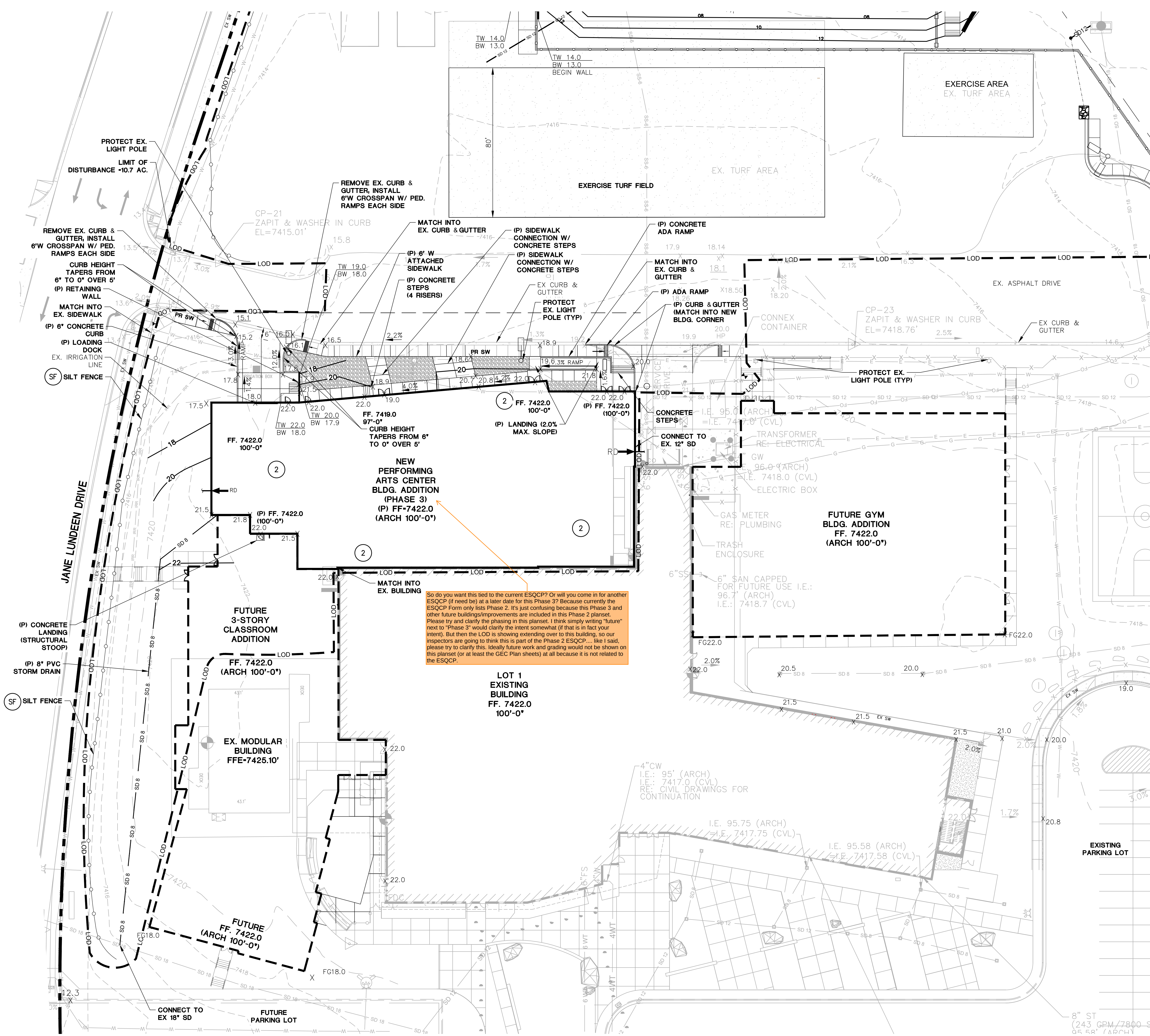
ARCHITECTS AIA
100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

BUILDING AREA
GRADING PLAN (PH. 3)

SCALE: 1"=20'

TRUE N. PLAN N. DATE: 09/18/2025
DRAWN BY: PV
CHECKED BY: JPS
REVISED: 07/17/2026

C3.4-A



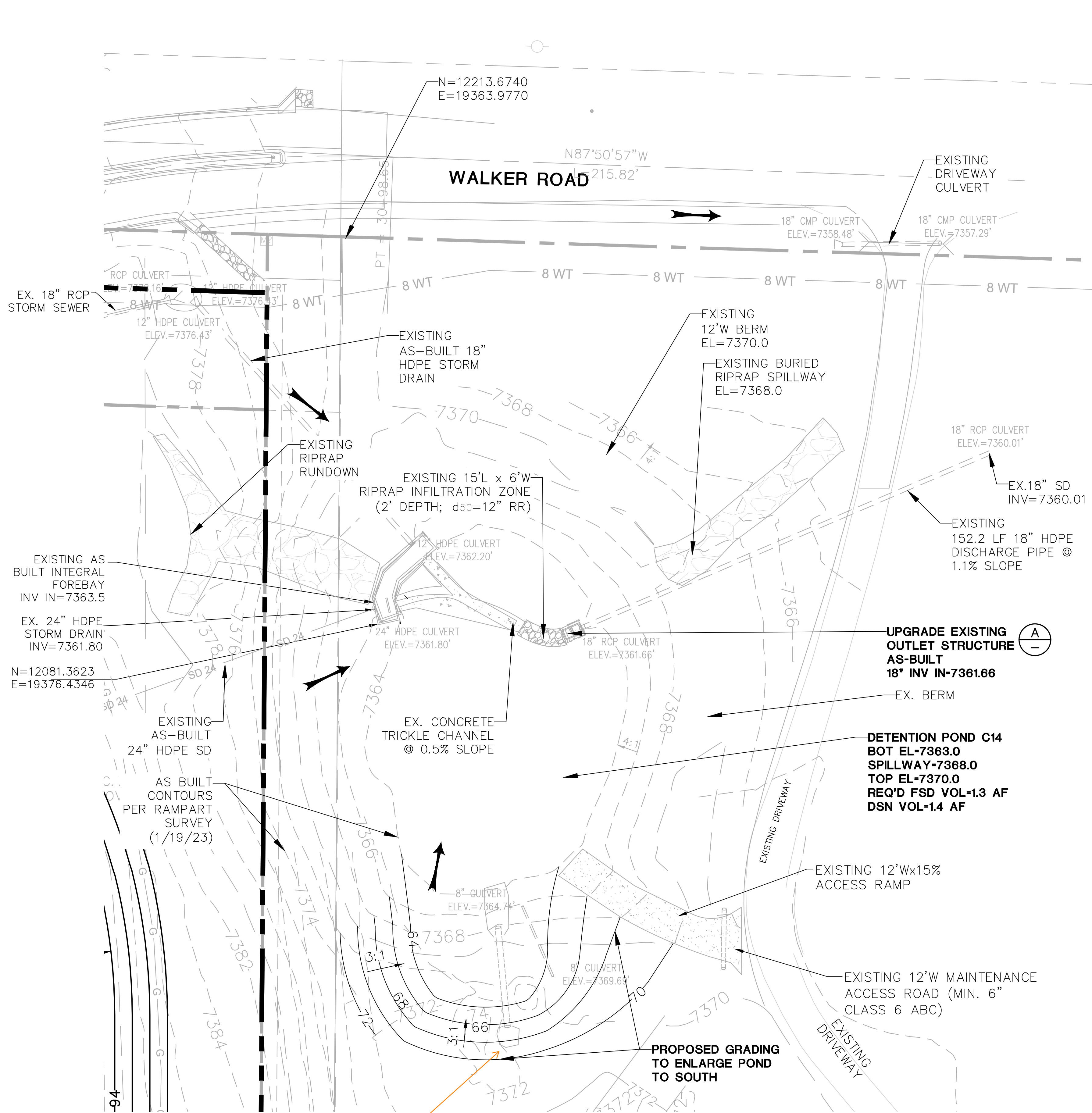
BENCHMARK:
BENCHMARK 4 BB RESET 1984 NAVD 88 DATUM
ELEV.=7570.80 FOUND BRASS CAP IN CONCRETE
INT HWY 83 & HODGEN RD.

So do you want this tied to the current ESQCP? Or will you come in for another ESQCP (if need be) at a later date for this Phase 3? Because currently the ESQCP Form only lists Phase 2. It's just confusing because this Phase 3 and other future buildings/improvements are included in this Phase 2 planset. Please try and clarify the phasing in this planset. I think simply writing "future" next to "Phase 3" would clarify the intent somewhat (if that is in fact your intent). But then the LOD is showing extending over to this building, so our inspectors are going to think this is part of the Phase 2 ESQCP... like I said, please try to clarify this. Ideally future work and grading would not be shown on this planset (or at least the GEC Plan sheets) at all because it is not related to the ESQCP.

MONUMENT
ACADEMY

4303 Pinehurst Circle
Colorado Springs, CO 80908

PHASE 2
CONSTRUCTION DOCUMENTS



This existing low point allowed runoff to collect and be conveyed down into the pond via a pipe and ended in a riprap apron. By removing that low point and pipe, all of the upstream flows will enter the pond by spilling down the embankment.

Can you look into how much flow will enter the pond from this south side? From my rough takeoff, it appears to be about 3ac. Meaning this is a concentrated inflow point so some kind of controlled inflow is in order (riprap rundown, pipe + forebay, etc).

CURRENT
AS BUILT POND
CONTOUR AREAS:

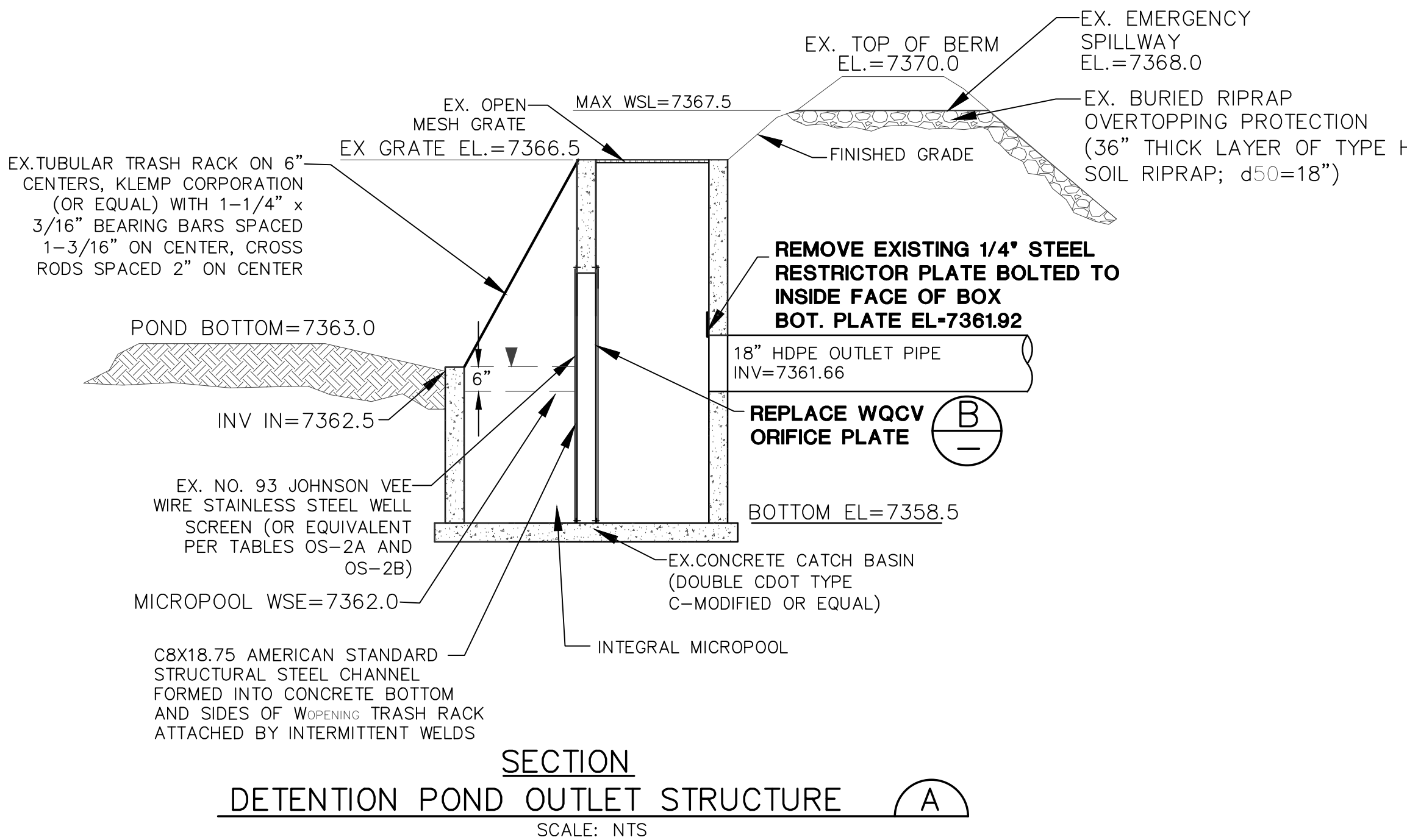
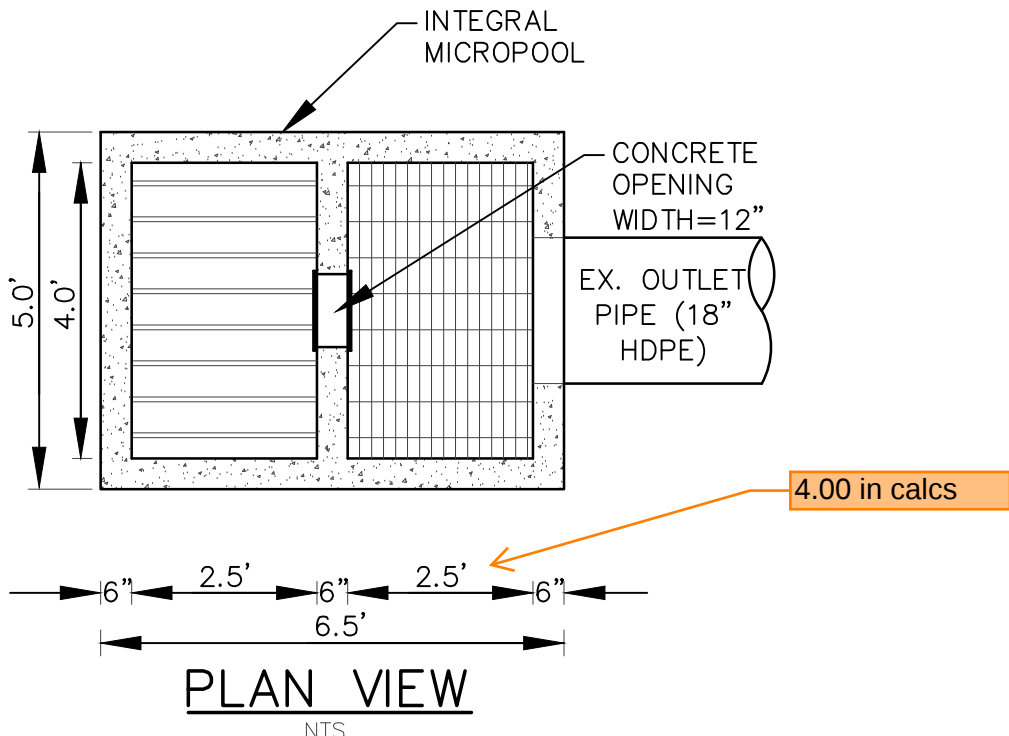
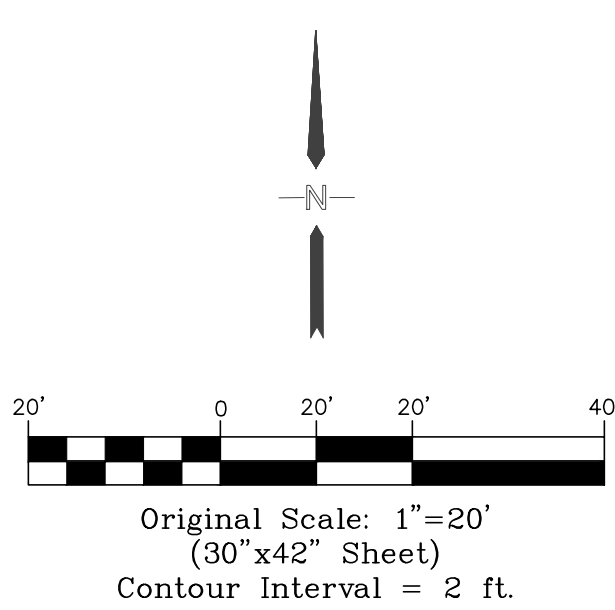
CONTOUR	AREA (SF)
7364	8,291
7366	11,363
7368	15,878

PROPOSED POND
CONTOUR AREAS

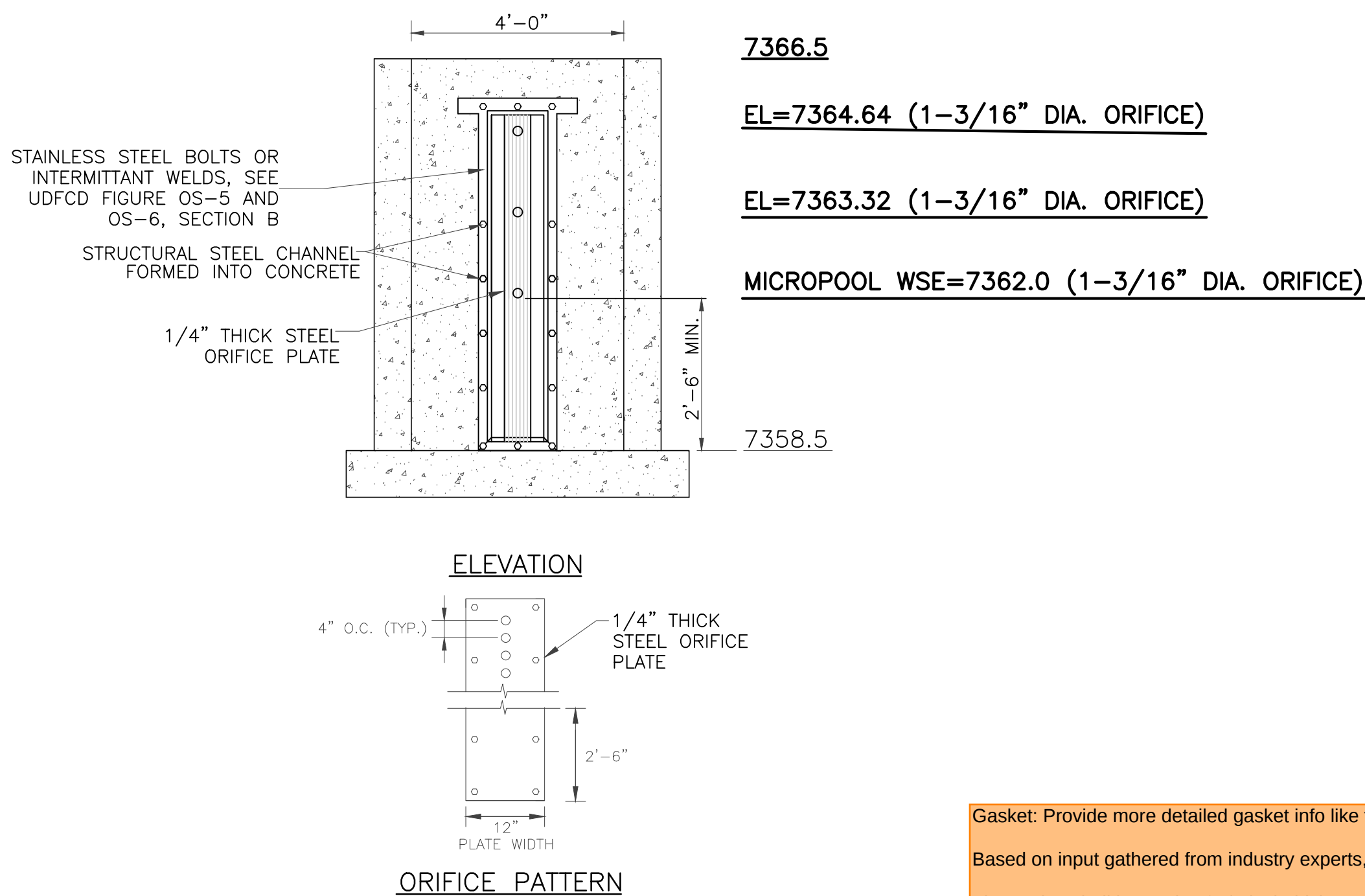
CONTOUR	AREA (SF)
7364	10,012
7366	13,934
7368	18,471

VERTICAL CONTROL POINT

BENCHMARK:
BENCHMARK 4 BB RESET 1984 NAVD
88 DATUM ELEV.=7570.80 FOUND
BRASS CAP IN CONCRETE INT HWY 83
& HODGEN RD.



SECTION
DETENTION POND OUTLET STRUCTURE A-A
SCALE: NTS



ORIFICE PLATE NOTES:
1. MINIMIZE THE NUMBER OF COLUMNS.
2. PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE.
3. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER.

EURV AND WQCV TRASH RACKS:
1. WELL-SCREEN TRASH RACKS (FOR CIRCULAR ORIFICES) SHALL BE STAINLESS STEEL AND SHALL BE ATTACHED BY INTERMITTENT WELDS ALONG THE EDGE OF THE MOUNTING FRAME.
OVERFLOW TRASH RACKS:
1. ALL TRASH RACKS SHALL BE MOUNTED USING STAINLESS STEEL HARDWARE AND PROVIDED WITH HINGED AND LOCKABLE OR BOLTABLE ACCESS PANELS.
2. TRASH RACKS SHALL BE STAINLESS STEEL, ALUMINUM, OR STEEL. STEEL TRASH RACKS SHALL BE HOT DIP GALVANIZED AND MAY BE HOT POWDER COATED AFTER GALVANIZING.

WQCV ORIFICE PLATE DETAIL B-B
SCALE: NTS



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100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

DETENTION POND C14
OVERFLOW PLAN & DETAILS

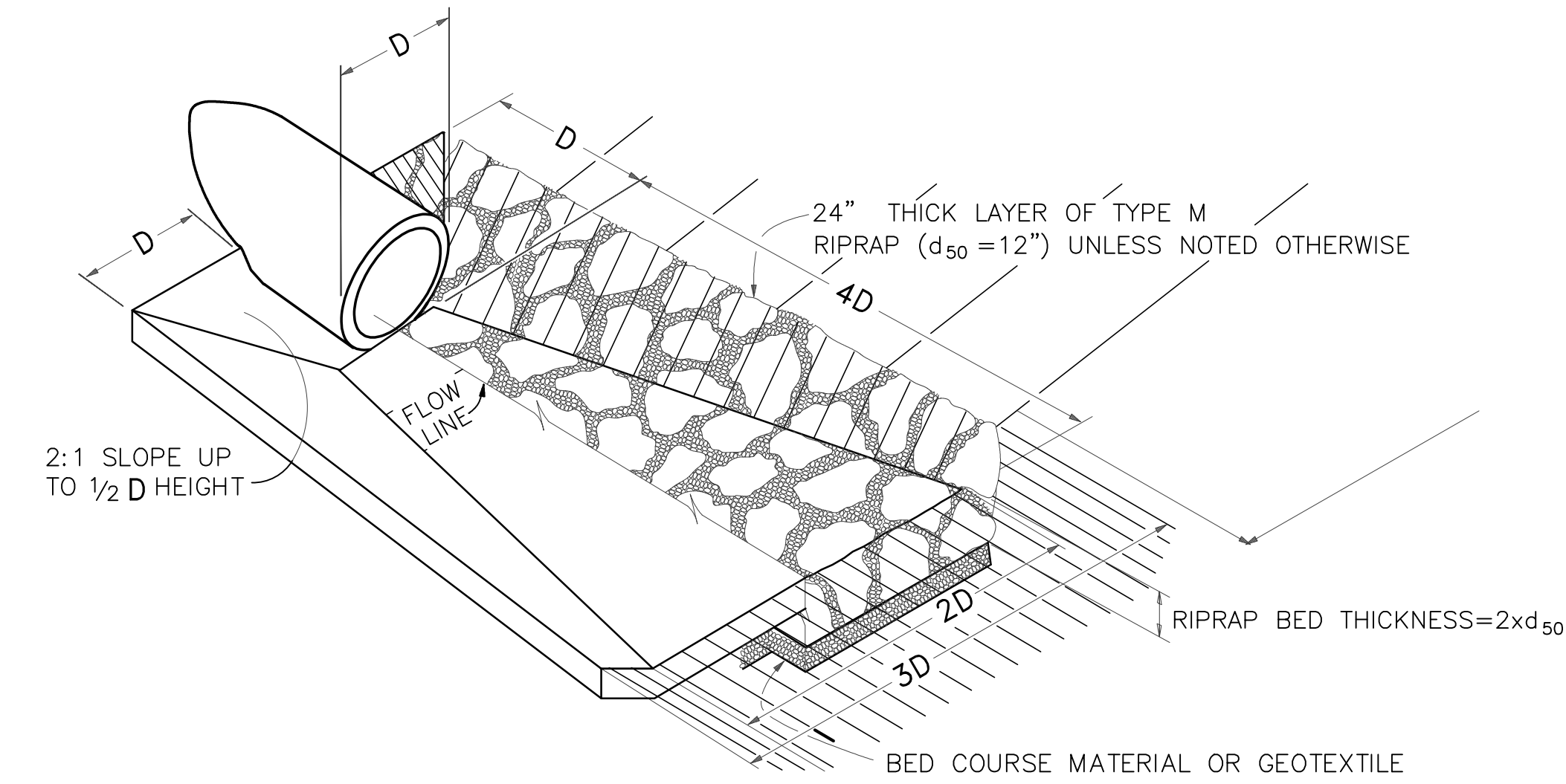
SCALE: 1"=20'

TRUE N. PLAN N. DATE: 09/18/2025
DRAWN BY: CRP
CHECKED BY: CRP
REVISED: 07/22/2026

C3.5-DP

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS:

1. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE, AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY (EPC) STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE (LDC), THE ENGINEERING CRITERIA MANUAL (ECM), THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME 1 AND 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
2. A PRECONSTRUCTION MEETING BETWEEN THE PERMIT HOLDER(S) AND EL PASO COUNTY SHALL BE HELD PRIOR TO ANY CONSTRUCTION ACTIVITIES. IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER(S) TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF. NO LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES BEYOND THE INSTALLATION OF THE INITIAL CONSTRUCTION CONTROL MEASURES (CCMS), AS INDICATED ON THE APPROVED GEC PLAN OR CDS WITH GEC PLANS, MAY OCCUR PRIOR TO RECEIVING A NOTICE TO PROCEED (NTP) ISSUED BY THE ECM ADMINISTRATOR. FAILURE TO OBTAIN A NOTICE TO PROCEED PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES MAY RESULT IN AN IMMEDIATE STOP WORK ORDER (SWO).
3. CONSTRUCTION CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. STORMWATER RUNOFF FROM ALL DISTURBED AREAS AND SOIL STORAGE AREAS MUST UTILIZE OR FLOW TO ONE OR MORE CCM(S) TO MINIMIZE EROSION OR SEDIMENT IN THE DISCHARGE. THE CCM(S) MUST CONTAIN OR FILTER FLOWS IN ORDER TO PREVENT THE BYPASS OF FLOWS WITHOUT TREATMENT AND MUST BE APPROPRIATE FOR STORMWATER RUNOFF FROM DISTURBED AREAS AND FOR THE EXPECTED FLOW RATE, DURATION, AND FLOW CONDITIONS (E.G., SHEET OR CONCENTRATED FLOW).
4. ALL CCMS SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL FINAL STABILIZATION IS ACHIEVED. THE QUALIFIED STORMWATER MANAGER (QSM) SHALL ASSESS THE ADEQUACY OF CCMS AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CCMS ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CCMS.
5. PRIOR TO CONSTRUCTION THE PERMIT HOLDER(S) SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
6. MANAGEMENT OF THE STORMWATER MANAGEMENT PLAN (SWMP) DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QSM. THE SWMP SHALL BE LOCATED ON-SITE OR DIGITALLY ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES AND MUST BE IMPLEMENTED AS WRITTEN FROM THE START OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS ACHIEVED. THE QSM SHALL AMEND THE SWMP WHEN THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE SITE WHICH WOULD REQUIRE THE IMPLEMENTATION OF NEW OR REVISED CCMS OR IF THE SWMP PROVES TO BE INEFFECTIVE IN CONTROLLING POLLUTANTS IN STORMWATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY OR WHEN CCMS ARE NO LONGER NECESSARY AND ARE REMOVED. THE QSM SHALL MAINTAIN A RECORD OF AMENDMENTS MADE TO THE SWMP THAT INCLUDES THE DATE AND IDENTIFICATION OF THE CHANGES.
7. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A RECEIVING WATER UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED. IN ADDITION TO MAINTAINING 50 HORIZONTAL FEET OF PRE-EXISTING VEGETATION UPGRADIENT OF A RECEIVING WATER (UNLESS INFEASIBLE AND APPROVED), THE PERMIT HOLDER(S) MUST INSTALL CCMS UPGRADIENT OF THE VEGETATIVE BUFFER.
8. TEMPORARY STABILIZATION MEASURES SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
9. EROSION CONTROL BLANKET (ECB) OR OTHER APPROVED CONTROL MEASURE(S) SHALL BE USED ON SLOPES STEEPER THAN 3:1.
10. VEHICLE TRACKING CONTROLS (VTC) MUST BE IMPLEMENTED TO MINIMIZE VEHICLE TRACKING OF SEDIMENT FROM DISTURBED AREAS. VTCs MUST INCLUDE A STRUCTURE CONTROL MEASURE (E.G., TRACKING PAD) AND MAY INCLUDE A NON-STRUCTURAL CONTROL MEASURE (E.G., SWEEPING). MATERIAL TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
11. ANY TEMPORARY OR PERMANENT CONTROL MEASURE DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
12. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER, PERMANENT CONTROL MEASURES (PCMS), OR DITCHES EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
13. ALL PCMS SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PCMS MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
14. SOIL COMPACTION MUST BE MINIMIZED IN AREAS WHERE INFILTRATION PCMS WILL BE INSTALLED OR IN AREAS WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION PCMS SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF SOIL COMPACTION DOES OCCUR IN AREAS WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER OR IN AREAS WHERE INFILTRATION PCMS WILL BE INSTALLED, DECOMPACTION OF THE SOIL MUST BE COMPLETED PRIOR TO PLANTING OR INSTALLATION OF THE PCM(S). AN INFILTRATION TEST MUST BE CONDUCTED FOR ALL INFILTRATION PCMS AND THE INFILTRATION TEST RESULTS SUBMITTED TO EL PASO COUNTY PRIOR TO PRELIMINARY ACCEPTANCE (PA).
15. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND PERMANENT STABILIZATION METHODS ARE COMPLETE. WHEN USING VEGETATIVE COVER AS A PERMANENT STABILIZATION METHOD, THE VEGETATION SHALL BE EVENLY DISTRIBUTED PERENNIAL VEGETATION AND OF THE VARIETY AND SPECIES FOUND IN THE COUNTY-APPROVED SEED MIXES OR IN THE APPROVED GEC PLAN. VEGETATION COVERAGE SHALL BE, AT A MINIMUM, EQUAL TO 70% OF WHAT WOULD HAVE BEEN PROVIDED BY NATIVE VEGETATION IN A LOCAL, UNDISTURBED AREA OR ADEQUATE REFERENCE SITE. ALL TEMPORARY CCMS SHALL BE REMOVED UPON FINAL STABILIZATION AND PRIOR TO STORMWATER PERMIT TERMINATION.
16. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
17. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO BE DISCHARGED OFFSITE OR TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR CONTROL MEASURES. CONCRETE WASHOUT AREAS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK, OR STREAM.
18. DURING CONSTRUCTION DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE IN ACCORDANCE WITH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT'S (CDPHE) LOW RISK DISCHARGE GUIDANCE POLICY FOR DISCHARGES OF UNCONTAMINATED GROUNDWATER TO LAND. IF CONSTRUCTION DEWATERING OPERATIONS ARE UNABLE TO MEET ALL CRITERIA, CONDITIONS, AND CONTROL MEASURE REQUIREMENTS OF THE LOW RISK DISCHARGE GUIDANCE POLICY, A COLORADO DISCHARGE PERMIT SYSTEM (CDPS) GENERAL PERMIT COG080000 WILL BE REQUIRED.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTE FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
20. THE PERMIT HOLDER(S) SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
21. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
22. MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. APPROPRIATE CMS SHALL BE UTILIZED BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
23. BULK STORAGE (I.E., INDIVIDUAL CONTAINERS OF 55 GALLONS OR GREATER) OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT, OR EQUIVALENT PROTECTION, TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM, OR OTHER FACILITIES.
24. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
25. ON AREAS OF EXPOSED SOIL, MINIMIZE DUST THROUGH THE APPROPRIATE APPLICATION OF WATER OR OTHER DUST SUPPRESSION TECHNIQUES. WATER APPLICATION MUST BE CONDUCTED IN A MANNER TO PREVENT DISCHARGE OFFSITE UNLESS AUTHORIZED BY A CDPS OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
26. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
27. FOR SITES WHERE A SOILS REPORT IS REQUIRED, THE APPROVED SOILS REPORT FOR THIS SITE SHALL BE CONSIDERED A PART OF THESE PLANS.
28. PERMIT HOLDER(S) AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT"(TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT"(33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUME 2, AND ENGINEERING CRITERIA MANUAL. ALL APPLICABLE LOCAL, STATE, AND FEDERAL PERMITS MUST BE OBTAINED PRIOR TO CONSTRUCTION. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE OR LESS THAN 1 ACRE AND PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT WOULD DISTURB 1 OR MORE ACRES, THE PERMIT HOLDER(S) SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE (COR4000000 PERMIT) TO THE CDPHE WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A SWMP, OF WHICH THIS GEC PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD – PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT



TYPICAL RIPRAP APRON/
CULVERT INLET & OUTLET PAVING A

NOT TO SCALE

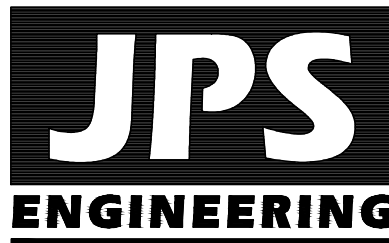
ESTIMATED TIME SCHEDULE:

INSTALL BMP'S	APRIL, 2026
GRADING START	APRIL, 2026
GRADING COMPLETION	DECEMBER, 2027
SEEDING & MULCHING	MAY, 2028
STABILIZATION	SEPTEMBER, 2029

SEDIMENT CONTROL MAINTENANCE PROGRAM:

	FREQUENCY
PERIODIC SITE INSPECTIONS	BI-WEEKLY
RE-VEGETATION OF EXPOSED SOILS	WITHIN 21 DAYS OF GRADING
SEDIMENT REMOVAL FROM BMP'S	MONTHLY
REMOVAL OF BMP'S	AFTER STABILIZATION ACHIEVED

1. AND AFTER ANY PRECIPITATION OR SNOW MELT EVENT THAT CAUSES SURFACE EROSION.
2. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTION OF THE BMP.



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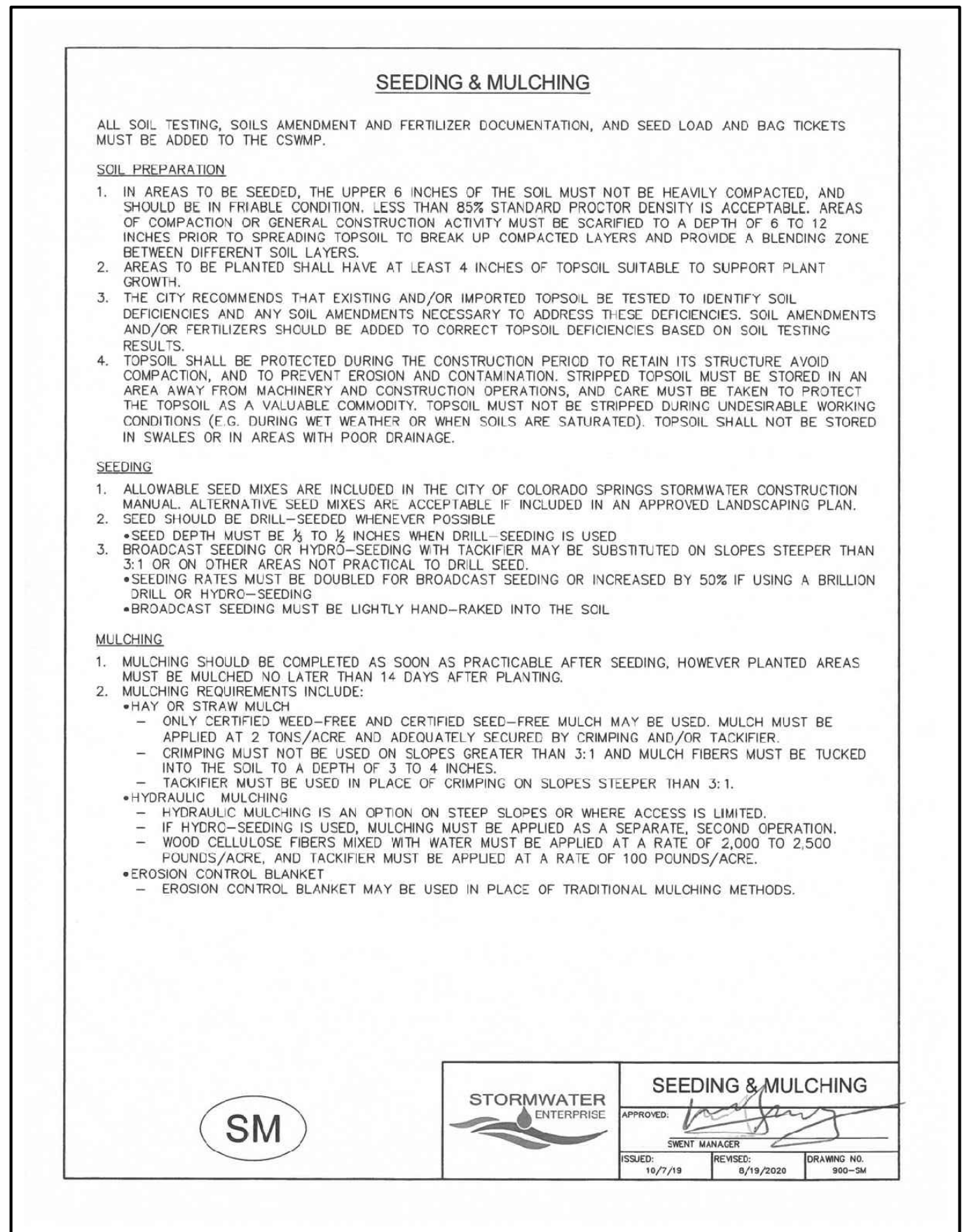
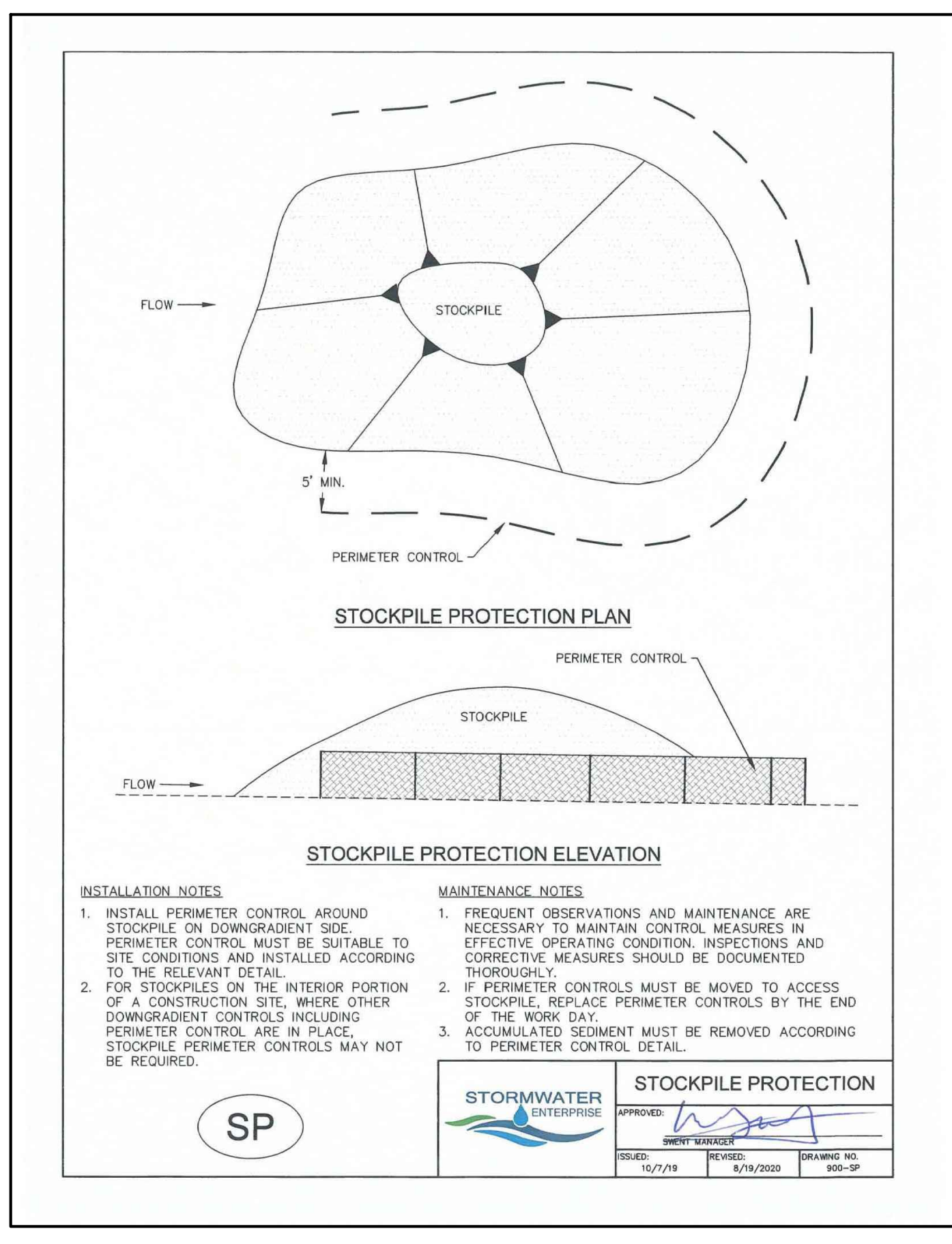
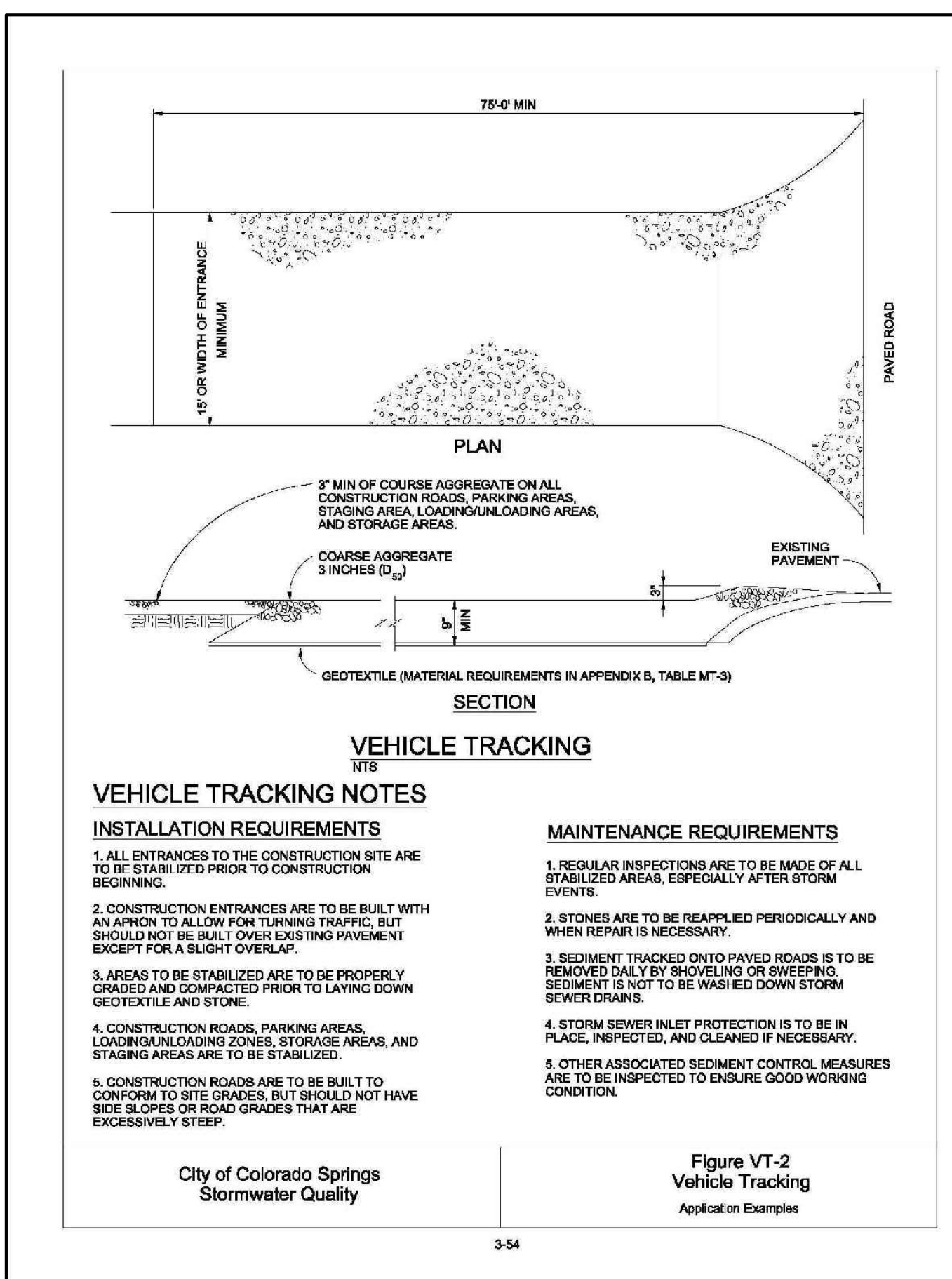
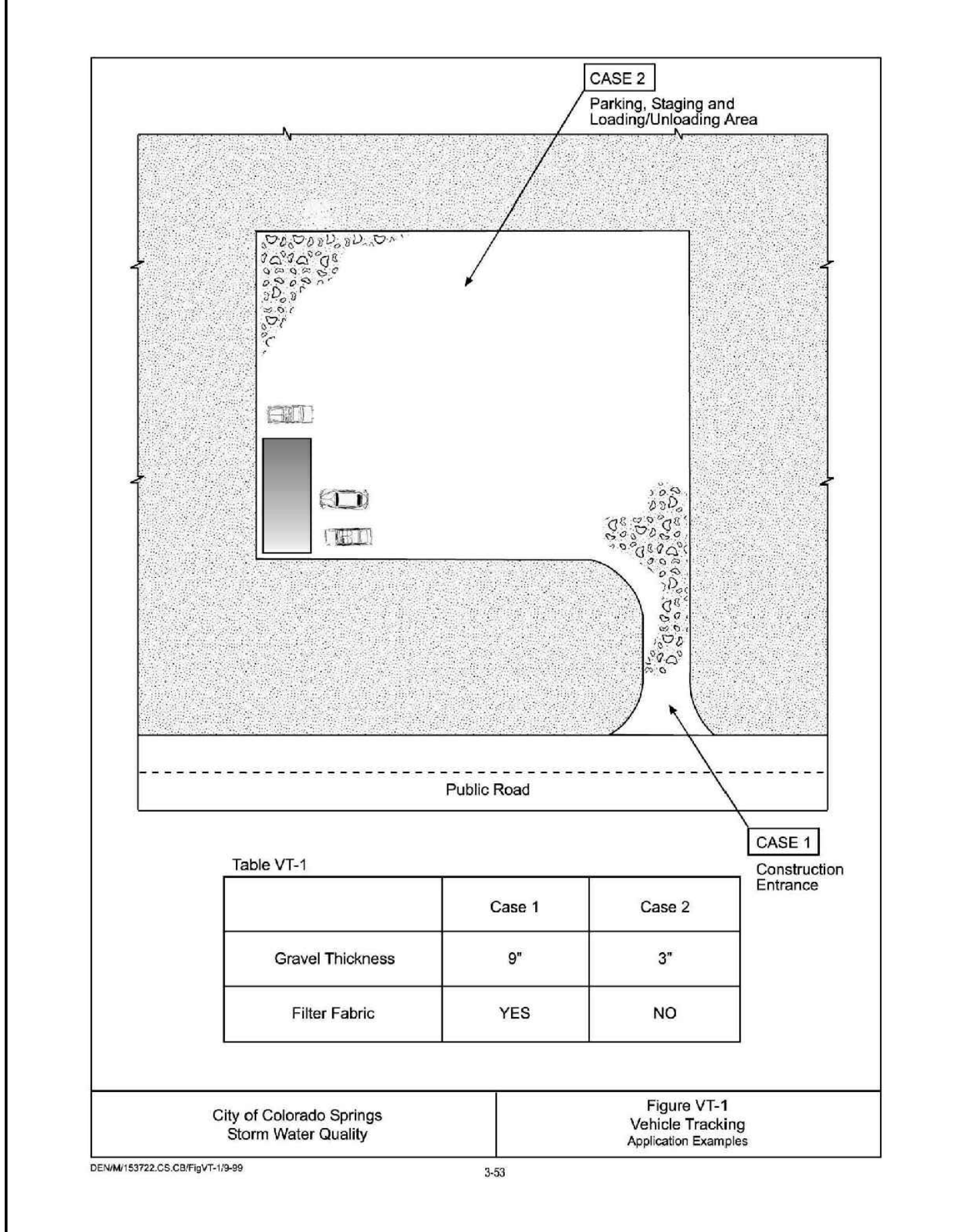
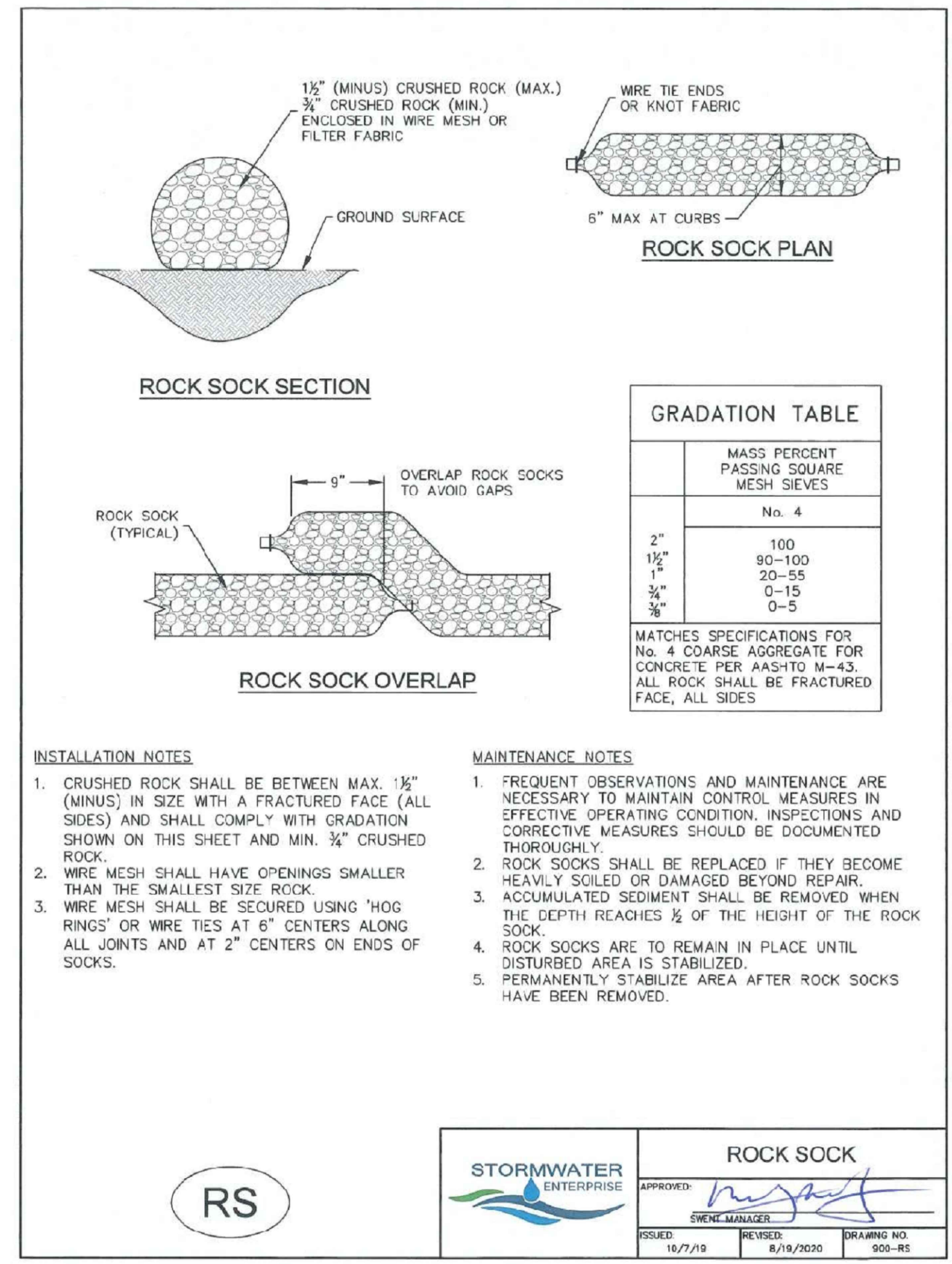
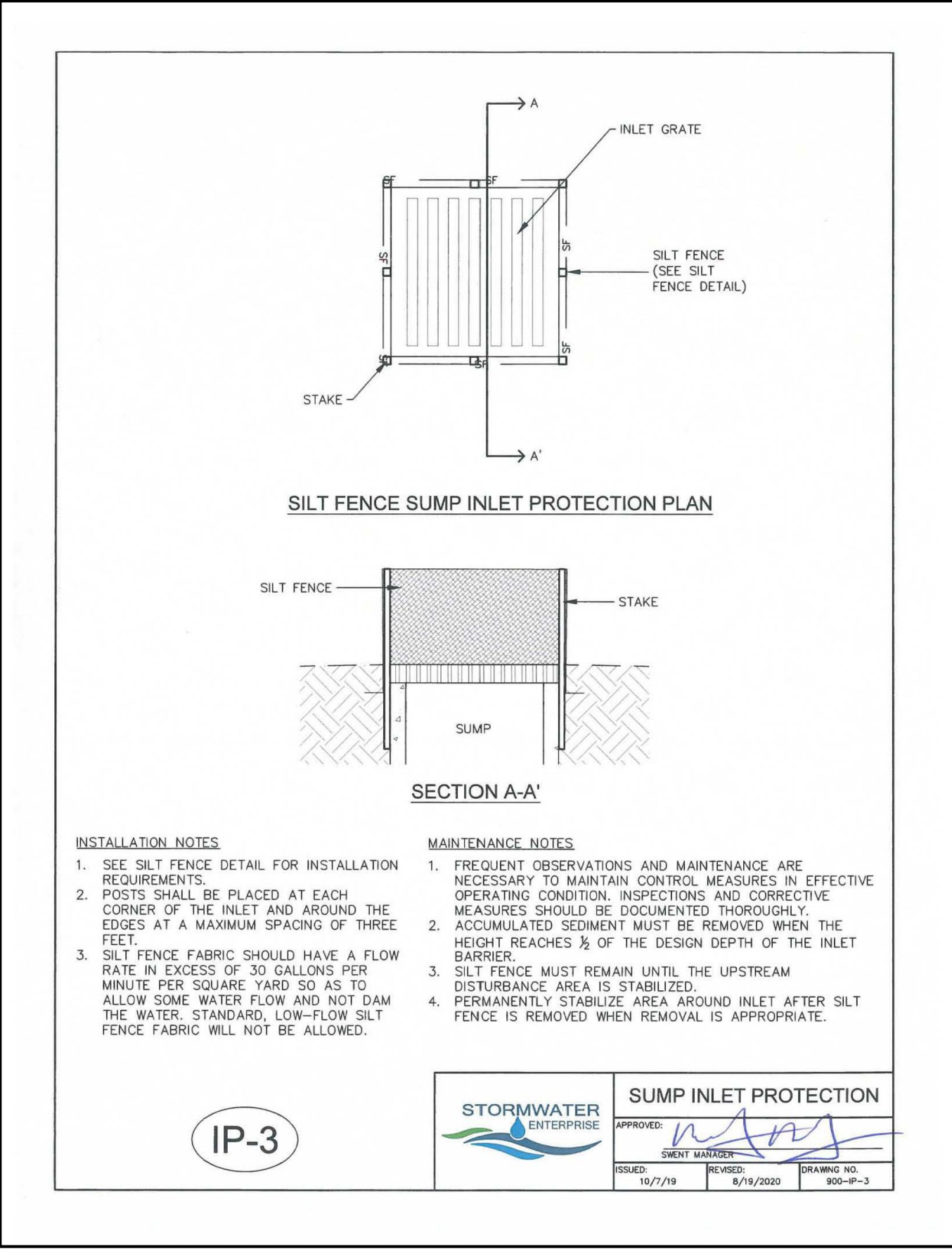
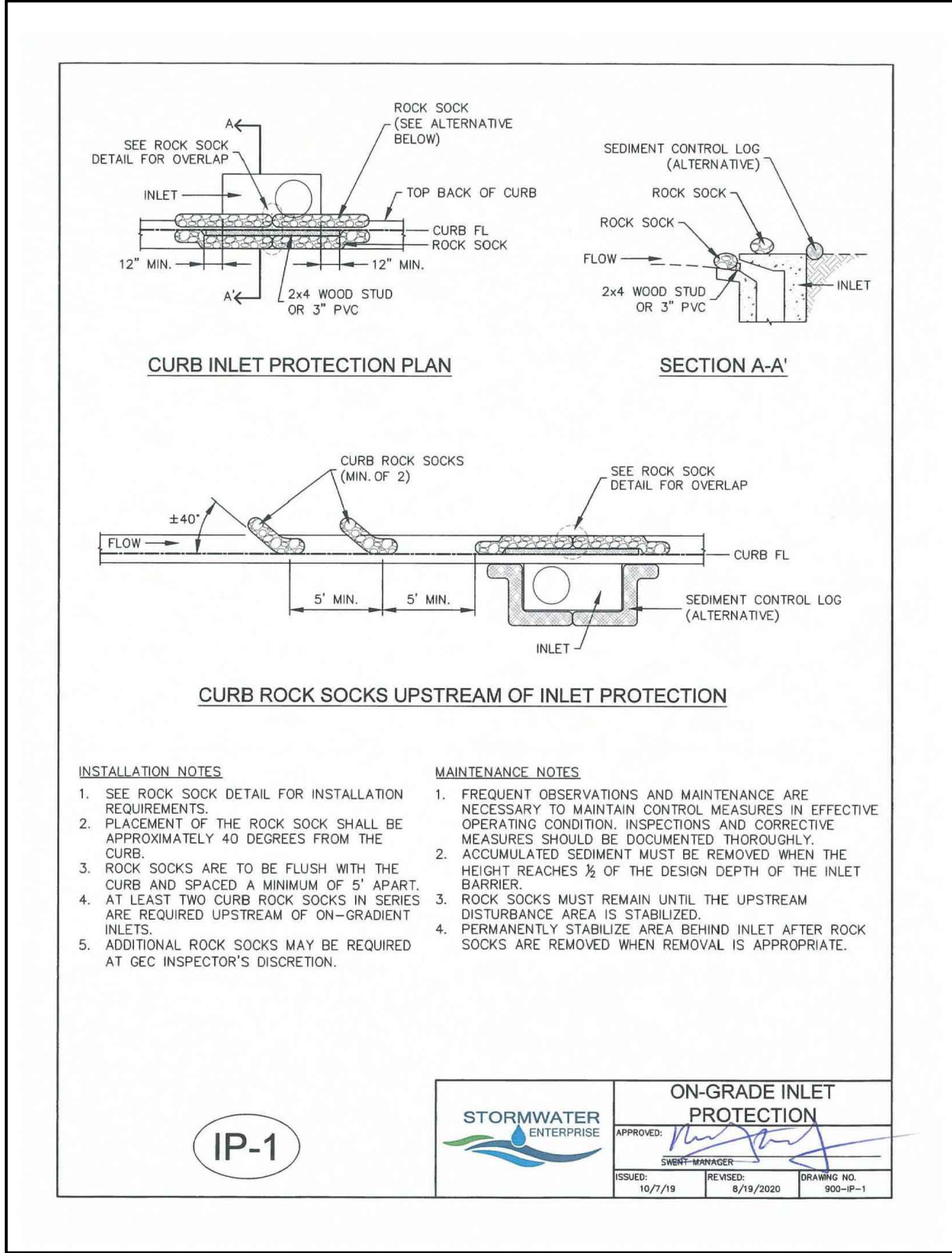
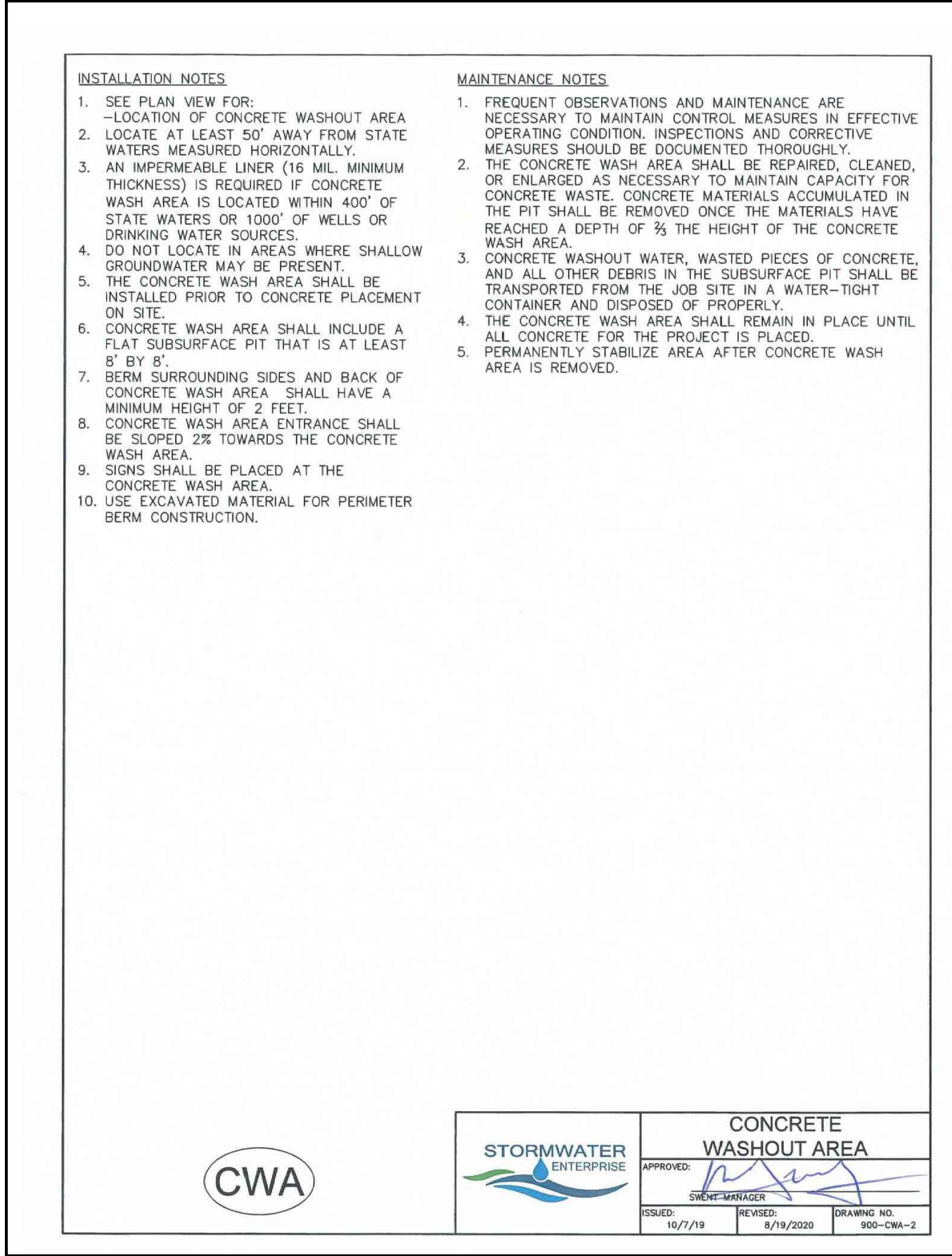
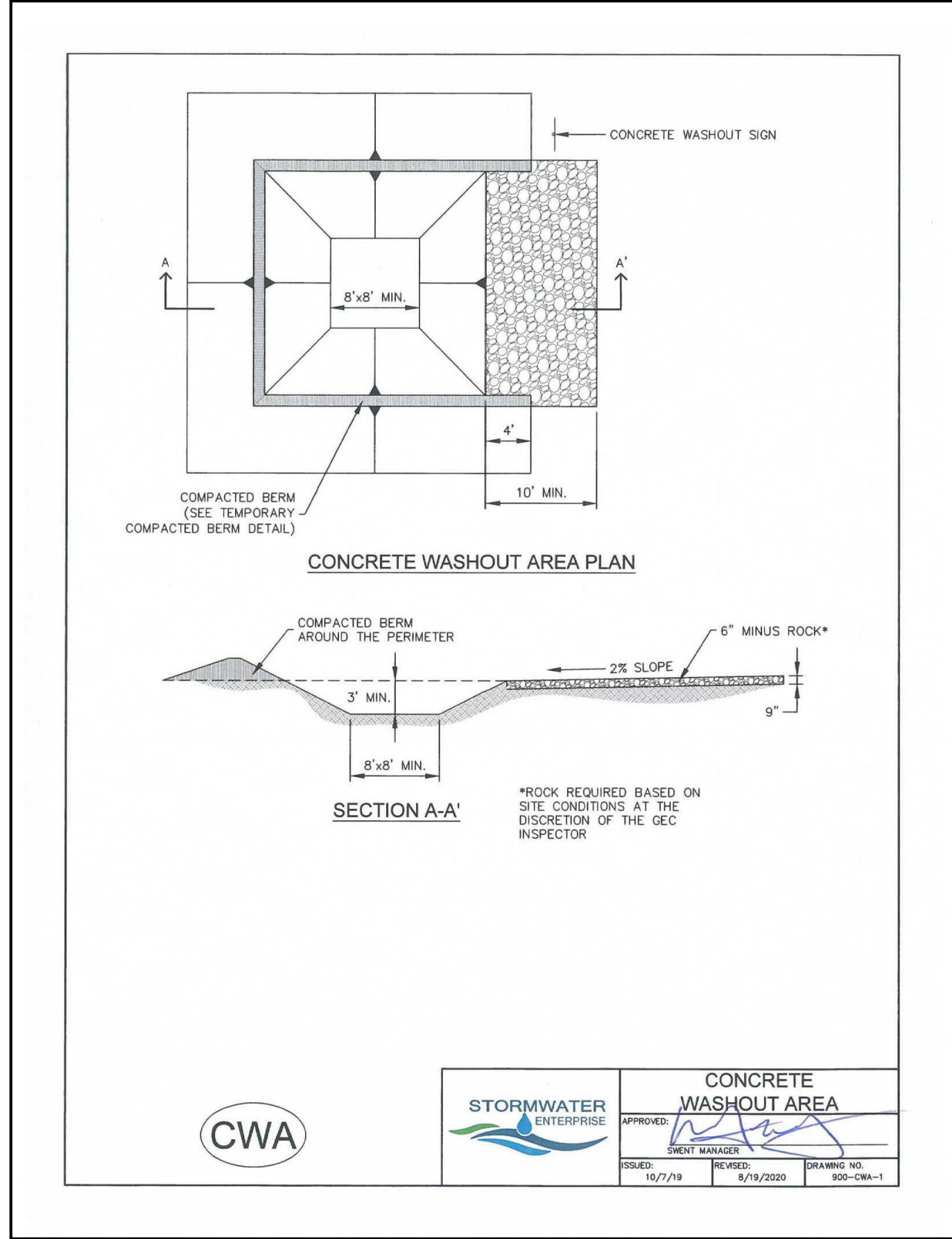
CRP ARCHITECTS AIA
100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

EROSION CONTROL
NOTES AND DETAILS

SCALE : N/A

TRUE N.	PLAN N.	DATE:	09/18/2025
		DRAWN BY:	CRP
		CHECKED BY:	CRP
		REVISED:	07/14/2026

C4.2-GEC



MONUMENT ACADEMY

4303 Pinehurst Circle
Colorado Springs, CO 80908

PHASE 2 CONSTRUCTION DOCUMENTS

3/30/26

3/30/26

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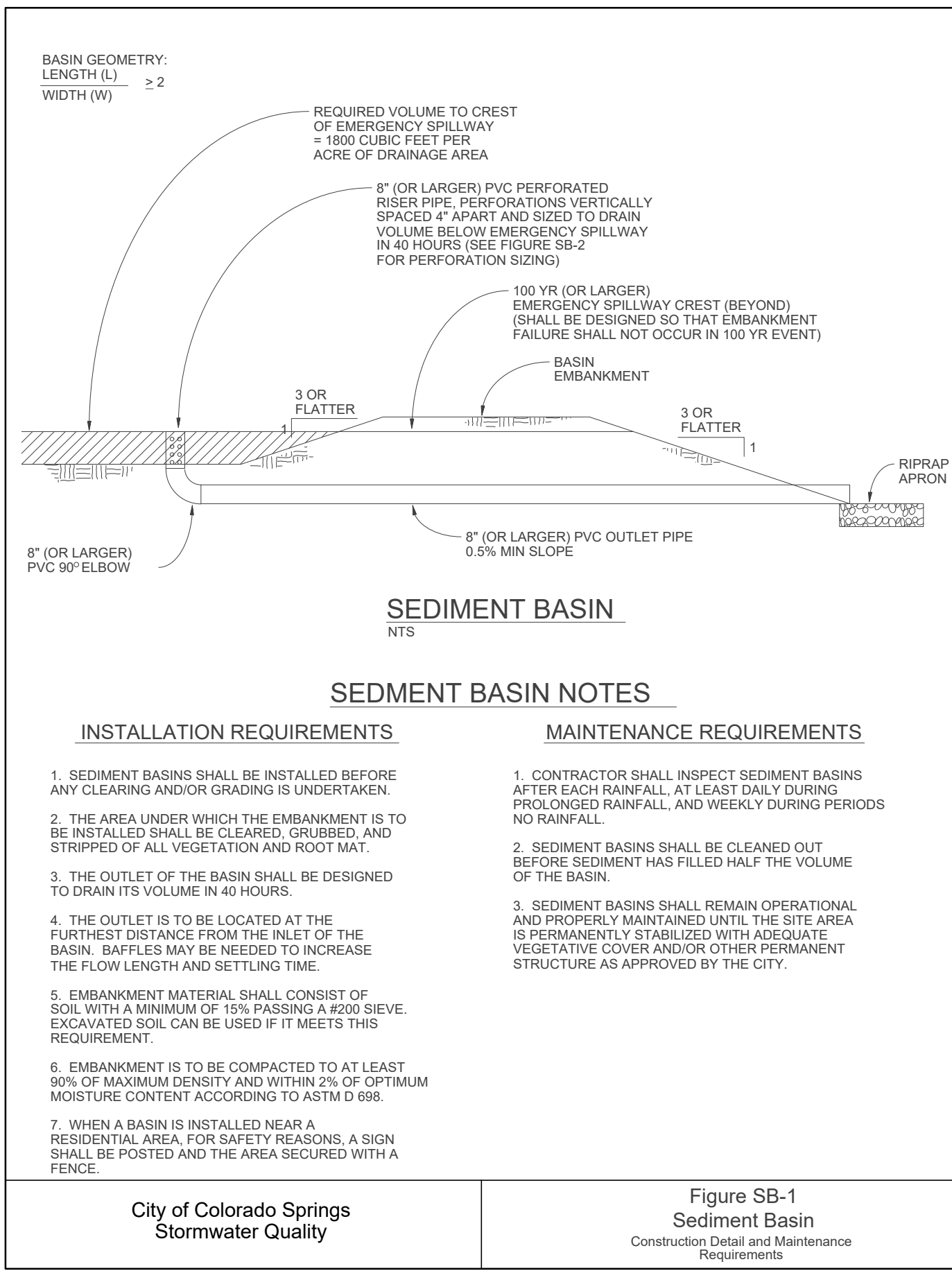
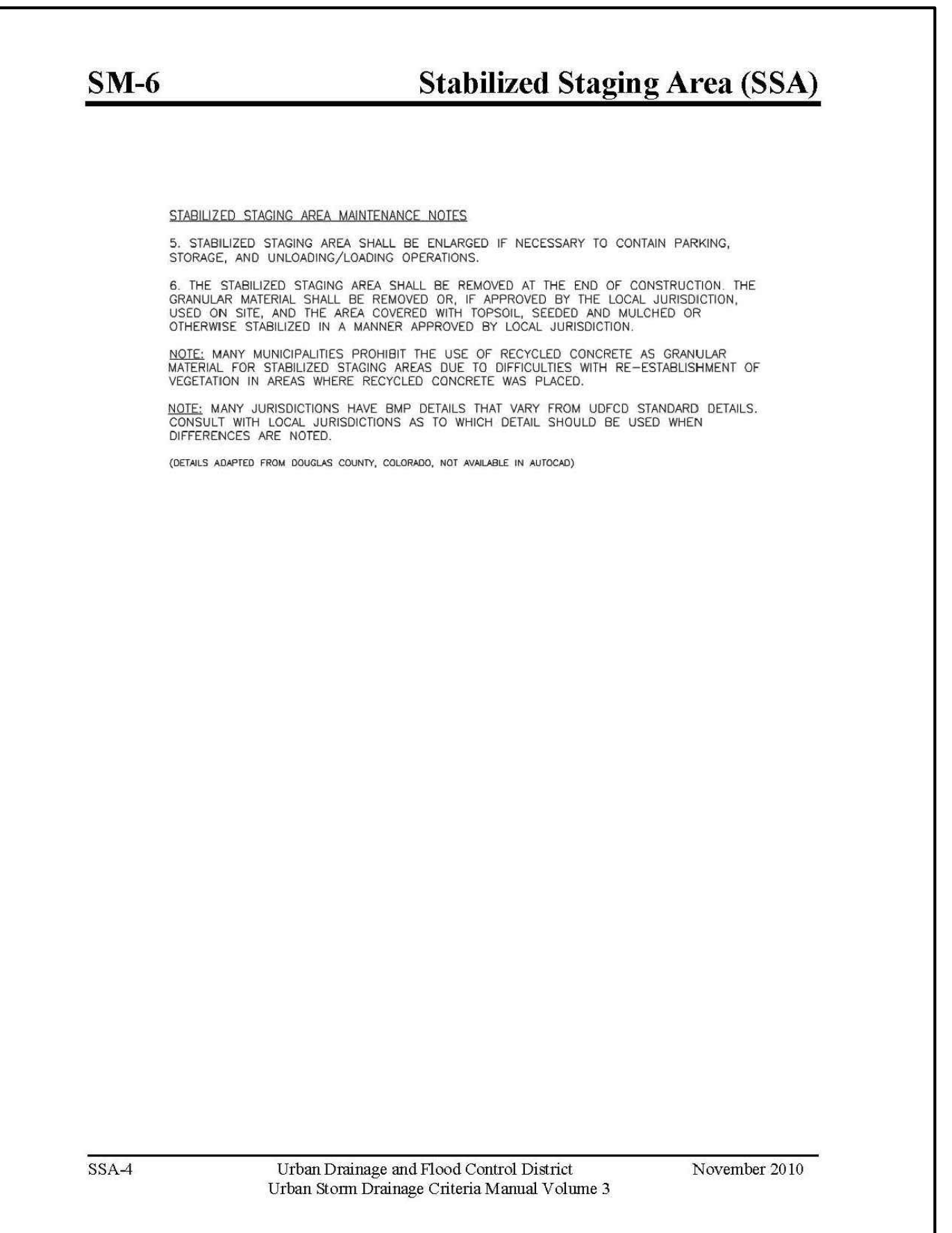
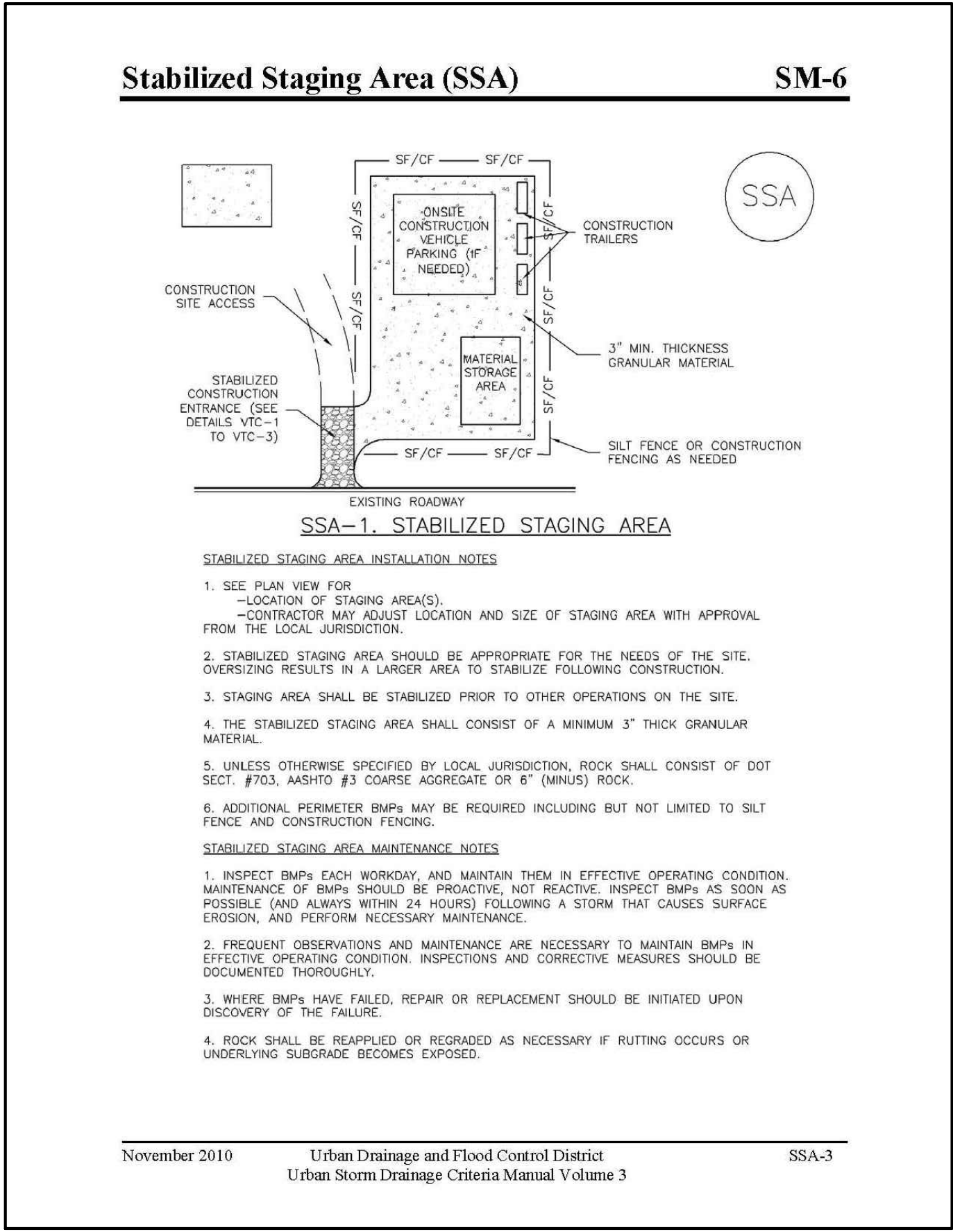
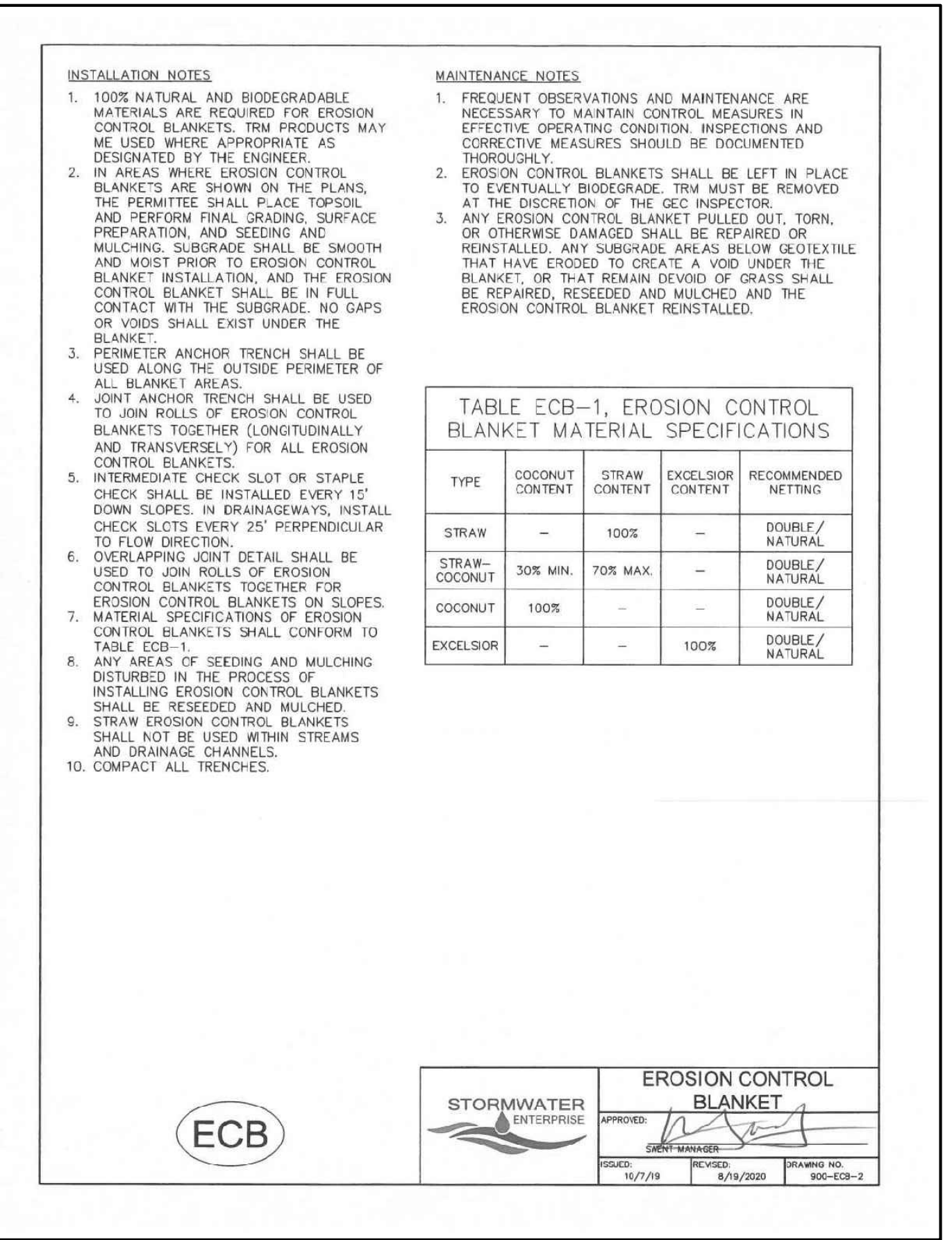
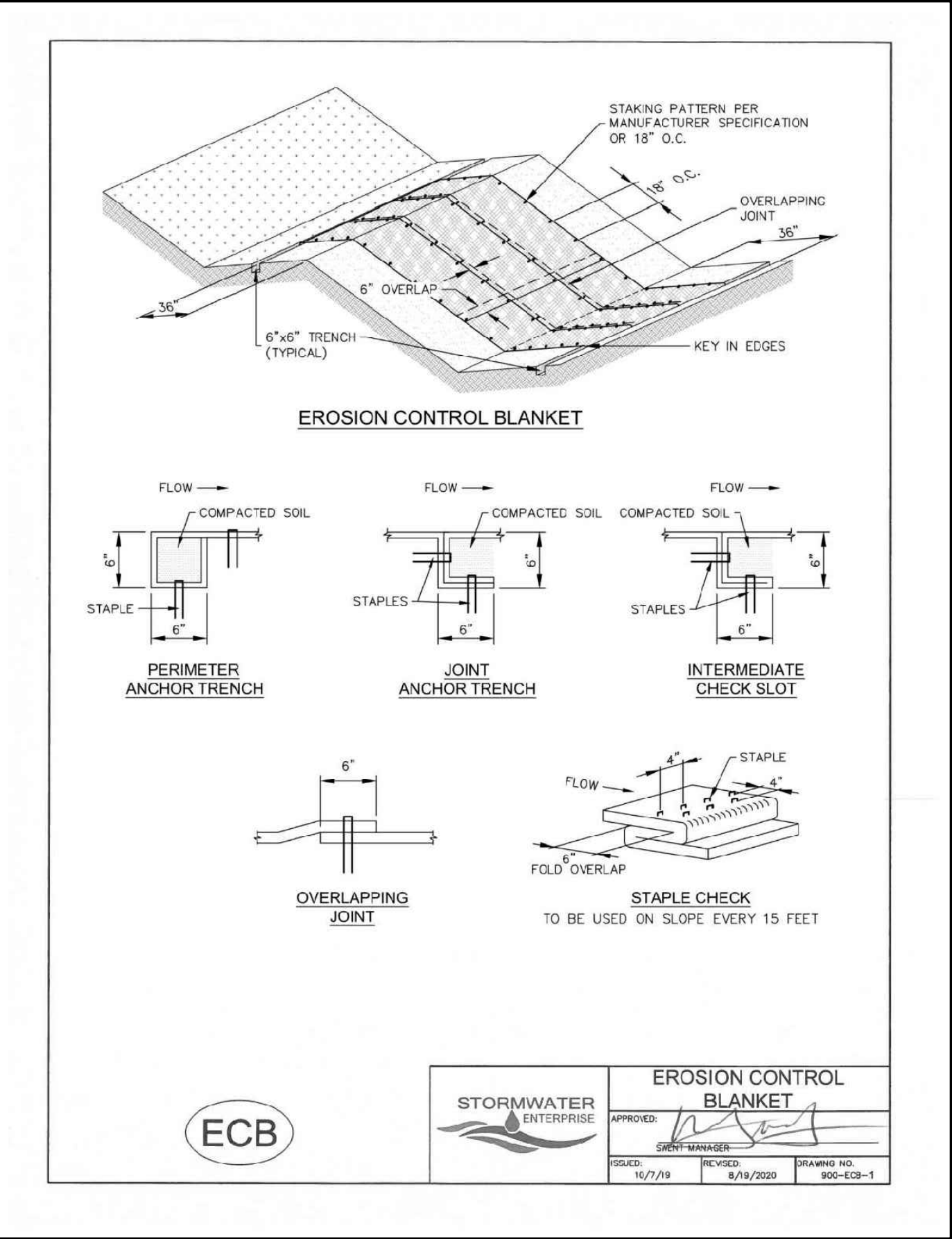
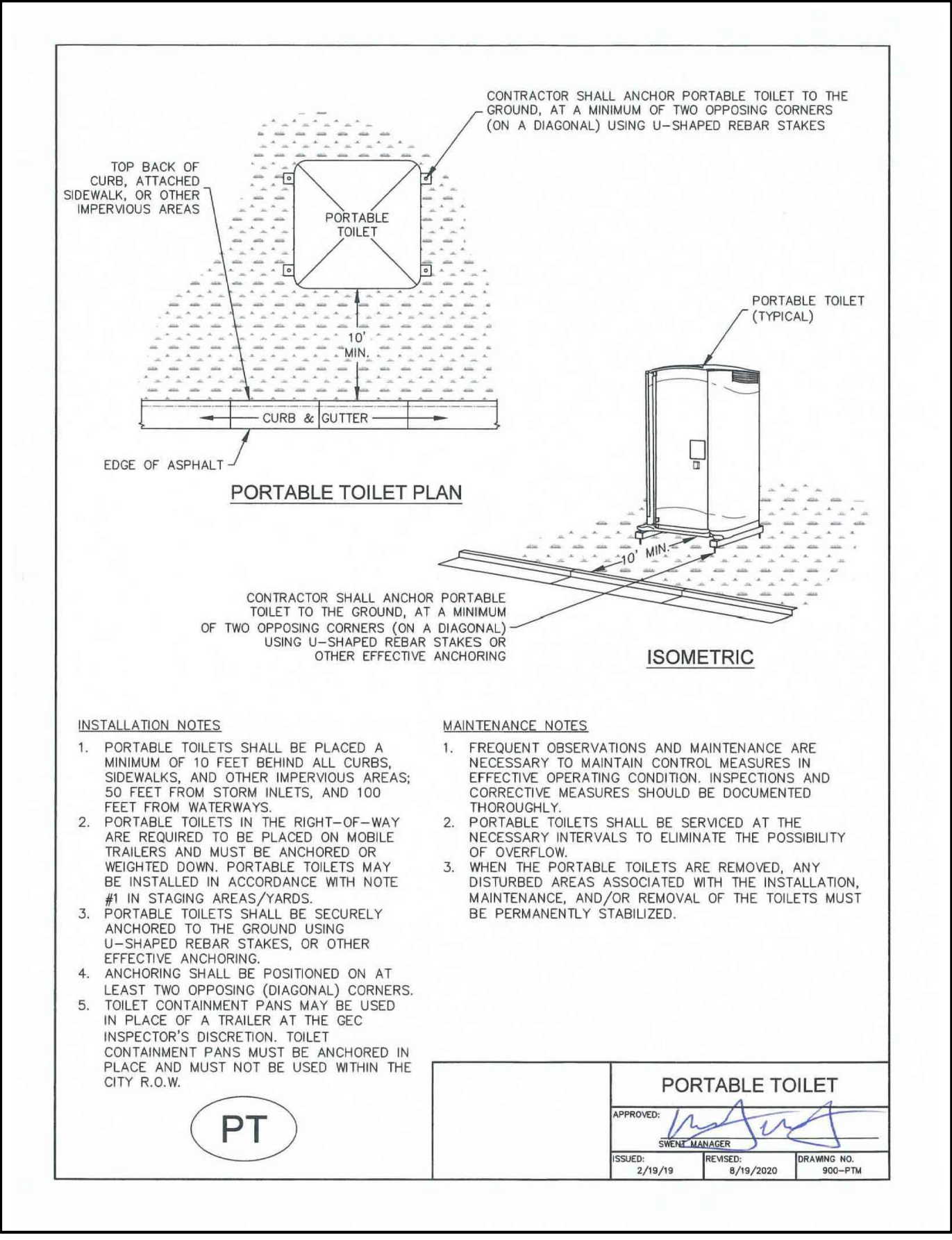
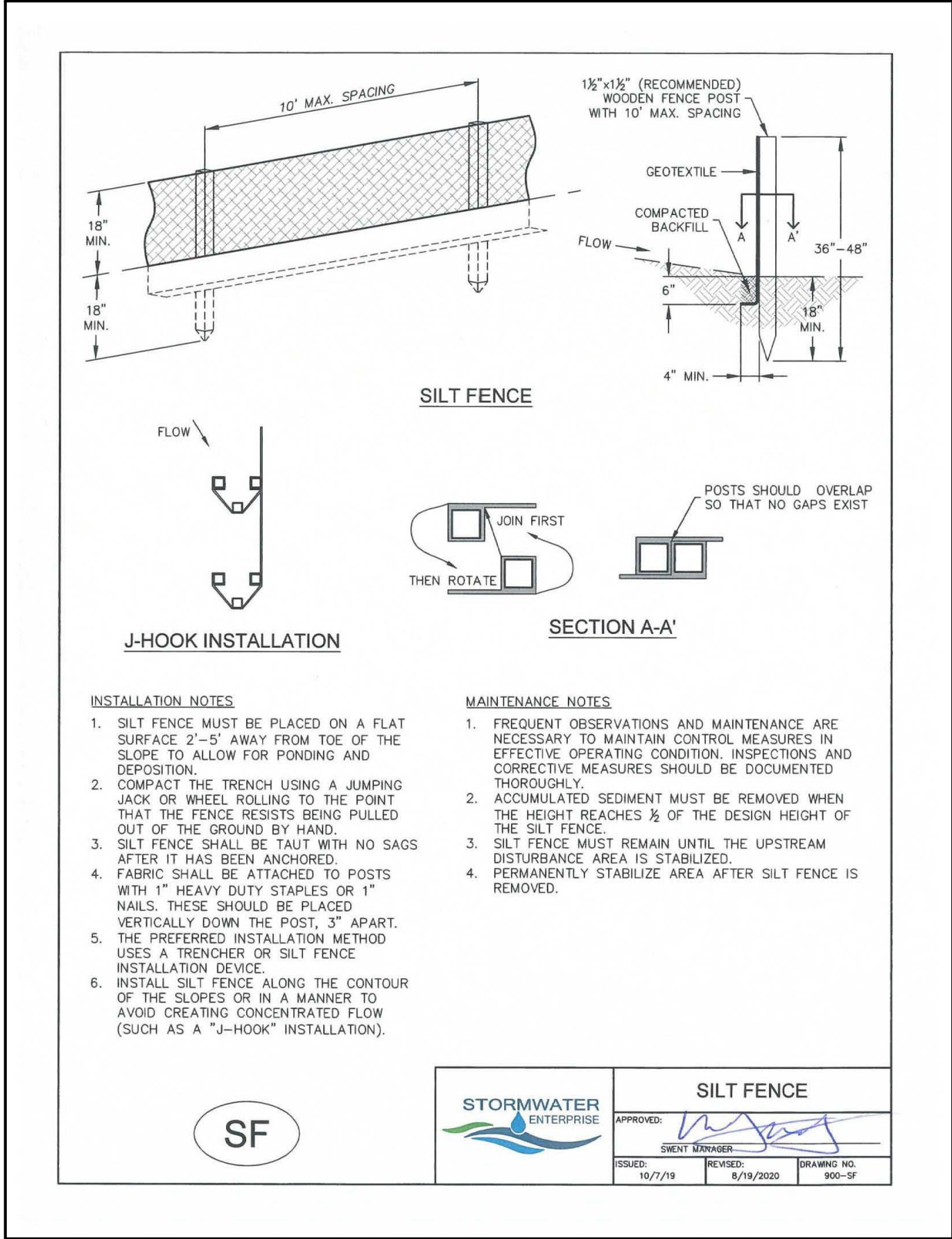
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MONUMENT ACADEMY

4303 Pinehurst Circle
Colorado Springs, CO 80908

PHASE 2 CONSTRUCTION DOCUMENTS



JPS
ENGINEERING

19 E. Willamette Ave.
Colorado Springs, CO
80903

PH: 719-477-9429
FAX: 719-471-0766
www.jpsengr.com

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CRP ARCHITECTS AIA
100 E. St. Vrain, Suite 300
Colorado Springs, Colorado 80903

EROSION CONTROL DETAILS

SCALE: N/A

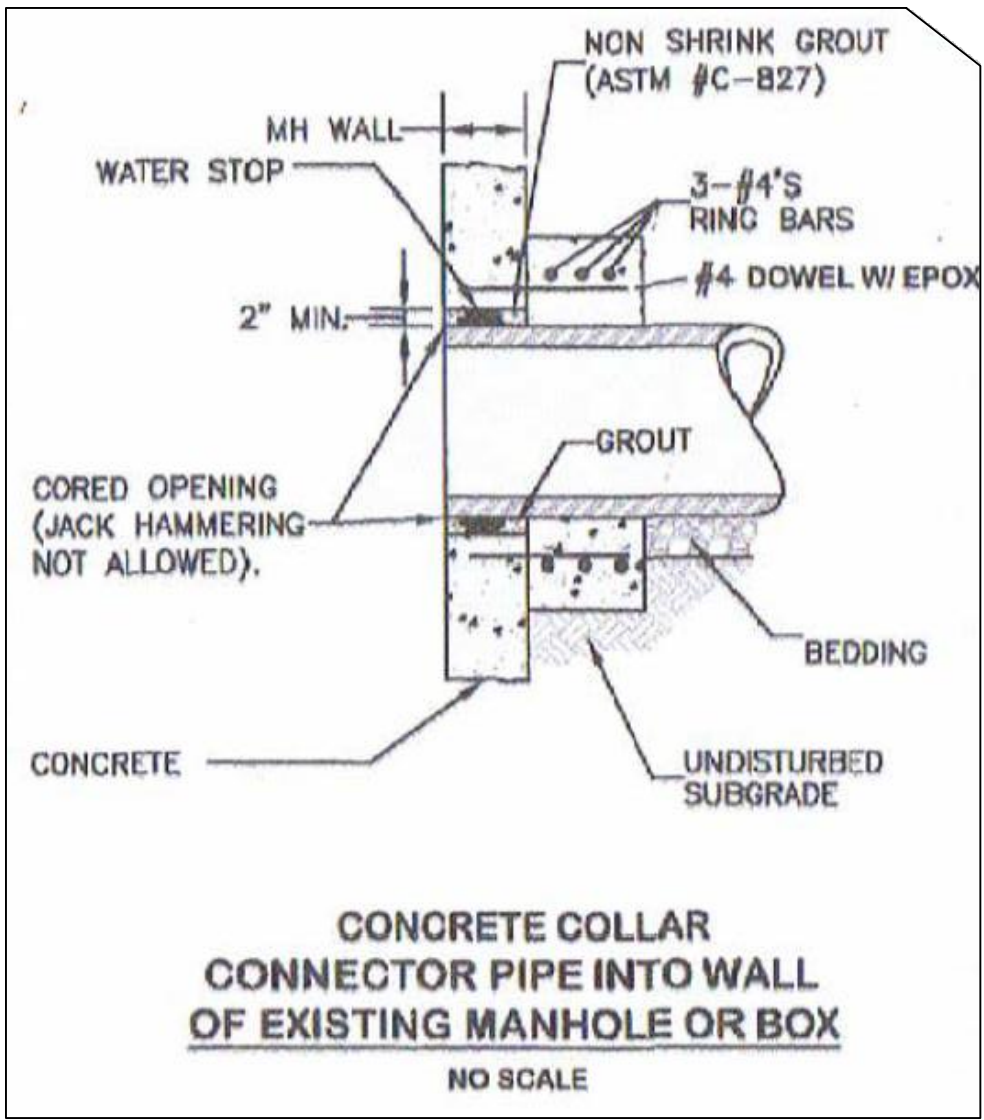
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REVISED: 03/30/2026

C4.4-GEC

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SITE DEVELOPMENT PLAN



CONCRETE COLLAR DETAIL A NTS

LEGEND	
---	PROPERTY LINE
---	EASEMENT
---	6520 PROPOSED CONTOUR
---	6520 EXISTING CONTOUR
---	LOD LIMIT OF DISTURBANCE
X 99.0	PROPOSED SPOT ELEVATION (FLOWLINE)
X 99.0	EXIST. SPOT ELEVATION
GI	GRADED INLET (18" NYOPLAST OR EQUAL)
(E)	EXISTING
(P)	PROPOSED

- NOTES:
- CONTRACTOR SHALL POTHOLE TO FIELD VERIFY ELEVATION OF EXISTING UTILITY CROSSINGS.
 - PROVIDE TRACER WIRE ON ALL STORM PIPING PER CITY ENGINEERING STDs. D-37A-D-37E.



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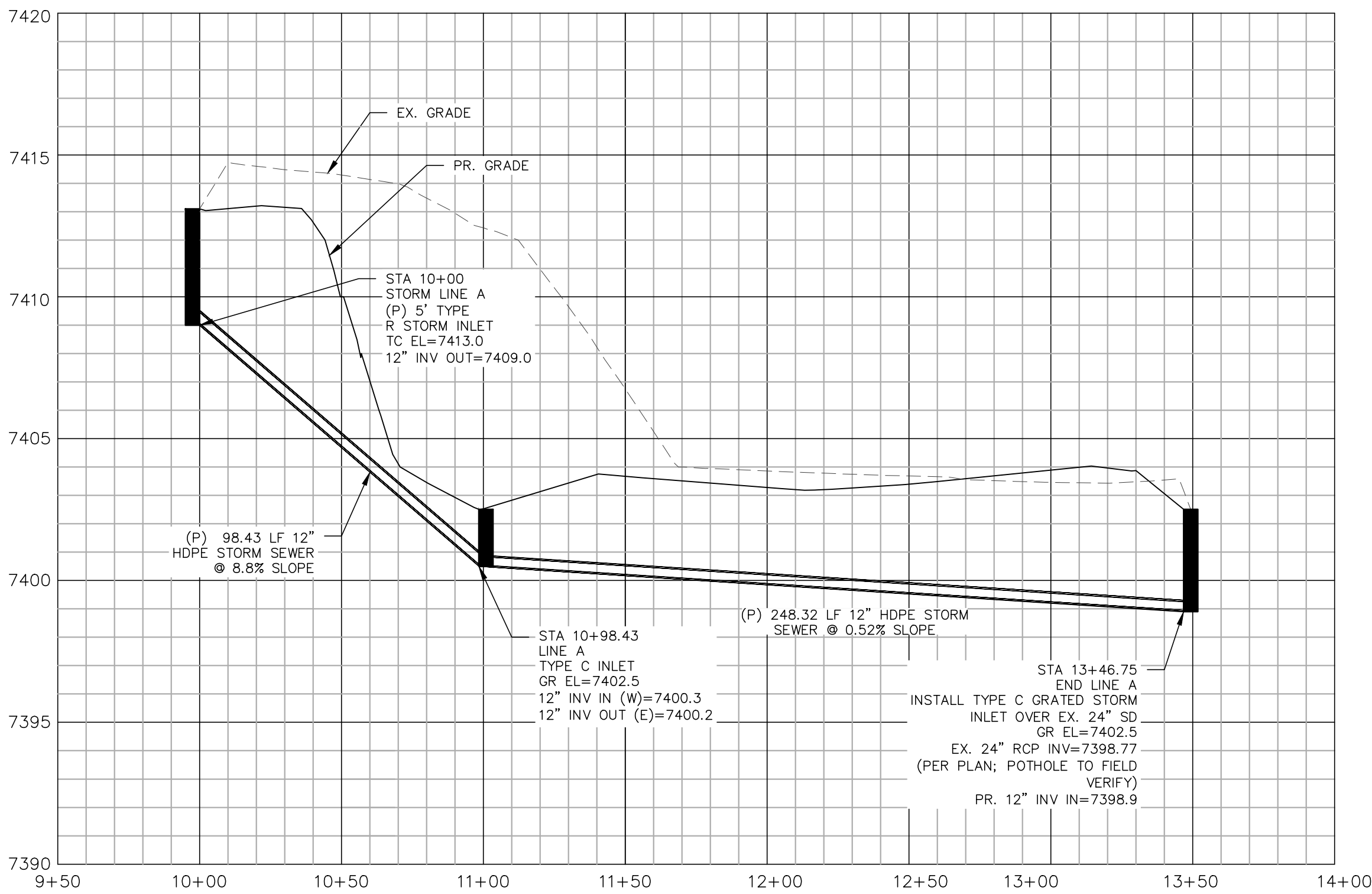
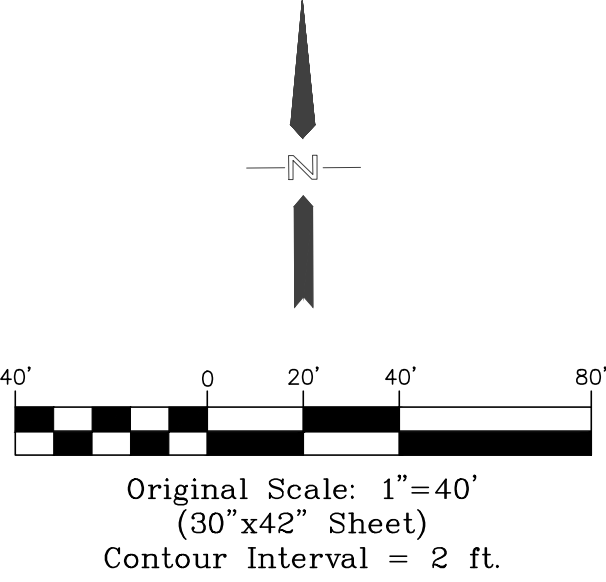
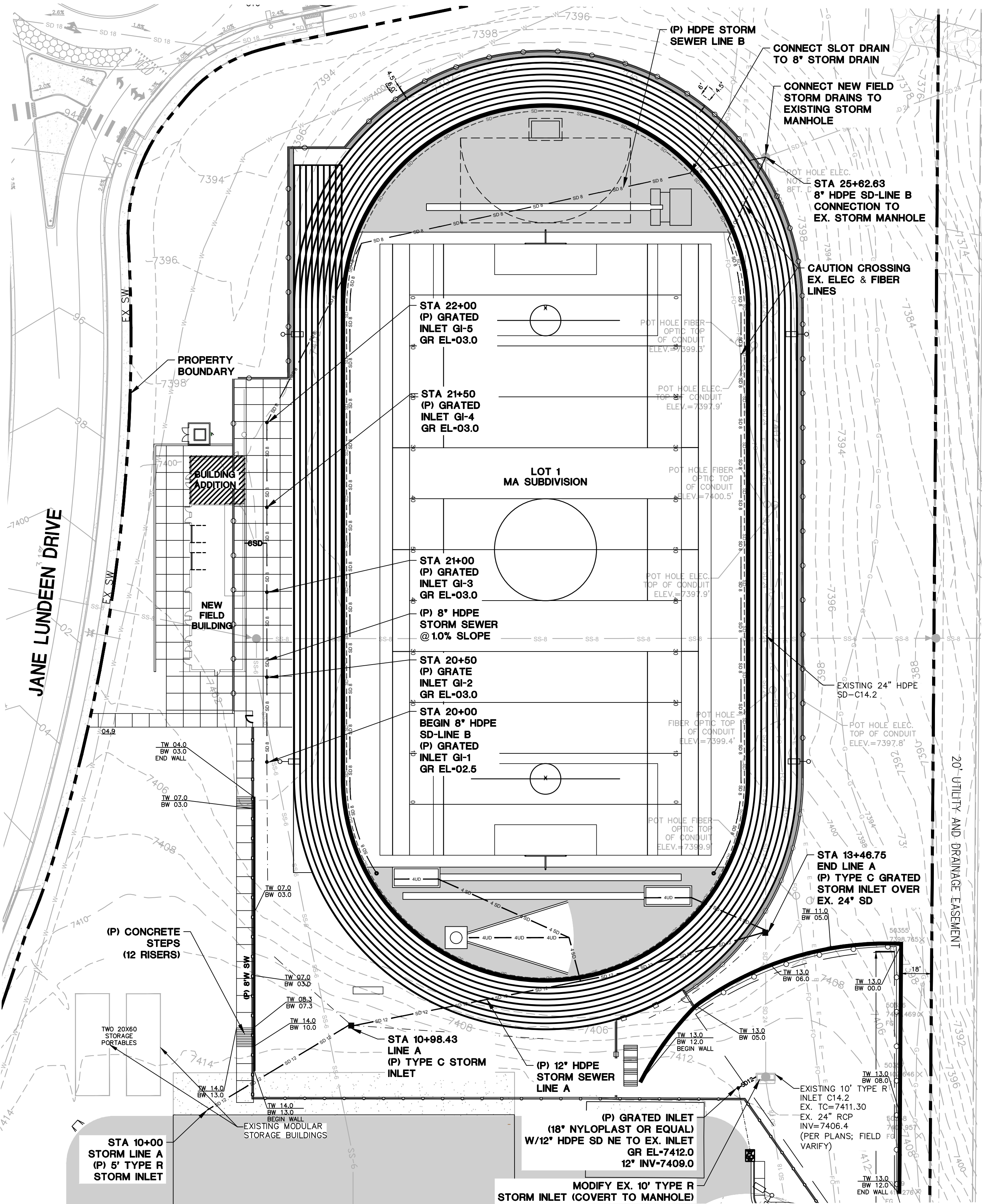
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STORM SEWER PLAN
AND PROFILE

SCALE: 1"=40'

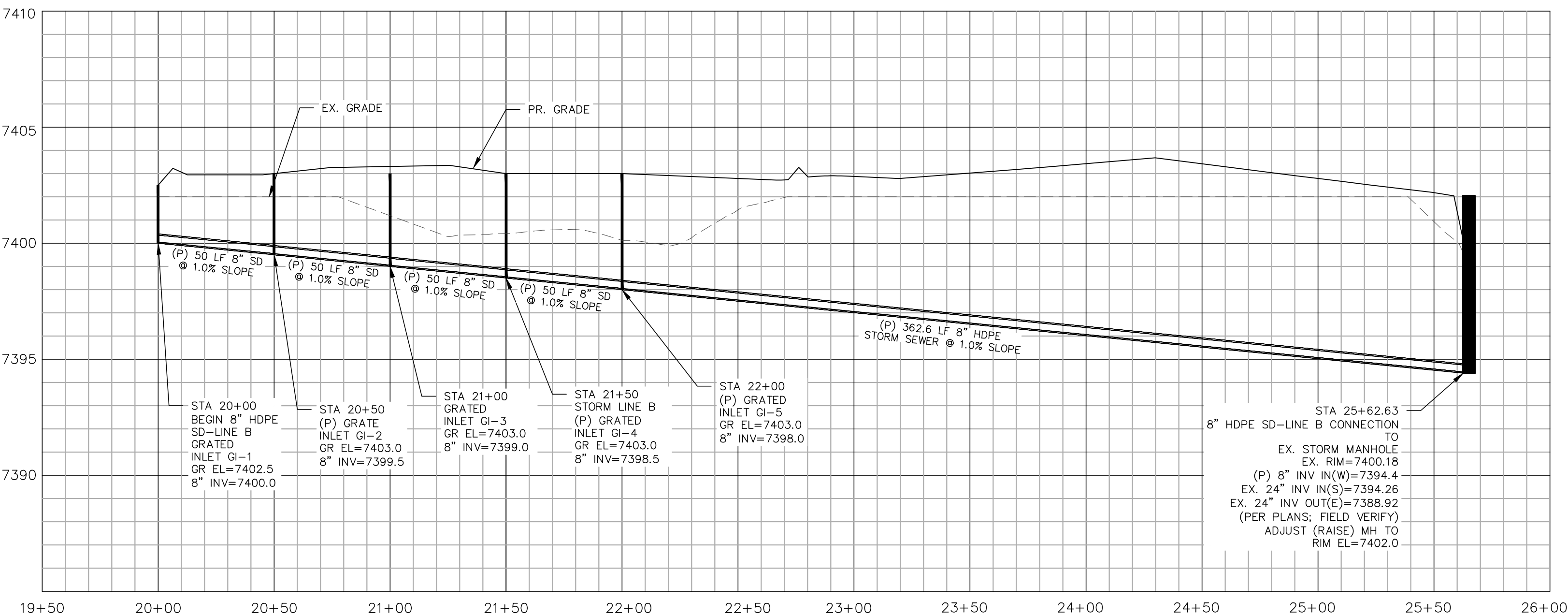
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REVISED: 07/21/2026

C5.1-DP



STORM SEWER PROFILE LINE A

1"=40'H
1"=4'V



STORM SEWER PROFILE LINE B

1"=40'H
1"=4'V