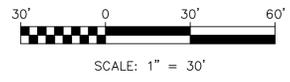


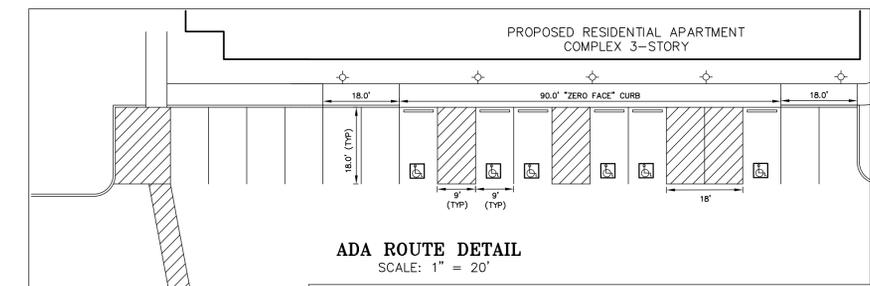
VICINITY MAP
NO SCALE

LEGEND

- EV - ELECTRIC VAULT
- FO - FIBER OPTIC
- SM - SANITARY SEWER MANHOLE
- B - BOLLARD
- TP - TELEPHONE PEDESTAL
- WV - WATER VALVE
- FH - FIRE HYDRANT
- PFH - PROPOSED FIRE HYDRANT
- PLP - PROPOSED LIGHT POLE
- WV - PROPOSED WATER VALVE
- PSI - PROPOSED STORM DRAIN INLET
- PTL - PROPOSED TRANSFORMER LOCATION
- EC - EXISTING CONCRETE
- EA - EXISTING ASPHALTE
- UE - APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE(S)
- WM - APPROXIMATE LOCATION OF WATER MAIN
- GL - APPROXIMATE LOCATION OF GAS LINE
- SSL - APPROXIMATE LOCATION OF SANITARY SEWER LINE
- EL - PROPOSED ELECTRIC LINE LOCATION
- WL - PROPOSED WATER LINE LOCATION
- SD - PROPOSED STORM DRAIN LOCATION
- CTD - CONIFEROUS/DECIDUOUS TREE (INCHES) TRUNK DIAMETER-DRIPLINE RADIUS
- FL - FENCE LINE (AS NOTED)



Lot 1
CIMARRON SOUTHWEST FILING NO. 2B
(Plat Book D-3, Page 56)
EPC APN 54074-01-019
Owner: FONTANA ENTERPRISES INC



ADA ROUTE DETAIL
SCALE: 1" = 20"

UNIT DISTRIBUTION AND AREA SUMMARY

	STUDIO, TYPE "A"	STUDIO, TYPE "B"	1 BD, TYPE "A"	A BD, TYPE "B"	2 BD, TYPE "A"	2 BD, TYPE "B"	TOTAL
1st FLOOR	1	1	1	8	1	1	13
2nd FLOOR	0	2	2	12	0	2	18
3rd FLOOR	0	2	1	14	0	2	19
TOTAL	1	5	4	34	1	5	50
TYPE A	1		4		1		6
NET SQ.FT. TOTALS	433	2,120	2,152	18,292	665	3,325	26,987
GROSS SQ.FT.							
1st FLOOR	14,921						
2nd FLOOR		14,736					
3rd FLOOR			14,769				
TOTAL	44,426						

PROPERTY DESCRIPTION: EPC APN 54074-07-047

Lot 2, WESTERN HILLS SUBDIVISION FILING NO. 2, County of El Paso, State of Colorado, according to the plat thereof recorded December 13, 1994 under Reception No. 164557 in Plat Book G-5 at Page 94 . . . 734 Western Drive.

SITE DATA:

R-4 MULTI-FAMILY RESIDENTIAL
PERMITTED USE: APARTMENT HOUSES

LOT AREA REQUIREMENTS:

68 units, maximum
50 units proposed

BUILDING HEIGHT REQUIREMENTS: 40'-0" maximum

BUILDING AREA REQUIREMENTS: None

SETBACK REQUIREMENTS:

Side Yard = 5'-0" minimum
Front Yard = 20'-0" minimum
Rear Yard = 25'-0" minimum
Landscape (perimeter) = 10'-0" minimum

MAXIMUM LOT COVERAGE: 35%

Lot Size: 3.87 acres = 168,577.2 SQFT
ImperVIOUS: 59,527 SQFT
Open Space: 109,050.2 SQFT
Percentage of Open Space: 65%

PARKING REQUIREMENTS:

1.1 parking spaces per Studio = 6.6 parking spaces
1.5 parking spaces per One Bdrm = 57 parking spaces
1.7 parking spaces per Two Bdrm = 10.2 parking spaces
TOTAL UNIT PARKING SPACES = 73.8 parking spaces

Guest Parking - 1 parking space per 3 Units
50 Units = 17 Spaces Required
ADA Parking - 1 per Accessible, Type A" Unit
6 Units = 6 Spaces Required

Parking Required = 96.8 parking spaces
PARKING PROVIDED = 97 parking spaces

NOTES:

- For more detailed site information regarding building structure, grading and erosion control, utilities and landscaping, see compiled Bid Plan Set and/or Construction Plan Set.
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.
- Areas shown as landscaping need to remain landscaped unless a revised Site Development Plan is submitted and approved. The landscaped areas are part of the stormwater quality features associated with this Site Development Plan.

OWNER:

FREEDOM SPRINGS, LLC
305 W. Commercial Street
Springfield, MO 65803

DEVELOPER/ARCHITECTURE:

VECINO BOND GROUP, LLC
Chris Ball, AIA NCARB (417) 720-1577, Ext. 2603
305 W. Commercial Street
Springfield, MO 65803

Approved
By: Mark Gebhart
On behalf of the PCD Executive Director
Date: 01/30/2019
El Paso County Planning & Community Development



Corporate Entity No. 20181126152

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FREEDOM SPRINGS
734 WESTERN DRIVE
COLORADO SPRINGS, EL PASO COUNTY,
COLORADO 80915

REVISION	DESCRIPTION	DATE
1	PERMIT SET	03-05-18
2	ADDENDUM #1	10-25-18
3	ADDENDUM #2	11-01-18
4	NOTE NO. 3	01-14-19
5		01-28-19

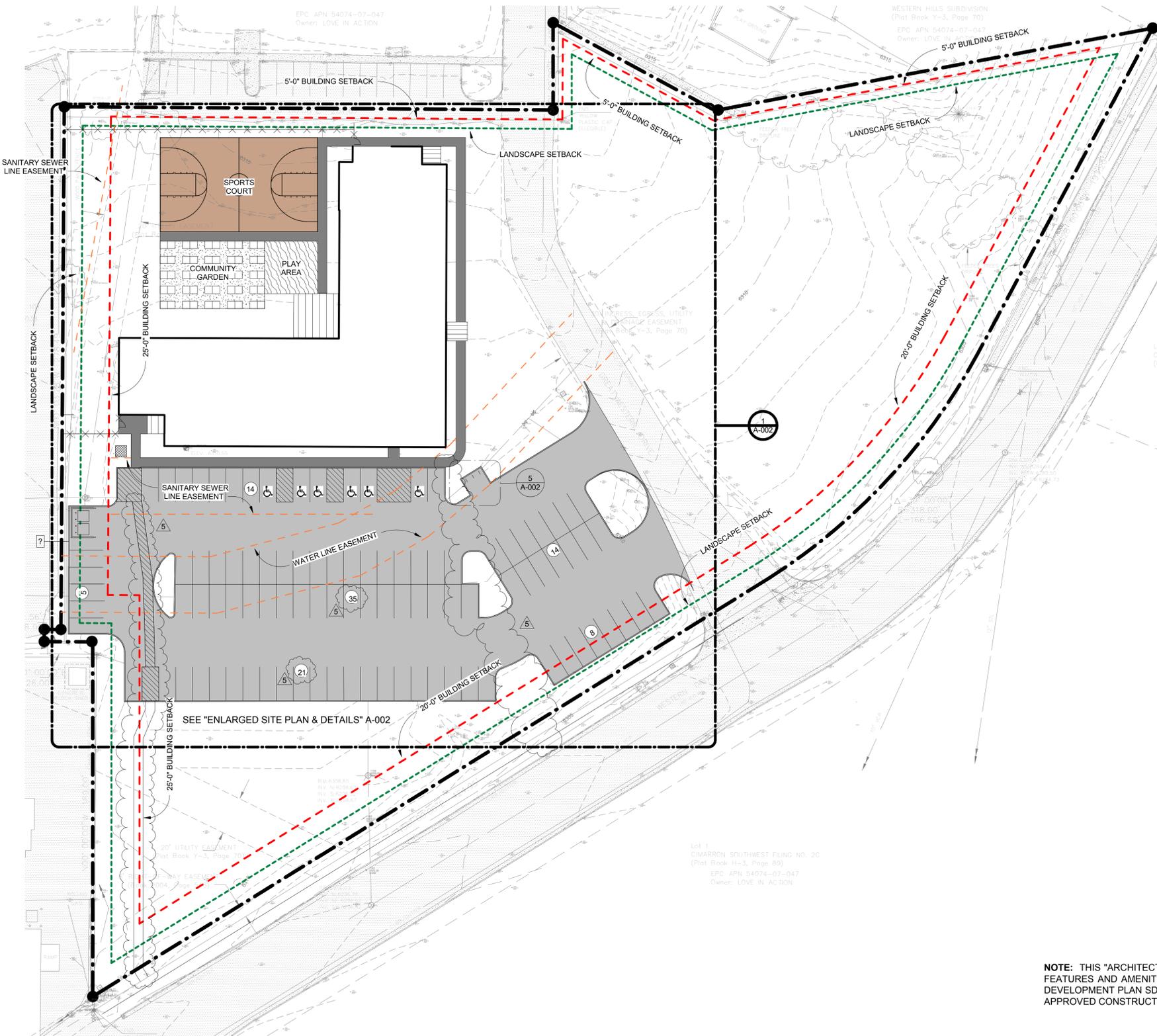
PRELIMINARY
NOT FOR
CONSTRUCTION

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DATE: 03-05-18
PROJECT NUMBER: LDC 15005
DRAWN BY: SLGDVH
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SITE DEVELOPMENT PLAN

SDP



1 SITE PLAN
1" = 30'-0"

NOTE: THIS "ARCHITECTURAL SITE PLAN" A-001 REPRESENTS GENERAL ARCHITECTURAL FEATURES AND AMENITIES IN THE VICINITY OF THE BUILDING STRUCTURE ... SEE SITE DEVELOPMENT PLAN SDP FOR OVERALL SITE INFORMATION, IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DRAWING SET.



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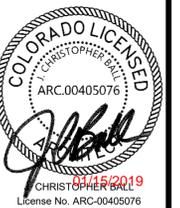
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FREEDOM SPRINGS
734 WESTERN DRIVE
COLORADO SPRINGS, EL PASO COUNTY,
COLORADO 80915

REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-19
▲	ADDENDUM 01	04-19-19
▲	ADDENDUM 02	10-26-19
▲	ADDENDUM 05	01-14-19

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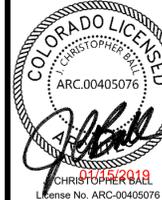


DATE: MARCH 5, 2019
PROJECT NUMBER: 17150
DRAWN BY:
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ARCHITECTURAL
SITE PLAN
A-001

REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
▲	ADDENDUM 01	04-19-18
▲	ADDENDUM 02	05-29-18
▲	ADDENDUM 05	01-14-19

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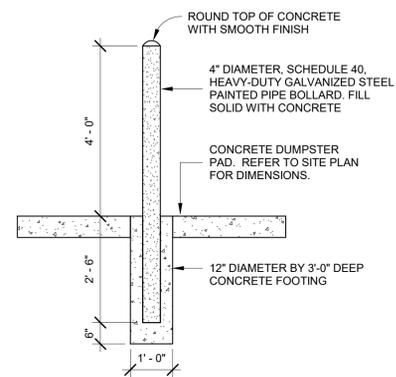
DATE: MARCH 5, 2018
PROJECT NUMBER: 17150
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ENLARGED SITE PLAN & DETAILS

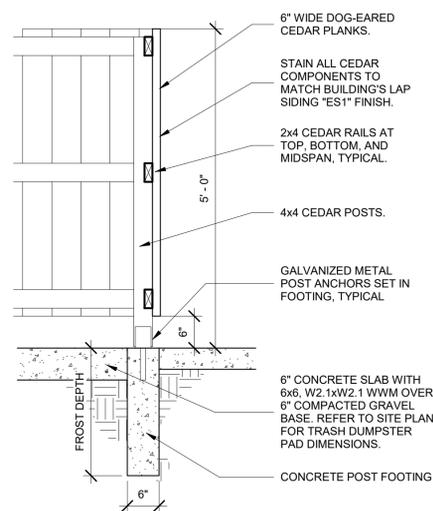
A-002

KEYNOTE LEGEND

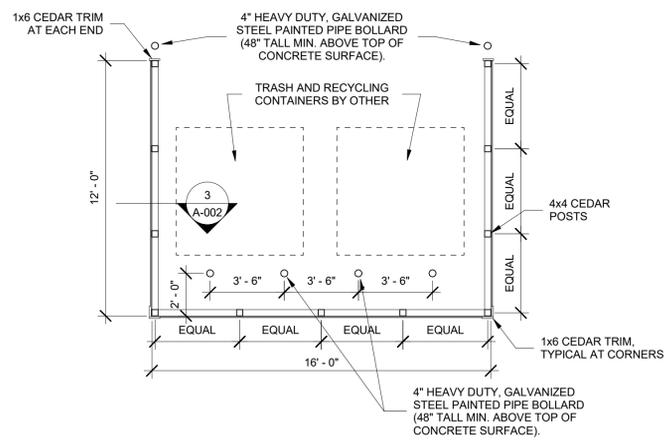
- 32.03 30 FOOT TALL COMMERCIAL-GRADE BLACK ANODIZED ALUMINUM TAPERED FLAGPOLE COMPLETE WITH EXTERNAL SINGLE REVOLVING TRUCK (STAINLESS STEEL BEARINGS, ALUMINUM SPINDLE, AND ALUMINUM PULLEY), HALYARD (WEATHERPROOF BRAIDED POLYPROPYLENE ROPE), SWIVEL SNAP HOOKS, GOLD ANODIZED BALL, HEAVY-DUTY CAST ALUMINUM CLEAT, MATCHING ALUMINUM BASE COLLAR, AND GALVANIZED STEEL GROUND SLEEVE ASSEMBLY. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION / FOOTING REQUIREMENTS. APPLY CONTINUOUS BEAD OF EXTERIOR GRADE CAULKING AROUND PERIMETER OF FLAGPOLE BASE PRIOR TO INSTALLING COLLAR.
- 32.04 U-SHAPED BICYCLE STORAGE RACK EQUAL TO "HOOP RACK" BY DERO (www.dero.com). 1.5" SCHEDULE 40 PIPE WITH THERMOPLASTIC FINISH (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOR PALETTE). IN-GROUND INSTALLATION. (3) RACKS TOTAL. REFER TO SITE PLAN FOR LOCATION AND SPACING REQUIREMENTS.
- 32.05 SIX FOOT TALL CEDAR PRIVACY FENCE PER DETAIL 32.04. FENCE PICKETS SHALL BE PLACED ALONG SOUTH FACE OF FENCE RAILS. INSTALL MATCHING 3'-6" WIDE PEDESTRIAN GATE WITH SELF-CLOSING HINGES AND LEVER STYLE GATE LATCH EQUAL TO ASHLEY NORTON MD GATE LATCH WITH "MERIDIAN" (310) LEVER. ALL GATE HARDWARE TO HAVE MATTE BLACK FINISH. REFER TO SITE PLAN FOR GATE LOCATIONS. STAIN CEDAR FENCE AND GATES TO MATCH EXTERIOR BUILDING LAP SIDING "ES1".
- 32.06 REGULATION SIZE (HIGH SCHOOL) BASKETBALL COURT. COURT CONSTRUCTION SHALL CONSIST OF 3" THICK COMPACTED ASPHALT SURFACE, OVER 4" THICK COMPACTED AGGREGATE BASE, OVER COMPACTED AND LEVEL SUBGRADE. PROVIDE MINIMUM CROSS SLOPE OF 2% TO PAVEMENT EDGES FOR SURFACE DRAINAGE. COURT SHALL BE COMPLETE WITH PAINTED STRIPING AND (2) IN-GROUND MOUNTED BASKETBALL GOAL-POSTS.
- 32.07 POWERWASH BACKSIDE OF EXISTING WOOD PRIVACY FENCE ALONG WEST PROPERTY LINE. STAIN TO MATCH NEW CEDAR PRIVACY FENCE.
- 32.08 (25 TOTAL) 48"W x 96"L x 16"H RAISED GARDEN BEDS WITH CENTER DIVIDER. LAYOUT AND SPACING AS SHOWN. CONTRACTOR HAS THE OPTION TO CONSTRUCT BOXES WITH 2x WESTERN RED CEDAR SIDE PANELS AND REINFORCED CORNERS OR INSTALL A PRODUCT EQUAL TO GREENES FENCE COMPANY'S CEDAR RAISED GARDEN BED KIT. STAIN CEDAR TO MATCH PRIVACY FENCE. FILL AREAS IN BETWEEN GARDEN BEDS WITH 1.5" ROYAL GRANITE CRUSHED ROCK (3" DEEP) OVER LANDSCAPE FABRIC. INSTALL DRIP IRRIGATION LINES TO SERVE EACH GARDEN BED. ROUTE AND BURY IRRIGATION LINES AS REQUIRED BELOW CIRCULATION PATHS SO THEY ARE NOT TRIP HAZARDS. CONNECT TO MAIN IRRIGATION SYSTEM / MASTER CONTROL.
- 33.02 EXTEND NATURAL GAS LINE SERVICE TO WESTERN EDGE OF OUTDOOR COVERED PATIO (CENTERED WITH PATIO) AND STUB UP FOR CONNECTION TO OUTDOOR GAS GRILL.



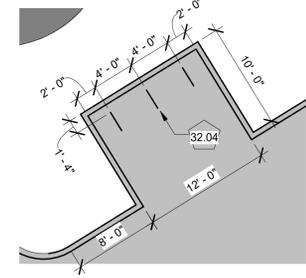
2 BOLLARD DETAIL
1/2" = 1'-0"



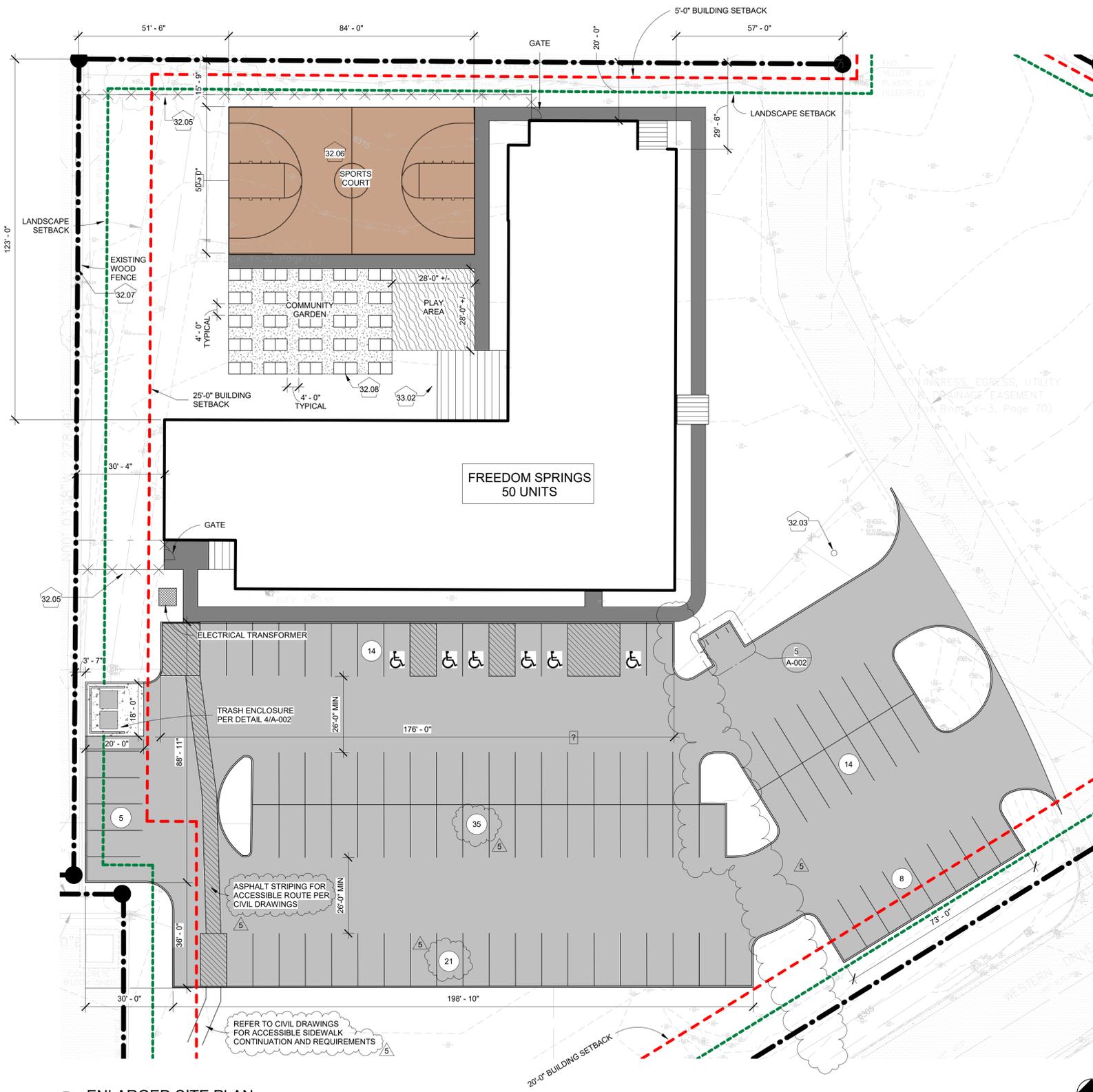
3 TRASH ENCLOSURE - SECTION
3/4" = 1'-0"



4 TRASH ENCLOSURE - PLAN VIEW
1/4" = 1'-0"



5 BICYCLE PARKING DETAIL
1/8" = 1'-0"



1 ENLARGED SITE PLAN
1" = 20'-0"



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GENERAL NOTES

- REFER TO SHEET A-502 FOR MAIN ENTRANCE CANOPY DETAILS.

EXTERIOR SIDING LEGEND

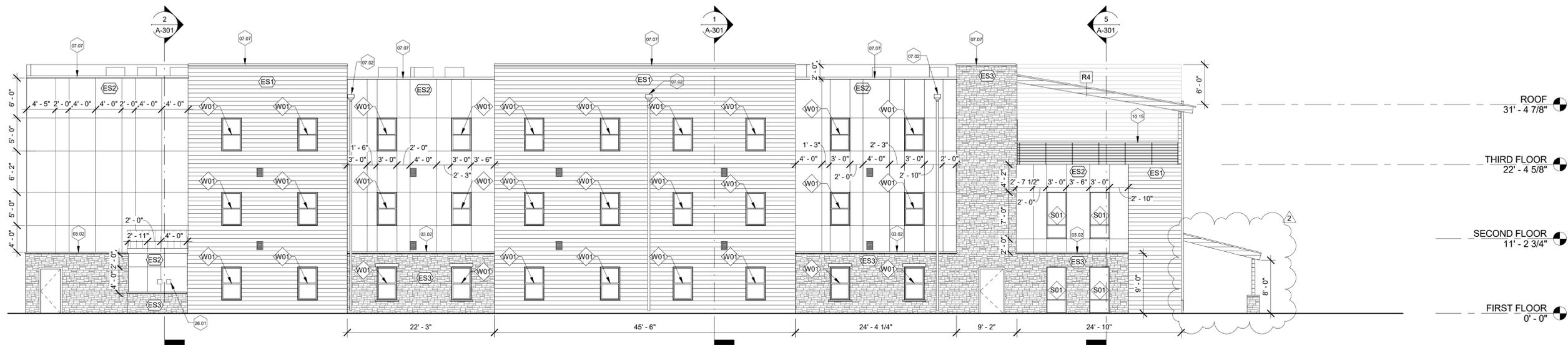
-  (ES1) 5/16" THICK BY 9.25" WIDE (8" EXPOSURE) FIBER CEMENT BOARD HORIZONTAL LAP SIDING WITH CEDAR WOOD GRAIN TEXTURE AND FACTORY APPLIED STAIN FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
-  (ES2) 5/16" THICK SMOOTH ARCHITECTURAL FIBER CEMENT BOARD VERTICAL PANEL SIDING WITH FACTORY APPLIED PRIMER AND FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL COLOR RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
-  (ES3) MANUFACTURED STONE VENEER EQUAL TO BORAL USA CULTURED STONE COLLECTION. STONE TO BE SELECTED FROM THE MANUFACTURER'S FULL LEDGESTONE COLLECTION. PROVIDE AND INSTALL CULTURED STONE MANUFACTURER'S ACCESSORY WINDOW LINTELS, WATERTABLE/SILLS, STONE VENEER ELECTRICAL BOXES, AND PIER CAPS AT COLUMN WRAPS.

GENERAL EXTERIOR SIDING NOTES

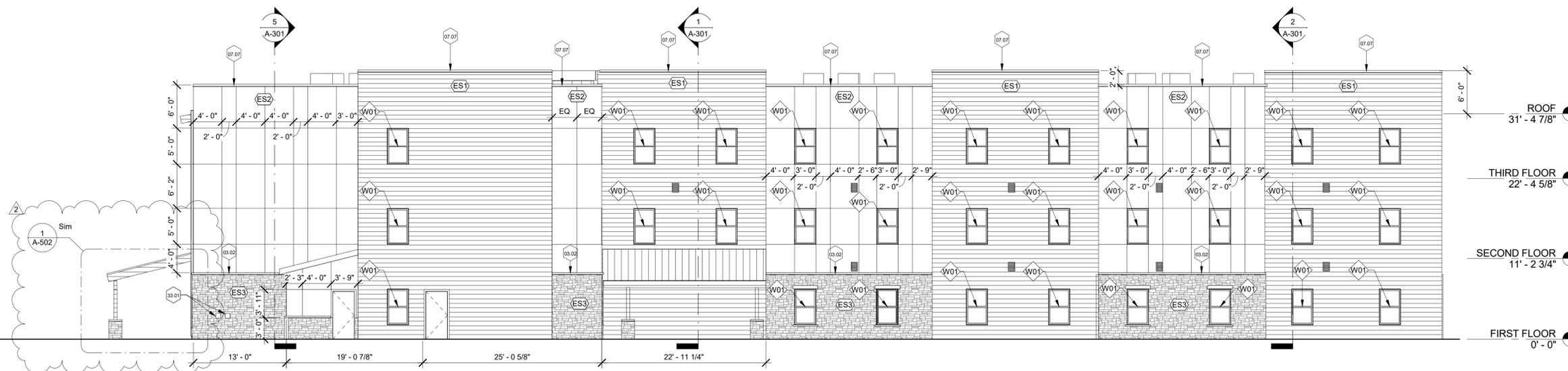
- FOLLOW THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR FIBER CEMENT BOARD HORIZONTAL LAP SIDING AND VERTICAL PANEL SIDING.
- AT HORIZONTAL FIBER CEMENT LAP SIDING, USE DOUBLE HOT DIPPED GALVANIZED OR STAINLESS STEEL BLIND FASTENERS PER THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- AT VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS, USE MANUFACTURER'S RECOMMENDED FASTENERS WITH COLOR-MATCHED FASTENER HEADS.
- HOLD BACK FIBER CEMENT BOARD SIDING 6" MINIMUM ABOVE FINISHED GRADE.
- LEAVE AN 1/8" GAP BETWEEN SIDING AND TRIM SURROUNDING DOORS AND WINDOWS.
- USE NON-CORROSIVE, COATED ALUMINUM OR METAL FLASHINGS THAT WILL NOT REACT WHEN IN CONTACT WITH FIBER CEMENT SIDING PRODUCTS.
- MAINTAIN 1/4" CLEARANCE BETWEEN SIDING AND HORIZONTAL FLASHINGS. DO NOT CAULK GAP ABOVE HORIZONTAL Z-FLASHING OVER DOOR AND WINDOW OPENINGS.
- USE NON-CORROSIVE BACKFLASHING AT ALL BUTT JOINTS.
- USE HIGH QUALITY, PAINTABLE OR COLOR-MATCHED, EXTERIOR-GRADE SEALANT THAT MEETS ASTM C-920 AND IS COMPATIBLE WITH FIBER CEMENT SIDING PRODUCT(S).
- INSTALL HORIZONTAL FIBER CEMENT LAP SIDINGS AND VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS COMPLETE WITH FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM EQUAL TO EASY TRIM REVEALS. INSTALL VERTICAL TRANSITION TRIMS BETWEEN LAP SIDINGS AND VERTICAL FIBER CEMENT BOARD PANELS INCLUDING INSIDE & OUTSIDE CORNERS (SQUARE EDGE), Z-TRIMS, AND J-TRIMS. INSTALL VERTICAL AND HORIZONTAL REVEALS AT ARCHITECTURAL FIBER CEMENT BOARD PANELS - REFER TO BUILDING ELEVATIONS FOR LOCATIONS. FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL PRODUCT RANGE.
- EXHAUST VENTS PER MEP DRAWINGS.

KEYNOTE LEGEND

- 03.02 MANUFACTURED STONE ACCENT BAND. REFER TO DETAIL 5/A-501
- 07.02 16" WIDE BY 10" TALL THROUGH WALL PRE-FINISHED SHEET METAL SCUPPER. DISCHARGE INTO PRE-FINISHED METAL CONDUCTOR HEAD AND 4"x5", SMOOTH, SQUARE PROFILE DOWNSPOUT COMPLETE WITH CONCEALED UNION SLEEVES AND MATCHING ELBOWS WHERE REQUIRED. ANCHOR WITH MATCHING WALL BRACKETS VERTICALLY SPACED 60" ON CENTER. MAX. TERMINATE DOWNSPOUT INTO ADAPTER / DOWNSPOUT BOOT CONNECTED TO UNDERGROUND STORMWATER PIPING. REFER TO CIVIL DRAWINGS FOR STORMWATER PIPING AND DETAILS.
- 07.07 PRE-FINISHED METAL (24 GA. MINIMUM) TAPERED PARAPET CAP FLASHING/COPING WITH CONTINUOUS CLEAT. INSTALL PRE-FORMED, ONE PIECE INSIDE AND OUTSIDE CORNERS. FACE OF PARAPET CAP TO BE 6" TALL MINIMUM. FINISH TO BE SELECTED FROM MANUFACTURER'S FULL COLOR SELECTION.
- 10.15 CABLE RAILING SYSTEM BY ULTRA-TEC. SEE DETAILS 5/A-502 AND 1/A-202.
- 26.01 ELECTRIC METER BANK, DISCONNECT, AND PULL BOX. CONTRACTOR TO COORDINATE ELECTRIC SERVICE, LOCATIONS, AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.
- 33.01 NATURAL GAS METER BANK. CONTRACTOR TO COORDINATE GAS SERVICE, METER SET / INSTALLATION, AND SERVICE CONNECTIONS.



1 SOUTH ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"

REVISION	DESCRIPTION	DATE
	PERMIT SET	5-5-18
1	Addendum 2	7-25-18

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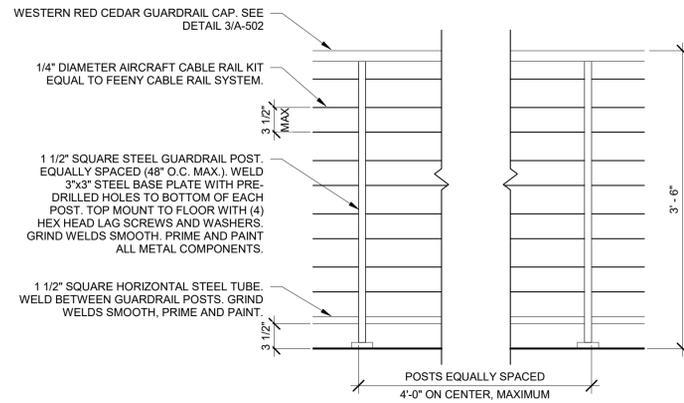
7/30/2018
ARCHITECT
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PROJECT NUMBER: 17150
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ELEVATIONS

A-201

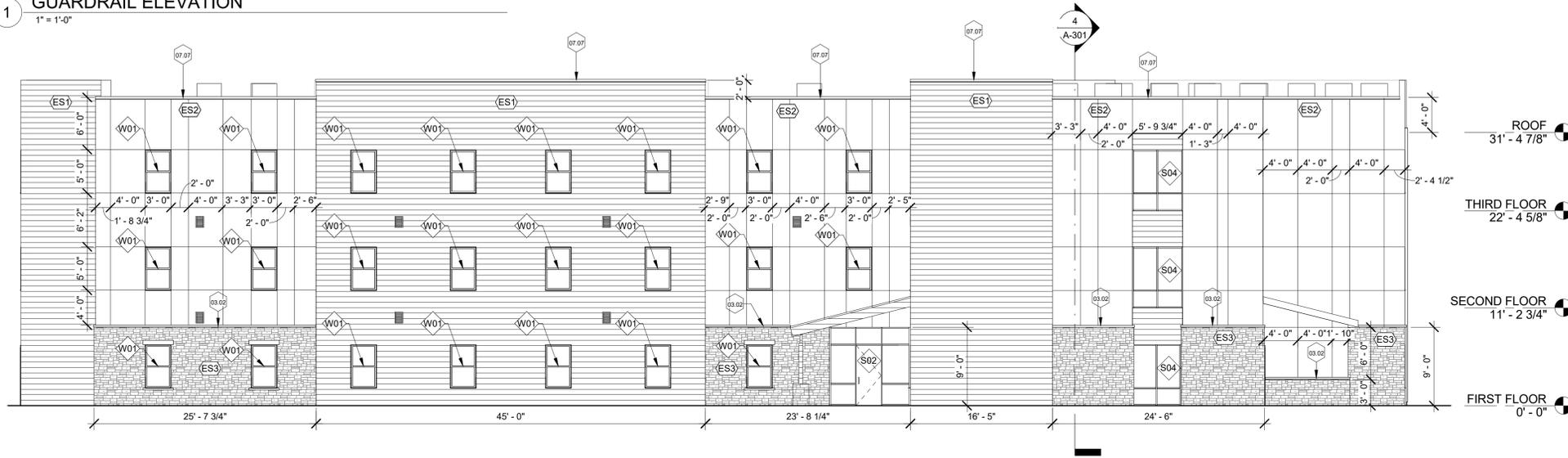


NOTE: GUARDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A LINEAR LOAD OF 50 PLF AND A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7. INTERMEDIATE RAILS AND BALUSTERS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 50 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7.

STEEL GUARDRAIL COMPONENTS SHALL HAVE AN EXTERIOR-GRADE POWDERCOAT FINISH. COLOR TO BE SELECTED BY ARCHITECT.

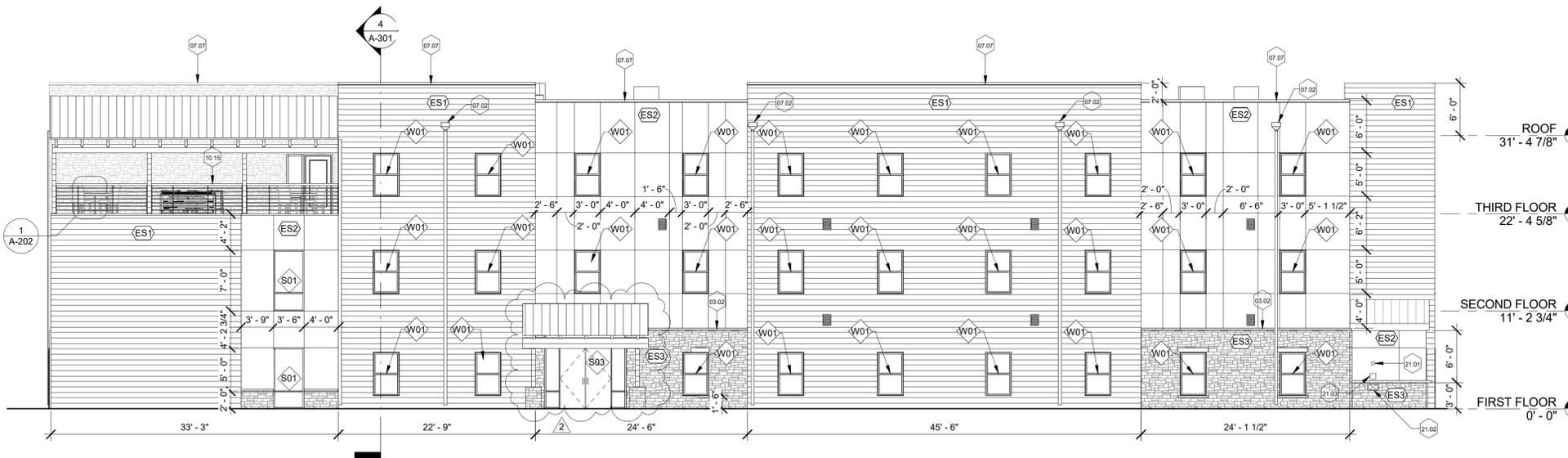
1 GUARDRAIL ELEVATION

1" = 1'-0"



2 WEST ELEVATION

1/8" = 1'-0"



3 EAST ELEVATION

1/8" = 1'-0"

KEYNOTE LEGEND

- 03.02 MANUFACTURED STONE ACCENT BAND. REFER TO DETAIL 5/A-501
- 07.02 16" WIDE BY 10" TALL THROUGH WALL PRE-FINISHED SHEET METAL SCUPPER. DISCHARGE INTO PRE-FINISHED METAL CONDUCTOR HEAD AND 4"x5" SMOOTH, SQUARE PROFILE DOWNSPOUT COMPLETE WITH CONCEALED UNION SLEEVES AND MATCHING ELBOWS WHERE REQUIRED. ANCHOR WITH MATCHING WALL BRACKET'S VERTICALLY SPACED 60" ON CENTER. MAX. TERMINATE DOWNSPOUT INTO ADAPTER / DOWNSPOUT BOOT CONNECTED TO UNDERGROUND STORMWATER PIPING. REFER TO CIVIL DRAWINGS FOR STORMWATER PIPING AND DETAILS.
- 07.07 PRE-FINISHED METAL (24 GA. MINIMUM) TAPERED PARAPET CAP FLASHING/COPING WITH CONTINUOUS CLEAT. INSTALL PRE-FORMED, ONE PIECE INSIDE AND OUTSIDE CORNERS. FACE OF PARAPET CAP TO BE 6" TALL MINIMUM. FINISH TO BE SELECTED FROM MANUFACTURER'S FULL COLOR SELECTION.
- 10.15 CABLE RAILING SYSTEM BY ULTRA-TEC. SEE DETAILS 5/A-502 AND 1/A-202.
- 21.01 SURFACE-MOUNTED FIRE DEPARTMENT KNOX BOX RAPID ENTRY SYSTEM WITH TAMPER SWITCH EQUAL TO MODEL #3266 (DARK BRONZE) BY KNOX COMPANY. MOUNT TOP OF KNOX BOX 6'-0" MAX. ABOVE FINISHED GRADE / WALKING SURFACE. KNOX BOX SHALL CONTAIN A MASTER KEY THAT WILL OPEN ALL DOORS, A MASTER RFID / PROXIMITY CARD FOR ELECTRONICALLY CONTROLLED ACCESS DOORS, ELECTRONIC KEYPAD ACCESS CODE, A KEY TO THE MASTER ALARM PANEL(S), AND ALL OTHER ROOMS / EQUIPMENT AS REQUIRED BY THE FIRE MARSHAL AND LOCAL ORDINANCES. THE FIRE CHIEF AND FIRE MARSHAL SHALL HAVE A MASTER KEY FOR ALL KNOX BOXES LOCATED ON THE PROPERTY.
- 21.02 FIRE DEPARTMENT CONNECTION (FDC) INSTALLED IN ACCORDANCE WITH NFPA SYSTEM REQUIREMENTS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. INSTALL KNOX FIRE DEPARTMENT SECURITY CAPS ON EACH FIRE DEPARTMENT CONNECTION PER THE FIRE MARSHAL AND LOCAL ORDINANCES.
- 21.03 FURNISH AND INSTALL EXTERIOR-GRADE METAL SIGN AT EACH FIRE DEPARTMENT CONNECTION. SIGN SHALL CONSIST OF 1 INCH TALL (MINIMUM) RAISED LETTERS ON A CONTRASTING COLOR BACKGROUND THAT READ: FIRE DEPARTMENT CONNECTION OR FIRE HOSE CONNECTION OR FIRE DEPARTMENT SPRINKLER CONNECTION OR A COMBINATION THEREOF AS APPLICABLE.

EXTERIOR SIDING LEGEND

- (ES1) 5/16" THICK BY 9.25" WIDE (8" EXPOSURE) FIBER CEMENT BOARD HORIZONTAL LAP SIDING WITH CEDAR WOOD GRAIN TEXTURE AND FACTORY APPLIED STAIN FINISH SYSTEM TO BE SELECTED FROM THE MANUFACTURER'S FULL RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
- (ES2) 5/16" THICK SMOOTH ARCHITECTURAL FIBER CEMENT BOARD VERTICAL PANEL SIDING WITH FACTORY APPLIED PRIMER AND FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL COLOR RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS
- (ES3) MANUFACTURED STONE VENEER EQUAL TO BORAL USA CULTURED STONE COLLECTION. STONE TO BE SELECTED FROM THE MANUFACTURER'S FULL LEDGESTONE COLLECTION. PROVIDE AND INSTALL CULTURED STONE MANUFACTURER'S ACCESSORY WINDOW LINTELS, WATERABLE/SILLS, STONE VENEER ELECTRICAL BOXES, AND PIER CAPS AT COLUMN WRAPS.

GENERAL EXTERIOR SIDING NOTES

1. FOLLOW THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR FIBER CEMENT BOARD HORIZONTAL LAP SIDING AND VERTICAL PANEL SIDING.
2. AT HORIZONTAL FIBER CEMENT LAP SIDING, USE DOUBLE HOT DIPPED GALVANIZED OR STAINLESS STEEL BLIND FASTENERS PER THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
3. AT VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS, USE MANUFACTURER'S RECOMMENDED FASTENERS WITH COLOR-MATCHED FASTENER HEADS.
4. HOLD BACK FIBER CEMENT BOARD SIDING 6" MINIMUM ABOVE FINISHED GRADE.
5. LEAVE AN 1/8" GAP BETWEEN SIDING AND TRIM SURROUNDING DOORS AND WINDOWS.
6. USE NON-CORROSIVE, COATED ALUMINUM OR METAL FLASHINGS THAT WILL NOT REACT WHEN IN CONTACT WITH FIBER CEMENT SIDING PRODUCTS.
7. MAINTAIN 1/4" CLEARANCE BETWEEN SIDING AND HORIZONTAL FLASHINGS. DO NOT CAULK GAP ABOVE HORIZONTAL Z-FLASHING OVER DOOR AND WINDOW OPENINGS.
8. USE NON-CORROSIVE BACKFLASHING AT ALL BUTT JOINTS.
9. USE HIGH QUALITY, PAINTABLE OR COLOR-MATCHED, EXTERIOR-GRADE SEALANT THAT MEETS ASTM C-920 AND IS COMPATIBLE WITH FIBER CEMENT SIDING PRODUCT(S).
10. INSTALL HORIZONTAL FIBER CEMENT LAP SIDINGS AND VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS COMPLETE WITH FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM EQUAL TO EASY TRIM REVEALS. INSTALL VERTICAL TRANSITION TRIMS BETWEEN LAP SIDINGS AND VERTICAL FIBER CEMENT BOARD PANELS INCLUDING INSIDE & OUTSIDE CORNERS (SQUARE EDGE), Z-TRIMS, AND J-TRIMS. INSTALL VERTICAL AND HORIZONTAL REVEALS AT ARCHITECTURAL FIBER CEMENT BOARD PANELS - REFER TO BUILDING ELEVATIONS FOR LOCATIONS. FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL PRODUCT RANGE.
11. EXHAUST VENTS PER MEP DRAWINGS.

FREEDOM SPRINGS
 734 WESTERN DRIVE
 COLORADO SPRINGS, EL PASO COUNTY,
 COLORADO 80915

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▲	Addendum 2	7-25-18

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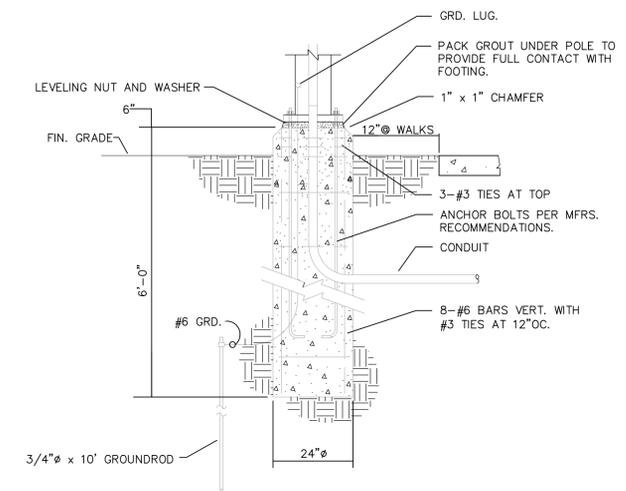
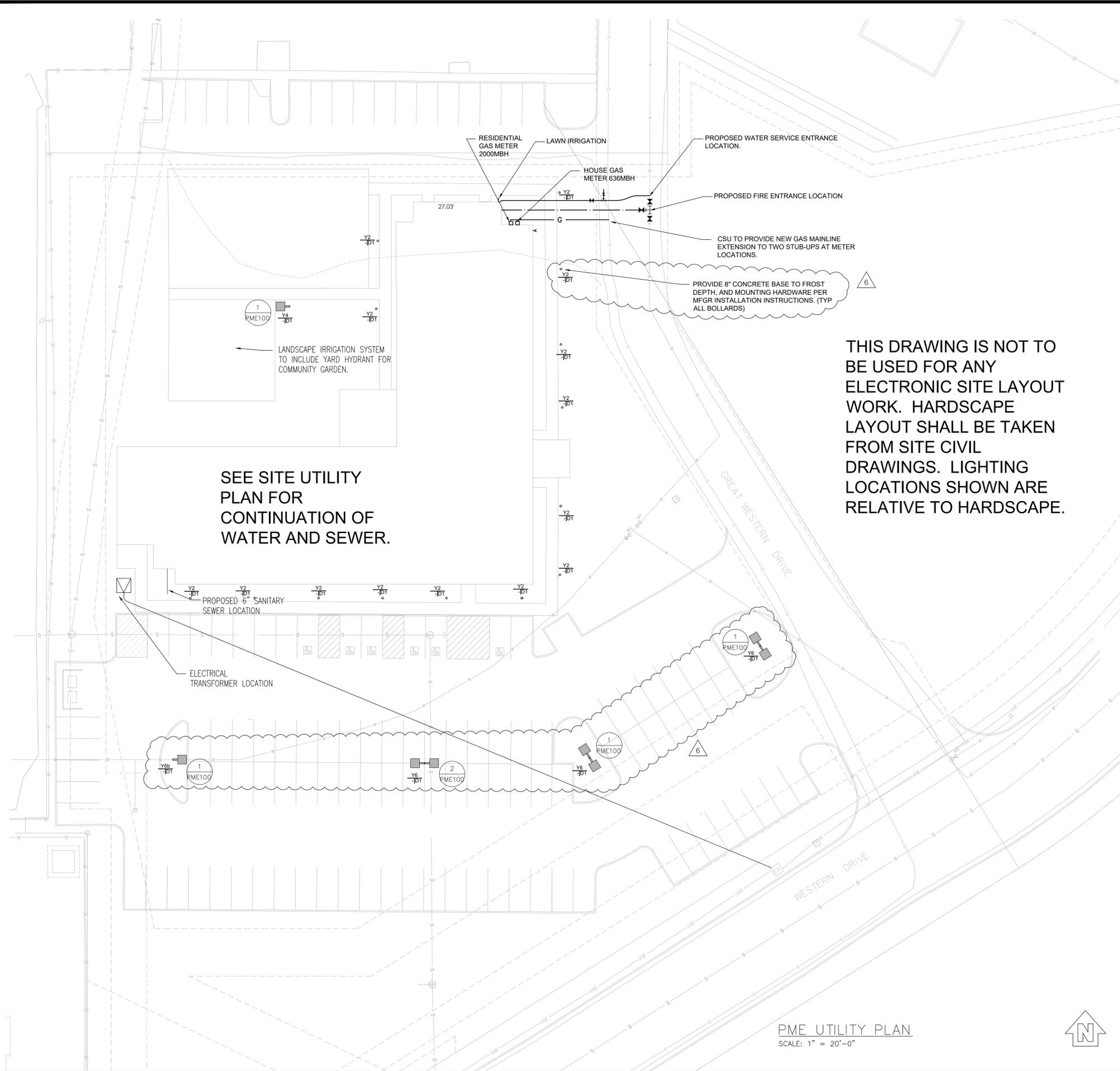


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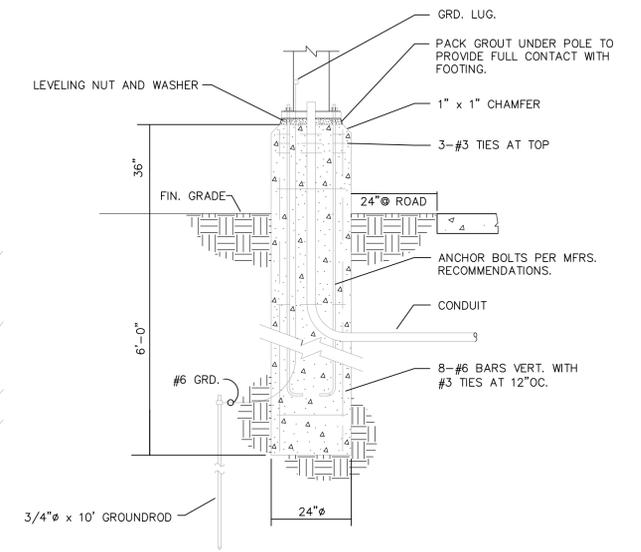
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ELEVATIONS

A-202



LIGHT POLE BASE DETAIL (WALK ADJACENT)
NOT TO SCALE



LIGHT POLE BASE DETAIL (VEHICLE ADJACENT)
NOT TO SCALE

THIS DRAWING IS NOT TO BE USED FOR ANY ELECTRONIC SITE LAYOUT WORK. HARDSCAPE LAYOUT SHALL BE TAKEN FROM SITE CIVIL DRAWINGS. LIGHTING LOCATIONS SHOWN ARE RELATIVE TO HARDSCAPE.

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COLORADO, 80915

REVISION	DESCRIPTION	DATE
PERMIT SET		03-05-18
ADDENDUM 01		10-26-18
ADDENDUM 02		11-02-18
ADDENDUM 05		01-11-19
ADDENDUM 06		01-28-19

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PME UTILITY PLAN
PME-100

PME UTILITY PLAN
SCALE: 1" = 20'-0"



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REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
▲	ADDENDUM 02	10-26-18
▲	ADDENDUM 03	11-02-18
▲	ADDENDUM 05	01-11-19
▲	ADDENDUM 06	07-28-19

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SITE LIGHTING PHOTOMETRICS
ESL-100

SITE LIGHTING PHOTOMETRICS

SCALE: 1" = 30'-0"



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SCHEDULES

E-300

SUPPLEMENTAL SPECIFICATIONS:

FIRE ALARM SYSTEM:

See specifications manual.

SECURITY SYSTEMS:

A. General:

- Furnish and install a complete operating access building security system as described herein and as shown on drawings. The system shall be complete with all necessary materials and controls required for operation whether or not such materials and controls are specified or shown. Shop drawings shall be provided to the Architect for confirmation of location of all cameras.
- CCTV devices:
 - CCTV cameras shall be located where shown to monitor entry and exit of the building, and building exterior. Monitors, recorder and other gear shall be located in Room 113 near the MDF. Coordinate location with fire alarm, HVAC, and other nearby trades.
 - IP camera (1.3MP minimum resolution, color).
 - Monitor, 24" 16:9 LED monitor, 1920x1080 resolution
 - Network Video Recorder, 30 days storage
 - Network switch
 - Battery backup
- Power for security systems shall be provided through the specified house panel circuit for security. See electrical panel diagrams.
- Security systems shall be provided with stand-alone standby battery or circuit with inverter to provide sufficient power for 24 hours of operation.

ACCESS AND DOOR CONTROL SYSTEMS:

A. General:

- Furnish and install a complete operating access control system as described herein and as shown on drawings. The system shall be complete with all necessary materials and controls required for operation whether or not such materials and controls are specified or shown. Shop drawings shall be provided to the Architect for confirmation of location of all access and door control systems.
- Access control shall be located at all building entrances as indicated on the drawings. Controls at exterior pedestrian locations shall include proximity sensor. Call box shall be located at main entry without remote unlock capability.
- Magnetic hold opens shall be as specified with door hardware. Power for magnetic hold-opens shall be provided from the nearest public unswitched, non-GFCI, non-AFCI, receptacle circuit.
- Power for access control systems shall be provided through the specified house panel circuit for Access Control. See electrical panel diagrams.
- Access control systems shall be provided with stand-alone standby battery or circuit with inverter to provide sufficient power for 24 hours of operation.

PUBLIC WIFI SYSTEM:

Furnish and install a complete operating public WIFI system providing wireless access points, powered by POE, where shown and as required to provide service to specified areas on drawings.

LIGHT FIXTURE SCHEDULE								
TAG	LOCATION	MODEL #	FINISH	WATTS	LUMENS	MOUNTING	NOTES	
A	APARTMENTS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING	WET RATED	
C1	CEILING FAN	PROGRESS P2574-2030K	BZ			CEILING		
D1	LIVING ROOM	PROGRESS P3612-0930K9	WH	44.5W	3745	CEILING	22" DIA, 2700K	
D2	BEDROOM	PROGRESS P3611-093069	WH	29.5W	2330	CEILING	15" DIA, 2700K	
E	MECHANICAL CLOSET	LEVITON 8829-CW4		8.5W		WALL	KEYLESS LAMP HOLDER W/ LED BULB OVER DOOR. PROTECTIVE CAGE REQ'D AT ELEVATOR PIT.	
F	CLOSETS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING		
G2	BATH VANITY	PROGRESS P2094-0930K9	PC	35W	3000LM	WALL	38" LENGTH	
H	BATH	PROGRESS P8022-82-30K	BN	15W	1000LM	CEILING		
J	KITCHEN PENDANT	PROGRESS P5092-09	BN	9.5W	915LM	PENDANT	FROSTED GLASS	
K	CORRIDORS	PROGRESS P8022-28-30K	WH	15W	1000LM	CEILING	3000K	
L	NOT USED							
M	HEARING IMPAIRED APARTMENTS	NUTONE LA11WH, C907 XFORM, HARRIS DOORBELL STROBE, SPORE TDB-N-AL BUTTON	WH	-	-	WALL	BUTTON STRIKE SIDE AT 48", CHIME/STROBE VISIBLE TO LIVING ROOM.	
N1	OFFICE	LUMENOPTIX LUZ-22-40-EA8-35K-DU1-KS	WH	40W	4100LM	SURFACE CEILING	2X2 LED PANEL W/ SURFACE MT KIT	
Q	CLOSETS	LEVITON 9864-LED		8.5W		CEILING	MOTION, NO SWITCH	
R	UTILITY	COLUMBIA CSL4-4035	WH	36W	4000LM	SURFACE	48" STRIP LIGHT W/ HANGER FOR 9' MAX MOUNTING HEIGHT	
S	CLASSROOM	FINELITE HP2-D-4-H-830-F-120V-FA50-SC-C*	WH	26W	2600LM	PENDANT	48" LINEAR	
Y1	EXTERIOR CANOPY	HINKLEY 2302KZ-LED ARIA	BZ	15W		PENDANT		
Y2	EXTERIOR BOLLARD	H.E.WILLIAMS OSA6R-L20/840-AC-FT-DBZ-AB-DRV-UNV	BK	18W	2000LM	GROUND		
Y3	EXTERIOR WALL	WAC WS-W5318	BZ	15W	1218LM	WALL	VERIFY MT HEIGHT	
Y4	YARD LITE	KENALL TPDPT26-5R-55-FTA-DB-160L30K-DV-DS34 0-500V150-OT-HH-FBCP-AB-DB-(VAL,KEN ALL)	BK	150W	13860LM	POLE	3000K, 15' POLE	
Y5	PARKING	BEACON VP-S/30NB-70/3K/T2/UNV/RA/DBT, BEACON SSSB16-40A-1-1B4-DBT	BK	54.7W	6530LM	POLE	3000K, 15' POLE	
Y6	PARKING	BEACON VP-L/96NB-280/3K/T3/UNV/RA/DBT, BEACON SSSB16-50B-2-S2-DB	BK	215W	24084LM	POLE	DUAL HEAD, 3000K, 15' POLE	
Y6b	PARKING	BEACON VP-L/96NB-280/3K/T3/UNV/RA/DBT, BEACON SSSB16-50B-2-S2-DB	BK	107W	12000LM	POLE	SINGLE HEAD, 3000K, 15' POLE.	
Y7	WALLPAK	PROGRESS P5674-3130K	BK	13W		WALL	DOWNLIGHT	
EX1	EMERGENCY	COMPASS CCG	WH			UNIVERSAL	EMERGENCY/EXIT	
EX2	EMERGENCY	COMPASS CEG + REMOTE	WH			UNIVERSAL	EMERGENCY/EXIT WITH REMOTE HEAD	
EX3	EMERGENCY	COMPASS CCGRC	WH	1.4W		WALL 7.5'	2 HEAD EMERG. LIGHT	
EM1	EMERGENCY	COMPASS CU2 + REMOTE	WH	1.4W		WALL 7.5'	2HEAD W/ REMOTE	
EM2	EMERGENCY	COMPASS CU2RC	WH	14W		WALL 7.5'	HIGH OUTPUT	
EM3	EMERGENCY	DUAL EVHC6						

ALL FIXTURES SHALL BE 3000K COLOR TEMP. 2700K TO 3500K IS ACCEPTED WHERE 3000K IS NOT AVAILABLE.

EXHAUST FANS, HEATERS, AND OTHER MECHANICAL EQUIPMENT BY MC. CONNECTION BY EC. SEE M300 FOR SPECS.

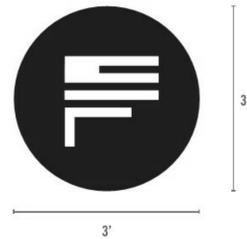
SMOKE & CO ALARM - SEE SPECIFICATIONS

DWELLING UNIT FIXTURES REQUIRING SCREW-IN LAMPS SHALL USE CREE A19, 2700K, 9.5W, 915LM, OMNIDIRECTIONAL, 80CRI MIN.

6

CUTOUT METAL WALL SIGN ON EAST ELEVATION, AND FLAGPOLE IN EAST COURTYARD.

NOT ILLUMINATED.
APPROXIMATE SIZE: 3' x 3'

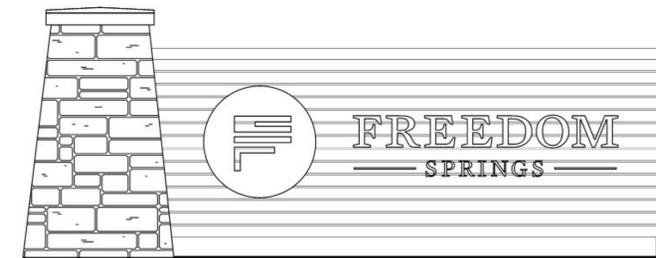


BUILDING PLACEMENT - EAST FACE

WALL-MOUNTED SIGN LOCATION

MONUMENT SIGN ON SE CORNER OF PROPERTY NEAR CORNER AT WESTERN DRIVE.

DOUBLE SIDED.
WOODEN SLATS ON CONCRETE BASE.
METAL CUTOUT LETTERING AND LOGO.
APPROXIMATE SIZE: 8' x 3' x 4.5'
STREET NUMBER ON OUTSIDE STONE AREA OF SIGN, FACING STREET.
SOLAR GROUND LIGHTING



8'

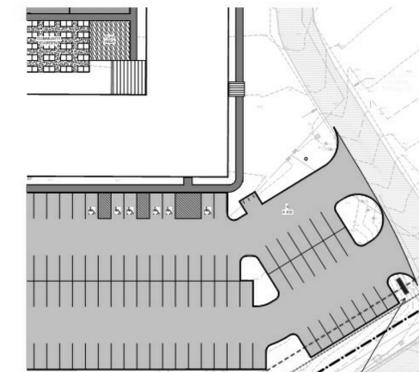


8'



SIDE VIEW

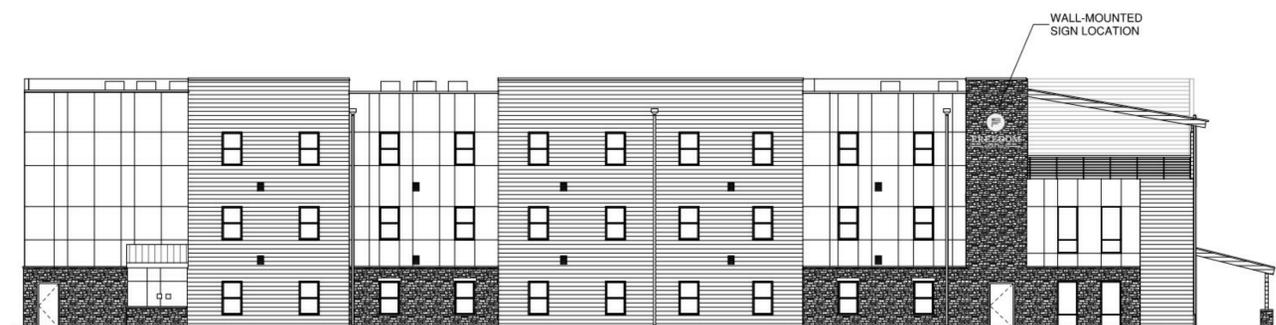
SITE PLACEMENT



MONUMENT SIGN LOCATION

ILLUMINATED WALL SIGN ON SOUTH ELEVATION "CHIMNEY"

LED BOX/CHANNEL LETTERS WITH DARK SIDES. FRONT GLOW ONLY.
APPROXIMATE SIZE: 6'6" x 4'6"



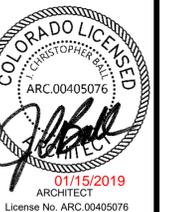
BUILDING PLACEMENT - SOUTH FACE

WALL-MOUNTED SIGN LOCATION

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COLORADO SPRINGS, EL PASO COUNTY,
COLORADO 80915

REVISION	DESCRIPTION	DATE
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▲	ADDENDUM #1	03-15-19
▲	ADDENDUM #2	10-26-19
▲	ADDENDUM #3	11-02-19
▲	ADDENDUM #4	11-06-19
▲	ADDENDUM #5	01-14-19

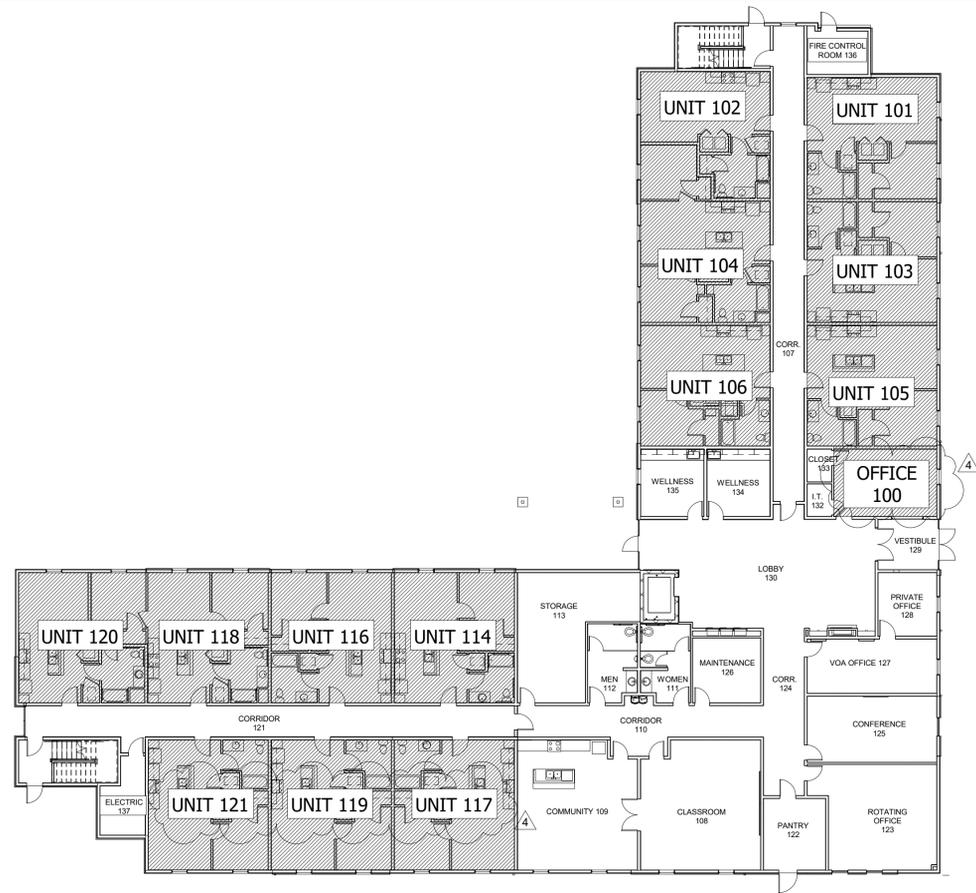
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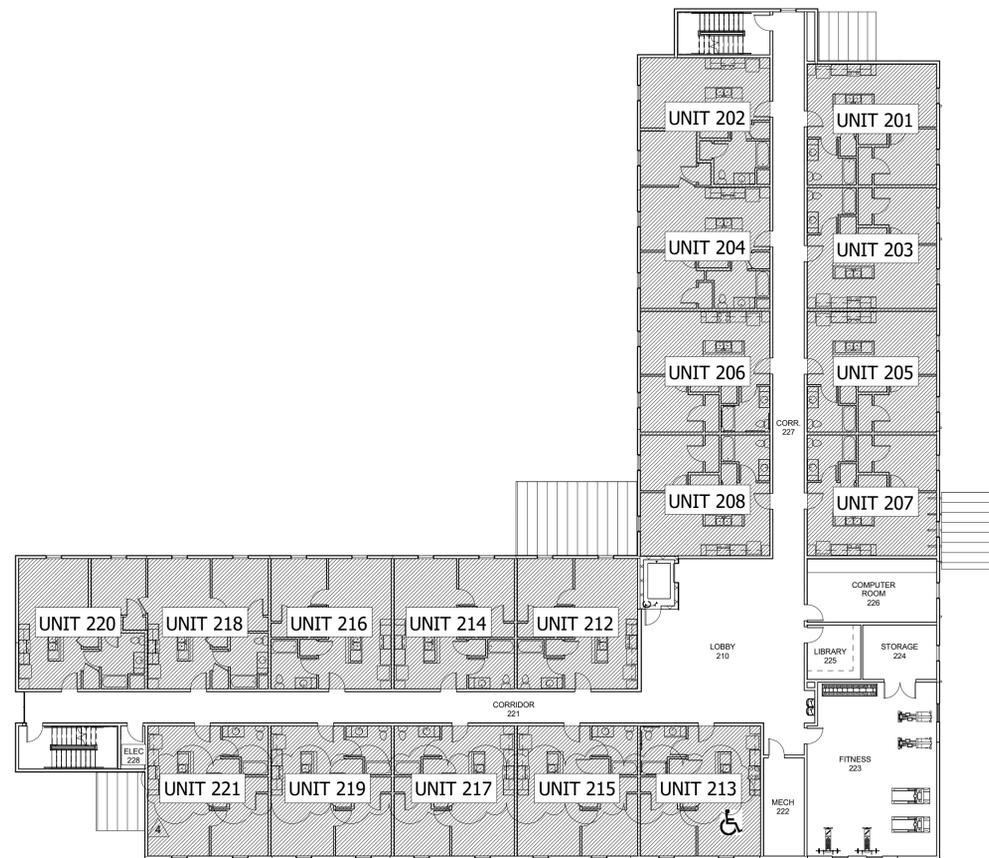
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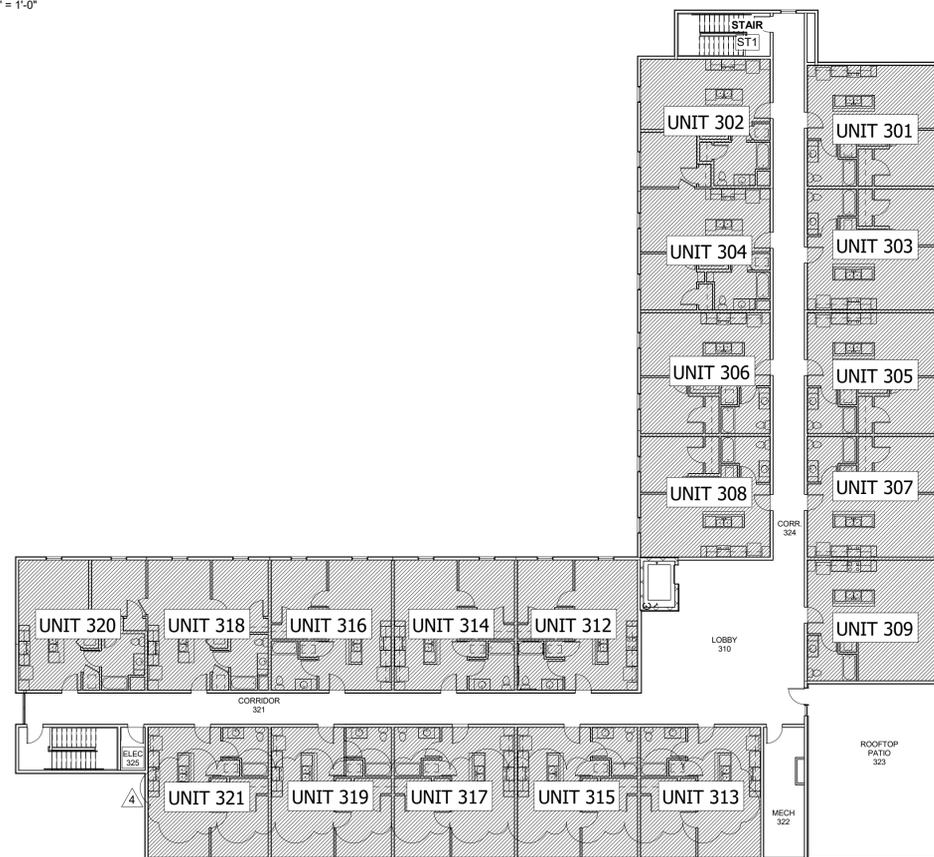
SIGNAGE
G-010



1 FIRST FLOOR ENUMERATION PLAN
1/16" = 1'-0"



2 SECOND FLOOR ENUMERATION PLAN
1/16" = 1'-0"



3 THIRD FLOOR ENUMERATION PLAN
1/16" = 1'-0"

FREEDOM SPRINGS
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▲	ADDENDUM #4	11-06-18

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ENUMERATION PLANS

G-012