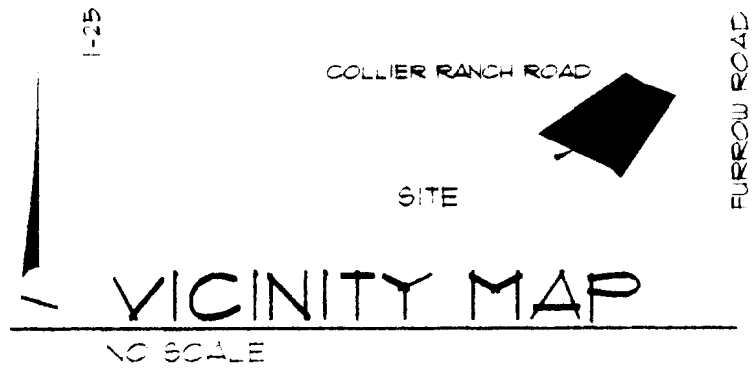


JULY 105



**ADDRESS:**

131 COLLIER RANCH ROAD

**LEGAL:**

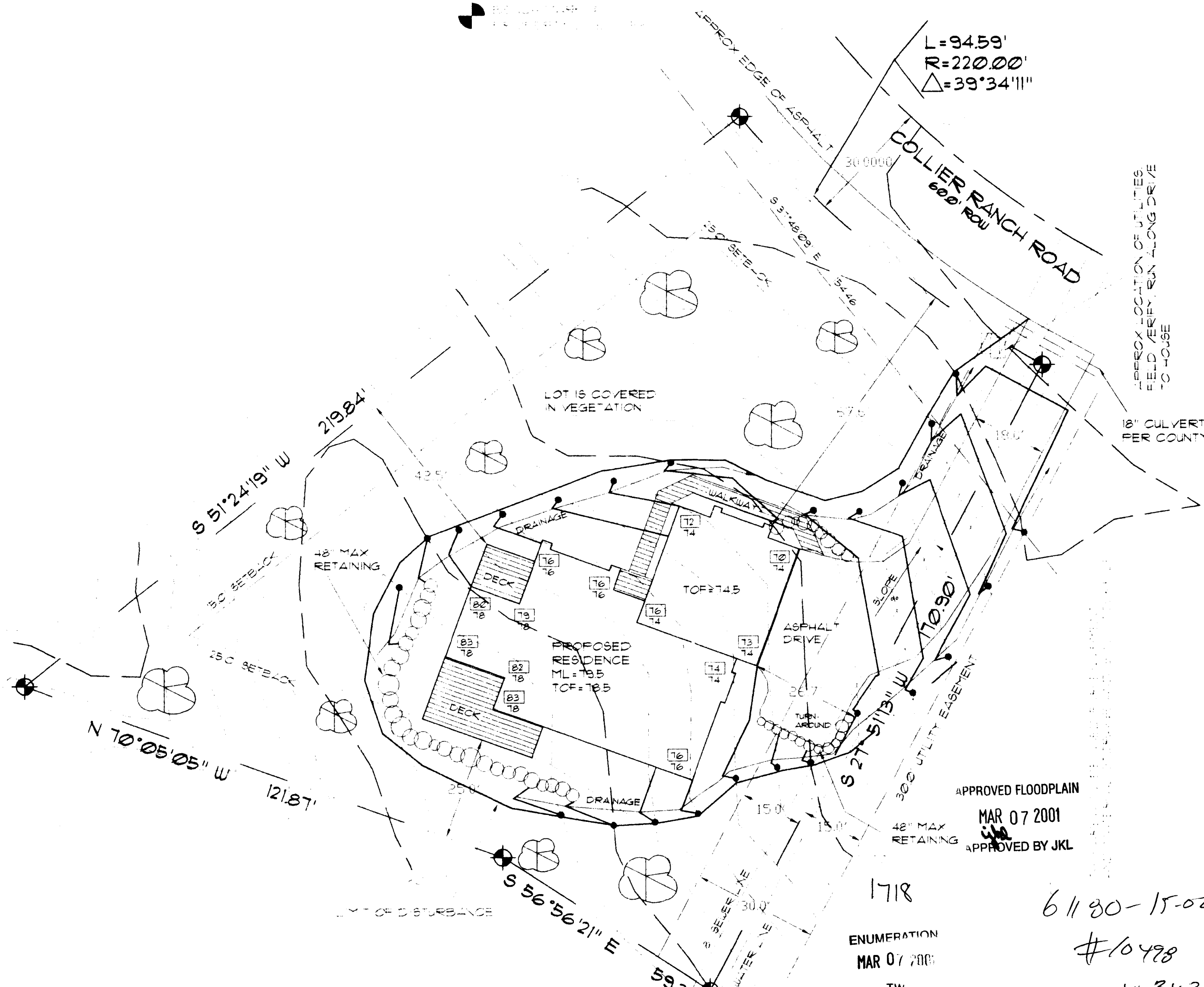
Lot 24 Bk 1 Timberview  
Subdivision Filing No 1  
El Paso County Colorado

**SITE DATA:**

Lot Size = 24343 sq ft  
Building Footprint = 3549 sq ft  
Lot Coverage = 14.6%  
Zoning = RR1  
Tax Schedule = 2180-B-010  
Building Height = 00-00 See Elevations  
Parking Spaces = 3 spaces

REVISION

**Larry G. Gilliland Associates Inc.**  
The GAB Group  
DESIGN, PLANNING & CAD DRAWING  
1331 W. Colorado Ave. Suite A, Colorado Springs, CO 80904



**PLANNING NOTE:**

The drainage grading and erosion control plans reflected on this site plan have been designed to safely convey on-site stormwater runoff including the sizing of roads as culverts and/or any necessary modifications to the adjacent roads or ditch which might be affected by home and/or driveway construction. Additionally the drainage grading and erosion control plan have been designed to be consistent with the approved Final Drainage Reports and the Development Plan for the Timberview Subdivision. If construction is performed in accordance with this site plan said construction will not become a hazard to life and limb, neighbor property or adversely affect the safety, use or stability of a public way, drainage system or other property.

Planning Dept. approval is contingent upon compliance with all applicable notes on the recorded plat.

Prior to the establishment of any driveway onto a County road an access permit must be granted by El Paso County Dept. of Transportation.

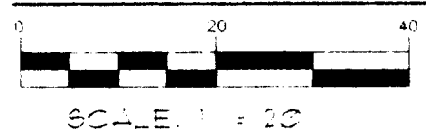
Diversion or blockage of any drainageway is not permitted without the approval of the El Paso County Dept. of Transportation.

*Roger G. Berge* 2/8/01  
Roger G. Berge PE & PLS Date  
For and on behalf of Berge-Briser and Assoc. Inc.

**NOTES:**

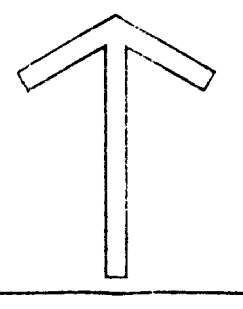
- 1) Topographic information supplied by others.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit materials and vehicle storage to the building area to minimize vegetation disturbance.
- 5) No disturbance grading or significant natural features and vegetation removal will occur beyond the Limit of Disturbance line as shown on this plan.
- 6) The "Limit of Disturbance" line shall be delineated during construction with flags, roping and/or other orange construction fencing.
- 7) Final landscaping to be determined by the contractor owner. It shall minimize impact to the site.
- 8) All landscaping to be completed by contractor owner.
- 9) Use hay bales to minimize erosion during construction and also stabilize area with seeded blankets for erosion control.
- 9) Flag "Limits of Disturbance" prior to excavation.

**SITE PLAN**



**APPROVED**  
EL PASO COUNTY PLANNING DEPT  
THIS 9th DAY OF Feb. 2001

*La 310*



**LEGEND:**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING VEGETATION
- LINE OF LIMITS OF DISTURBANCE AT SITE
- NO ROCK OUT CROPPING EXIST AT SITE
- 80' = NATURAL GRADE
- 80' = FINISH GRADE
- TREE
- BOULDER
- DISTURBED AREA

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DRAWN BY  
D. NICKEL-SUREB  
DESIGNED & CHECKED BY  
LARRY GILLILAND  
DATE 02/08/01

SITE PLAN  
VICINITY MAP  
SITE NOTES

Sheet #  
S1  
of 1 sheets

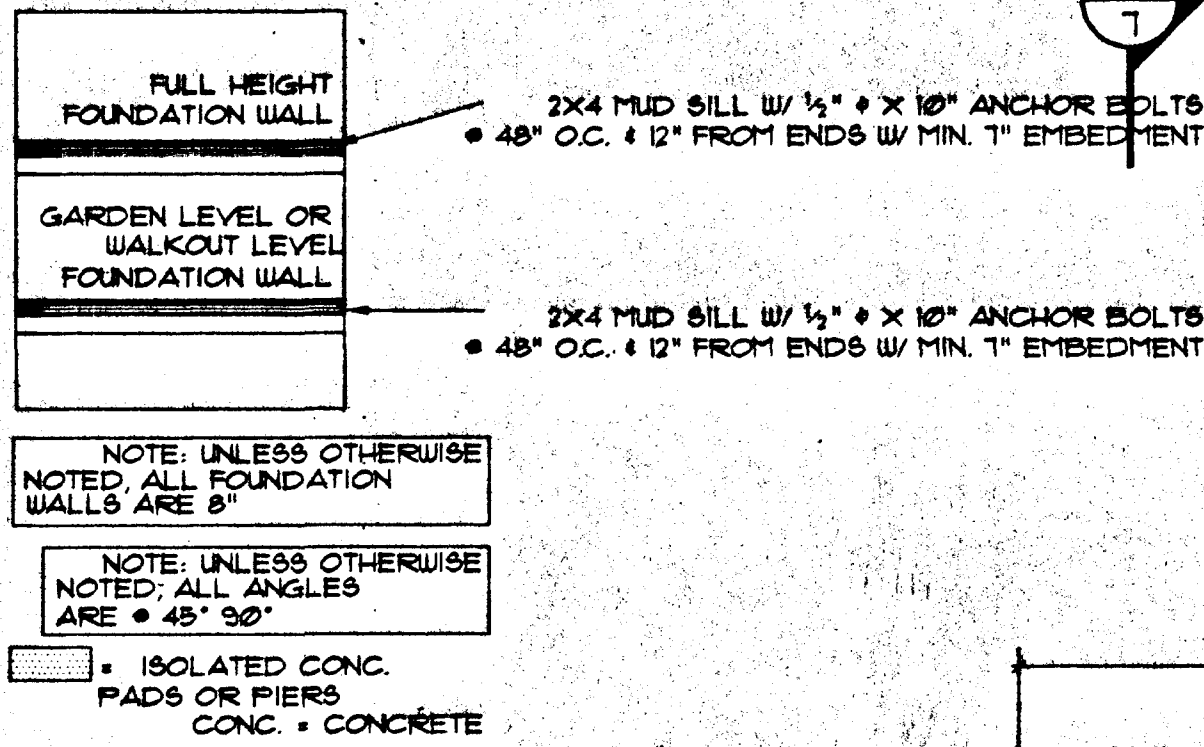
CONTRACTOR  
NEW  
HORIZON  
HOMES  
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THE 375 SUMMIT VIEW  
131 COLLIER RANCH ROAD  
COMPUTER FILE: #921064



GENERAL CONTRACTOR SUB-CONTRACTORS SUPPLIERS AND OTHER SHALL VERIFY ALL NOTES, DIMENSIONS AND INFORMATION ON DRAWINGS PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THESE PARTIES TO REPORT ANY CHANGES, DISCREPANCIES TO THE DESIGNER. QUESTIONS REGARDING THESE DRAWINGS SUCH AS CHANGING INTERPRETATION, DIMENSION NOTES, SCALE AND OTHER PLEASE CONTACT DESIGNER. ALL CHANGES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. IN WRITING. FAILURE TO DO ANY OF THE ABOVE SHALL RELIEVE THE DESIGNER OF ANY ERROR. DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES NOT NOTED IN WRITING TO THIS PLAN. DESIGNER SHALL NOT BE RESPONSIBLE FOR PLUMBING, ELECTRICAL, OR MECHANICAL SYSTEMS. LOCAL CODES OR LOCALITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**LEGEND**



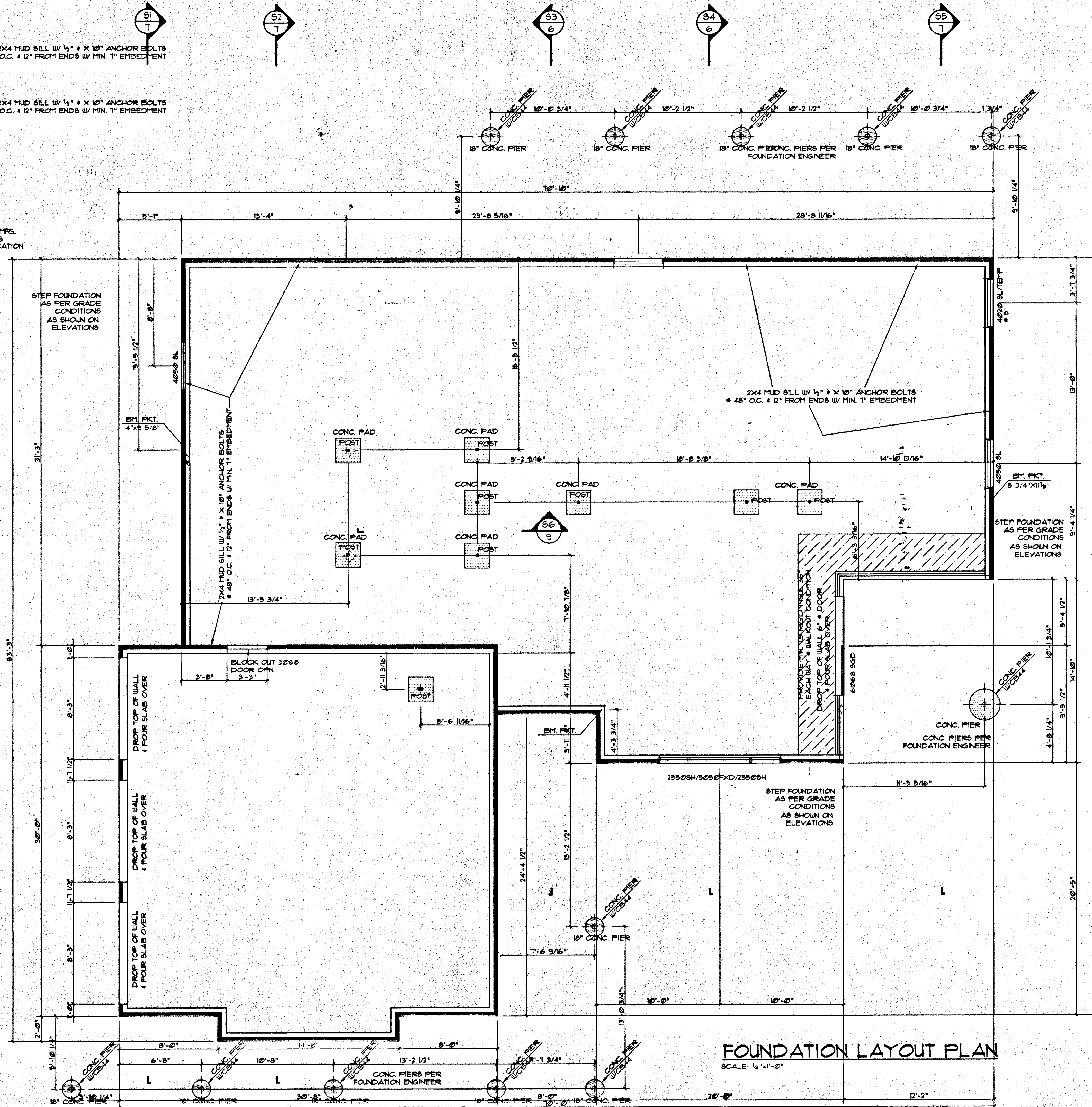
NOTE: INSTALL ALL COLUMN ANCHORS PER MFG. SEE MAIN LVL. FLOOR FRAMING PLANS FOR COLUMN ANCHOR TYPE AND LOCATION.

NO LP APPLIANCES IN BASEMENT OR CRAWL ALLOWED.

FOUNDATION DESIGN TO BE COMPLETED UPON SITE INSPECTION OF SOILS BY COLORADO REGISTERED SOILS ENGINEER. DESIGN TO BE ON HAND AT TIME OF INSPECTION AND/OR SUBMITTED TO BUILDING DEPARTMENT AT TIME OF PLAN CHECK. DESIGN BY ENGINEER SHALL BE BASED UPON LOADS FOUND BY USING DRAWINGS BY LARRY GILLAND AND ASSOCIATES, INC. IT SHALL BE ADVISED THAT ALL ENGINEERING SHOWN ON PLANS SHALL BE VERIFIED BY A PROFESSIONAL ENGINEER AND DISCREPANCIES REPORTED TO THE DESIGNER. FAILURE TO DO SO SHALL RELIEVE DESIGNER OF ERRORS.

ALL GRADES SHALL SLOPE AWAY FROM STRUCTURE A MINIMUM OF 1/8" OR 1" IN 10" AND SHALL CONFORM TO ALL REQUIREMENTS INDICATED IN SOILS REPORT. SOILS REPORT SHALL GOVERN SLABS, AND FOUNDATION DRAINAGE.

STEP FOUNDATION AS PER GRADE CONDITIONS AS SHOWN ON THE ELEVATIONS



**FOUNDATION LAYOUT PLAN**  
SCALE: 1/4"=1'-0"

REGIONAL BLDG DEPT  
OCT 1 - 2001  
By RDW

REVISIONS  
1/23/01 BLDG

**NEW HORIZON HOMES**  
6660 DELMONICO DR  
FT. CO. CO. 80515  
(719) 592-4088

**Larry Gilliland & Associates Inc.**  
DESIGN, PLANNING & CAD DRAWING  
133 WEST COLORADO AVENUE SUITE A  
COLORADO SPRING, CO. 80902  
PHONE: (719) 435-0880  
FAX: (719) 636-1573  
E-MAIL: GILLILAND@NET

**THE 131 METCALF**  
COMPUTER FILE # P1648

DRAWN BY  
JW  
DESIGNED BY  
LARRY GILLILAND  
BID DATE 3/1/01  
BUILD DATE

FOUNDATION PLAN

Sheet #  
1  
of 11 sheets

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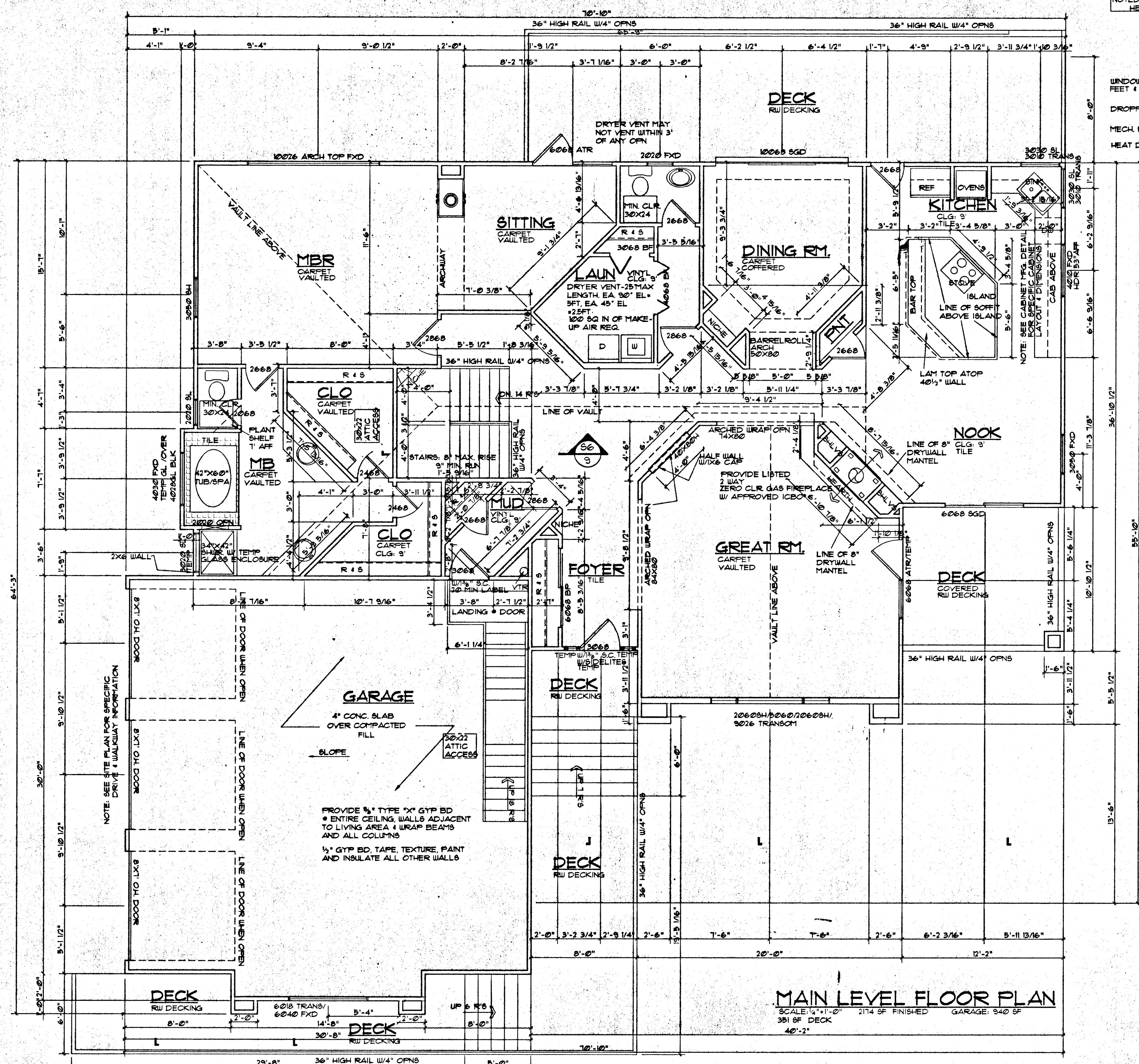


GENERAL CONTRACTOR SUB-CONTRACTORS SUPPLIERS AND OTHER SHALL FURNISH...  
 ALL CONSTRUCTION SHALL CONFORM TO LOCAL BUILDING CODES NOTED OR NOT.

**LEGEND**

- NOTE: UNLESS OTHERWISE NOTED, ALL EXTERIOR WALLS ARE 3 1/2"
- NOTE: UNLESS OTHERWISE NOTED, ALL INTERIOR WALLS ARE 3 1/2"
- NOTE: UNLESS OTHERWISE NOTED, ALL ANGLES ARE @ 45° 30'
- NOTE: UNLESS OTHERWISE NOTED, ALL WINDOW HEADER HEIGHTS ARE @ 82"

- WINDOWS & DOORS NOTED IN NOMINAL FEET & INCHES 2668 @ 2'6" X 6'8"
- DROPPED CLG. = [Symbol]
- MECH. RISER = [Symbol]
- HEAT DUCT = [Symbol]



**ENERGY CODE DATA:**

AREA OF DOORS	336 SF
AREA OF GLAZING	334 SF
AREA OF WALL	3156 SF (2X4 WALL)
U GLASS/WINDOW UNIT	0 SF (2X6 AND 2X8 WALL)
R OF WALL INSULATION	R-13 (2X4 WALL)
R OF WALL INSULATION	R-19 (2X6 AND 2X8 WALL)
R OF ROOF INSULATION	R-38
R OF BASEMENT INSULATION	R-11
R OF CRAWL SPACE INSULATION	N/A
R OF FOUNDATION INSULATION	R-5, 1X(1 1/2") RIGID
R OF UNHEATED FLOOR	R-19

FURNACE SIZE: 140,000 BTUH INPUT MIN.

**MAIN LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 2174 SF FINISHED GARAGE: 940 SF  
 351 SF DECK  
 40'-2"

REGIONAL BLDG DEPT

OCT 1 - 2001

By RDW

REVISIONS  
 1/29/01 BLDG

**NEW HORIZON HOMES**  
 6660 DEMONICO DR  
 FORT COCKERILL, CO 80504  
 (719) 599-4088

**Larry Gilliland Associates**  
 DESIGN, PLANNING & CAD DRAWING  
 1331 WEST COLORADO AVE. SUITE A  
 COLORADO SPRINGS, CO 80904  
 PHONE: (719) 635-0886  
 FAX: (719) 638-1973  
 E-MAIL: GILLILAND@LGA.COM

**THE 131 METCALF**  
 COMPUTER FILE # P1648

DRAWN BY  
 JU  
 DESIGNED BY  
 LARRY GILLILAND  
 BID DATE 3/1/01  
 BUILD DATE

MAIN LEVEL  
 FLOOR PLAN

Sheet #  
 3  
 of 11 sheets

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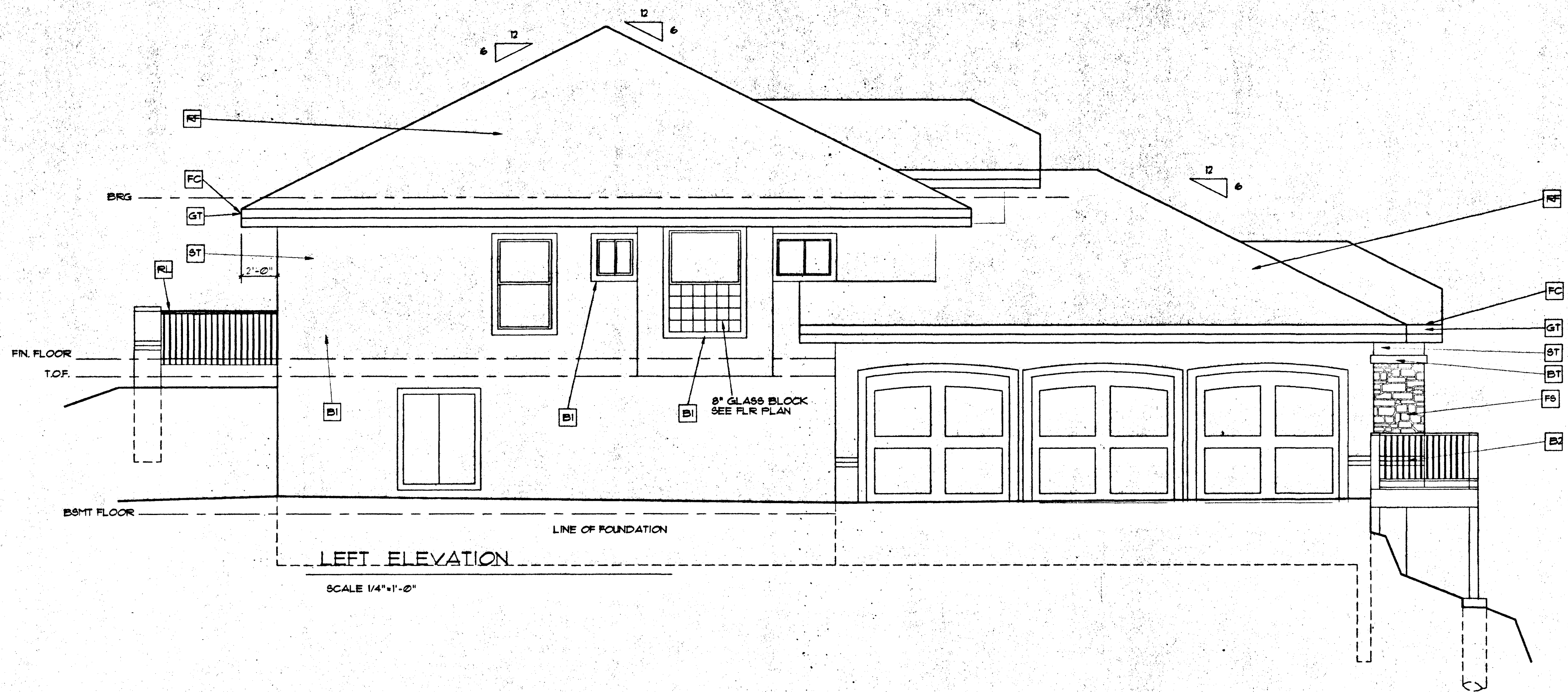












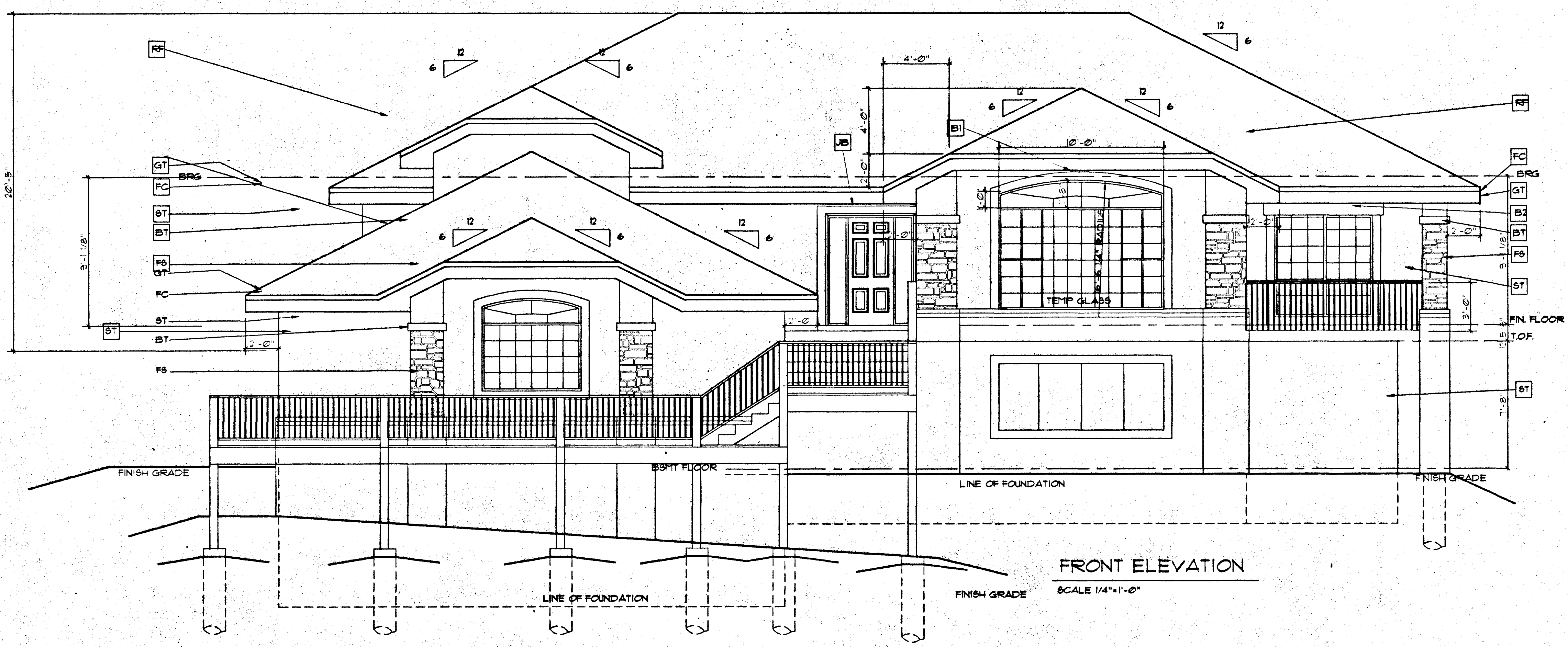
LEFT ELEVATION

SCALE 1/4"=1'-0"

EXTERIOR KEY NOTES:

- RF COMPOSITION SHINGLES - 3 TAB STRIP SHINGLE LESS THAN 24" W/200" ONLY ALLOWED DURING DAYLIGHT SAVING TIME (APRIL-OCT.)
- FC 1X4/2X12 SMOOTH CEDAR FACIA + T-11 SOFFIT
- GT 3" GUTTER OVER FASCIA w/DOWN SPOUTS, FIELD LOCATED. (MAX. ROOF AREA TO DRAIN \* SPOUTS SHALL BE 100 SF.)
- TT TIMBER TRUSSES
- FS FALSE STONE VENEER
- ST 3/8" COLOR STUCCO
- JB 2X6 FIR JAMB MATERIAL
- RL 1 1/2" PIPE RAIL w/ 4" MAX OPNS 36" HIGH RAIL
- BR STEPS TO GRADE: 8" MAX RISE 9" MIN RUN
- BT BUILT UP STUCCO TRIM
- BI 1x 4 BUILT UP STUCCO TRIM
- B 2x BUILT UP STUCCO TRIM \* TOP \* BOTTOM

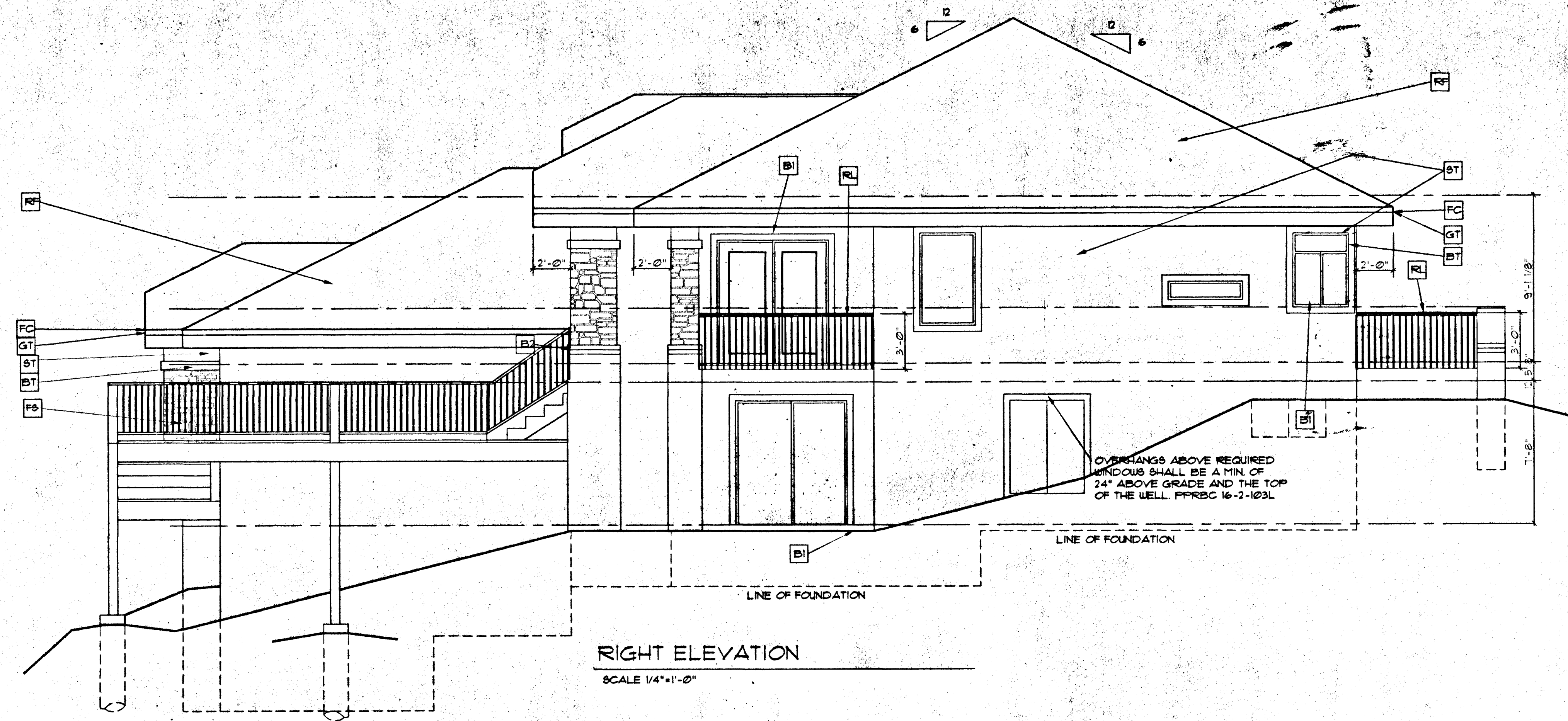
GENERAL NOTES TO EXTERIOR:  
1) OVERHANGS SHALL BE 24" EAVES, 24" GABLE ENDS, PROVIDE 6" MIN GUTTERS \* ALL OVERHANGS AND DOWNSPOUTS AT ALL CORNERS OR 30' INTERVALS WITH TYPICAL FAST BACKFILL AREAS.  
2) ROOF VENTILATION SHALL COMPLY WITH UBC 803.3. 125 SQ FT UPPER ROOF AND SOFFITS OR 145 SQ FT UPPER ROOF TOTAL EQUAL SPACED FOR ROOF AREAS.  
3) ALL NOTES ON SECTIONS AND ELEVATIONS SHALL APPLY TO ALL OTHER SECTIONS AND/OR ELEVATIONS OF LIKE OR SIMILAR APPLICATIONS.



FRONT ELEVATION

SCALE 1/4"=1'-0"



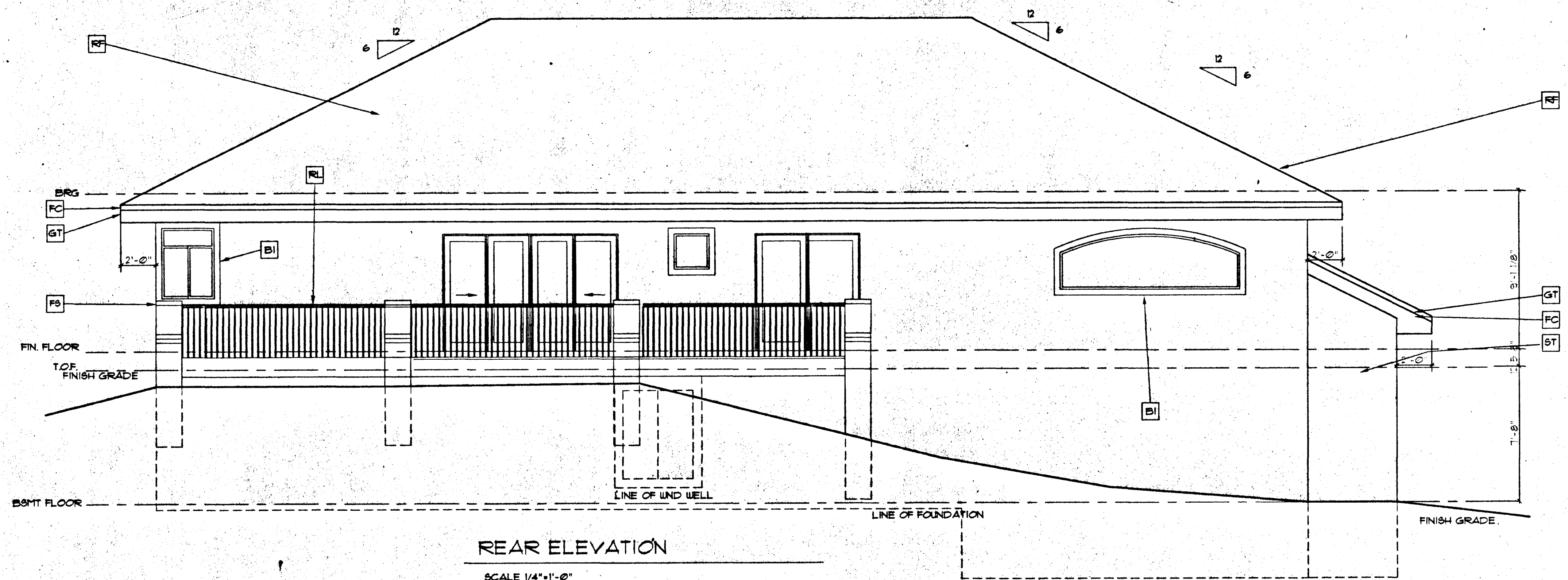


RIGHT ELEVATION  
SCALE 1/4"=1'-0"

EXTERIOR KEY NOTES:

- RF COMPOSITION SHINGLES - 3 TAB STRIP SHINGLE LESS THAN 24" W/20" ONLY ALLOWED DURING DAYLIGHT SAVING TIME (APRIL-OCT.)
- FC 2X10 SMOOTH CEDAR FASCIA 4 T-II SOFFIT
- GT 5" GUTTER OVER FASCIA w/DOWN SPOUTS, FIELD LOCATED. (MAX. ROOF AREA TO DRAIN • SPOUTS SHALL BE 100 SF.)
- TT TIMBER TRUSSES
- FB FALSE STONE VENEER
- ST 3/8" COLOR STUCCO
- JB 2x6 FIR JAMB MATERIAL
- RL 1 1/2" PIPE RAIL w/ 4" MAX OFNS 36" HIGH RAIL
- GR STEPS TO GRADE: 8" MAX RISE 9" MIN RUN
- BT BUILT UP STUCCO TRIM
- B1 1x 4 BUILT UP STUCCO TRIM
- B2 2x BUILT UP STUCCO TRIM • TOP & BOTTOM

GENERAL NOTES TO EXTERIOR:  
1) OVERHANGS SHALL BE 24" EAVES 24" GABLE ENDS PROVIDE 6" MIN GUTTERS.  
• ALL OVERHANGS AND DOWNSPOUTS AT ALL CORNERS OR 30' INTERVALS WITH TYPICAL PAST BACKFILL AREAS.  
2) ROOF VENTILATION SHALL COMPLY WITH UBC 602.3.1.2. 80 FT UPPER ROOF AND SOFFITS OR 145 SQ FT UPPER ROOF TOTAL EQUAL SPACED FOR ROOF AREAS.  
3) ALL NOTES ON SECTIONS AND ELEVATIONS SHALL APPLY TO ALL OTHER SECTIONS AND/OR ELEVATIONS OF LIKE OR SIMILAR APPLICATIONS.



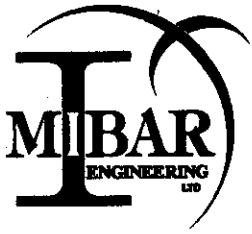
REAR ELEVATION  
SCALE 1/4"=1'-0"

REGIONAL BLDG DEPT  
OCT 1 - 2001  
By RDW









267 N. WASHINGTON STREET  
P.O. BOX 581  
MONUMENT, CO 80132-0581  
(719) 487-0812

28750

MICHAEL F. REYNOLDS, D.E., P.E.  
JOHN A. BLIND, D. PHIL., P.E.  
CHARLES E. MILLIGAN, PH.D., P.E.

June 29, 2001

New Horizon Homes  
2145 Valley View Drive, Ste 100  
Woodland Park, CO 80863

Re: Deck Framing, Lot 24, 131 Collier Ranch Road, MIBAR Job #1082

Dear Rod,

We understand that the deck framing on the house at the above location was built differently than the plan called for. The joists as built are 2 x 8 spaced 12" O.C., which is adequate for the 10' span.

Please do not hesitate to call us if you have any questions.

  
Charles E. Milligan, P.E.

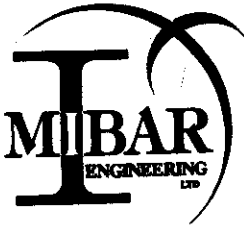


REGIONAL BLDG DEPT

OCT 1 - 2001

By RDW





267 N. WASHINGTON STREET  
 P.O. BOX 581  
 MONUMENT, CO 80132-0581  
 (719) 487-0812

MICHAEL F. REYNOLDS, D.E., P.E.  
 JOHN A. BLIND, D. PHIL., P.E.  
 CHARLES E. MILLIGAN, PH.D., P.E.

June 21, 2001

New Horizon Homes  
 6660 Del Monico  
 Suite 177  
 Colorado Springs, CO 80918

Re: Structural Changes, Model <sup>975</sup> ~~5140~~ - <sup>metcalf</sup> 131 Collier Ranch Rd, MIBAR Project #553

Dear Rod,

Per your request, we looked at the above house you're building to evaluate the adequacy of several framing changes from the approved plans. These changes were implemented based on a decision to lower the garage floor elevation, lowering the roof in the process. A section of the roof between the garage and the laundry area and Master Bathroom was changed from trusses to ridge beam and rafters. The rear garage wall was increased to a 12' height and the headers over the garage doors required a section of cripple stud wall underneath them. A framed ceiling has been built below the trusses in the first garage stall (closest to the house). We will address each of these changes separately below.

**Ridge Beam and Rafters:** The revised roof structure splits the roof section into two portions. One portion has a revised girder truss that carries a double 11-7/8" Microllam ridge (Photo 1). This ridge carries 11-7/8" TJI Series 150 rafters over the front portion of the roof and is adequate with the hangers installed. The second part of the roof involves a ridge beam (Photos 2, 3), that is adequate as a 2 x 12, but the connection of the rafters should be improved using LSU26 hangers. All skewed connections should be improved using LS50 angles on each side. The lower end of the rafters should be connected using H2.5 clips. Wherever the top plate exceeds two plates (Photo 4), both sides of the top plate should be fully nailed with OSB. The OSB should be placed the entire width of the extra top plate(s).

**Garage Wall and Headers:** The headers over the garage doors are as designed and carry the roof loads from the trusses. The cripple stud wall section underneath carries no load other than a wind loading and is adequate. The rear wall was built 12' tall, so double 2 x 4 studs at 16" O.C. were used. This is adequate structurally, but does not meet the Pikes Peak Regional requirements. You should augment the existing framing with an additional 2 x 4 stud to every other doubled stud in the wall (double stud, triple stud, double stud, triple...etc).

**Garage Ceiling:** The first garage stall ceiling was framed in two segments, using a double 11-7/8" Microllam, hangered on a girder truss over the garage and a 2 x 6 column at the house end. One segment of the ceiling framing is 2 x 8's at 16" O.C. that is adequate for a 40 PSF live load. The other segment is framed with 2 x 10's at 16" O.C. and is not adequate to carry the 40 PSF live load due to the 14'6" span of the joists. In order to meet this loading, the 2 x 10's will need to be doubled and LUS210-2 hangers installed.

Please do not hesitate to call us if you have any further questions.

*Charles E. Milligan*  
 Charles E. Milligan, P.E.

REGIONAL BLDG DEPT

OCT 1 - 2001

By RDW

215001  
*Charles E. Milligan*