

R134165
 ADD20692
 PLAT 10498
 ZONE RR-0.5
 DIST 1

APPROVED
Plan Review
 09/25/2020 8:03:40 AM
 dsdespinoza
 EPC Planning & Community
 Development Department

Not Required
BESQCP
 09/25/2020 8:04:03 AM
 dsdespinoza
 EPC Planning & Community
 Development Department



ANY APPROVAL GIVEN BY
 EL PASO COUNTY
 DOES NOT OBTIATE THE NEED
 TO COMPLY WITH APPLICABLE
 FEDERAL, STATE, OR LOCAL
 LAWS AND/OR REGULATION



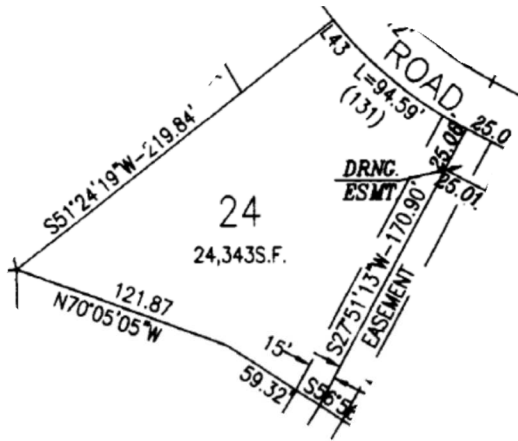
It is the owner's responsibility to
 coordinate with easement holders
 to avoid impact to utilities that
 may be located in the easements.

Planning & Community Development Department
 approval is contingent upon compliance with all
 applicable notes on the recorded plat.

An access permit must be granted by the
 Planning & Community Development Department
 prior to the establishment of any driveway onto a
 County road.

Diversion of blockage of any drainage way
 is not permitted without approval of the
 Planning & Community Development Department

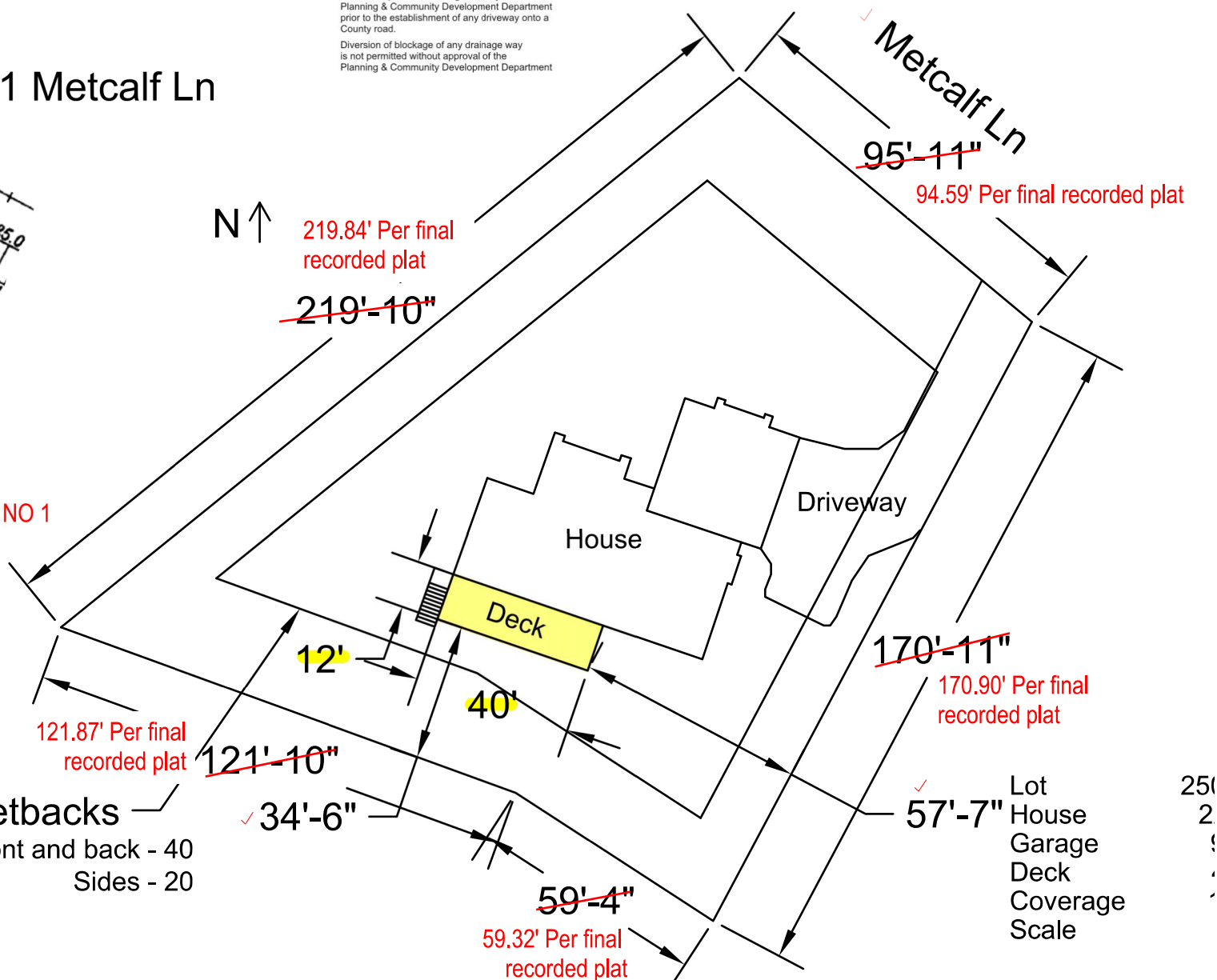
131 Metcalf Ln



LOT 24 BLK 1 TIMBERVIEW SUB FIL NO 1
 FINAL RECORDED PLAT 10498

Lot	24,343 SF
House	2,390 SF
Garage	960 SF
Deck	480 SF
Structural Lot Coverage	15.73 %

Setbacks
 Front and back - 40
 Sides - 20



TSN: 6118015020
 Owner: HAMALAINEN ROBERT T

RESIDENTIAL



2017 PPRBC

Address: 131 METCALF LN, MONUMENT

Parcel: 6118015020

Plan Track #: 134165 

Received: 14-Sep-2020 (GITA)

Description:

DECK - NEW

Contractor: CREEKSIDE CUSTOM DECKS

Type of Unit:

Required PPRBD Departments (2)

Floodplain

(N/A) RBD GIS

Construction

Released for Permit
09/16/2020 2:57:50 PM



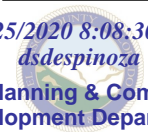
CONSTRUCTION

Required Outside Departments (1)

County Zoning

APPROVED
Plan Review

09/25/2020 8:08:30 AM
dsdespinoza



EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.