

COM2041  
PLAT 12703  
CR



Condition of approval: Required to work with the Clerk to the Board in regards to Liquor Licensing

**PROJECT / ZONING DATA**

PROJECT SUMMARY: BAR/BREWERY IN A CURRENTLY VACANT AND RENOVATED 2,600 SQ. FT. BUILDING TO INCLUDE A PATIO SEATING AREA.  
 PROJECT ADDRESS: 5859 PALMER PARK BLVD. COLORADO SPRINGS, CO. 80915  
 TAX I.D. NUMBER: 5406304050  
 LEGAL DESCRIPTION: LOT 1 POWERS CENTRE FIL NO 3  
 ZONING: CR CAD-O

**BUILDING / SITE DATA**

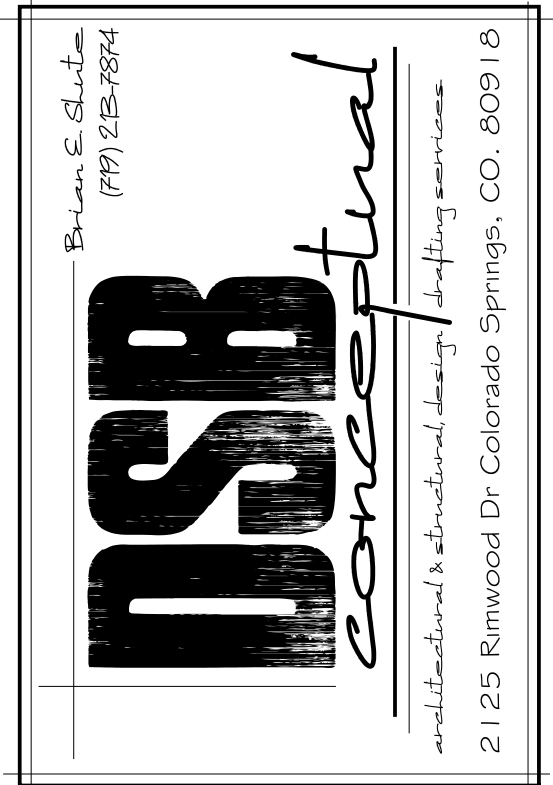
GROSS EXIST. BLDG AREA: 34,750 SQUARE FEET (NO CHANGE PROPOSED)  
 AREA OF WORK:  
 INDOOR AREA: 2,600 SQUARE FEET  
 OUTDOOR AREA: 348 SQUARE FEET  
 NUMBER OF STORIES: 01 (EXISTING)  
 FRONTAGE TYPE: STOREFRONT (EXISTING)  
 FINISH FLOOR ELEVATION: N/A (EXISTING)

**PARKING SUMMARY**

EXISTING PARKING SPACES: 303 SPACES (5 HC SPACES)  
 REQUIRED PARKING (1 PER 3 SEATS)  
 INDOOR SEATING: 63 SEATS (21 SPACES)  
 PATIO SEATING: 23 SEATS (7 SPACES)  
 EMPLOYEE SPACES: 6 SEATS (2 SPACES)  
 REQUIRED SPACES: 30 SPACES NEEDED  
 PROVIDED SPACES: 30 SPACES

**NOTE**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



**BATCH SLAPPED**  
 5859 PALMER PARK BLVD. CSCO 80915



ISSUE	DATE

DRAWN BY: B SHUTE  
 CHECKED BY: G PALOK

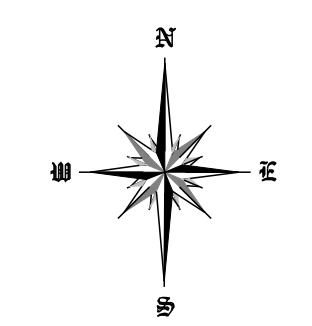
SITE PLAN

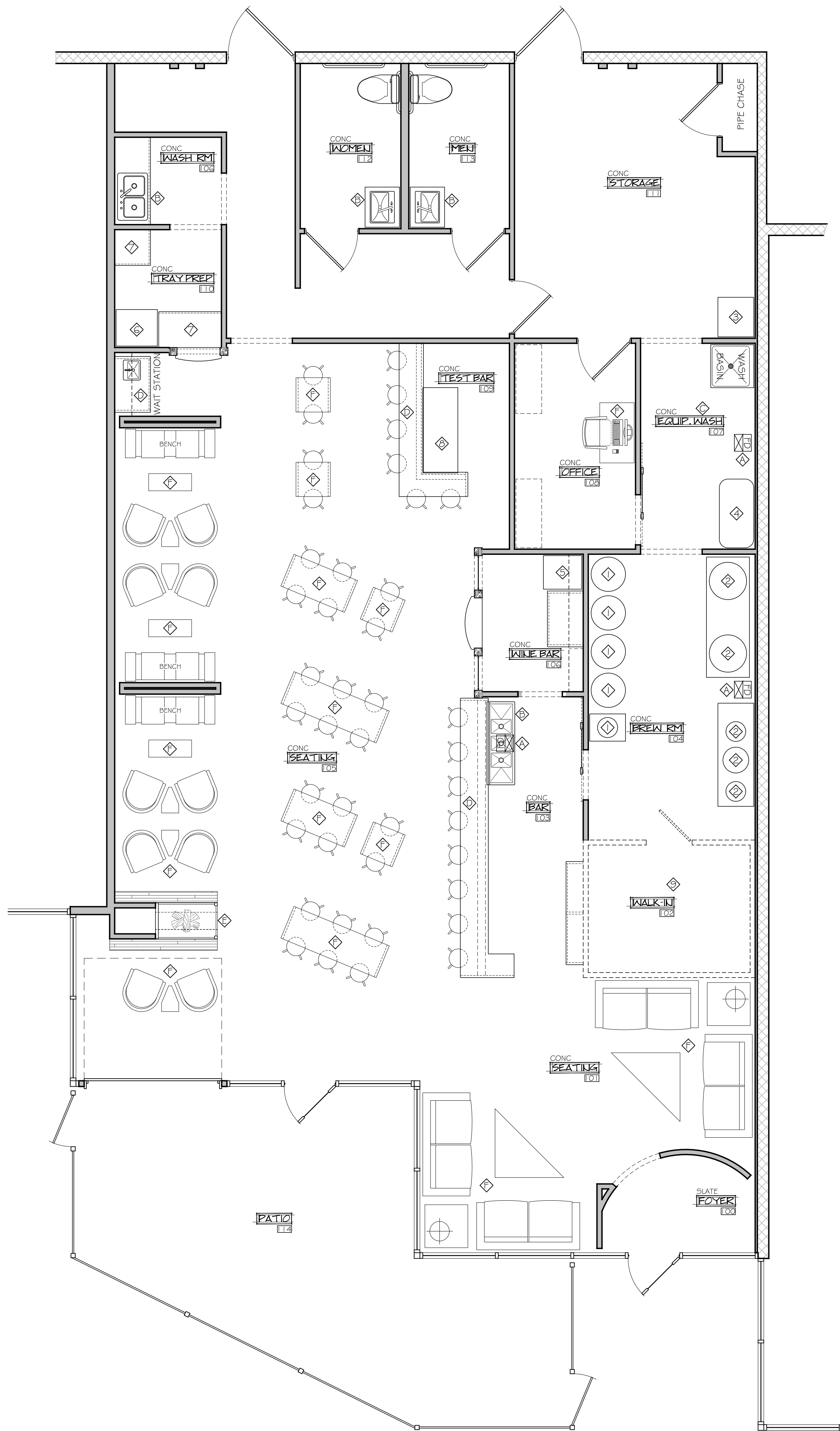
BS004-20

SP 1.0

**SITE PLAN**

SCALE: 1:50





**BUILDING PLAN NOTES:**

- DIMENSIONS ARE FROM FACE OF STUD.
- SEE THIS SHEET FOR DOOR SCHEDULES.
- MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALL, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLIES.

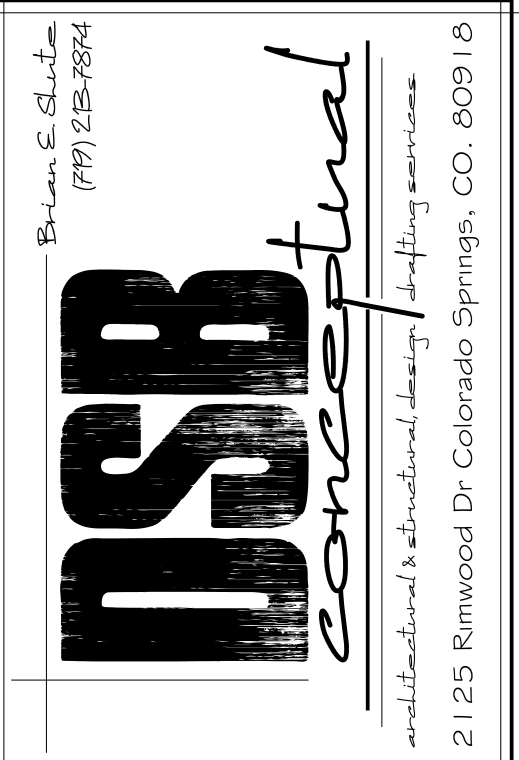
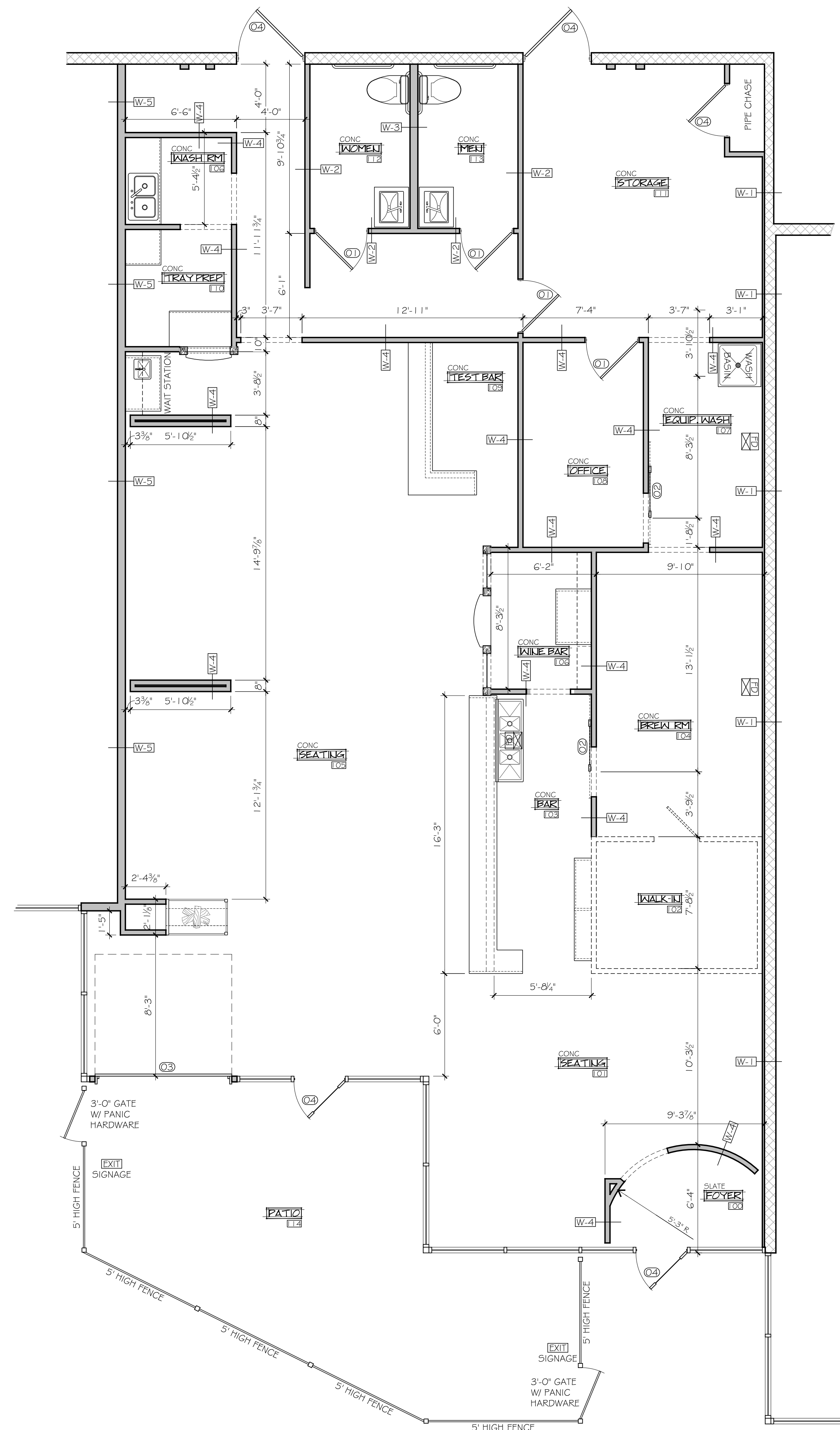
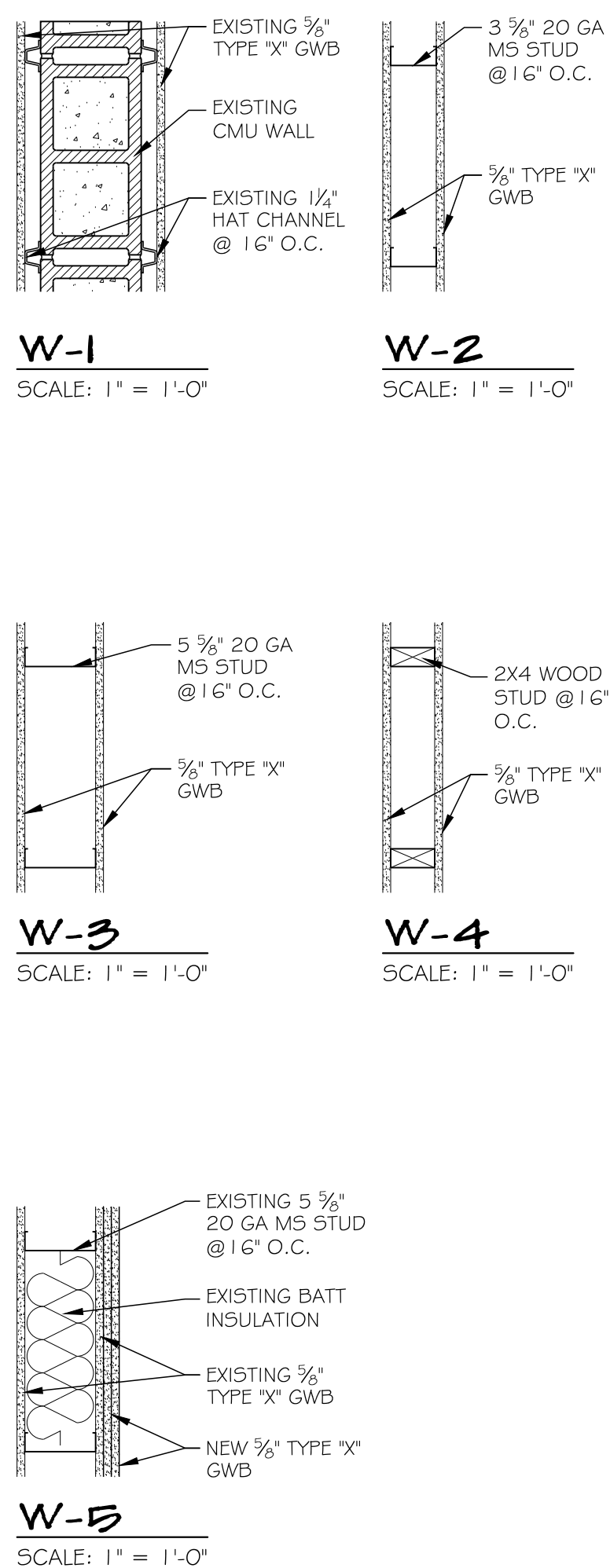
**FLOOR PLAN KEY NOTES:**

- ◆ FLOOR DRAIN PER PLUMBING PLANS
- ◆ SINK PER PLUMBING PLANS
- ◆ WASH BASIN PER PLUMBING PLANS
- ◆ SEALED CONCRETE COUNTER TOPS (BY OWNER)
- ◆ CUSTOM GAS FIREPLACE
- ◆ SEATS, TABLES, BENCHES (BY OWNER)

**EQUIPMENT PLAN KEY NOTES:**

- ◆ FERMENTORS (BY OWNER)
- ◆ BREWING EQUIPMENT (BY OWNER)
- ◆ BREWING EQUIPMENT (BY OWNER)
- ◆ KEG WASHER (BY OWNER)
- ◆ WINE COOLER (BY OWNER)
- ◆ REACH-IN COOLER (BY OWNER)
- ◆ PREP TABLE (BY OWNER)
- ◆ KEGORATOR (BY OWNER)
- ◆ 10' x 8' WALK-IN COOLER (BY OWNER)

**WALL TYPE DETAILS:**



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5859 PALMER PARK BLVD. CSCO 80915



6/10/20

ISSUE	DATE

DRAWN BY: BSHUTE  
CHECKED BY: GPOLK

FLOOR PLANS

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