

**1 SITE PLAN**  
SCALE: 1"=20'-0"

**Approved**

By: Craig Dossey, Executive Director

Date: 03/30/2021

El Paso County Planning & Community Development



The approval includes the approval of an alternative landscape plan pursuant to Section 6.2.2.A.4 of the Land Development Code.



MARKSHEFFEL ROAD  
VARIES R.O.W.

VENTIMIGLIA DOROTHY B  
TRUST  
1445 MEADOWBROOK PKWY  
PARCEL NO. 54043-04-013  
ZONE: PUD, CAD-O  
USE: VACANT

CENTRAL MARKSHEFFEL  
METROPOLITAN DISTRICT  
455 E PIKES PEAK AVE.  
PARCEL NO. 54030-04-014  
ZONE: PUD, CAD-O  
USE: VACANT

CASE LG  
MEADOWBROOK PKWY  
PARCEL NO. 54054-12-004  
ZONE: CS, CAD-O  
USE: VACANT

HAMMERS CONSTRUCTION INC.  
7716 GARY WATSON PT.  
PARCEL NO. 54081-01-057  
ZONE: CS, CAD-O  
USE: VACANT

HAMMERS CONSTRUCTION INC.  
7716 GARY WATSON PT.  
PARCEL NO. 54081-01-057  
ZONE: CS, CAD-O  
USE: VACANT

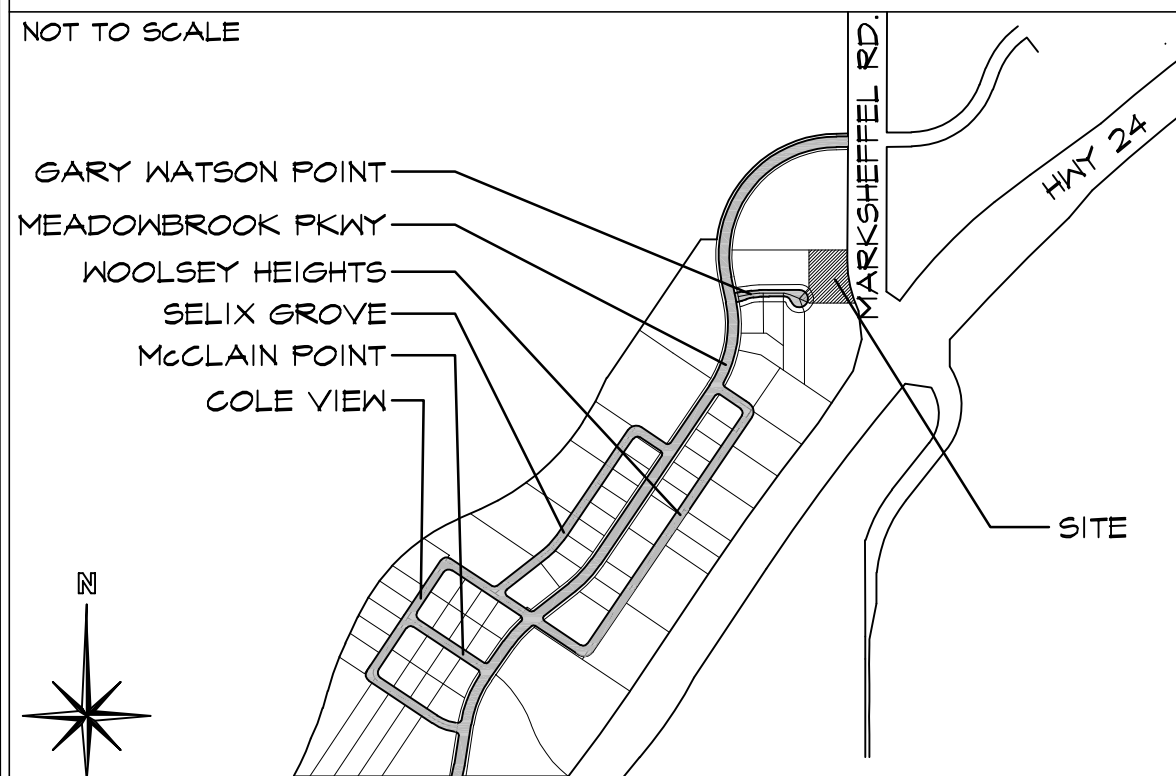
## ADA NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR FROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

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## VICINITY MAP



## PROJECT INFORMATION

<b>PROPERTY INFORMATION</b>	
OWNER NAME:	HAMMERS CONSTRUCTION INC.
LEGAL DESCRIPTION:	141 WOOLSEY HEIGHTS CLAREMONT BUSINESS PARK 2
PARCEL NUMBER:	FILE NO. 1, LOT 5 54081-01-027
ZONING:	CS S CAD-O
LOT SIZE:	55,408 SF (1.27 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 08041COT56 S, DATED DEC. 7, 2018)
<b>ZONING CODE STUDY</b>	
PROPOSED PRINCIPAL USE:	OFFICE & WAREHOUSE
STRUCTURAL COVERAGE:	18%
PAVEMENT COVERAGE:	18%
STREET COVERAGE:	18%
BUILDING STRUCTURAL HEIGHT:	19'-8" (45'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	0'-0" (WEST) 25'-0" (EAST)
REAR YARD SETBACK:	25'-0"
<b>BUILDING INFORMATION</b>	
GROSS BUILDING AREA:	10,000 SF
BUILDING OCCUPANCY:	B/S-2
TYPE OF CONSTRUCTION:	I-B
FIRE SYSTEMS:	NONE
EXTERIOR FIRE WALLS:	1 HR. (WEST SIDE ONLY)
<b>REQUIRED PARKING SPACES</b>	
OFFICE (1 SPACE/200 S.F.)	
(1500 S.F. / 200 S.F.)	8
WAREHOUSE (1 SPACE/1,000 S.F.)	
(8500 S.F. / 1,000 S.F.)	9
H.C. (1 SPACE/25 REQ'D)	1
TOTAL PARKING SPACES REQUIRED:	18
TOTAL PARKING PROVIDED:	19
STANDARD SPACES PROVIDED:	18
H.C. SPACES PROVIDED:	1
COMPACT SPACES PROVIDED:	0
LOADING SPACE PROVIDED	1 (14'X18')
(SEE DETAIL 1/2 FOR DIMENSIONS)	
<b>DEVELOPMENT SCHEDULE</b>	
CONSTRUCTION:	FALL 2020
LANDSCAPING:	WINTER 2021
<b>DEVELOPMENT APPLICANT</b>	
COMPANY:	HAMMERS CONSTRUCTION, INC.
	141 WOOLSEY HEIGHTS
	COLO. SPRINGS, CO 80915
PHONE NUMBER:	(719)-570-1599
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

## SITE LEGEND

—	PROPERTY LINE	—	RIGHT OF WAY
—	BUILDING SETBACK	—	LANDSCAPE SETBACK
—	DRAINAGE EASEMENT	—	ELEC/FIBER TELE EASEMENT
—	ACCESS EASEMENT	—	UTILITY & DRAINAGE EASEMENT
—	UTILITY EASEMENT	—	UTILITY EASEMENT
—	OPAQUE CHAINLINK FENCE	—	GAS LINE
—	WATER LINE	—	ELECTRICAL LINE
—	SANITARY SEWER LINE	—	STORM SEWER LINE
—	RETAINING WALL	—	NEW SIDEWALK LOCATIONS
—	N/ CONTROL JOINTS @ 5'-0" O.C.	—	
●	PROPERTY CORNER	—	SIGN
→	TRAFFIC FLOW	○	MANHOLE
□	WALL PACK LIGHTING	□	ELECTRICAL TRANSFORMER
○	EXISTING FIRE HYDRANT	●	PROPOSED FIRE HYDRANT

EL PASO COUNTY FILE NO. PPR-20-031

**HAMMERS**  
CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD  
PRESIDENT: STEVE R. HAMMERS  
VICE PRES: DAVID J. HAMMERS  
1411 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
(719) 570-1599 FAX (719) 570-7008  
www.hammersconstruction.com

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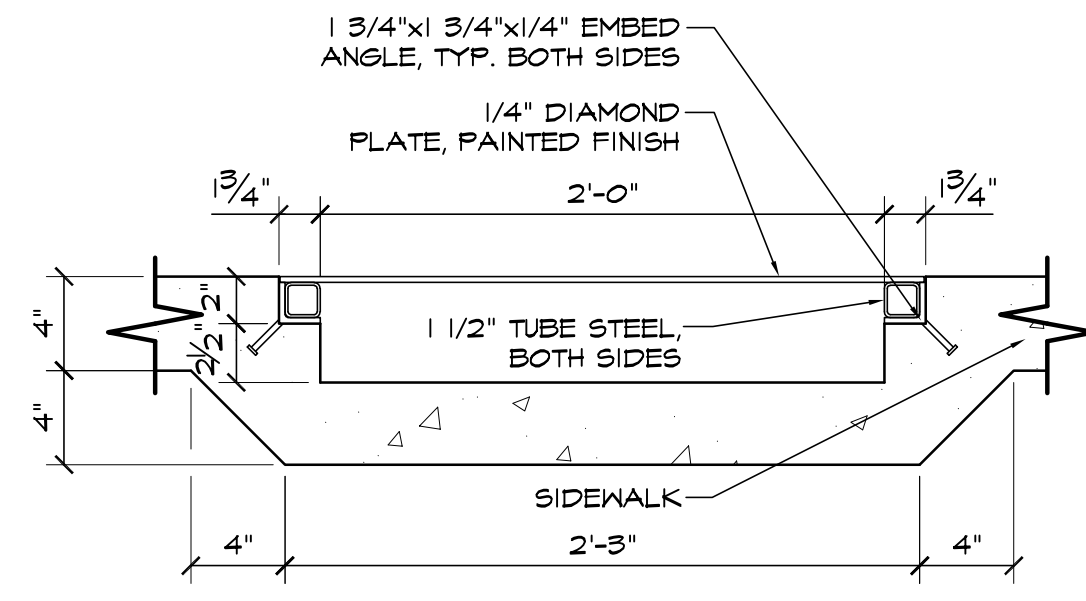
CBP 2-1, LOT 5

7716 GARY WATSON POINT  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, COLORADO

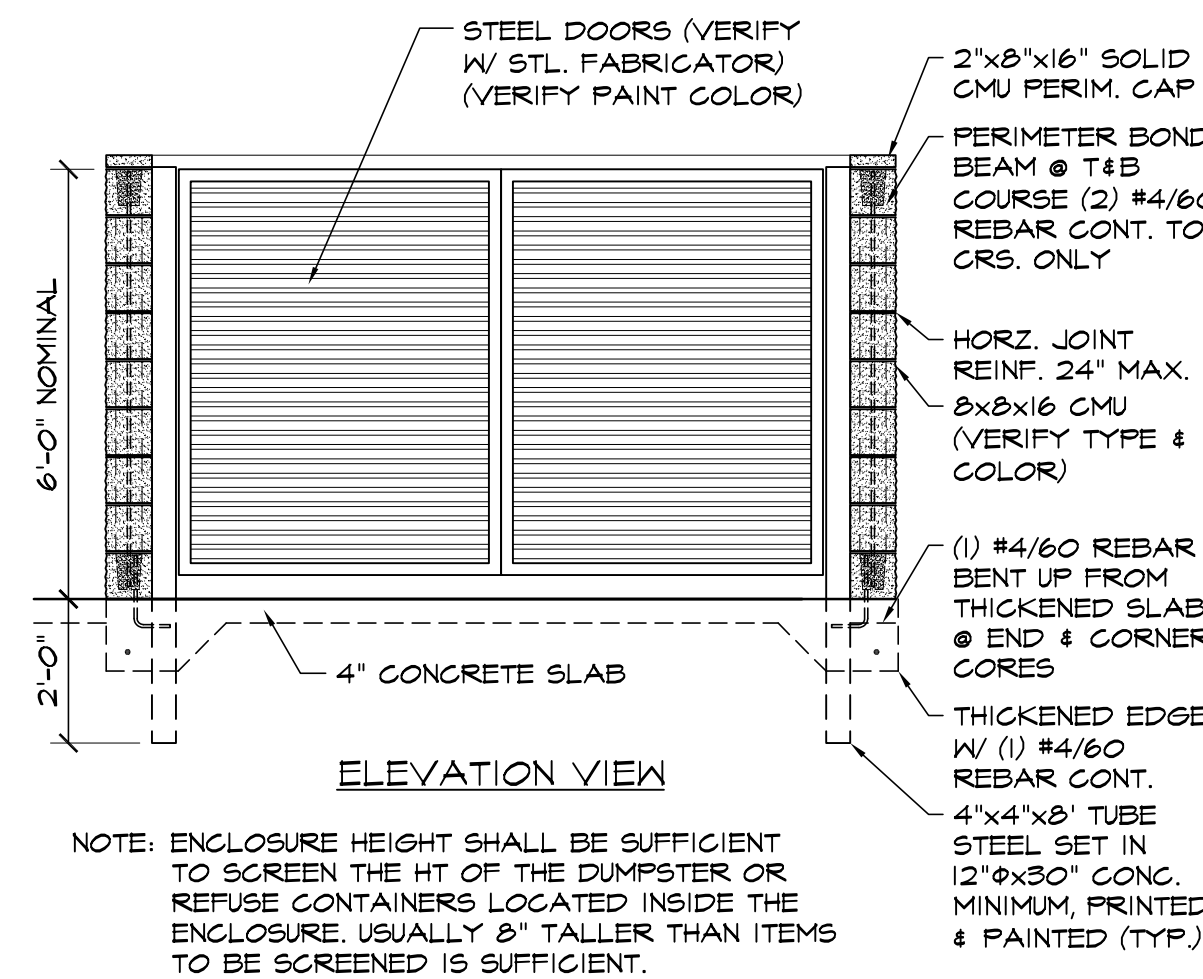
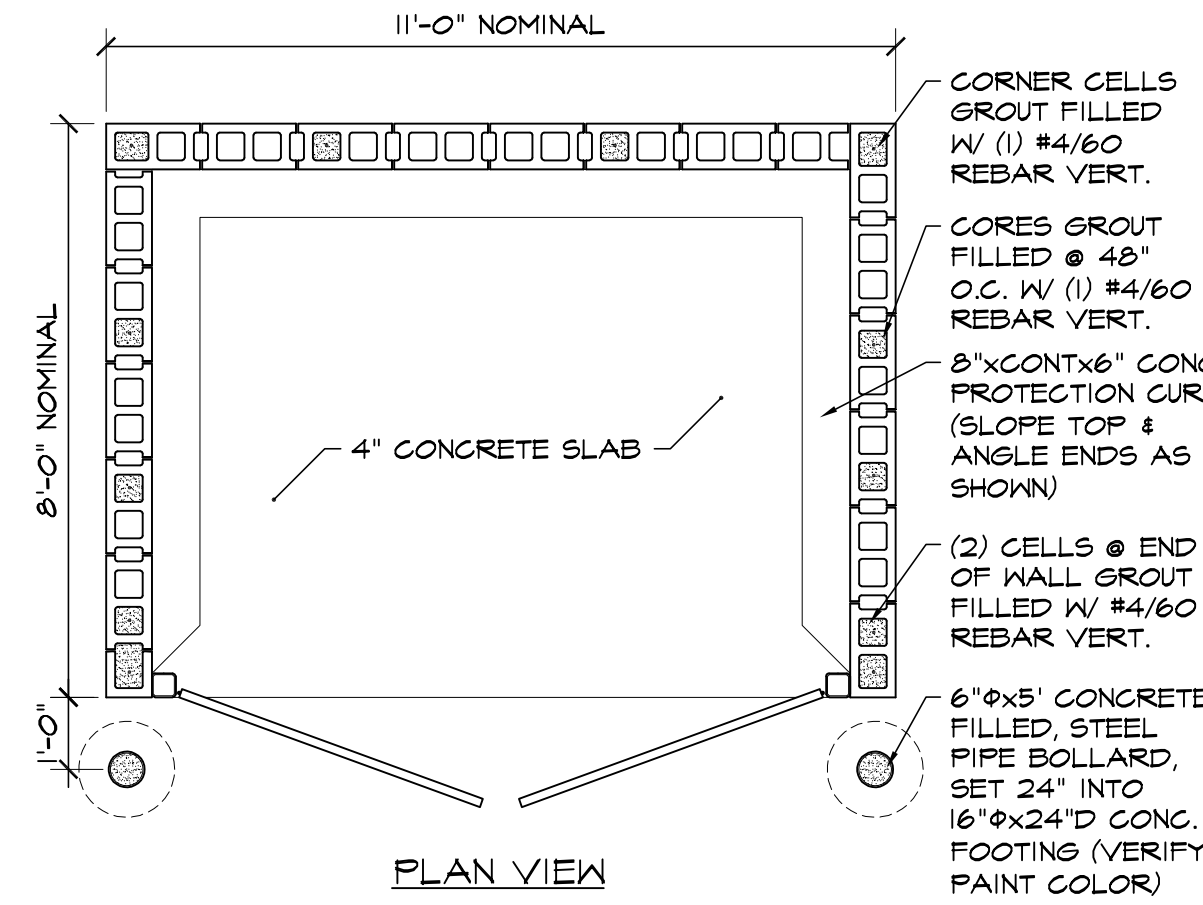
DATE: SEPT. 18, 2020  
DRAWN BY: D. AQUINO  
PROJ. MGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1163

RESUBMITTALS:  
12/3/20-DP COMMENTS-10/16/20

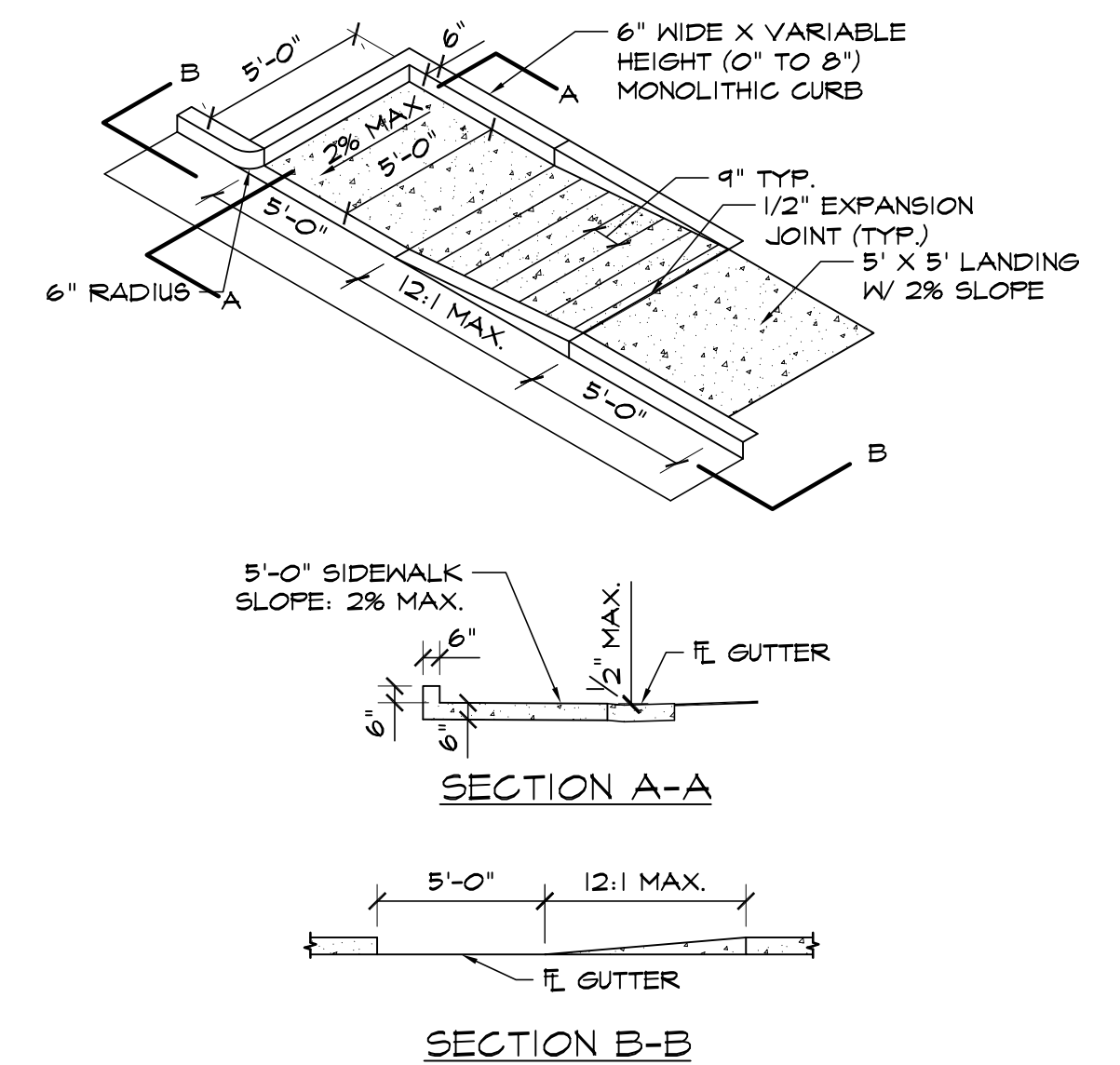
1 of 13  
SITE PLAN



11 SIDEWALK CHASE  
SCALE: 1 1/2"=1'-0"



9 CMU TRASH ENCLOSURE DTL  
SCALE: 3/8"=1'-0"

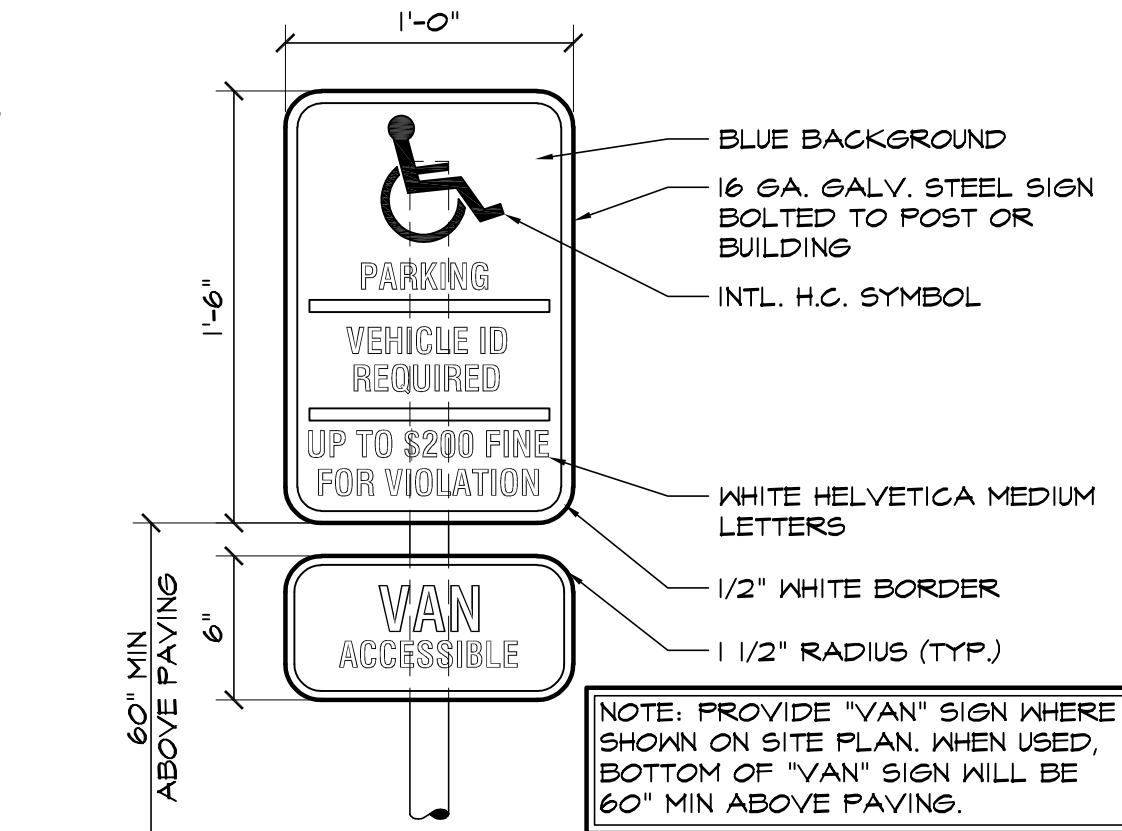


GENERAL NOTES:  
1. ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT EL PASO COUNTY ENGINEERING DIVISION STANDARD SPECIFICATIONS.  
2. SIDEWALK CROSS-SLOPE: 1/4"/FT.  
3. CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.  
4. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.  
5. THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 509.03E OF THE STANDARD SPECIFICATIONS.  
6. CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.  
7. PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS. NEW RAMPS SHALL ALIGN WITH EXISTING RAMPS AND PEDESTRIAN TRAVELWAY.  
8. SHADED AREA: 6" THICK CONCRETE

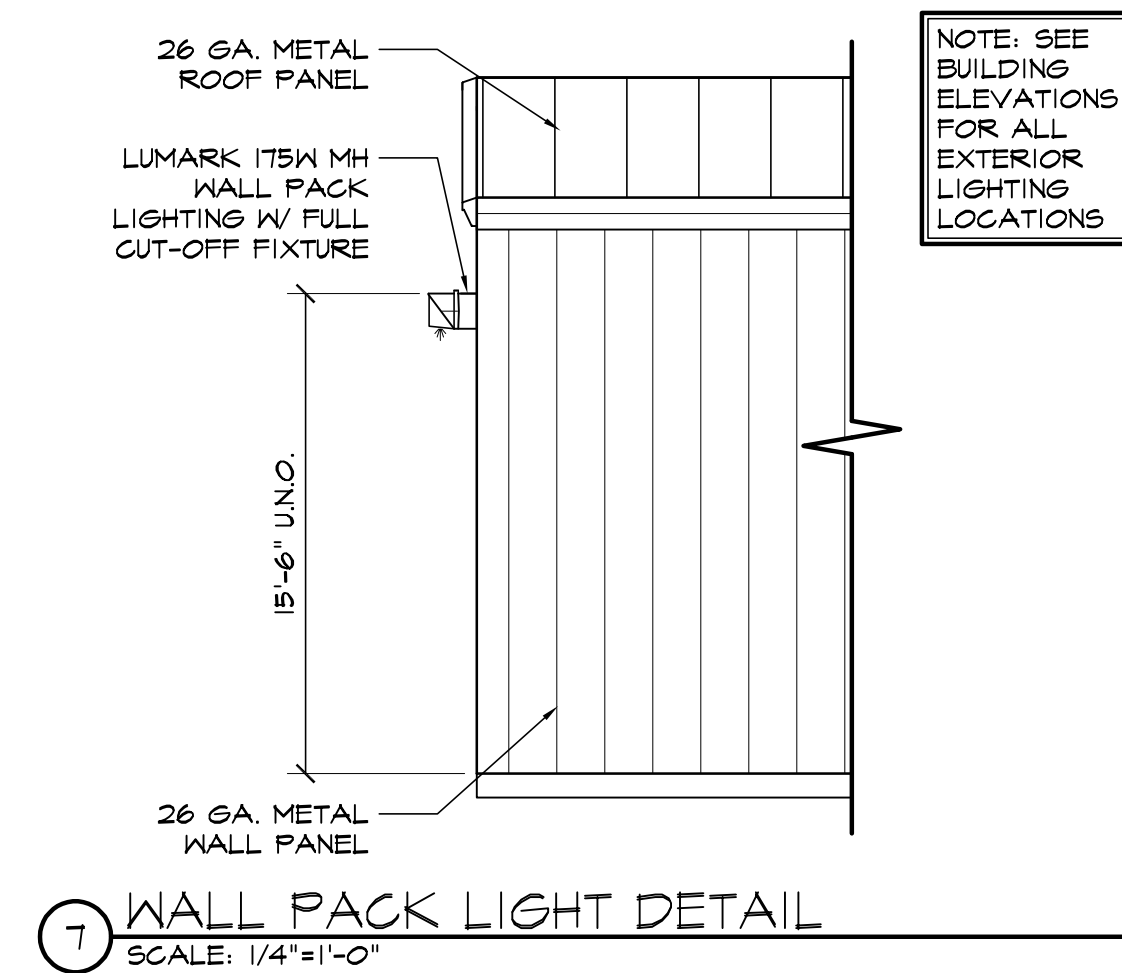
10 PEDESTRIAN RAMP DETAIL D-8K  
SCALE: 3/16"=1'-0"



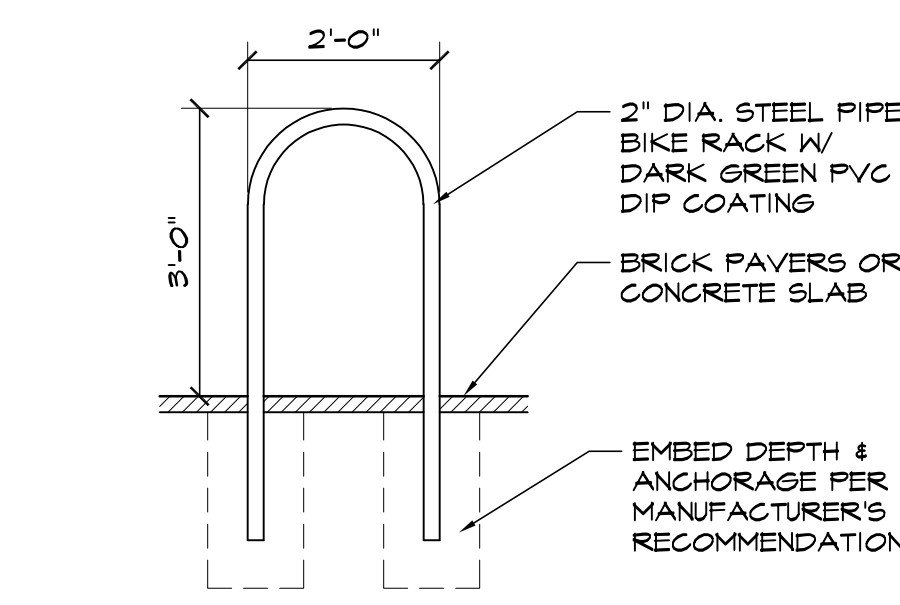
5 FIRE LANE SIGN  
SCALE: 1 1/2"=1'-0"



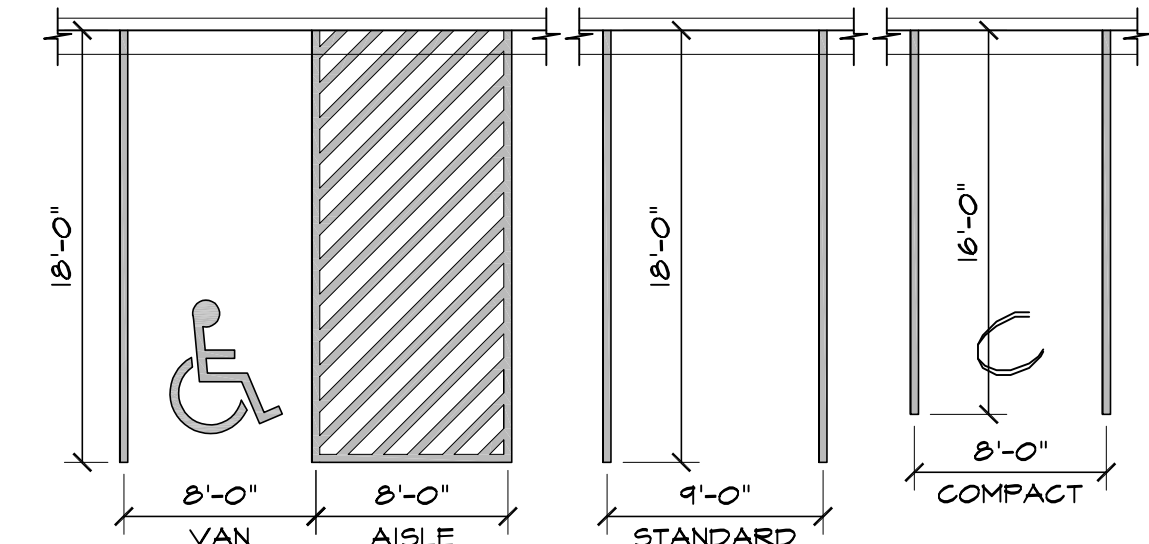
6 HANDICAPPED PARKING SIGN  
SCALE: 1 1/2"=1'-0"



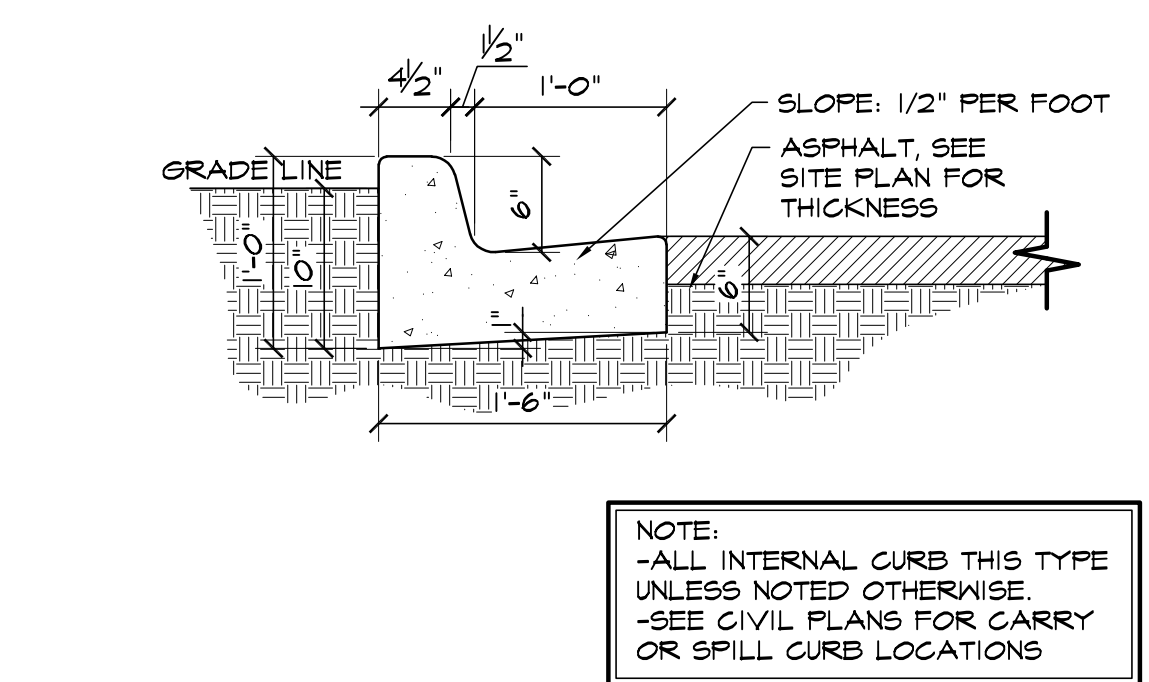
7 WALL PACK LIGHT DETAIL  
SCALE: 1/4"=1'-0"



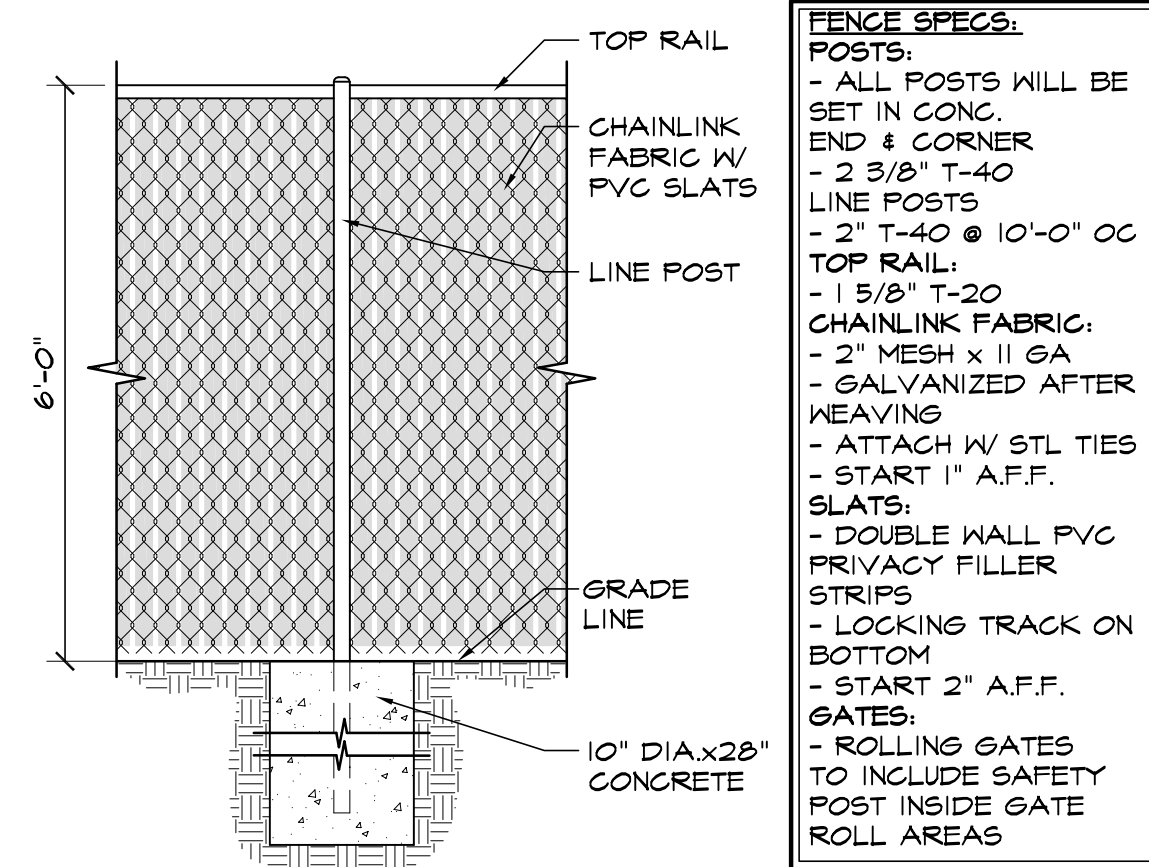
8 BIKE RACK DETAIL  
SCALE: 1/2"=1'-0"



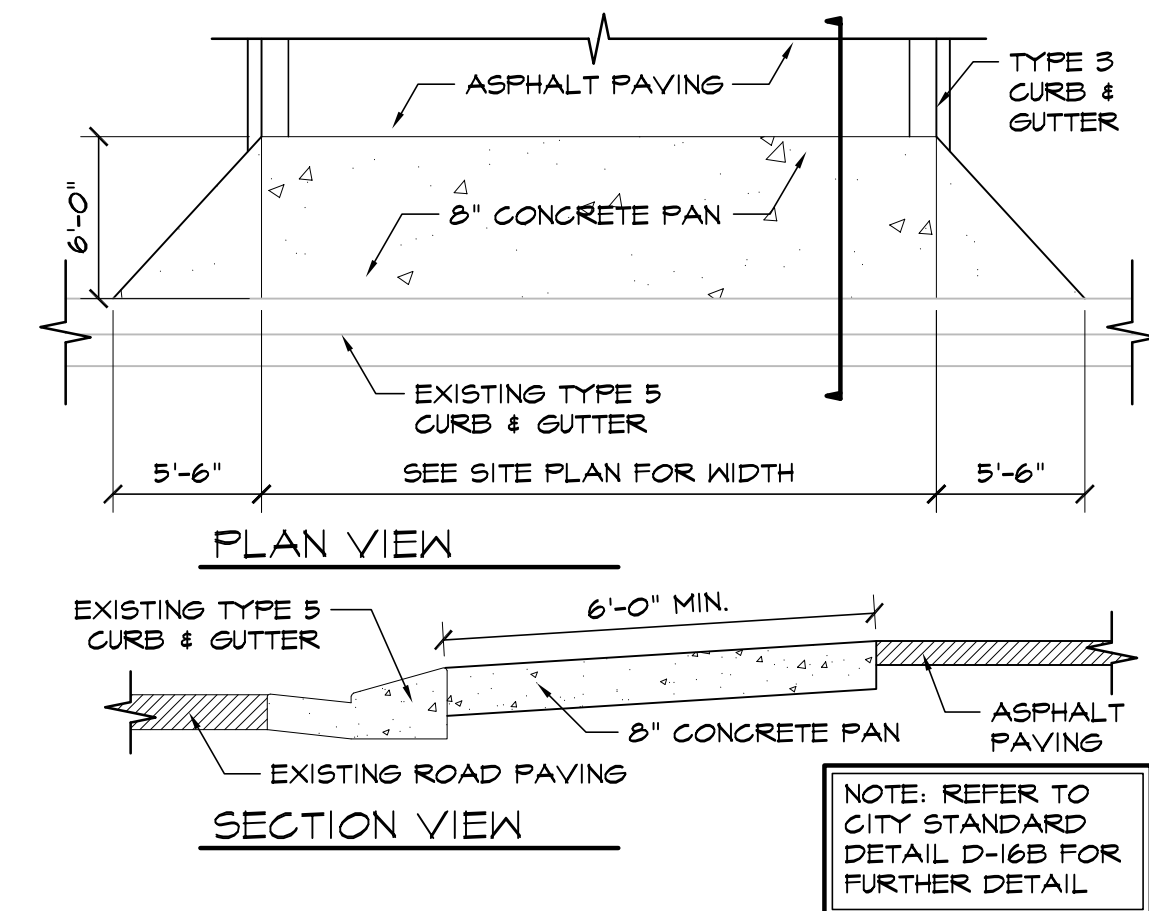
1 ADA / STANDARD PARKING  
SCALE: 1/8"=1'-0"



2 EPC TYPE B CURB  
SCALE: 1"=1'-0"



3 CHAINLINK FENCE DETAIL  
SCALE: 1/2"=1'-0"



4 DRIVEWAY DETAIL  
NOT TO SCALE  
EL PASO COUNTY FILE NO. PPR-20-031

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CBP 2-I, LOT 5  
7716 GARY WATSON POINT  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, COLORADO

DATE: SEPT. 18, 2020  
DRAWN BY: D. AQUINO  
PROJ. MGR: R. GREEN  
SCALE: SEE PLAN  
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RESUBMITTALS:  
12/3/20-DP COMMENTS-10/16/20

MATERIAL NOTES

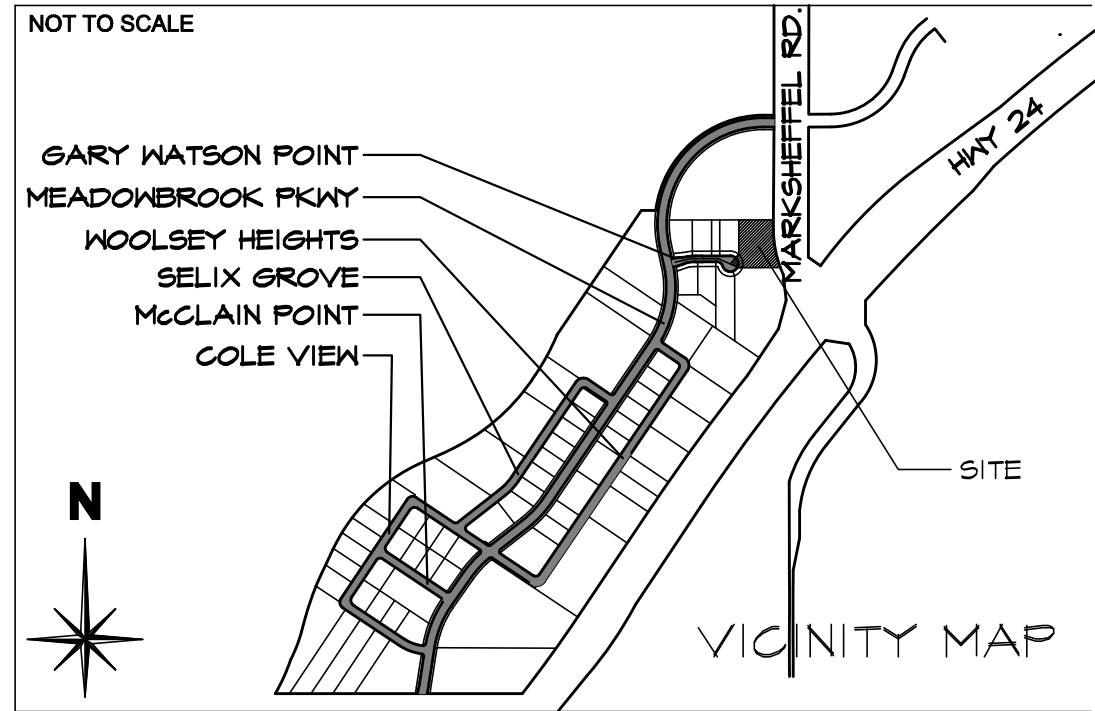
VERIFY ROCK TYPE, COLOR AND SIZE WITH OWNER PRIOR TO INSTALLATION. SUBMIT SAMPLES TO OWNER AS REQUIRED.

LAYOUT NOTES

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

IRRIGATION SYSTEM NOTE

NOTE: IRRIGATION SYSTEM TO BE DESIGN/BUILD FOR ALL PLANTING AREAS WITH DRIP FOR ALL PLANTS. COORDINATE WITH GENERAL CONTRACTOR AND OWNER.



CODE REQUIREMENTS

LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
GARY WATSON PT MARKSWEILER RD	PRIVATE DRIVE	0/10 FT 25/25	N/A 314	0/10 FT 1/20 FT	0/10 16/10 - ALTERNATIVE COMPLIANCE REQUEST
MOTOR VEHICLE LOTS (MV)					
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/16 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT.)		
15	2/2	GARY WATSON PT	15 LF		
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ./PROV.				
5/5	3/5				
INTERNAL LANDSCAPING (IL)					
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS.					
NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (5%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)		
55,428 SF	NON-RESIDENTIAL	2,776/280 SF	6/4		
SHRUB SUBSTITUTES (50%) REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN		PERCENT GROUND PLANE VEG. REQ./PROV.		
20/20	IL		50%/50%		
LANDSCAPE BUFFERS AND SCREENS (LB)					
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE ---	SETBACK BUFFER REQ. / PROV./FENCE	BUFFER TREES (1/20') REQ./PROV. - NA	EVERGREEN TREES (1/3) REQ./PROV. - NA	
OPAQUE FENCE REQUIREMENT: FENCE FOR BUFFER REQUIREMENT AS SHOWN ON SOUTH BUFFER					

PLANT SCHEDULE

Symbol	Abbr.	Botanical Name	Common Name	Mature Width X HT.	Planting Size
DECIDUOUS TREES:					
	GTSB	2	Gleditsia triacanthos	Skyline or Shademaster Honeylocust	30'X25'
	MS	1	Malus 'Spring Snow'	Spring Snow Crabapple	15'X15'
EVERGREEN SHRUBS:					
	JL	6	Juniperus x chinensis 'Sea Green'	Sea Green Juniper	6-8' x 4'
DECIDUOUS SHRUBS:					
	PFG	6	Potentilla fruticosa 'Gold Finger'	Gold Finger Potentilla	4-5' x 3-4'
	SJ	3	Spiraea japonica 'Majic Carpet'	Majic Carpet, Spirea	1-2' x 1-2'
ORNAMENTAL GRASSES:					
	CA	8	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1-3' x 2-3'
NOTE: QUANTITIES SHOWN IN SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.					

GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Seed Grass Mix 'A'. Refer to notes Submit sample to Owner for approval.	4,024 SF
	Rock: River Rock-Blue Gray, 1.5" Diameter (with weed barrier) Submit sample to Owner for approval.	2,405 SF
	Protect Existing Landscape. Re-seed construction areas as required	
NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.		

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 5' MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER EL PASO COUNTY. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL, OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULING, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAM, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD. STE 207  
COLORADO SPRINGS, CO 80918  
Phone 719-477-1646  
Fax 719-566-1122



CLAREMONT BUSINESS PARK - 2

FILING NO. 1, LOT 5  
GARY WATSON POINT  
COLORADO SPRINGS, 80915  
EL PASO COUNTY, CO

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PREPARED FOR:  
HAMMERS CONSTRUCTION

NOT FOR CONSTRUCTION

JOB NUMBER  
924-20

REVISIONS

10-29-20 PER COMMENTS

ORIGINAL DATE 06-12-20

DRAWN BY: JIM

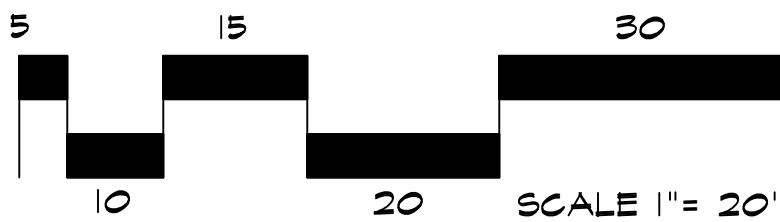
DESCRIPTION:

LANDSCAPE PLAN

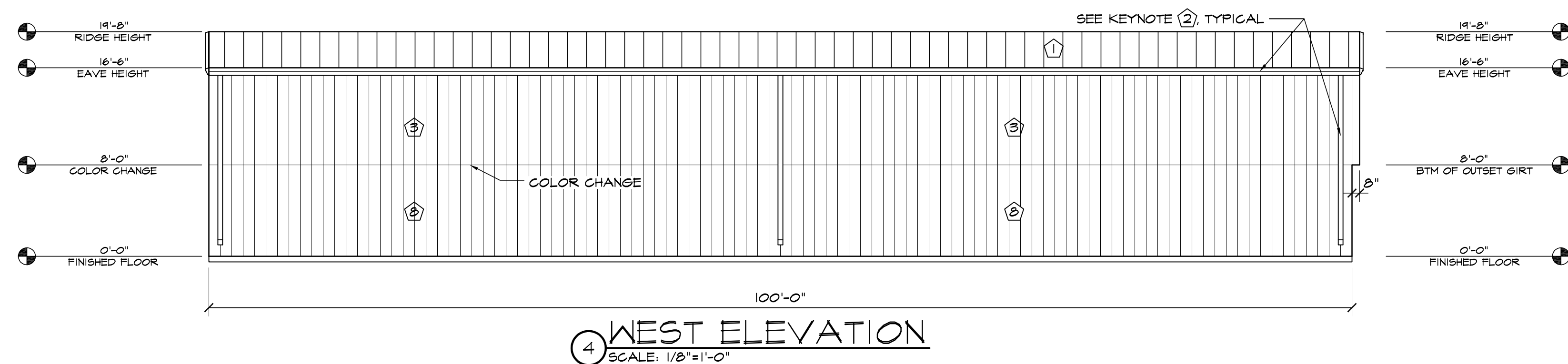
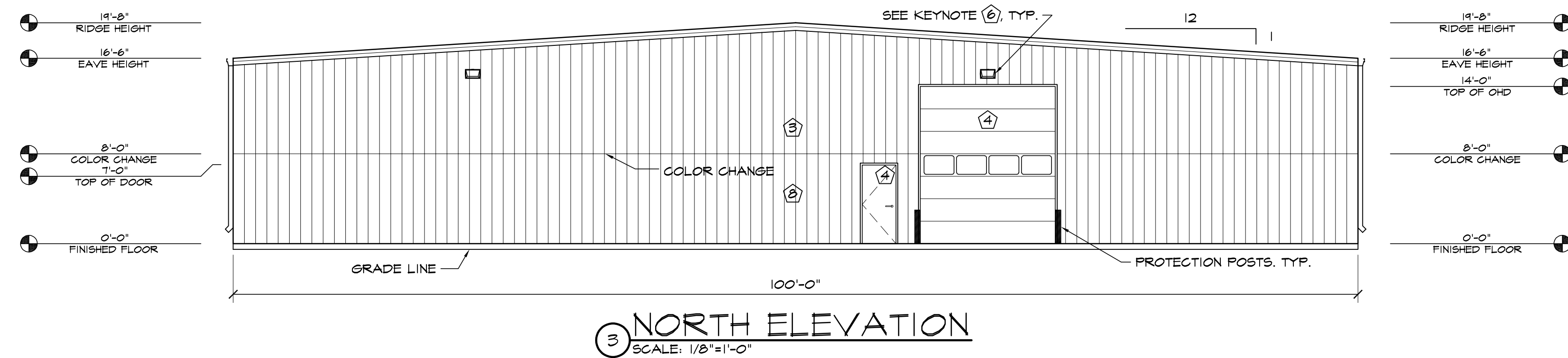
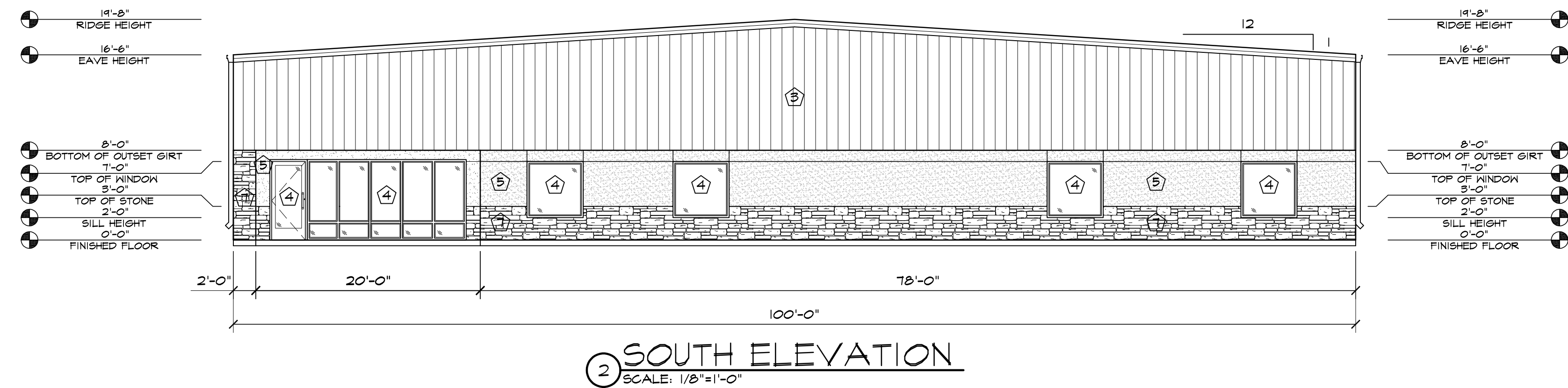
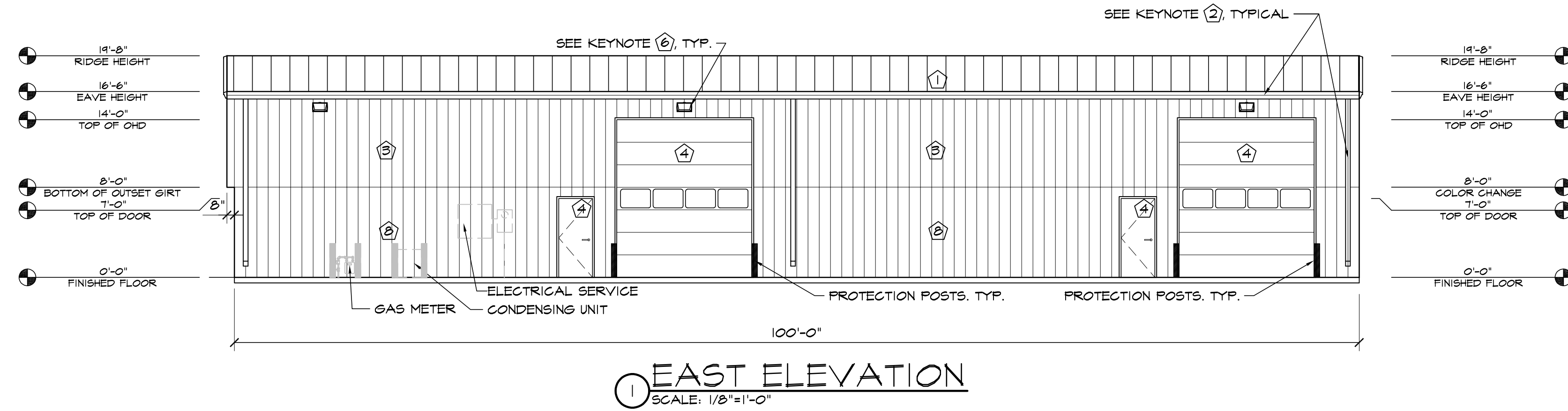
SHEET NO.

L1.1

LANDSCAPE PLAN - LOT 5







ELEVATION KEY NOTES	
1	PREFINISHED 24 GA. "PBR" METAL ROOF PANELS BY METAL BUILDING PROVIDER
2	PREFINISHED GUTTER & DOWNSPOUTS BY METAL BUILDING PROVIDER
3	PREFINISHED 26 GA. "PBR" METAL WALL PANELS BY METAL BUILDING PROVIDER
4	SEE SCHEDULES ON "A" SHEETS FOR ALL DOOR INFORMATION
5	3/4" STUCCO FINISH SYS. W/ EXPANSION JOINT-120 SF MAX AREA
6	WALL PACK LIGHT TOP OF LIGHT @ 15'-6" A.F.F. SEE ELECT. PLANS
7	STONE VENEER W/2 2" CAP INSTALLED W/ SCHLUTER TRIM
8	PREFINISHED 26 GA. "PBR" METAL WALL PANELS BY METAL BUILDING PROVIDER

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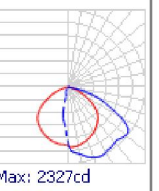
CBP 2-I, LOT 5


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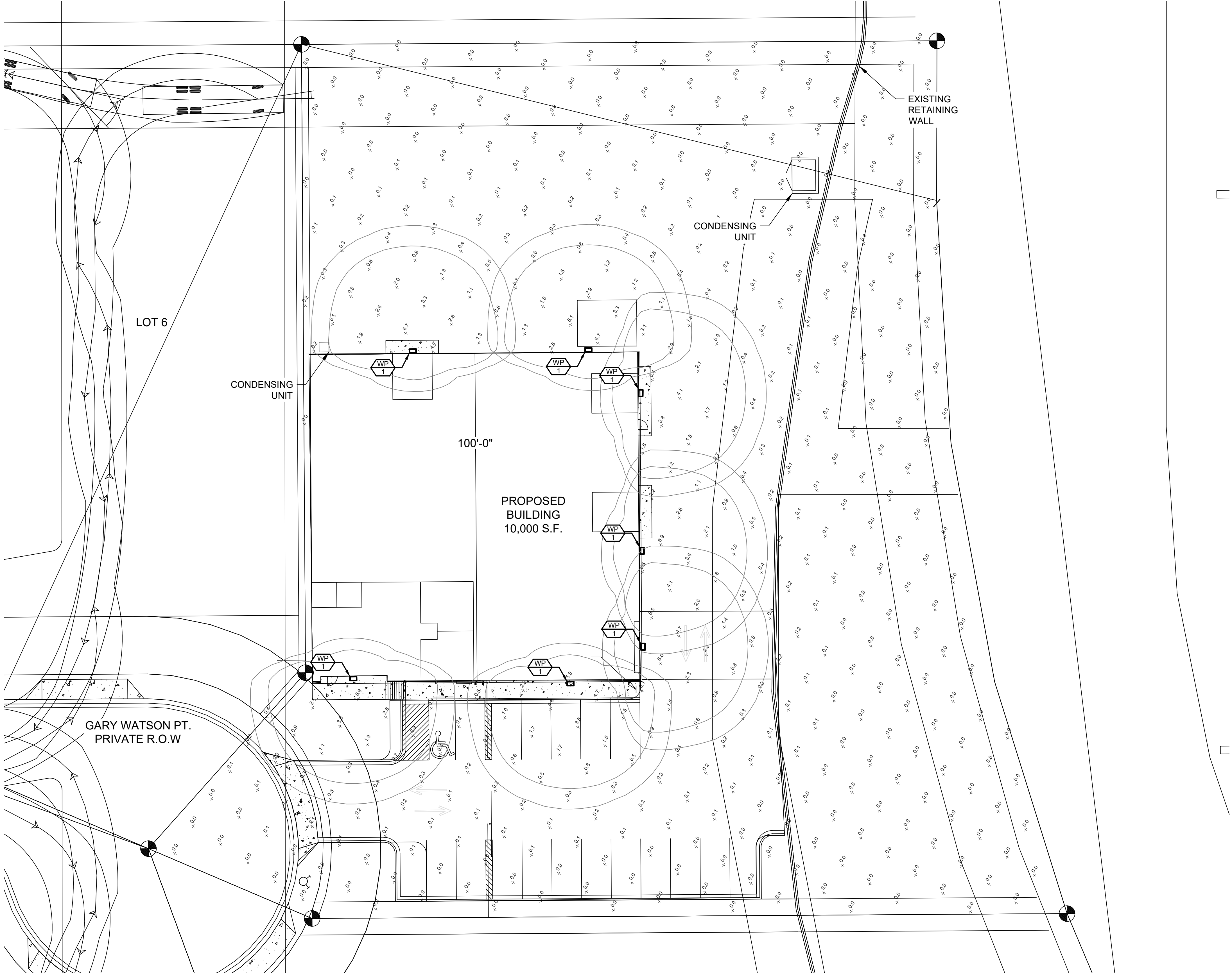
DATE: SEPT. 18, 2020  
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SCALE: SEE PLAN  
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JOB NO: 1163

RESUBMITTALS:	
1	12/3/20-DP COMMENTS-10/16/20
2	
3	
4	
5	

PROD. FILE: P:\Harmens Construction\Grumpy Trumpsters Site\Grumpy Trumpsters - Lot 5\Electrical\Photometrics\Grumpy Trumpsters - Lot 5 - Photometrics.dwg  
PLOT DATE: 06/22/20 3:51 PM  
BY: JBRM4

Schedule													
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage
	WP1		7	Lithonia Lighting	WDGE2 LED P4 40K 80CRI VF	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC		1	WDGE2_LED_P4_40K_80CRI_VF.ies	4412	1	0.92	34.96
												Efficiency	100%
												Distribution	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1
												Polar Plot	
												Notes	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site		0.5 fc	6.9 fc	0.0 fc	N/A	N/A



PHOTOMETRICS SITE PLAN  
SCALE: NTS

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**GRUMPY TRUMPSTERS**  
**LOT 5**  
**7776 GARY WATSON POINT**  
**COLORADO SPRINGS, CO 80915**

REV	DESCRIPTION	DRAWN	CHECK	APPR	DATE

ISSUANCE:	
<b>ISSUED FOR REVIEW</b>	
CLIENT:	
HAMMERS CONSTRUCTION 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915	
ARCHITECT:	
PROJECT NO:	
5151-20-05A	
TITLE:	
PHOTOMETRICS SITE PLAN	
SHEET NO:	
9 OF 11	



## GENERAL FLOOR PLAN NOTES

REFERENCE DOOR SCHEDULE FOR ALL DOOR TYPES, HARDWARE AND ETC.

EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE.

ALL GLAZING IN DOORS OR WITHIN TWENTY FOUR INCHES (24") OF DOORS AND WITHIN EIGHTEEN INCHES (18") OF WALKING SURFACE SHALL BE TEMPERED.

PROVIDE A DOOR CLOSERS AT ALL (1-HOUR WALL OR GREATER) DOORS AND RESTROOM DOORS.

SPRINGS AND MOTOR MOUNTS AND RELATED SUPPORTS TO BE SUPPLIED AND INSTALLED BY OVERHEAD DOOR MANUFACTURE.

PROVIDE CONTROL JOINTS AT A MIN. OF 30'-0" AT ALL GYP. BD. WALLS.

PROVIDE TRANSITION STRIPS AT ALL FLOOR MATERIAL CHANGES.

PROVIDE CAP TRIM AT ALL LINER PANEL.

FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE, UNLESS NOTED OTHERWISE. FLOOR SLABS ARE TO BE LEVEL WITHIN CLASS B TOLERANCES. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

REFER TO PLUMBING PLANS FOR HOSE BIB LOCATIONS AND LANDSCAPE METER/STUB LOCATIONS

DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED WITHIN 4" OF ADJACENT PERPENDICULAR PARTITION. PROVIDE 18" CLEAR AT STRIKE SIDE AND 12" ON PUSH SIDE OF DOOR OPENING.

ALL INTERIOR WALLS AND PARTITIONS SHALL BE TAPED AND SANDED SMOOTH TO RECEIVE PAINT OR WALL FINISH MATERIAL.

REFER TO ROOM FINISH SCHEDULE FOR WALL TEXTURE AND FINISH.

FURNISH AND INSTALL 16 GAUGE METAL STRAP FOR WALL BACKING AT DOOR STOPS. HANGING WALL, EQUIPMENT, ETC. VERIFY EXACT BACKING LOCATIONS PRIOR TO INSTALLATION.

PROVIDE AND LOCATE, ACCESS DOORS AND PANELS IN THE WALL AS REQUIRED TO PROVIDE ACCESS TO FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK.

ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL CLEAN-OUT LOCATIONS WITH EQUIPMENT. PROPER CAPS MUST BE INSTALLED PRIOR TO COMPLETION OF INTERIOR AND EXTERIOR.

PROVIDE AND INSTALL STIFFENERS, BRACING, BACK-UP PLATES AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED, ELECTRICAL AND MISC. EQUIPMENT.

ALL EXTERIOR DOORS MUST OPEN OVER A LANDING NOT MORE THEN 1/2" BELOW THRESHOLD.

PROVIDE A SLIP-TRACK ASSEMBLY AT ALL PARTITION WALLS THAT GO TO BOTTOM OF DECK OR STRUCTURE.

PREPARE ALL FLOOR SURFACES AND WALLS AS REQUIRED TO RECEIVE FINISHES.

REFER TO CIVIL AND AO.I FOR ALL EXTERIOR SIDEWALK LOCATIONS.

ALL MECH., ELEC. & PLUMB. REQUIREMENTS FOR EQUIPMENT SHOWN TO BE VERIFIED & COORD. W/ S.C. PRIOR TO INSTALLATION.

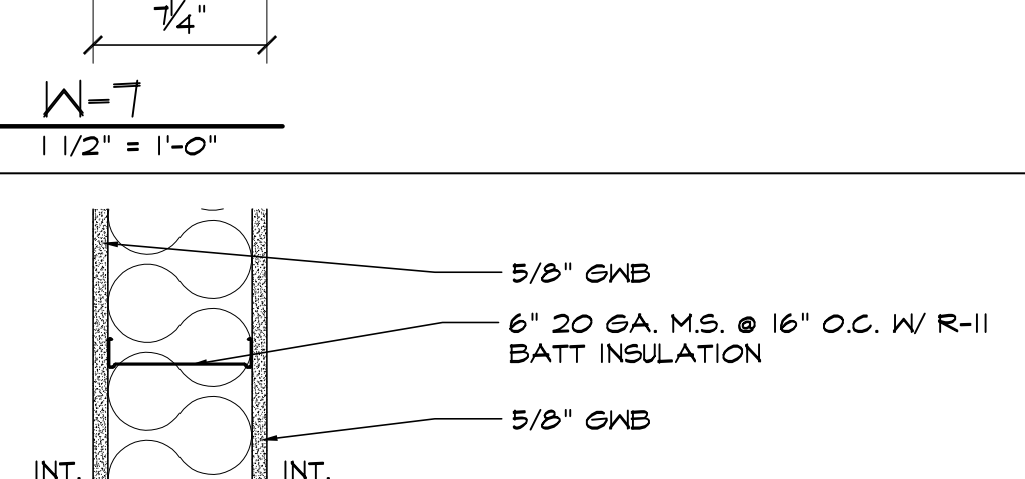
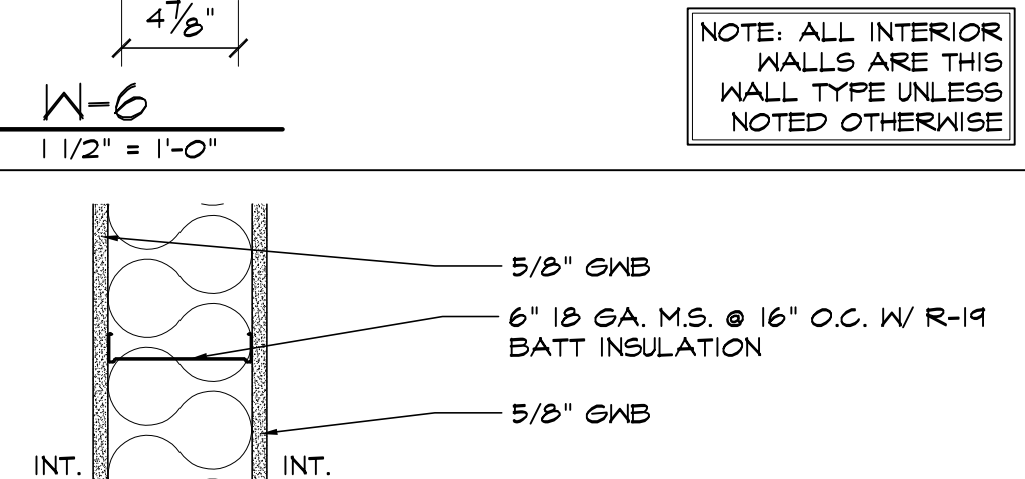
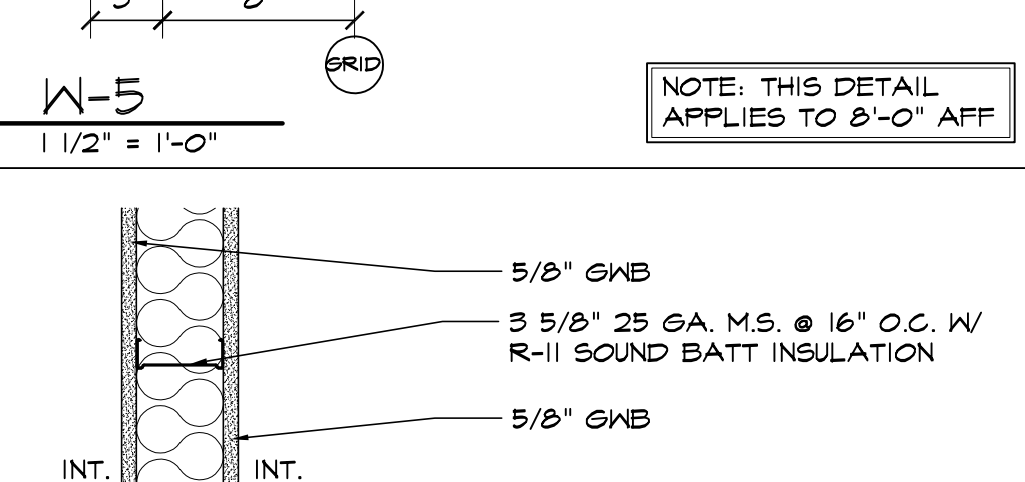
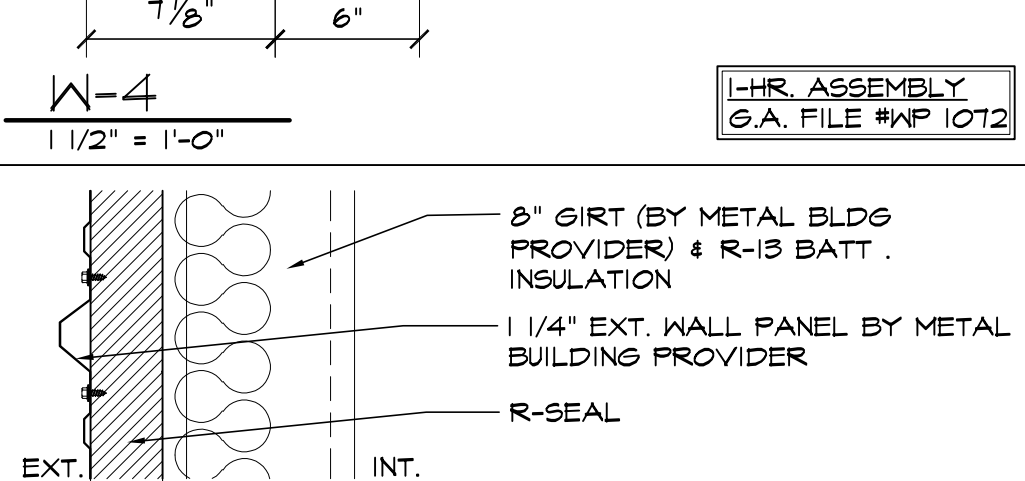
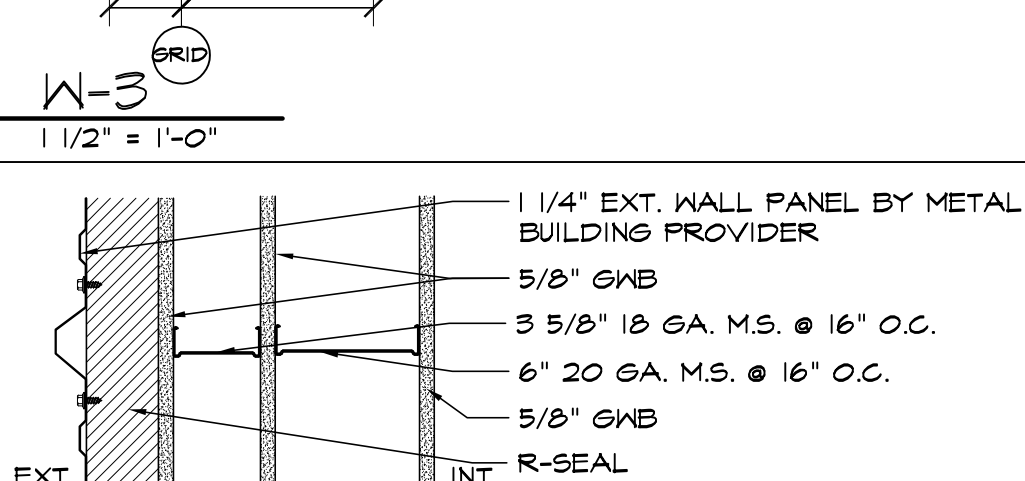
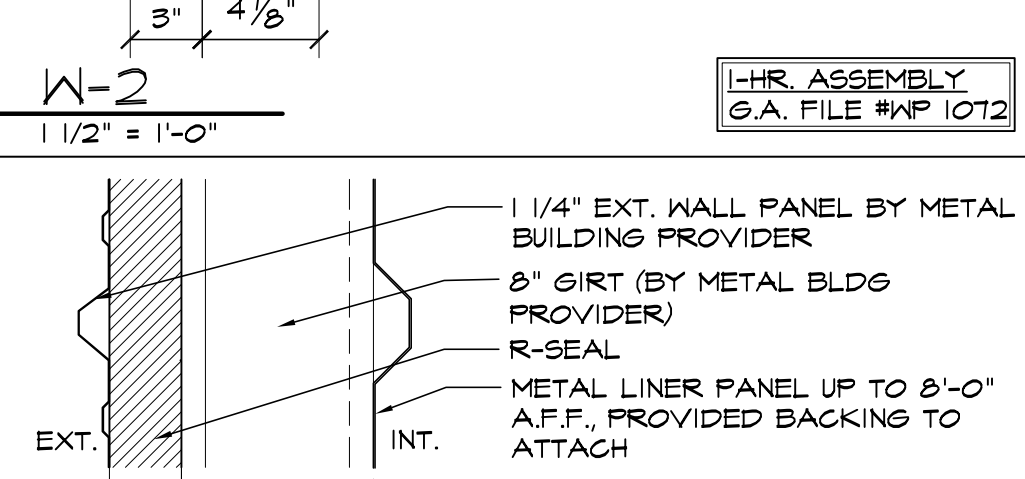
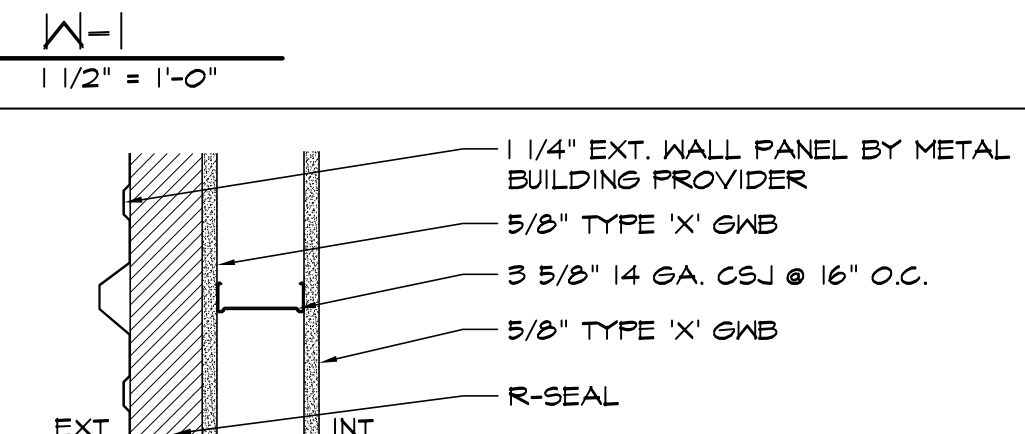
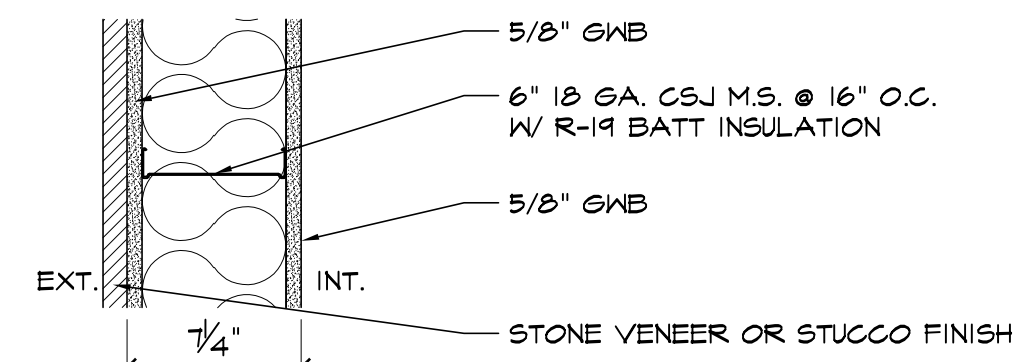
REFER TO MECH., ELEC. & PLUMB. FOR BUILDING SYSTEMS EQUIPMENT.

PROVIDE SAW CUT IN CONCRETE SLAB AT A MIN. OF 10'-0" O.C.

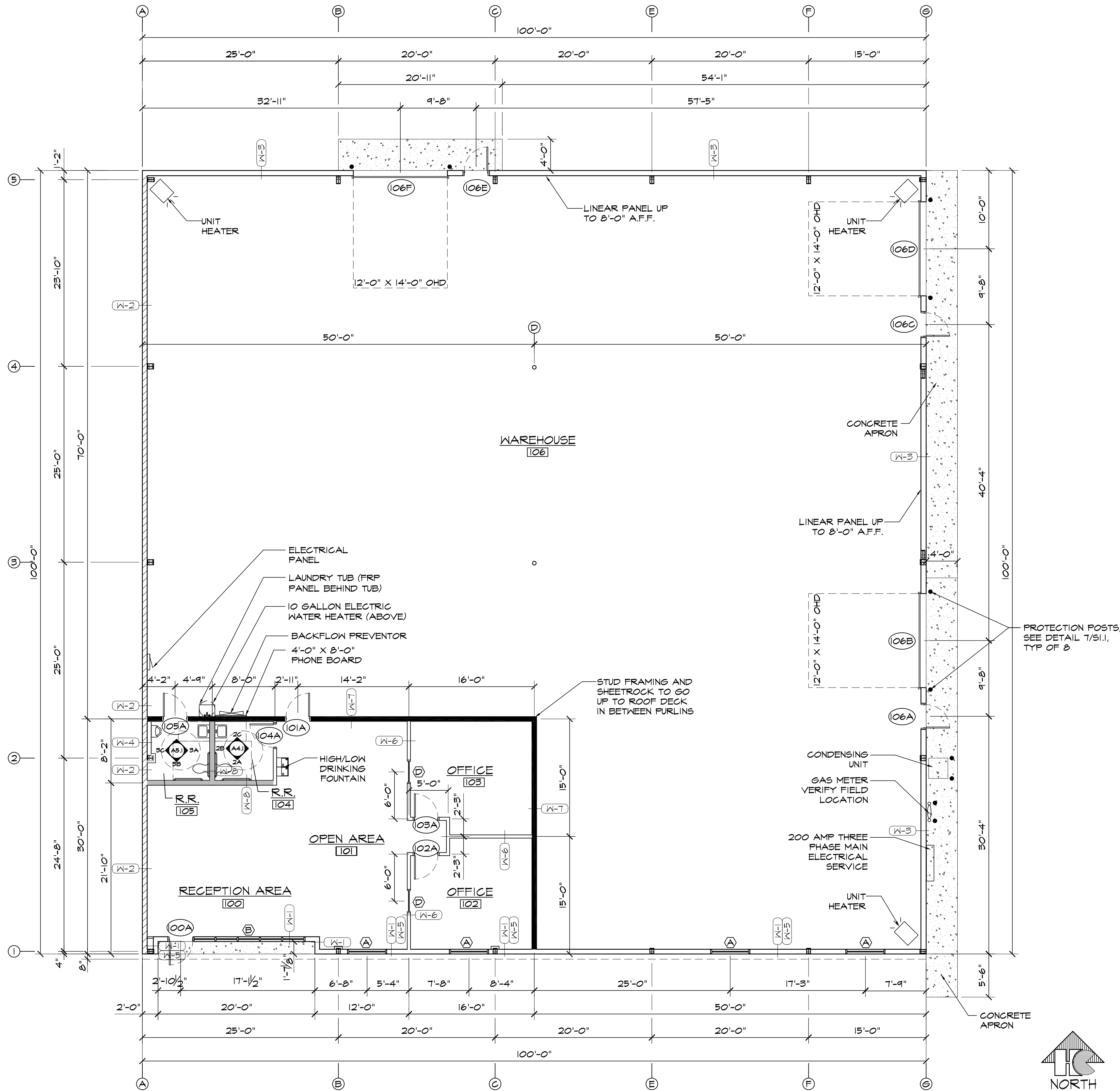
## FLOOR PLAN LEGEND

- FULL HEIGHT WALL
- 6" MTL STUD, 9' HIGH WALL
- 9'-0" HIGH WALL
- 1-HR. FIRE RATED

## WALL TYPE DETAILS



FOR DP SUBMITTAL ONLY



**FLOOR PLAN**  
SCALE: 1/8"=1'-0"



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PROJ. MGR: R. GREEN  
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APPROVED BY:  
JOB NO: 1163

REVISIONS:

REVISIONS:

**A1.1**  
FLOOR PLAN