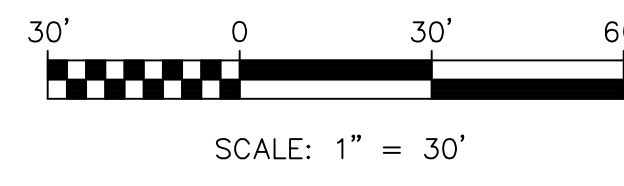


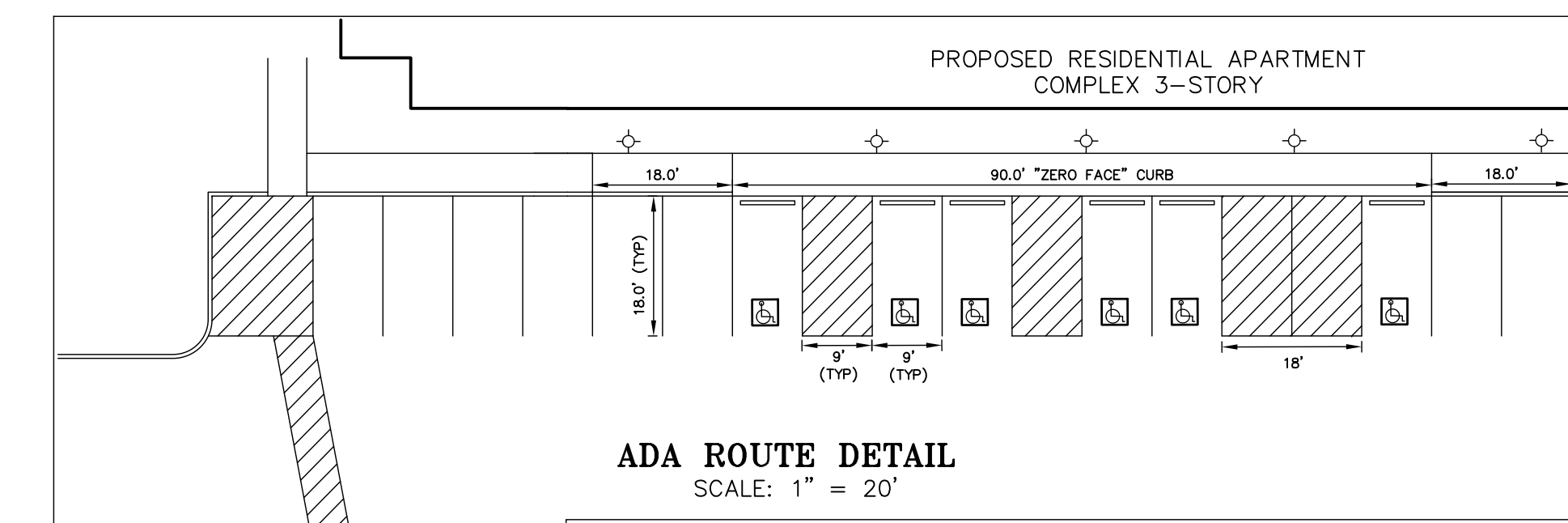
VICINITY MAP  
NO SCALE

**LEGEND**

- EV - ELECTRIC VAULT
- FO - FIBER OPTIC
- SM - SANITARY SEWER MANHOLE
- B - BOLLARD
- TP - TELEPHONE PEDESTAL
- WV - WATER VALVE
- FH - FIRE HYDRANT
- PFH - PROPOSED FIRE HYDRANT
- PLP - PROPOSED LIGHT POLE
- WV - PROPOSED WATER VALVE
- EL - PROPOSED ELECTRIC LINE LOCATION
- WL - PROPOSED WATER LINE LOCATION
- SD - PROPOSED STORM DRAIN LOCATION
- EC - EXISTING CONCRETE
- EA - EXISTING ASPHALTE
- UL - APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE(S)
- WM - APPROXIMATE LOCATION OF WATER MAIN
- GL - APPROXIMATE LOCATION OF GAS LINE
- SSL - APPROXIMATE LOCATION OF SANITARY SEWER LINE
- EL - PROPOSED ELECTRIC LINE LOCATION
- WL - PROPOSED WATER LINE LOCATION
- SD - PROPOSED STORM DRAIN LOCATION
- CT - CONIFEROUS/DECIDUOUS TREE (INCHES) TRUNK DIAMETER-DRIPLINE RADIUS
- FL - FENCE LINE (AS NOTED)



Lot 1  
CIMARRON SOUTHWEST FILING NO. 2B  
(Plat Book D-3, Page 56)  
EPC APN 54074-01-019  
Owner: FONTANA ENTERPRISES INC



ADA ROUTE DETAIL  
SCALE: 1" = 20"

**UNIT DISTRIBUTION AND AREA SUMMARY**

	STUDIO, TYPE "A"	STUDIO, TYPE "B"	1 BDR, TYPE "A"	A BDR, TYPE "B"	2 BDR, TYPE "A"	2 BDR, TYPE "B"	TOTAL
1st FLOOR	1	1	1	8	1	1	13
2nd FLOOR	0	2	2	12	0	2	18
3rd FLOOR	0	2	1	14	0	2	19
<b>TOTAL</b>	<b>1</b>	<b>5</b>	<b>4</b>	<b>34</b>	<b>1</b>	<b>5</b>	<b>50</b>
<b>TYPE A</b>	<b>1</b>			<b>4</b>	<b>1</b>		<b>6</b>
<b>NET SQ.FT. TOTALS</b>	<b>433</b>	<b>2,120</b>	<b>2,152</b>	<b>18,292</b>	<b>665</b>	<b>3,325</b>	<b>26,987</b>

**GROSS SQ.FT.**

1st FLOOR	14,921
2nd FLOOR	14,736
3rd FLOOR	14,769
<b>TOTAL</b>	<b>44,426</b>

**SHEET INDEX:**

1. SDP - SITE DEVELOPMENT PLAN
2. A-001 - ARCHITECTURAL SITE PLAN
3. A-002 - ENLARGED SITE PLAN & DETAILS
4. A-201 - ELEVATIONS
5. A-202 - ELEVATIONS
6. C-1 - GRADING AND EROSION CONTROL PLAN COVER SHEET
7. C-2 - GRADING PLAN
8. C-1A - SITE PLAN
9. C-3 - PRIVATE STORM SYSTEM & DETENTION BASIN PLAN
10. C-4 - CIVIL DETAILS
11. C-5 - EROSION CONTROL PLAN
12. C-6 - EROSION CONTROL DETAILS
13. C-7 - UTILITY DEVELOPMENT PLAN
14. LS1 - LANDSCAPE PLAN
15. LS2 - LANDSCAPE DETAILS
16. PME-100 - PME UTILITY PLAN
17. ESL-100 - SITE LIGHTING PHOTOMETRICS
18. E-300 - SCHEDULE
19. G-010 - SIGNAGE
20. G-012 - ENUMERATION PLANS

**PROPERTY DESCRIPTION:** EPC APN 54074-07-047

Lot 2, WESTERN HILLS SUBDIVISION FILING NO. 2, County of El Paso, State of Colorado, according to the plat thereof recorded December 13, 1994 under Reception No. 164557 in Plat Book G-5 at Page 94 . . . 734 Western Drive.

**SITE DATA:**

R-4 MULTI-FAMILY RESIDENTIAL  
PERMITTED USE: APARTMENT HOUSES

**LOT AREA REQUIREMENTS:**

68 units, maximum  
50 units proposed

**BUILDING HEIGHT REQUIREMENTS:** 40'-0" maximum

**BUILDING AREA REQUIREMENTS:** None

**SETBACK REQUIREMENTS:**

Side Yard = 5'-0" minimum  
Front Yard = 20'-0" minimum  
Rear Yard = 25'-0" minimum  
Landscape (perimeter) = 10'-0" minimum

**MAXIMUM LOT COVERAGE: 35%**

Lot Size: 3.87 acres = 168,577.2 SQFT  
Impervious: 59,527 SQFT  
Open Space: 109,050.2 SQFT  
Percentage of Open Space: 65%

**PARKING REQUIREMENTS:**

1.1 parking spaces per Studio = 6.6 parking spaces  
1.5 parking spaces per One Bdrm = 57 parking spaces  
1.7 parking spaces per Two Bdrm = 10.2 parking spaces  
**TOTAL UNIT PARKING SPACES = 73.8 parking spaces**

Guest Parking - 1 parking space per 3 Units  
50 Units = 17 Spaces Required  
ADA Parking - 1 per Accessible, Type "A" Unit  
6 Units = 6 Spaces Required

Parking Required = 96.8 parking spaces  
**PARKING PROVIDED = 97 parking spaces**

**NOTES:**

1. For more detailed site information regarding building structure, grading and erosion control, utilities and landscaping, see compiled Bid Plan Set and/or Construction Plan Set.
2. The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

**OWNER:**

FREEDOM SPRINGS, LLC  
305 W. Commercial Street  
Springfield, MO 65804

**DEVELOPER/ARCHITECTURE:**

VECINO BOND GROUP, LLC  
Chris Ball, AIA NCARB (417) 720-1577, Ext. 2603  
305 W. Commercial Street  
Springfield, MO 65804

Areas shown as landscaping need to remain landscaped unless a revised site development plan is submitted and approved. The landscaped areas are part of the stormwater quality features associated with this site development plan.

Corporate Entity No. 20181126152

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jckbriger@hccaengineering.com

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**FREEDOM SPRINGS**  
 734 WESTERN DRIVE  
 COLORADO SPRINGS, EL PASO COUNTY,  
 COLORADO 80915

**REVISION**

REVISION	DESCRIPTION	DATE
1	PERMIT SET	03-05-18
2	ADDENDUM #1	10-26-18
3	ADDENDUM #2	11-01-18
		01-14-19

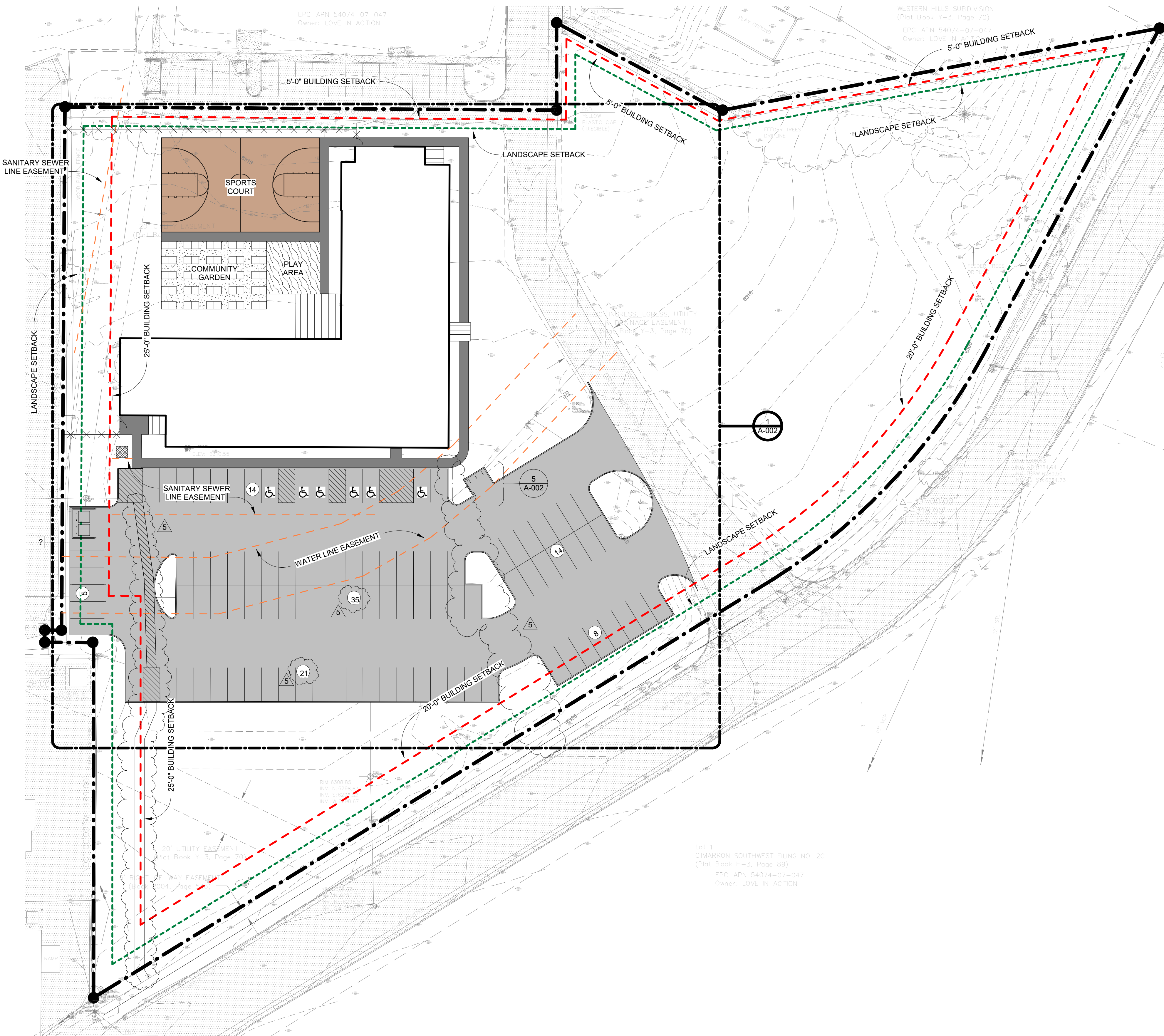
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**PRELIMINARY  
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CONSTRUCTION**

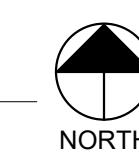
DATE: 03-05-18  
PROJECT NUMBER: LDC 15005  
DRAWN BY: SLGDVH  
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**SITE DEVELOPMENT PLAN**

**SDP**



1 SITE PLAN  
1" = 30'-0"



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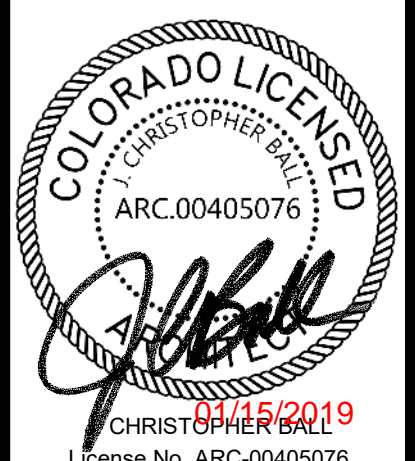
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dhostetter@ldc-inc.com

**FREEDOM SPRINGS**  
734 WESTERN DRIVE  
COLORADO SPRINGS, EL PASO COUNTY,  
COLORADO 80915

REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-19
▲	ADDENDUM 01	04-19-19
▲	ADDENDUM 02	10-26-19
▲	ADDENDUM 05	01-14-19

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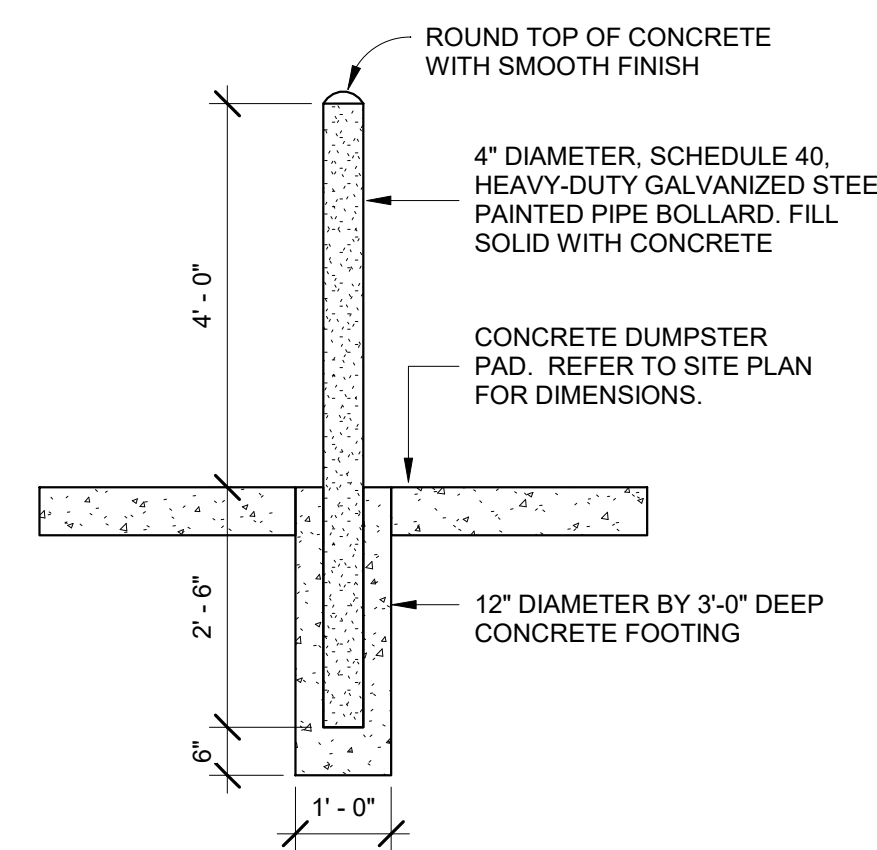
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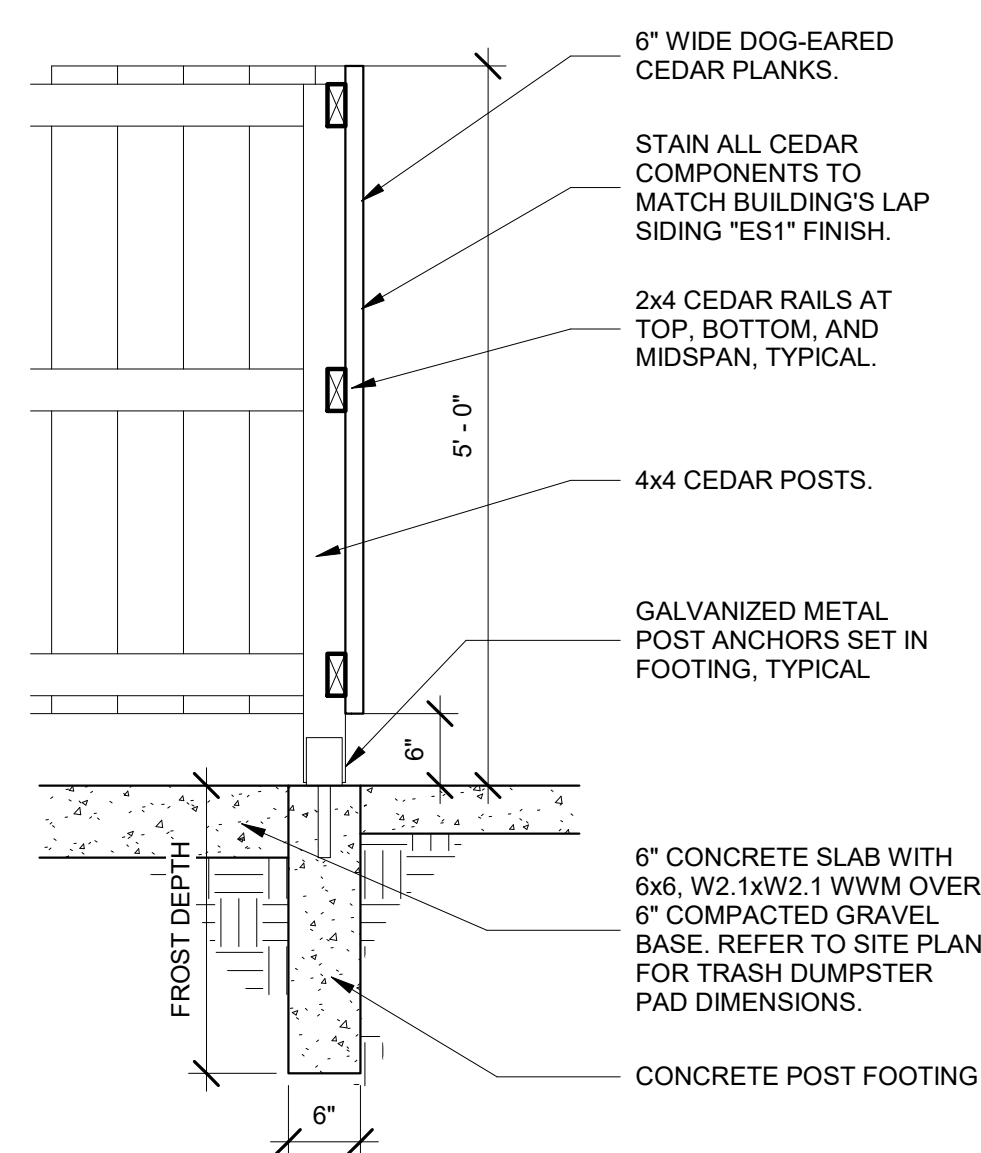
ARCHITECTURAL  
SITE PLAN  
**A-001**

**KEYNOTE LEGEND**

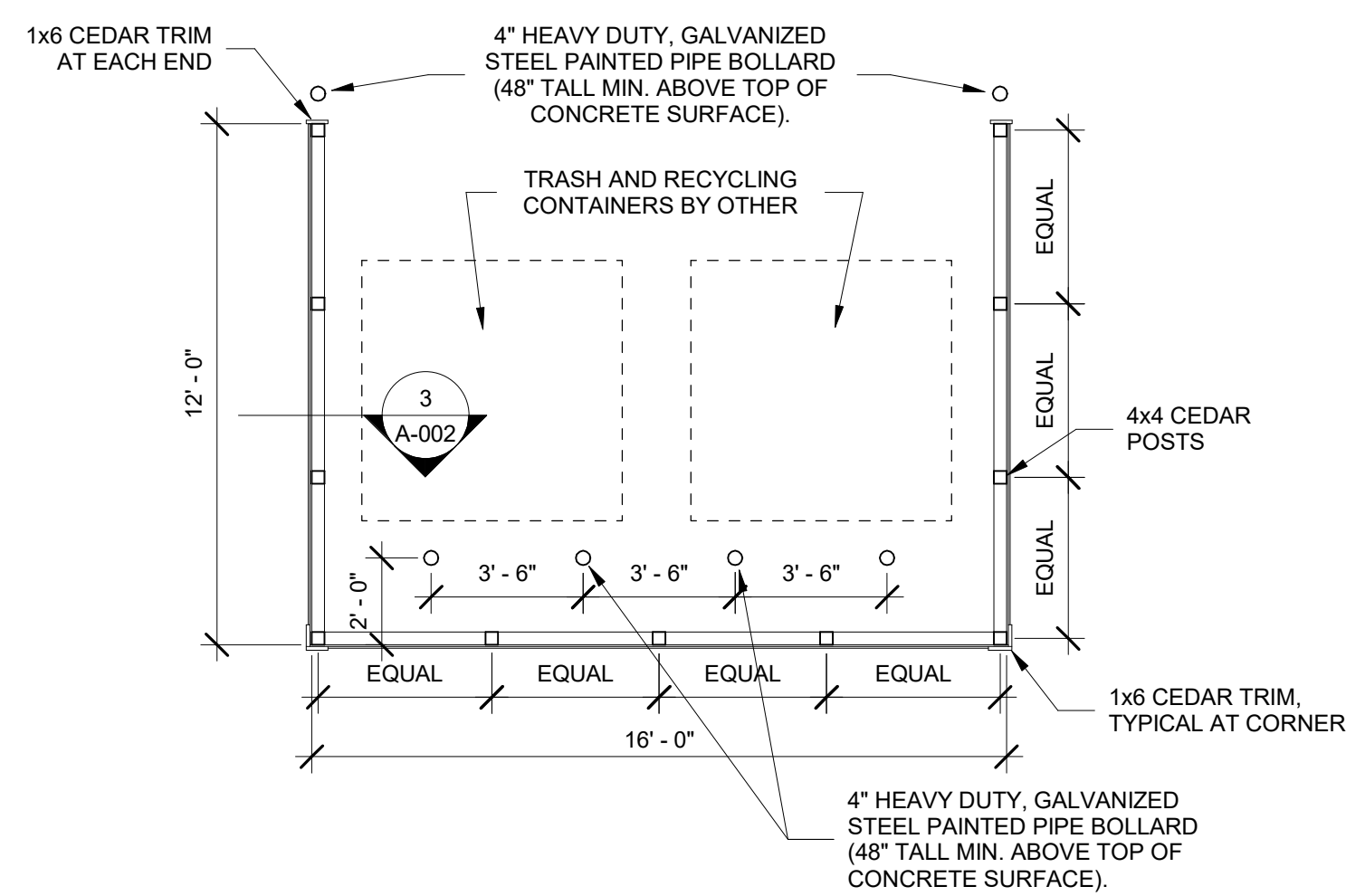
- 32.03 30 FOOT TALL COMMERCIAL-GRADE BLACK ANODIZED ALUMINUM TAPERED FLAGPOLE COMPLETE WITH EXTERNAL SINGLE REVOLVING TRUCK (STAINLESS STEEL BEARINGS, ALUMINUM SPINDLE, AND ALUMINUM PULLEY), HALYARD (WEATHERPROOF BRAIDED POLYPROPYLENE ROPE), SWIVEL SNAP HOOKS, GOLD ANODIZED BALL, HEAVY-DUTY CAST ALUMINUM CLEAT, MATCHING ALUMINUM BASE COLLAR, AND GALVANIZED STEEL GROUND SLEEVE ASSEMBLY. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION / FOOTING REQUIREMENTS. APPLY CONTINUOUS BEAD OF EXTERIOR GRADE CAULKING AROUND PERIMETER OF FLAGPOLE BASE PRIOR TO INSTALLING COLLAR.
- 32.04 U-SHAPED BICYCLE STORAGE RACK EQUAL TO "HOOP RACK" BY DERO (www.dero.com). 1.5" SCHEDULE 40 PIPE WITH THERMOPLASTIC FINISH (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOR PALETTE). IN-GROUND INSTALLATION. (3) RACKS TOTAL. REFER TO SITE PLAN FOR LOCATION AND SPACING REQUIREMENTS.
- 32.05 SIX FOOT TALL CEDAR PRIVACY FENCE PER DETAIL 32.02. FENCE PICKETS SHALL BE PLACED ALONG SOUTH FACE OF FENCE RAILS. SELF-CLOSING HINGES AND LEVER STYLE GATE LATCH EQUAL TO ASHLEY NORTON MD GATE LATCH WITH "MERIDIAN" (310) LEVER. ALL GATE HARDWARE TO HAVE MATTE BLACK FINISH. REFER TO SITE PLAN FOR GATE LOCATIONS. STAIN CEDAR FENCE AND GATES TO MATCH EXTERIOR BUILDING LAP SIDING "ES1".
- 32.06 REGULATION SIZE (HIGH SCHOOL) BASKETBALL COURT. COURT CONSTRUCTION SHALL CONSIST OF 3" THICK COMPACTED ASPHALT SURFACE, OVER 4" THICK COMPACTED AGGREGATE BASE, OVER COMPACTED AND LEVEL SUBGRADE. PROVIDE MINIMUM CROSS SLOPE OF 2% TO PAVEMENT EDGES FOR SURFACE DRAINAGE. COURT SHALL BE COMPLETE WITH PAINTED STRIPING AND (2) IN-GROUND MOUNTED BASKETBALL GOAL-POSTS.
- 32.07 POWERWASH BACKSIDE OF EXISTING WOOD PRIVACY FENCE ALONG WEST PROPERTY LINE. STAIN TO MATCH NEW CEDAR PRIVACY FENCE.
- 32.08 (25 TOTAL) 48"W x 96"L x 16"H RAISED GARDEN BEDS WITH CENTER DIVIDER. LAYOUT AND SPACING AS SHOWN. CONTRACTOR HAS THE OPTION TO CONSTRUCT BOXES WITH 2x WESTERN RED CEDAR SIDE PANELS AND REINFORCED CORNERS OR INSTALL A PRODUCT EQUAL TO GREENES FENCE COMPANY'S CEDAR RAISED GARDEN BED KIT. STAIN CEDAR TO MATCH PRIVACY FENCE. FILL AREAS IN BETWEEN GARDEN BEDS WITH 1.5" ROYAL GRANITE CRUSHED ROCK (3" DEEP) OVER LANDSCAPE FABRIC. INSTALL DRIP IRRIGATION LINES TO SERVE EACH GARDEN BED. ROUTE AND BURY IRRIGATION LINES AS REQUIRED BELOW CIRCULATION PATHS SO THEY ARE NOT TRIP HAZARDS. CONNECT TO MAIN IRRIGATION SYSTEM / MASTER CONTROL.
- 33.02 EXTEND NATURAL GAS LINE SERVICE TO WESTERN EDGE OF OUTDOOR COVERED PATIO (CENTERED WITH PATIO) AND STUB UP FOR CONNECTION TO OUTDOOR GAS GRILL.



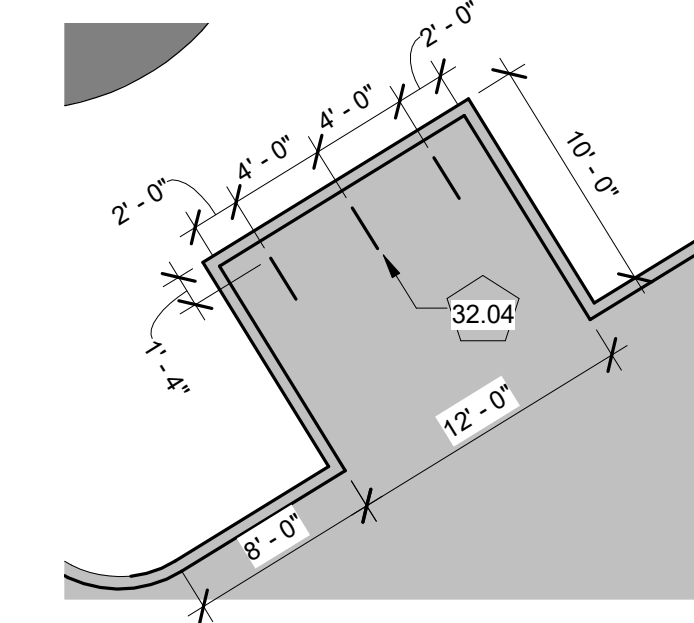
**2 BOLLARD DETAIL**  
1/2" = 1'-0"



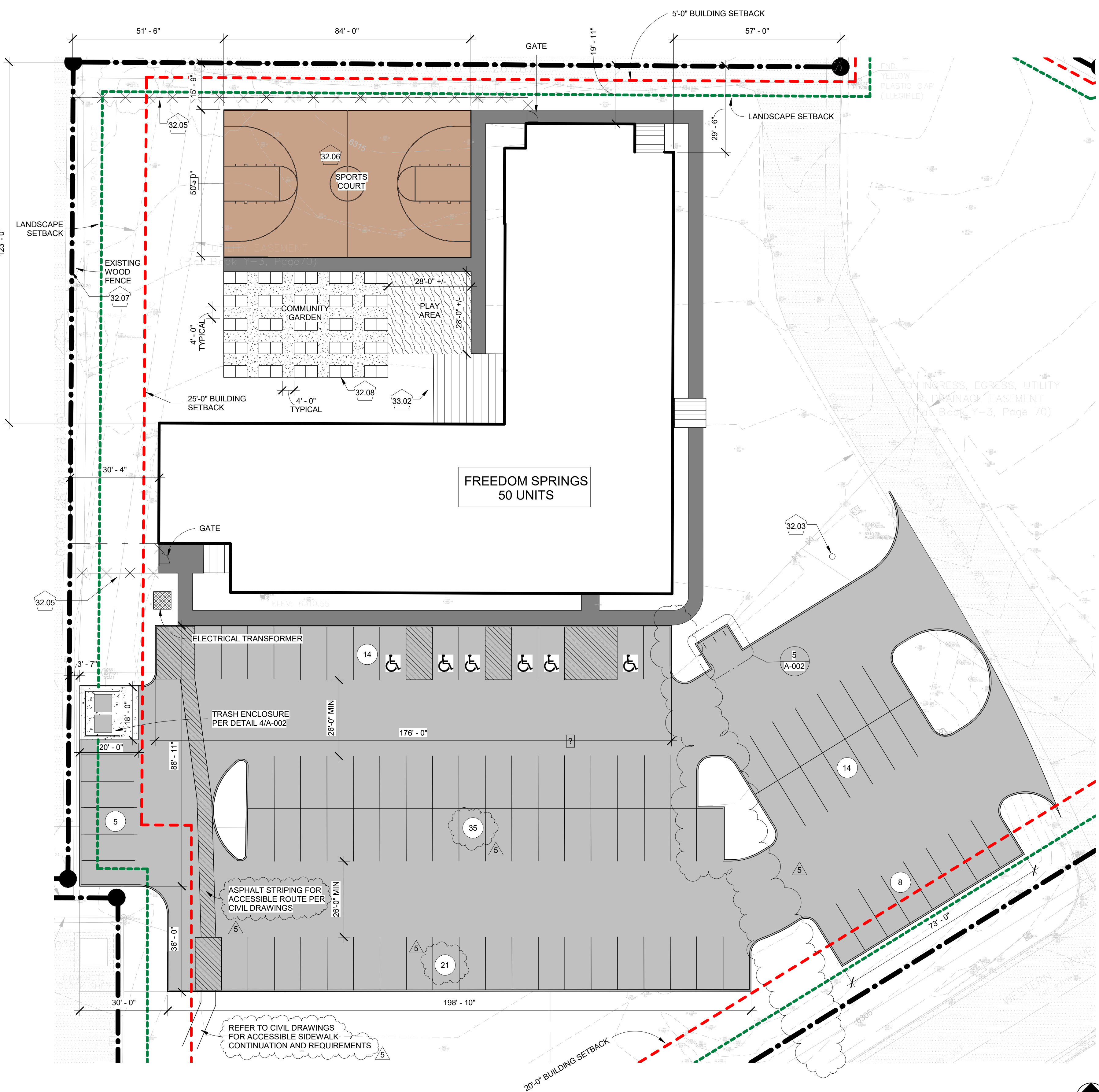
**3 TRASH ENCLOSURE - SECTION**  
3/4" = 1'-0"



**4 TRASH ENCLOSURE - PLAN VIEW**  
1/4" = 1'-0"



**5 BICYCLE PARKING DETAIL**  
1/8" = 1'-0"



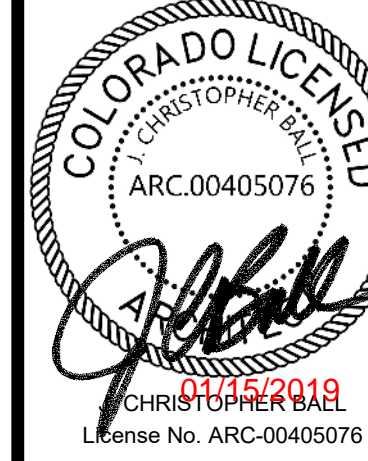
**1 ENLARGED SITE PLAN**  
1" = 20'-0"

Trash Enclosure will require a separate building permit through Pikes Peak Regional Building

**FREEDOM SPRINGS**  
734 WESTERN DRIVE  
COLORADO SPRINGS, EL PASO COUNTY,  
COLORADO 80915

REVISION	DESCRIPTION	DATE
PERMIT SET		03-05-18
ADDENDUM 01		04-18-18
ADDENDUM 02		05-28-18
ADDENDUM 05		01-14-19

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ENLARGED SITE PLAN & DETAILS

**A-002**

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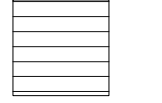
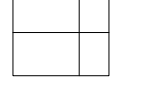

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dthostetter@ldc-inc.com

**GENERAL NOTES**

- REFER TO SHEET A-502 FOR MAIN ENTRANCE CANOPY DETAILS.

**EXTERIOR SIDING LEGEND**

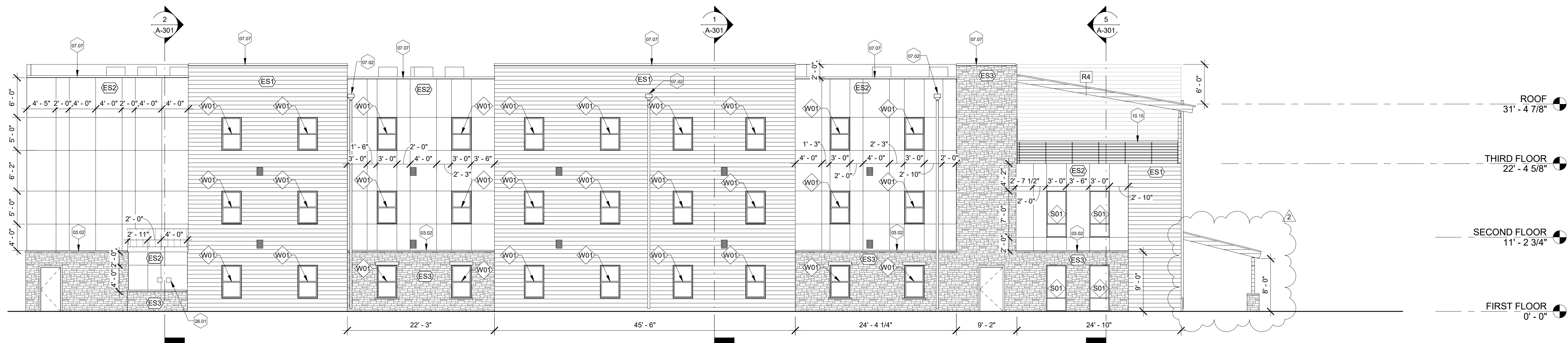
-  (ES1) 5/16" THICK BY 9.25" WIDE (8" EXPOSURE) FIBER CEMENT BOARD HORIZONTAL LAP SIDING WITH CEDAR WOOD GRAIN TEXTURE AND FACTORY APPLIED STAIN FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
-  (ES2) 5/16" THICK SMOOTH ARCHITECTURAL FIBER CEMENT BOARD VERTICAL PANEL SIDING WITH FACTORY APPLIED PRIMER AND FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL COLOR RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
-  (ES3) MANUFACTURED STONE VENEER EQUAL TO BORAL USA CULTURED STONE COLLECTION. STONE TO BE SELECTED FROM THE MANUFACTURER'S FULL LEDGESTONE COLLECTION. PROVIDE AND INSTALL CULTURED STONE MANUFACTURER'S ACCESSORY WINDOW LINTELS, WATERTABLE/SILLS, STONE VENEER ELECTRICAL BOXES, AND PIER CAPS AT COLUMN WRAPS.

**GENERAL EXTERIOR SIDING NOTES**

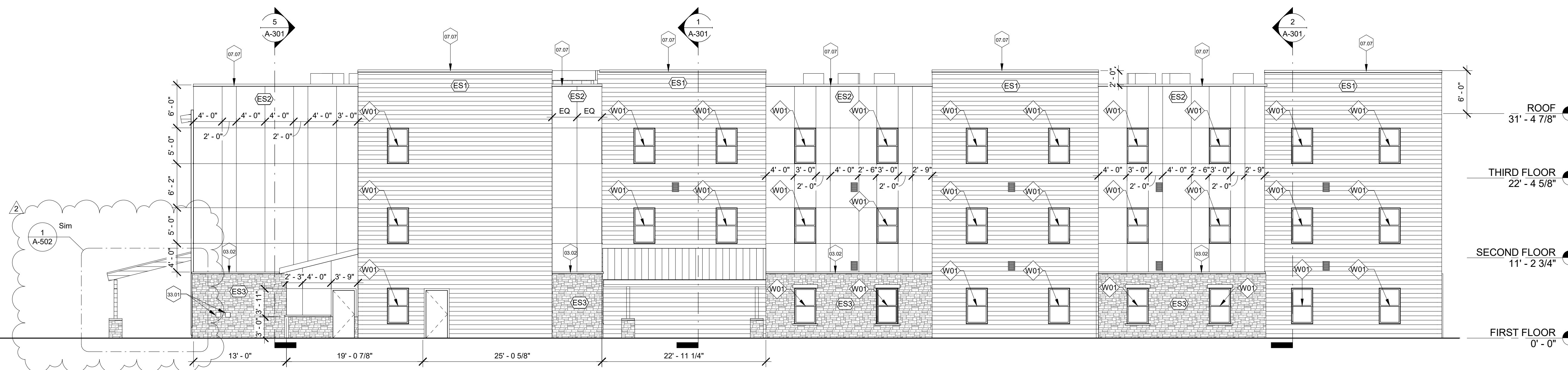
- FOLLOW THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR FIBER CEMENT BOARD HORIZONTAL LAP SIDING AND VERTICAL PANEL SIDING.
- AT HORIZONTAL FIBER CEMENT LAP SIDING, USE DOUBLE HOT DIPPED GALVANIZED OR STAINLESS STEEL BLIND FASTENERS PER THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- AT VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS, USE MANUFACTURER'S RECOMMENDED FASTENERS WITH COLOR-MATCHED FASTENER HEADS.
- HOLD BACK FIBER CEMENT BOARD SIDING 6" MINIMUM ABOVE FINISHED GRADE.
- LEAVE AN 1/8" GAP BETWEEN SIDING AND TRIM SURROUNDING DOORS AND WINDOWS.
- USE NON-CORROSIVE, COATED ALUMINUM OR METAL FLASHINGS THAT WILL NOT REACT WHEN IN CONTACT WITH FIBER CEMENT SIDING PRODUCTS.
- MAINTAIN 1/4" CLEARANCE BETWEEN SIDING AND HORIZONTAL FLASHINGS. DO NOT CAULK GAP ABOVE HORIZONTAL Z-FLASHING OVER DOOR AND WINDOW OPENINGS.
- USE NON-CORROSIVE BACKFLASHING AT ALL BUTT JOINTS.
- USE HIGH QUALITY, PAINTABLE OR COLOR-MATCHED, EXTERIOR-GRADE SEALANT THAT MEETS ASTM C-920 AND IS COMPATIBLE WITH FIBER CEMENT SIDING PRODUCT(S).
- INSTALL HORIZONTAL FIBER CEMENT LAP SIDINGS AND VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS COMPLETE WITH FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM EQUAL TO EASY TRIM REVEALS. INSTALL VERTICAL TRANSITION TRIMS BETWEEN LAP SIDINGS AND VERTICAL FIBER CEMENT BOARD PANELS INCLUDING INSIDE & OUTSIDE CORNERS (SQUARE EDGE), Z-TRIMS, AND J-TRIMS. INSTALL VERTICAL AND HORIZONTAL REVEALS AT ARCHITECTURAL FIBER CEMENT BOARD PANELS - REFER TO BUILDING ELEVATIONS FOR LOCATIONS. FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL PRODUCT RANGE.
- EXHAUST VENTS PER MEP DRAWINGS.

**KEYNOTE LEGEND**

- 03.02 MANUFACTURED STONE ACCENT BAND. REFER TO DETAIL 5/A-501
- 07.02 16" WIDE BY 10" TALL THROUGH WALL PRE-FINISHED SHEET METAL SCUPPER. DISCHARGE INTO PRE-FINISHED METAL CONDUCTOR HEAD AND 4"x5", SMOOTH, SQUARE PROFILE DOWNSPOUT COMPLETE WITH CONCEALED UNION SLEEVES AND MATCHING ELBOWS WHERE REQUIRED. ANCHOR WITH MATCHING WALL BRACKETS VERTICALLY SPACED 60" ON CENTER. MAX. TERMINATE DOWNSPOUT INTO ADAPTER / DOWNSPOUT BOOT CONNECTED TO UNDERGROUND STORMWATER PIPING. REFER TO CIVIL DRAWINGS FOR STORMWATER PIPING AND DETAILS.
- 07.07 PRE-FINISHED METAL (24 GA. MINIMUM) TAPERED PARAPET CAP FLASHING/COPING WITH CONTINUOUS CLEAT. INSTALL PRE-FORMED, ONE PIECE INSIDE AND OUTSIDE CORNERS. FACE OF PARAPET CAP TO BE 6" TALL MINIMUM. FINISH TO BE SELECTED FROM MANUFACTURER'S FULL COLOR SELECTION.
- 10.15 CABLE RAILING SYSTEM BY ULTRA-TEC. SEE DETAILS 5/A-502 AND 1/A-202.
- 26.01 ELECTRIC METER BANK, DISCONNECT, AND PULL BOX. CONTRACTOR TO COORDINATE ELECTRIC SERVICE, LOCATIONS, AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.
- 33.01 NATURAL GAS METER BANK. CONTRACTOR TO COORDINATE GAS SERVICE, METER SET / INSTALLATION, AND SERVICE CONNECTIONS.



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 NORTH ELEVATION**  
1/8" = 1'-0"

REVISION	DESCRIPTION	DATE
	PERMIT SET	5-5-18
1	Addendum 2	7-25-18

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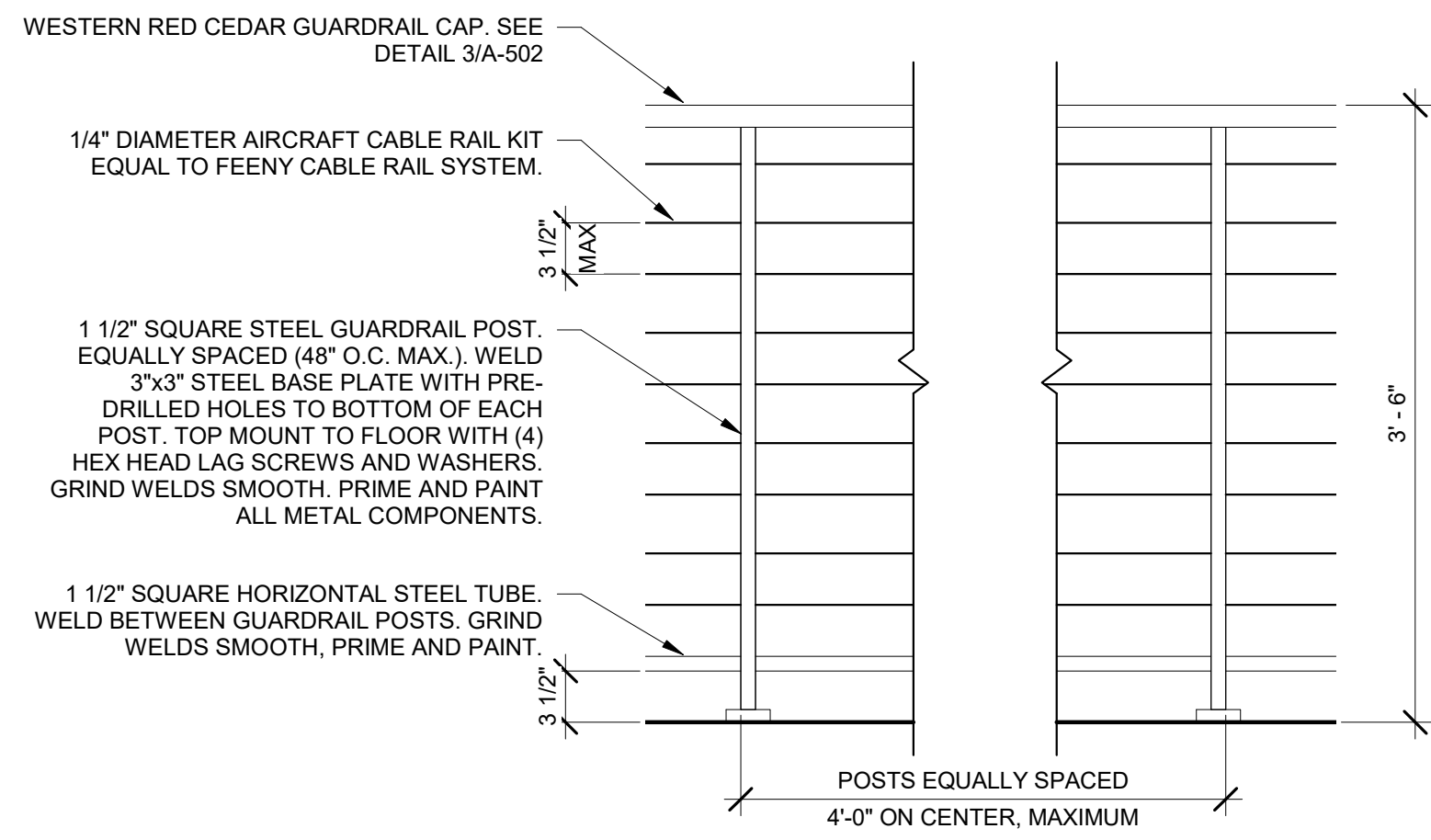
7/30/2018  
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ELEVATIONS

**A-201**

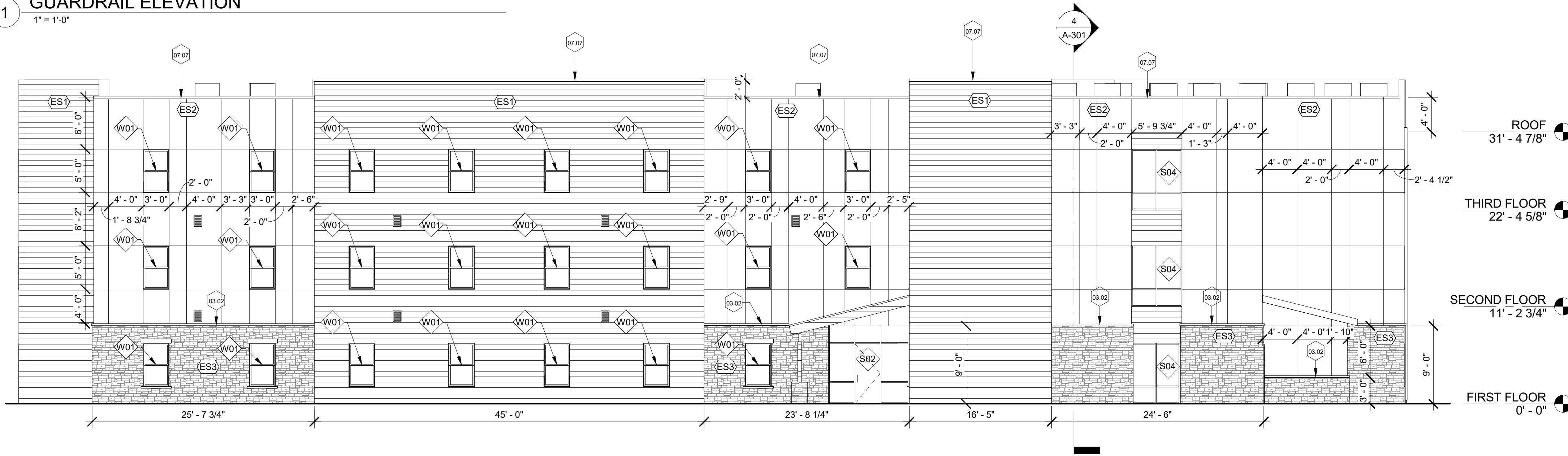


NOTE: GUARDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A LINEAR LOAD OF 50 PLF AND A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7. INTERMEDIATE RAILS AND BALUSTERS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 50 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7.

STEEL GUARDRAIL COMPONENTS SHALL HAVE AN EXTERIOR-GRADE POWDERCOAT FINISH. COLOR TO BE SELECTED BY ARCHITECT.

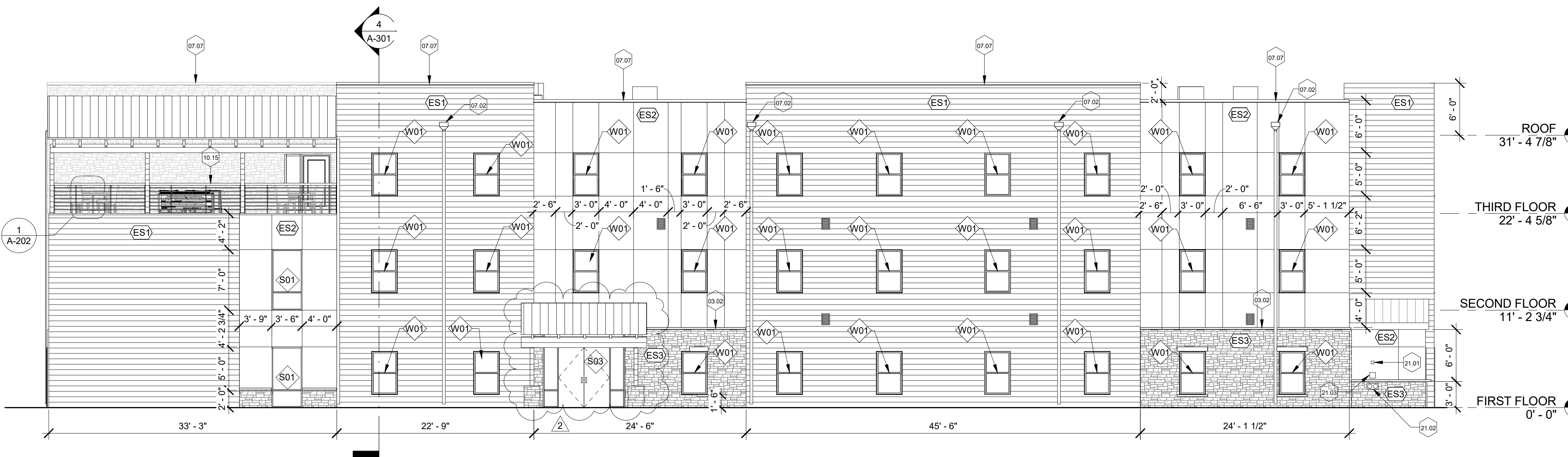
### 1 GUARDRAIL ELEVATION

1" = 1'-0"



### 2 WEST ELEVATION

1/8" = 1'-0"



### 3 EAST ELEVATION

1/8" = 1'-0"

### KEYNOTE LEGEND

- 03.02 MANUFACTURED STONE ACCENT BAND. REFER TO DETAIL 5/A-501
- 07.02 16" WIDE BY 10" TALL THROUGH WALL PRE-FINISHED SHEET METAL SCUPPER. DISCHARGE INTO PRE-FINISHED METAL CONDUCTOR HEAD AND 4"x5" SMOOTH, SQUARE PROFILE DOWNSPOUT COMPLETE WITH CONCEALED UNION SLEEVES AND MATCHING ELBOWS WHERE REQUIRED. ANCHOR WITH MATCHING WALL BRACKET'S VERTICALLY SPACED 60" ON CENTER. MAX. TERMINATE DOWNSPOUT INTO ADAPTER / DOWNSPOUT BOOT CONNECTED TO UNDERGROUND STORMWATER PIPING. REFER TO CIVIL DRAWINGS FOR STORMWATER PIPING AND DETAILS.
- 07.07 PRE-FINISHED METAL (24 GA. MINIMUM) TAPERED PARAPET CAP FLASHING/COPING WITH CONTINUOUS CLEAT. INSTALL PRE-FORMED, ONE PIECE INSIDE AND OUTSIDE CORNERS. FACE OF PARAPET CAP TO BE 6" TALL MINIMUM. FINISH TO BE SELECTED FROM MANUFACTURER'S FULL COLOR SELECTION.
- 10.15 CABLE RAILING SYSTEM BY ULTRA-TEC. SEE DETAILS 5/A-502 AND 1/A-202.
- 21.01 SURFACE-MOUNTED FIRE DEPARTMENT KNOX BOX RAPID ENTRY SYSTEM WITH TAMPER SWITCH EQUAL TO MODEL #3266 (DARK BRONZE) BY KNOX COMPANY. MOUNT TOP OF KNOX BOX 6'-0" MAX. ABOVE FINISHED GRADE / WALKING SURFACE. KNOX BOX SHALL CONTAIN A MASTER KEY THAT WILL OPEN ALL DOORS, A MASTER RFID / PROXIMITY CARD FOR ELECTRONICALLY CONTROLLED ACCESS DOORS, ELECTRONIC KEYPAD ACCESS CODE, A KEY TO THE MASTER ALARM PANEL(S), AND ALL OTHER ROOMS / EQUIPMENT AS REQUIRED BY THE FIRE MARSHAL AND LOCAL ORDINANCES. THE FIRE CHIEF AND FIRE MARSHAL SHALL HAVE A MASTER KEY FOR ALL KNOX BOXES LOCATED ON THE PROPERTY.
- 21.02 FIRE DEPARTMENT CONNECTION (FDC) INSTALLED IN ACCORDANCE WITH NFPA SYSTEM REQUIREMENTS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. INSTALL KNOX FIRE DEPARTMENT SECURITY CAPS ON EACH FIRE DEPARTMENT CONNECTION PER THE FIRE MARSHAL AND LOCAL ORDINANCES.
- 21.03 FURNISH AND INSTALL EXTERIOR-GRADE METAL SIGN AT EACH FIRE DEPARTMENT CONNECTION. SIGN SHALL CONSIST OF 1 INCH TALL (MINIMUM) RAISED LETTERS ON A CONTRASTING COLOR BACKGROUND THAT READ: FIRE DEPARTMENT CONNECTION OR FIRE HOSE CONNECTION OR FIRE DEPARTMENT SPRINKLER CONNECTION OR A COMBINATION THEREOF AS APPLICABLE.

### EXTERIOR SIDING LEGEND

- (ES1) 5/16" THICK BY 9.25" WIDE (8" EXPOSURE) FIBER CEMENT BOARD HORIZONTAL LAP SIDING WITH CEDAR WOOD GRAIN TEXTURE AND FACTORY APPLIED STAIN FINISH SYSTEM TO BE SELECTED FROM THE MANUFACTURER'S FULL RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
- (ES2) 5/16" THICK SMOOTH ARCHITECTURAL FIBER CEMENT BOARD VERTICAL PANEL SIDING WITH FACTORY APPLIED PRIMER AND FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL COLOR RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS
- (ES3) MANUFACTURED STONE VENEER EQUAL TO BORAL USA CULTURED STONE COLLECTION. STONE TO BE SELECTED FROM THE MANUFACTURER'S FULL LEDGESTONE COLLECTION. PROVIDE AND INSTALL CULTURED STONE MANUFACTURER'S ACCESSORY WINDOW LINTELS, WATERABLE/SILLS, STONE VENEER ELECTRICAL BOXES, AND PIER CAPS AT COLUMN WRAPS.

### GENERAL EXTERIOR SIDING NOTES

1. FOLLOW THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR FIBER CEMENT BOARD HORIZONTAL LAP SIDING AND VERTICAL PANEL SIDING.
2. AT HORIZONTAL FIBER CEMENT LAP SIDING, USE DOUBLE HOT DIPPED GALVANIZED OR STAINLESS STEEL BLIND FASTENERS PER THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
3. AT VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS, USE MANUFACTURER'S RECOMMENDED FASTENERS WITH COLOR-MATCHED FASTENER HEADS.
4. HOLD BACK FIBER CEMENT BOARD SIDING 6" MINIMUM ABOVE FINISHED GRADE.
5. LEAVE AN 1/8" GAP BETWEEN SIDING AND TRIM SURROUNDING DOORS AND WINDOWS.
6. USE NON-CORROSIVE, COATED ALUMINUM OR METAL FLASHINGS THAT WILL NOT REACT WHEN IN CONTACT WITH FIBER CEMENT SIDING PRODUCTS.
7. MAINTAIN 1/4" CLEARANCE BETWEEN SIDING AND HORIZONTAL FLASHINGS. DO NOT CAULK GAP ABOVE HORIZONTAL Z-FLASHING OVER DOOR AND WINDOW OPENINGS.
8. USE NON-CORROSIVE BACKFLASHING AT ALL BUTT JOINTS.
9. USE HIGH QUALITY, PAINTABLE OR COLOR-MATCHED, EXTERIOR-GRADE SEALANT THAT MEETS ASTM C-920 AND IS COMPATIBLE WITH FIBER CEMENT SIDING PRODUCT(S).
10. INSTALL HORIZONTAL FIBER CEMENT LAP SIDINGS AND VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS COMPLETE WITH FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM EQUAL TO EASY TRIM REVEALS. INSTALL VERTICAL TRANSITION TRIMS BETWEEN LAP SIDINGS AND VERTICAL FIBER CEMENT BOARD PANELS INCLUDING INSIDE & OUTSIDE CORNERS (SQUARE EDGE), Z-TRIMS, AND J-TRIMS. INSTALL VERTICAL AND HORIZONTAL REVEALS AT ARCHITECTURAL FIBER CEMENT BOARD PANELS - REFER TO BUILDING ELEVATIONS FOR LOCATIONS. FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL PRODUCT RANGE.
11. EXHAUST VENTS PER MEP DRAWINGS.

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REVISION	DESCRIPTION	DATE
	PERMIT SET	3-5-18
△	Addendum 2	7-25-18

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DATE: MARCH 5, 2018  
 PROJECT NUMBER: 17150  
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ELEVATIONS  
**A-202**

STANDARD EL PASO COUNTY GRADING & EROSION CONTROL PLAN NOTES

- 1. CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM PLANNING AND COMMUNITY DEVELOPMENT (PCD) AND A PRECONSTRUCTION INSPECTION IS HELD WITH PLANNING AND COMMUNITY DEVELOPMENT (PCD) INSPECTIONS.
2. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
3. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
4. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE DESIGNATED STORMWATER MANAGEMENT PLAN. THE SWMP SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
5. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY PCD INSPECTIONS STAFF.
6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS AN INTERIM STAGE FOR MORE THAN 60 DAYS SHALL ALSO BE MULCHED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME I AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
8. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
9. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
11. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR OVER THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
12. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
13. EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
14. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DETERMINED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
15. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSING BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
18. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
19. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
20. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
21. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
22. INDIVIDUALS SHALL COMPLY WITH THE 'COLORADO WATER QUALITY CONTROL ACT' (TITLE 25, ARTICLE 8, CRS), AND THE 'CLEAN WATER ACT' (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404 FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
23. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
24. PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
25. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
26. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC. AND SHALL BE CONSIDERED A PART OF THESE PLANS.
27. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT: COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, 6000 CHERRY CREEK DRIVE SOUTH, DENVER, CO 80244-1338, WITH FORMS LINK

STANDARD EL PASO COUNTY CONSTRUCTION PLAN NOTES

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER EGM SCAN 34'S. 'PAVEMENT' DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY PCD AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY PCD, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNERS (P) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

STANDARD EL PASO COUNTY SIGNING AND STRIPING NOTES

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE 'C' SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND COLLECTOR ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH 1/2" WHITE BORDER THAT IS NOT RECESSED.
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-414-B REGARDING USE OF THE P2 TUBULAR STEEL POST SUBBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PERFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALK LINES SHALL BE 12" WIDE AND 8" LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 1.5MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT OF TRANSPORTATION PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

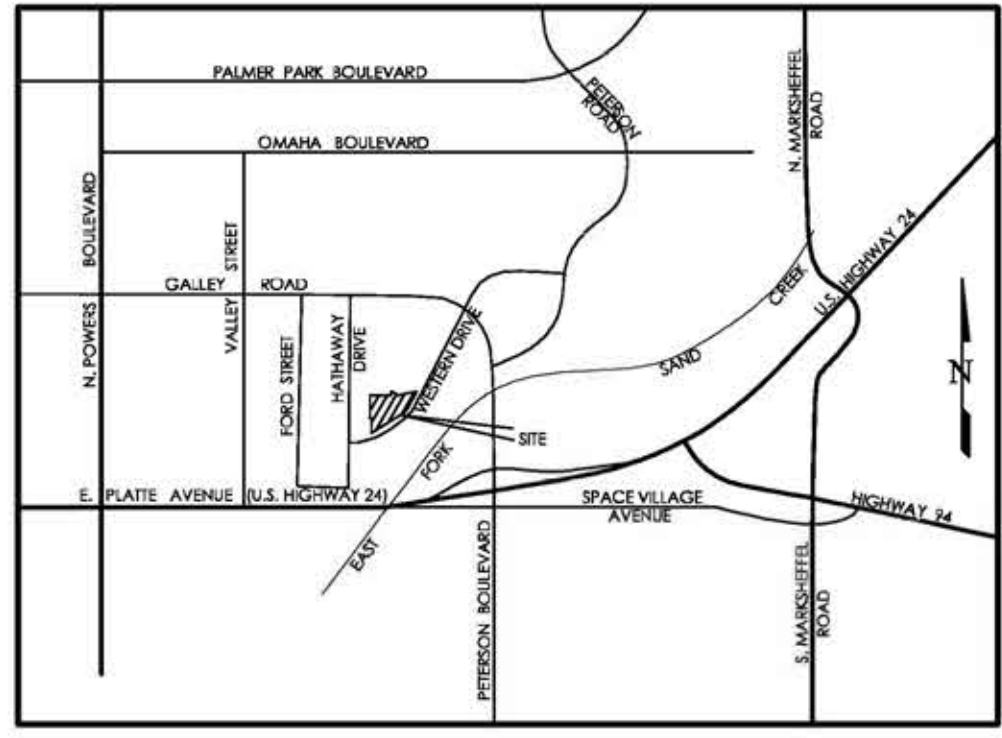
CONSTRUCTION SCHEDULE

GRADING & OTHER EARTH DISTURBANCES FEBRUARY, 2019
THROUGH OCTOBER, 2019
FINAL STABILIZATION JUNE, 2020

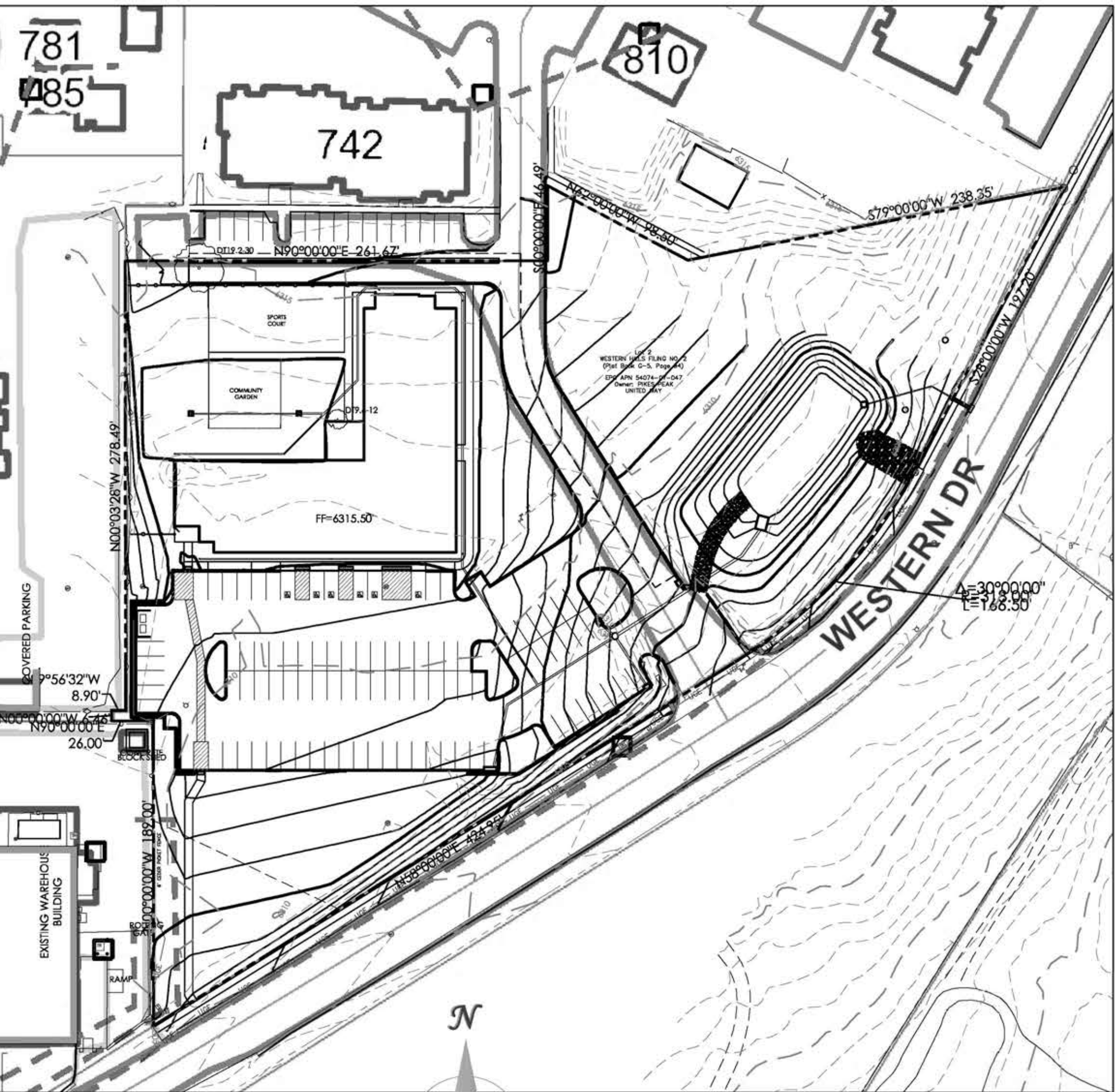
GENERAL GRADING NOTES:

- 1. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN DRAWN FROM AVAILABLE RECORDS AND/OR SURFACE EVIDENCE. THE LOCATION OF ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND LOCATIONS HAVE NOT BEEN PERFORMED. THEREFORE, THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE. ALL UTILITIES SHALL BE LOCATED PRIOR TO ANY EARTH WORK OR DIGGING (1-800-922-1987). THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL SUBSURFACE UTILITY OWNERS PRIOR TO BEGINNING WORK TO DETERMINE LOCATION OF UTILITY FACILITIES.
3. EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR. DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
4. M.V.E., INC. OR THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR USE OF THIS GRADING PLAN FOR ANY OTHER PURPOSE THAN OVER LOT GRADING OPERATIONS.
5. ALL WEEDS, TRASH, DEBRIS, RUBBLE, BROKEN ASPHALT, ORGANIC MATERIAL (EXCLUDING TOPSOIL) AND REFUSE, OR OTHER MATERIAL WHICH WOULD NOT BE DELETERIOUS AS FILL MATERIAL OR INCAPABLE OF SUPPORTING THE BUILDING, VEHICULAR AND/OR OVERBURDEN LOADS TO BE IMPOSED SHALL BE CLEARED, GRUBBED OR EXCAVATED AS THE CASE MAY DICTATE PRIOR TO GRADING AND SHALL BE REMOVED FROM SITE AND DISPOSED OF LEGALLY.
6. CONTOUR INTERVAL FOR EXISTING AND PROPOSED CONTOUR LINES IS 1.0'.
7. PROPOSED CONTOURS SHOWN ARE FINISH GRADES AND READ TO TOP OF PAVEMENT AND FINISH SOIL GRADE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT GRADED AREAS FROM, AND AS NECESSARY RESTORE TO GRADE, ANY RUTS, WASHES OR OTHER CHANGES FROM THE DESIGN ELEVATIONS SHOWN HEREON, UNTIL GRADING WORK IS ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL ENDEAVOR NOT TO DISTURB ANY OFF-SITE AREAS. THE CONTRACTOR SHALL RESTORE TO THE ORIGINAL CONDITION, ADJACENT (OFF-SITE) PROPERTY DISTURBED BY HIS OPERATIONS.
10. THE GENERAL CONTRACTOR SHALL STRIP TOPSOIL FROM CONSTRUCTION AREAS AND STOCKPILE TOPSOIL AT AREA SHOWN ON THIS PLAN. PLACE TOPSOIL WITH APPROPRIATE EROSION CONTROL, AND IN A MANNER SO AS TO NOT CONFLICT WITH OTHER TRADES AND CONSTRUCTION PROCESS.
11. ALL GRADING SHALL BE DONE TO INSURE POSITIVE DRAINAGE AWAY FROM FOUNDATIONS AND STRUCTURES.
12. FINISHED GRADE OF ALL PERVIOUS EARTH SURFACES THAT CONTACT FOUNDATION WALLS SHALL BE A MINIMUM OF 6" BELOW ANY UNTREATED WOOD MATERIAL OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN.
13. PERVIOUS EARTH SURFACES SHALL HAVE FOUNDATION WALLS AT A MINIMUM RATE OF 6" IN 10 FEET (5%) FOR THE FIRST 10 FEET ADJACENT TO THE FOUNDATION OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN.
14. CONCRETE OR OTHER IMPERVIOUS SURFACES THAT CONTACT FOUNDATION WALLS SHALL SLOPE AWAY FROM ALL FOUNDATION WALLS AT A MINIMUM RATE OF 1/4" PER FOOT (2.00%) OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN.
15. ANY FILL MATERIAL REQUIRED TO BRING GRADES UP TO PROPOSED ELEVATIONS SHALL BE PROVIDED BY THE CONTRACTOR.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING TOPSOIL THROUGHOUT THE LAWN AND PLANTING AREAS ACCORDING TO APPROVED LANDSCAPE PLANS, BY OTHERS.
17. THE NATURE OF WORK PROPOSED BY THIS PLAN IS GRADING AND THE EXTENT OF SAID PROPOSED GRADING IS SHOWN BY THE EXISTING AND PROPOSED CONTOURS HEREON.
18. CONTRACTOR SHALL USE MECHANICAL METHODS TO GO FROM THE EXISTING TO PROPOSED CONTOURS IN ACCORDANCE WITH THE GRADING PLAN. QUALITY CONTROL OF SOILS AND GRADING OPERATION WILL BE AS DIRECTED BY OWNERS GEOTECHNICAL ENGINEER. ALL NEW CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY IS TO CONFORM TO THE SPECIFICATIONS OF EL PASO COUNTY.
19. ALL NEW CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY IS TO CONFORM TO THE SPECIFICATIONS OF EL PASO COUNTY.
20. ALL STORM DRAIN OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE HDPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR WITH PVC FITTINGS. ALL STORM DRAIN INLETS SHALL BE PRE-CAST. ALL STORM DRAIN CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH EL PASO COUNTY SPECIFICATIONS.
21. CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING HELD PRIOR TO CONSTRUCTION WITH EPC-PCD, ENGINEER, AND CONTRACTOR IN ATTENDANCE.
22. CONTRACTOR IS RESPONSIBLE FOR ALL OF HIS OPERATIONS ON THE SITE. CONTRACTOR SHALL OBSERVE ALL SAFETY AND OSHA REGULATIONS DURING CONSTRUCTION OPERATIONS. TRENCH WIDTHS AND SLOPE ANGLES SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD AND ACCORDING TO SAFETY AND OSHA REGULATIONS.

GRADING & EROSION CONTROL PLANS
FOR
FREEDOM SPRINGS
SOUTHEAST 1/4 SECTION 7, TOWNSHIP 14 SOUTH, RANGE 67 WEST
734 WESTERN DRIVE,
EL PASO COUNTY, COLORADO



VECINO DESIGN
305 W. Commercial St., Springfield MO: 65803
417-720-1577 | www.vecinodsgn.com
Corporate Entity No. 3018126822
CONSULTANTS
Structural Engineer: HENRICH ENGINEERING, INC.
Landscape Architect: J.W.L. LLC
Civil Engineer: M.V.E., Inc.
Land Planning and Surveying: Land Development Consultants, Inc.



LEGEND
EXISTING: 5985 INDEX CONTOUR, 84 INTERMEDIATE CONTOUR, CONCRETE AREA, ASPHALT AREA, CURB AND GUTTER, BUILDING/BUILDING OVERHANG, DECK, RETAINING WALL - SOLID/ROCK, SIGN, BOLLARD, WOOD FENCE, CHAIN LINK FENCE, BARBED WIRE FENCE, TREE (EVERGREEN/DECIDUOUS) SHRUB, ROCK.
PROPOSED: 5985 INDEX CONTOUR, 84 INTERMEDIATE CONTOUR, CONCRETE AREA, ASPHALT AREA, CURB AND GUTTER, BUILDING/BUILDING OVERHANG, DECK, RETAINING WALL - SOLID/ROCK, SIGN, BOLLARD, TOP OF WALL/GRADE AT BOTTOM OF WALL, TOP OF CURB/FLOWLINE, SPOT ELEVATION FL = FLOWLINE, TSW = TOP OF SIDEWALK, FINISHED FLOOR ELEVATION.

OWNERS STATEMENT
THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

RICHARD MANZARDO AUTHORIZED REPRESENTATIVE
FREEDOM SPRINGS, LLC
01/16/2019 DATE

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMANCE WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED DRAINAGE PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR DRAINAGE FACILITY IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENCE, ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE AND SPECIFICATIONS.

DAVID R. GORMAN, P.E. 31672
FOR AND ON BEHALF OF THE ENGINEER
01/16/2019 DATE

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JENNIFER IRVINE, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR
DATE

PCD PROJECT NO. PPR-18-040

SHEET INDEX

PLAN SET SHEET NO. SHEET TITLE MVE DRAWING NO.
C-1 GRADING AND EROSION CONTROL PLAN COVER SHEET 61090-GEC-CS
C-1A SITE PLAN 61090-GEC-SP
C-2 GRADING PLAN 61090-GEC-GP
C-3 PRIVATE STORM SYSTEM AND EXTENDED DETENTION SAND FILTER BASIN PLAN 61090-GEC-PD
C-4 CIVIL DETAILS 61090-GEC-CD
C-5 EROSION CONTROL PLAN 61090-GEC-EC
C-6 EROSION CONTROL DETAILS 61090-GEC-ED
C-7 UTILITY DEVELOPMENT PLAN 61090-GEC-UP

MAP NOTES

- 1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 2, WESTERN HILLS FILING NO. 2, ASSUMED TO BEAR N0°00'00"W.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY LAND DEVELOPMENT CONSULTANTS, INC. PROJECT NUMBER 18005. TOPOGRAPHIC SURVEY DATED JAN 26, 2018. ELEVATIONS SHOWN ARE RELATIVE TO THE CITY OF COLORADO SPRINGS CONTROL NETWORK (FMS DATUM).
3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THE MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

CALL BEFORE YOU DIG... 48 HOURS BEFORE YOU DIG. CALL UTILITY LOCATIONS FOR LOCATING AND MARKING GAS, ELECTRIC AND WATER AND WASTEWATER.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITH FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 080410754G, EFFECTIVE DECEMBER 7, 2018.

FREEDOM SPRINGS
734 WESTERN DRIVE
COLORADO SPRINGS, EL PASO COUNTY,
COLORADO 80915

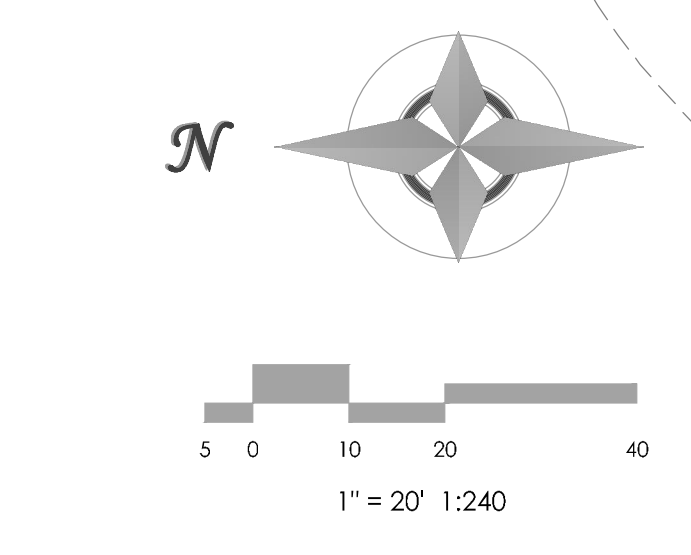
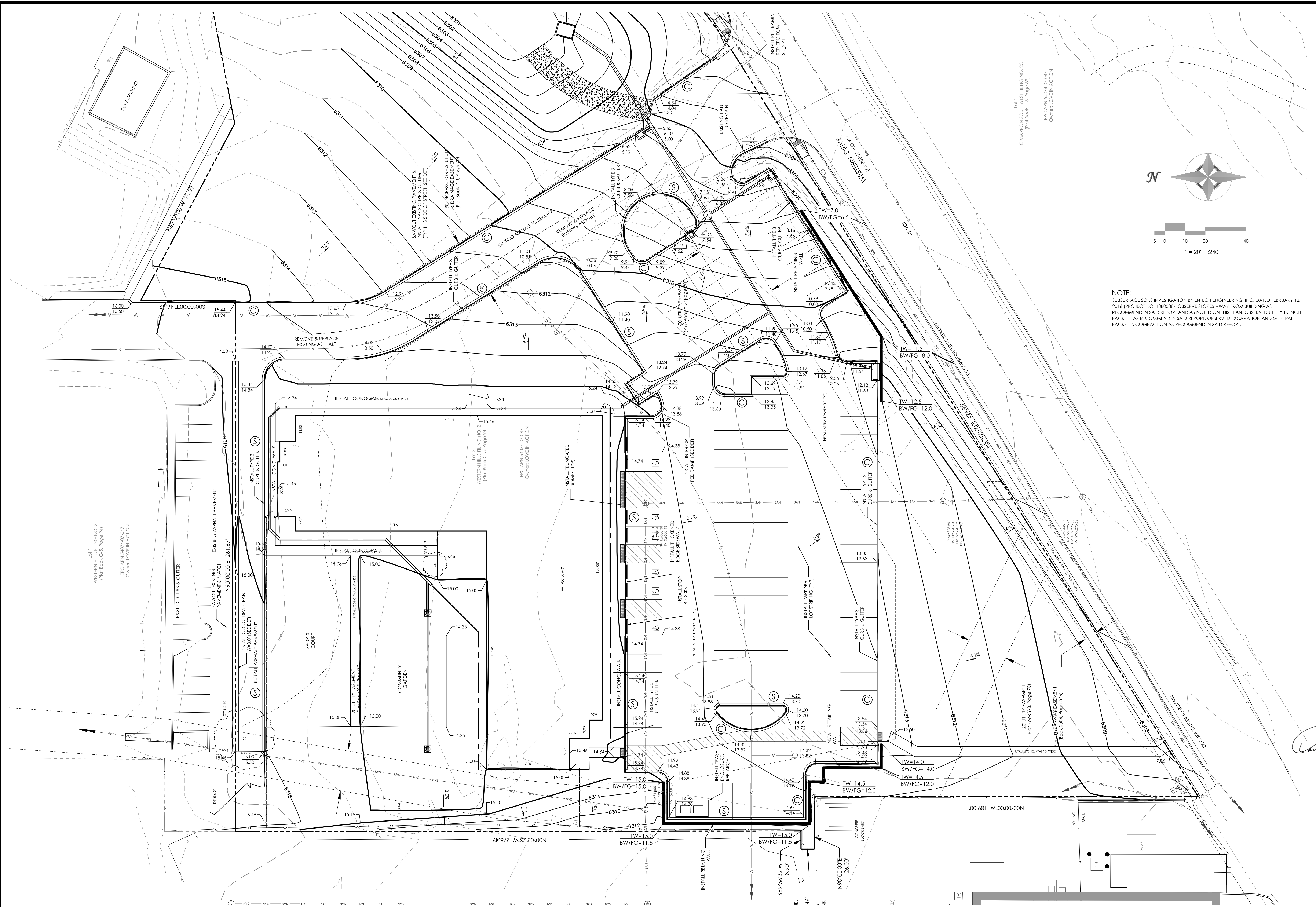
REVISION DESCRIPTION DATE
2 Addendum #2 1/25/18
3 Addendum #3 11/09/18
4 County Resubmittal 1/29/19
5 Addendum #3 11/12/18
6 County Resubmittal 1/29/19

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DATE August 29, 2018
PROJECT NUMBER: 1750
MVE PROJ NO.: 61090 DWG. CON-GEC-CS
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Grading and Erosion Control Plan Cover Sheet

C-1



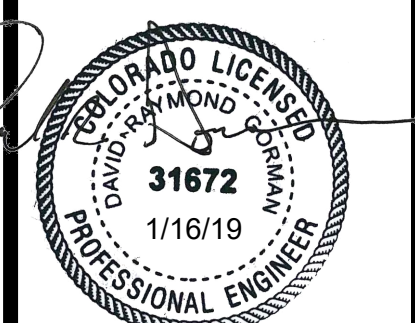
NOTE:  
 SUBSURFACE SOILS INVESTIGATION BY ENTECH ENGINEERING, INC., DATED FEBRUARY 12, 2016 (PROJECT NO. 1888098). OBSERVE SLOPES AWAY FROM BUILDING AS RECOMMEND IN SAID REPORT AND AS NOTED ON THIS PLAN. OBSERVED UTILITY GENERAL BACKFILL AS RECOMMEND IN SAID REPORT, OBSERVED EXCAVATION AND GENERAL BACKFILLS COMPACTION AS RECOMMEND IN SAID REPORT.

- CONSULTANTS**
- Structural Engineer**  
**HODA ENGINEERING, INC.**  
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**FREEDOM SPRINGS**  
 734 WESTERN DRIVE  
 COLORADO SPRINGS, EL PASO COUNTY,  
 COLORADO 80915

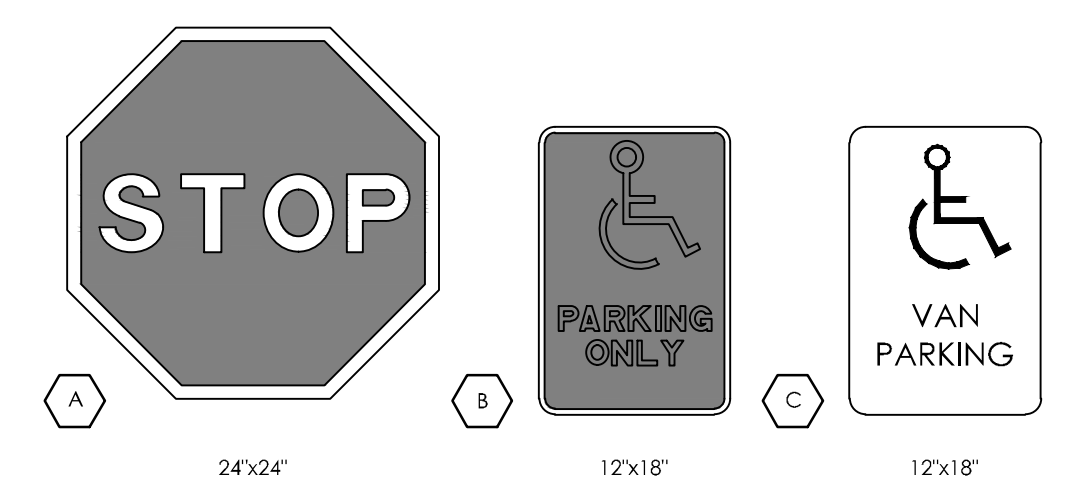
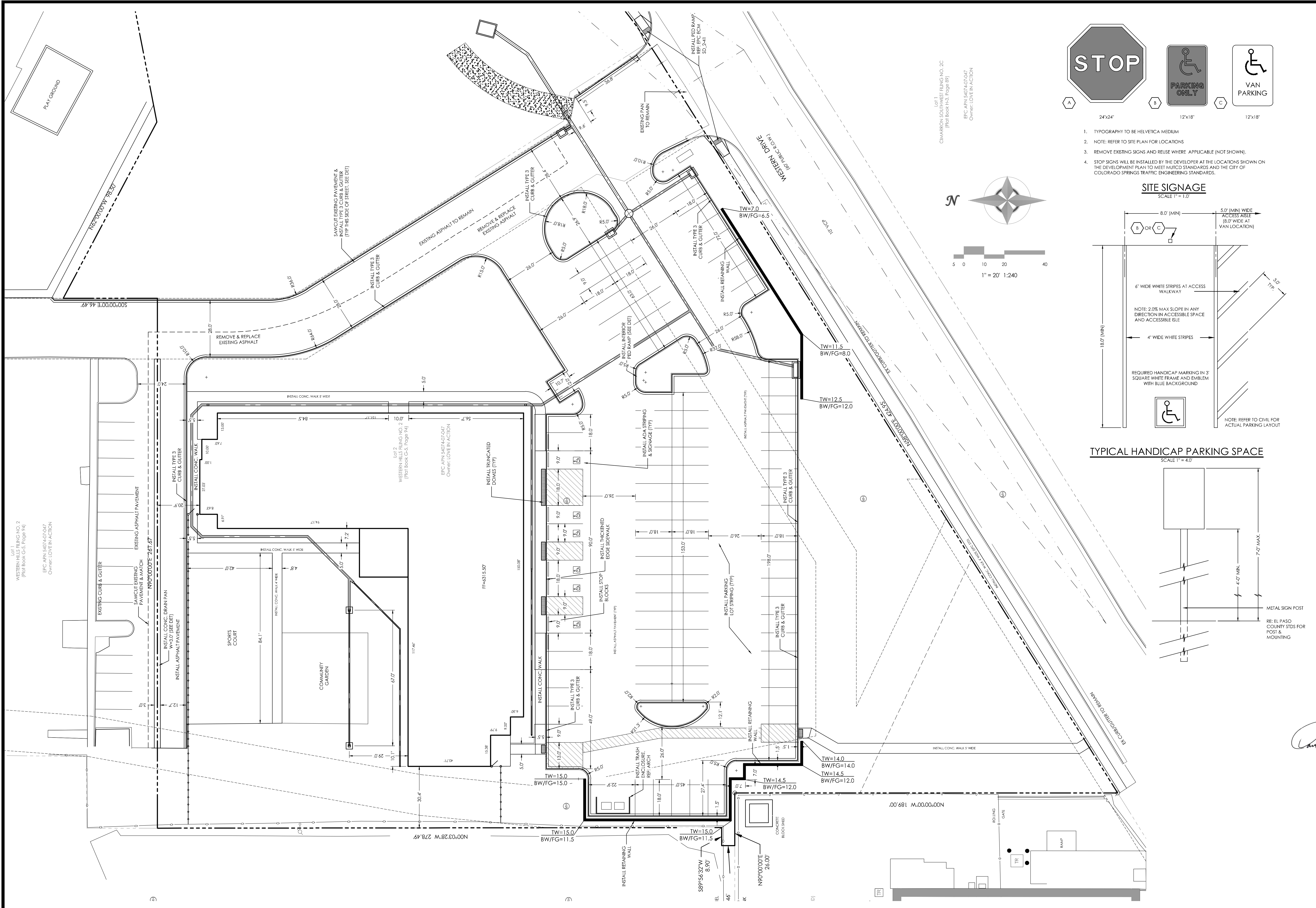
REVISION	DESCRIPTION	DATE
2	Addendum #2	10/26/18
3	Addendum #3	11/02/18
4	County Resubmittal	11/09/18
5	Addendum #5	11/12/18
6	County Resubmittal	11/13/19

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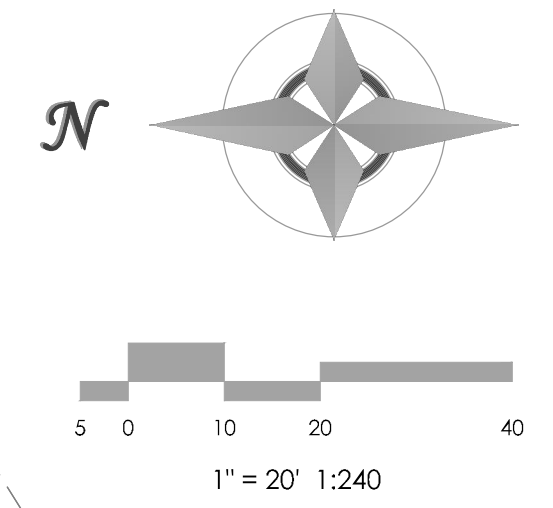


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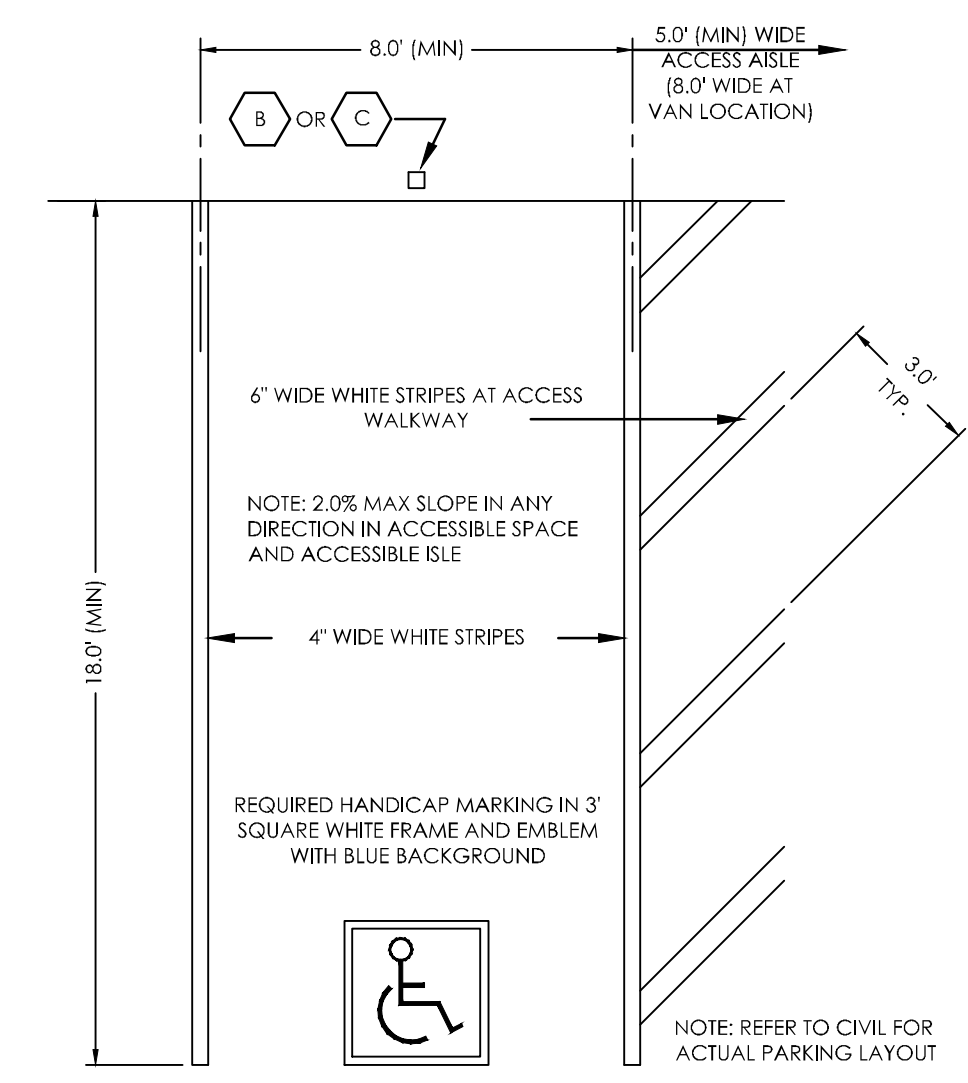
DATE: August 20, 2018  
 PROJECT NUMBER: 17150  
 MVE/PROJ. NO. 61990 DWG.-CON/GEQ-GP  
 COPYRIGHT © 2018 VECINO DESIGN BUILD



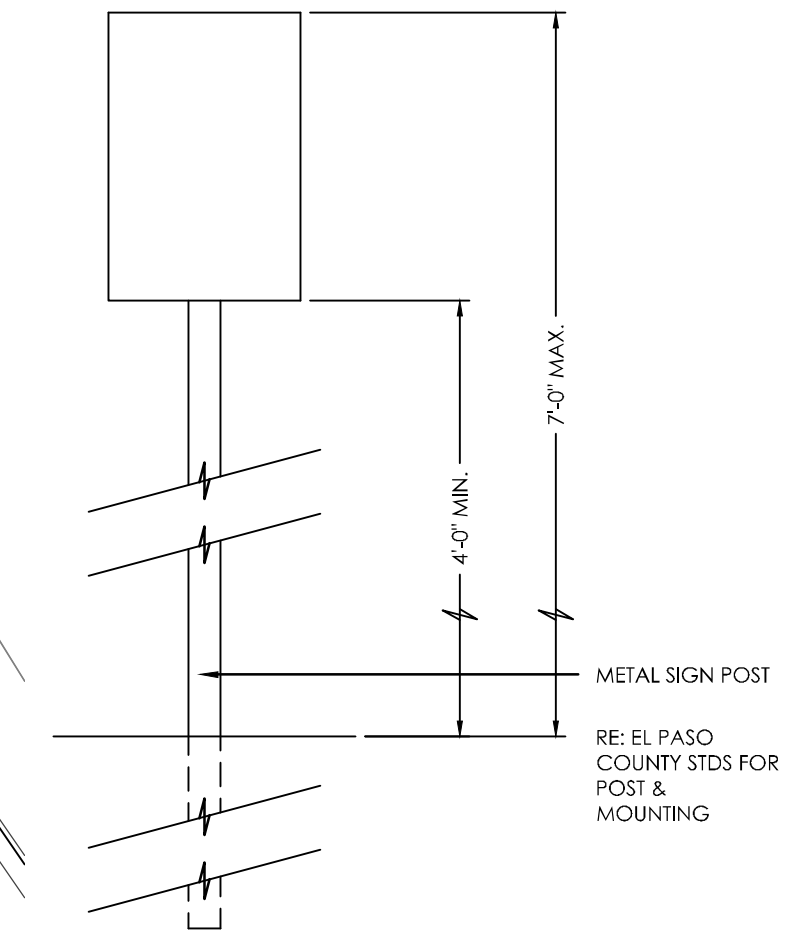
1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. NOTE: REFER TO SITE PLAN FOR LOCATIONS
3. REMOVE EXISTING SIGNS AND REUSE WHERE APPLICABLE (NOT SHOWN).
4. STOP SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS AND THE CITY OF COLORADO SPRINGS TRAFFIC ENGINEERING STANDARDS.



**SITE SIGNAGE**  
SCALE 1" = 10'



**TYPICAL HANDICAP PARKING SPACE**  
SCALE 1" = 4.0'



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**FREEDOM SPRINGS**  
734 WESTERN DRIVE  
COLORADO SPRINGS, EL PASO COUNTY,  
COLORADO 80915

REVISION	DESCRIPTION	DATE
2	Addendum #2	10/24/18
3	Addendum #3	11/02/18
5	County Resubmittal	10/09/18
5	Addendum #5	11/12/18
6	County Resubmittal	11/12/19

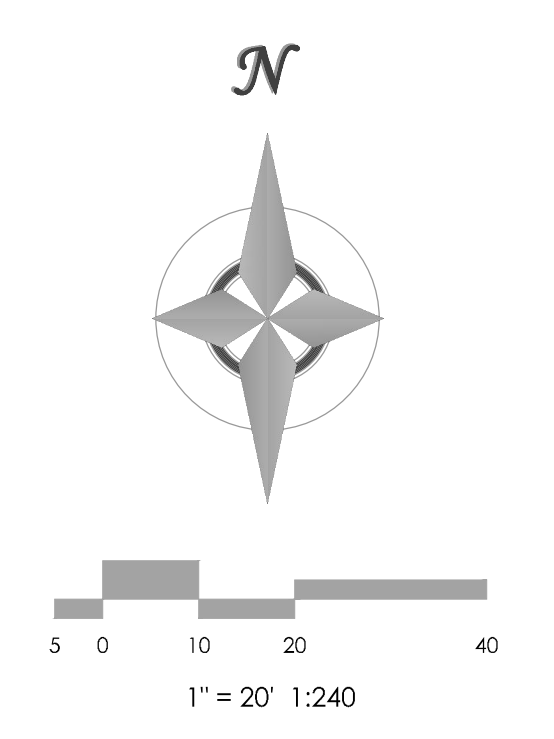
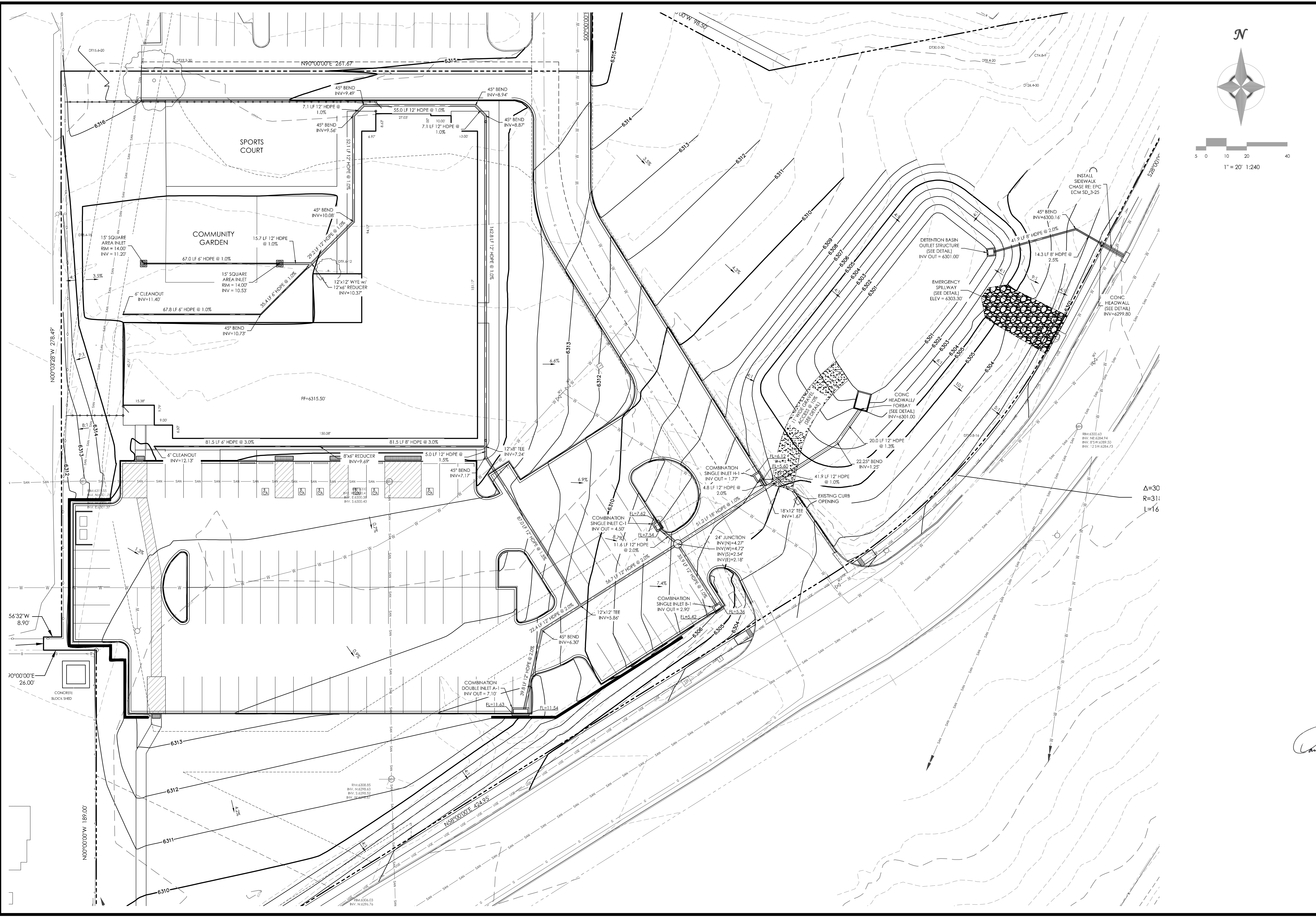
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DATE: August 20, 2018  
PROJECT NUMBER: 17150  
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 417.720.1577 | www.vecinogroup.com  
 Corporate Entity No. 2018128152

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 krobinger@hcdiaengineering.com

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 jwlandarch@gmail.com

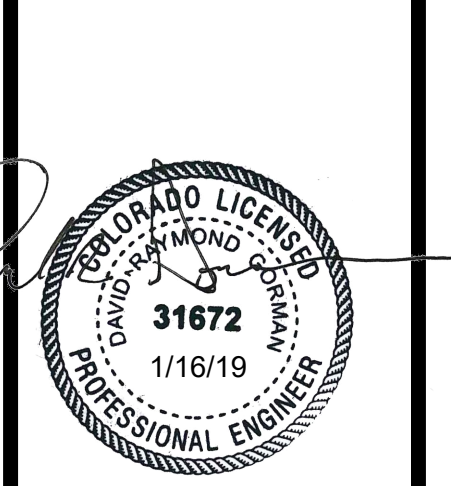
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 mve@mvcivil.com

**Land Planning and Surveying**  
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**FREEDOM SPRINGS**  
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 COLORADO 80915

REVISION	DESCRIPTION	DATE
2	Addendum #2	10/26/18
3	Addendum #3	11/02/18
4	County Resubmittal	10/09/18
5	Addendum #5	11/02/18
6	County Resubmittal	11/15/19

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Private Storm System &  
 Detention Basin Plan

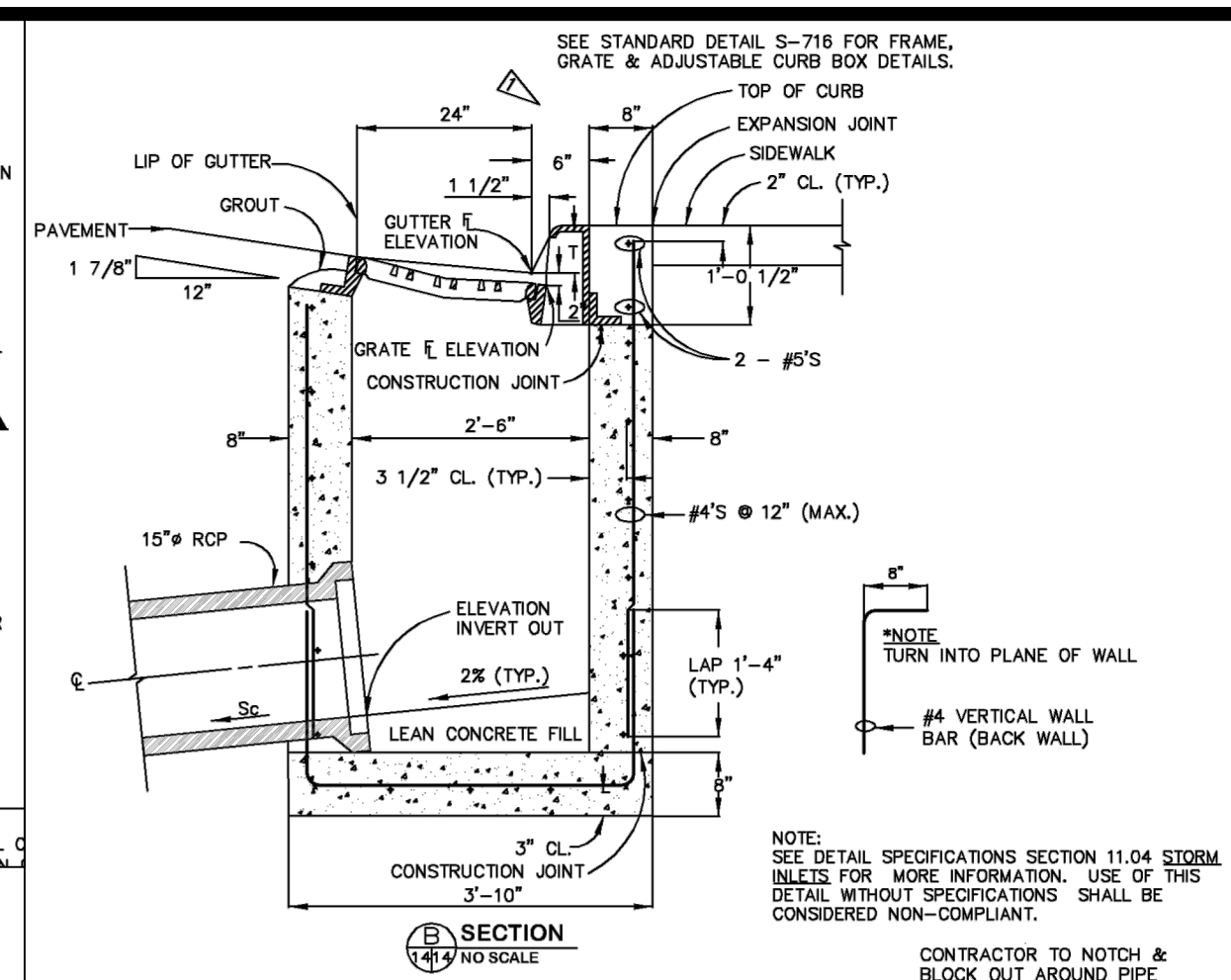
**C-3**

REVISION	DESCRIPTION	DATE
1	ADDENDUM #1	10/26/18
2	ADDENDUM #2	11/02/18
3	ADDENDUM #3	11/09/18
4	COUNTY RESUBMITTAL	11/09/18
5	ADDENDUM #5	11/12/18

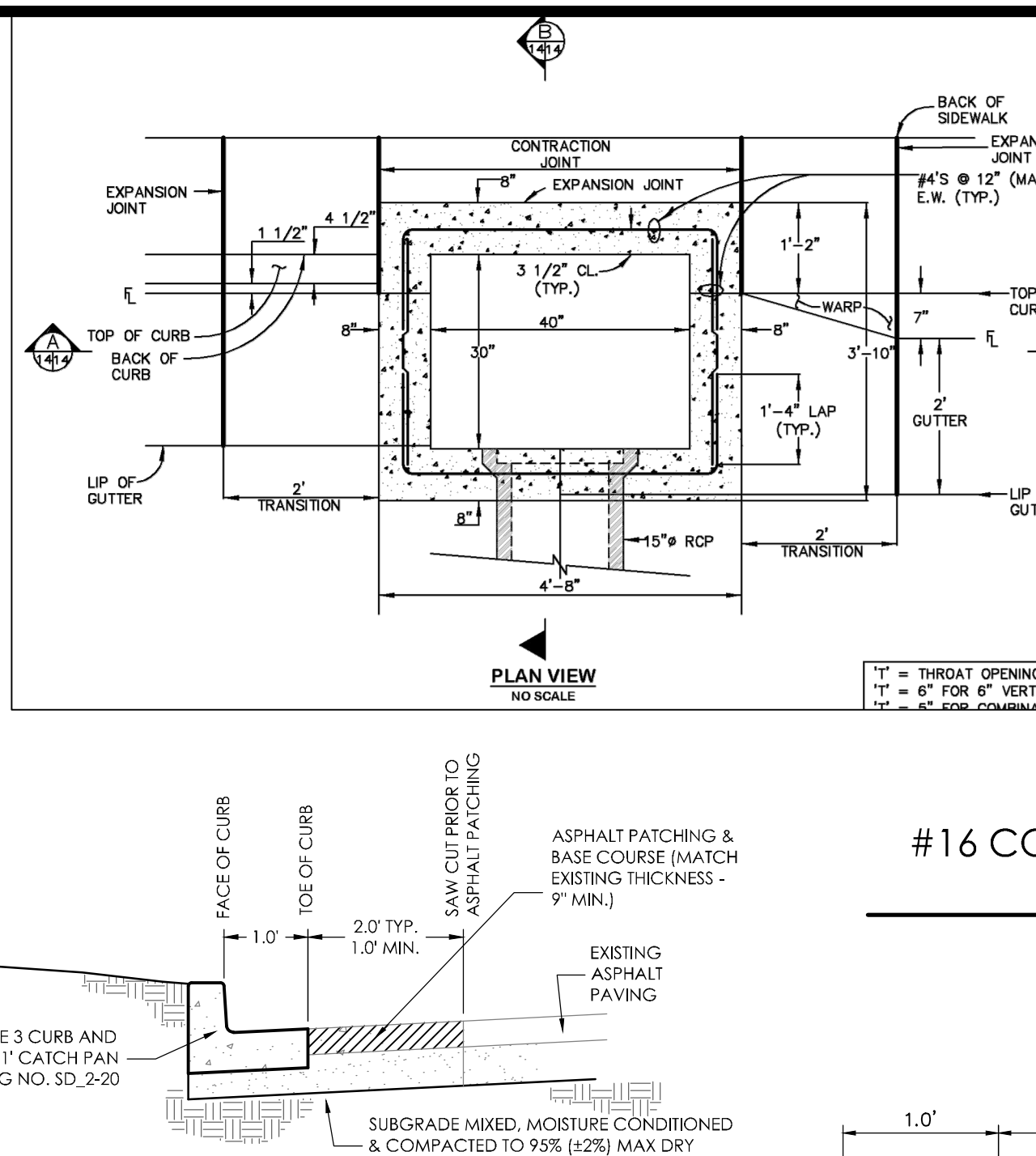
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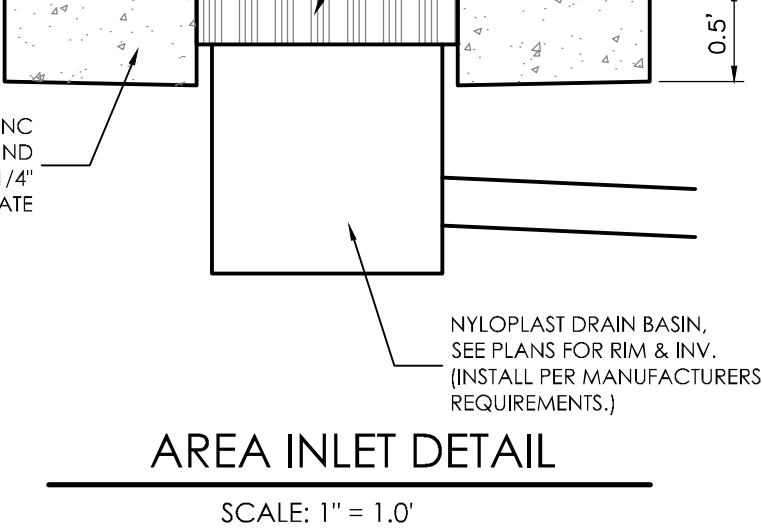
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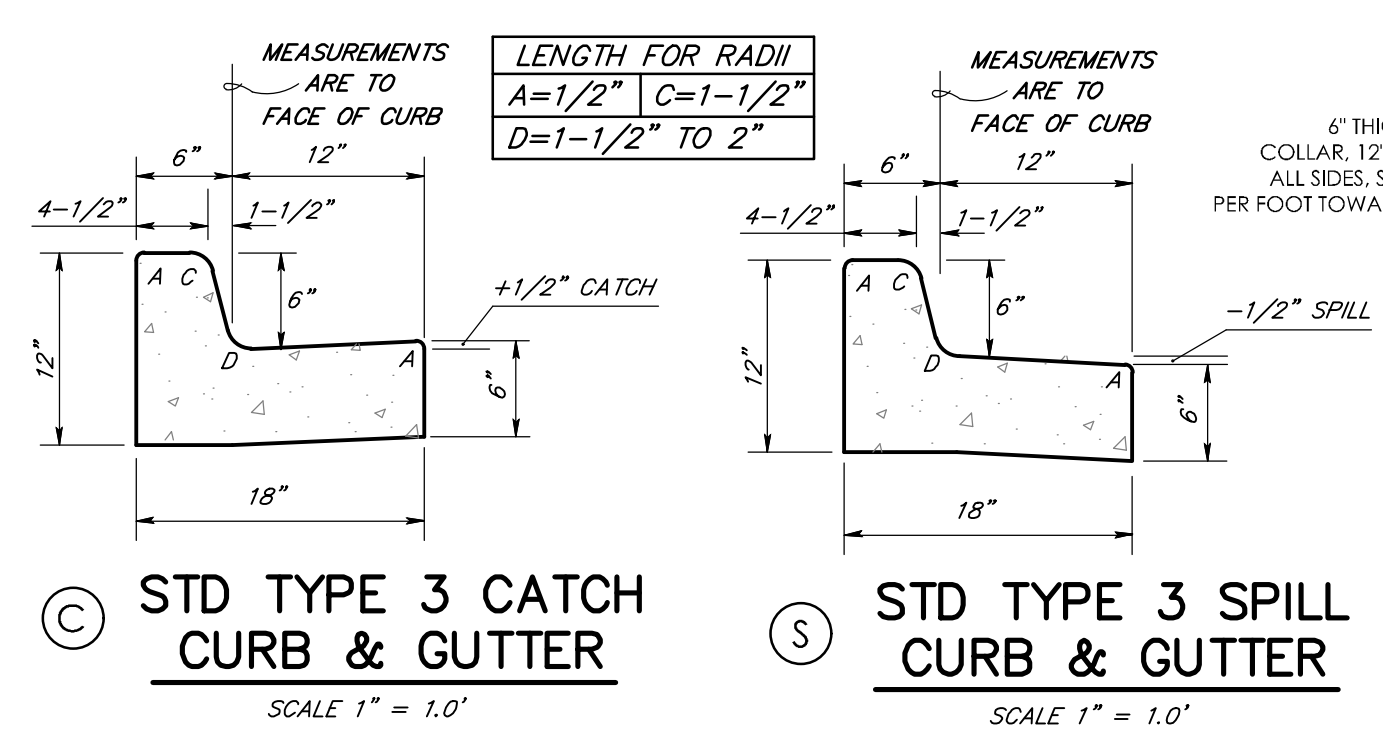
#16 COMBINATION INLET DETAIL  
SCALE = NOT TO SCALE



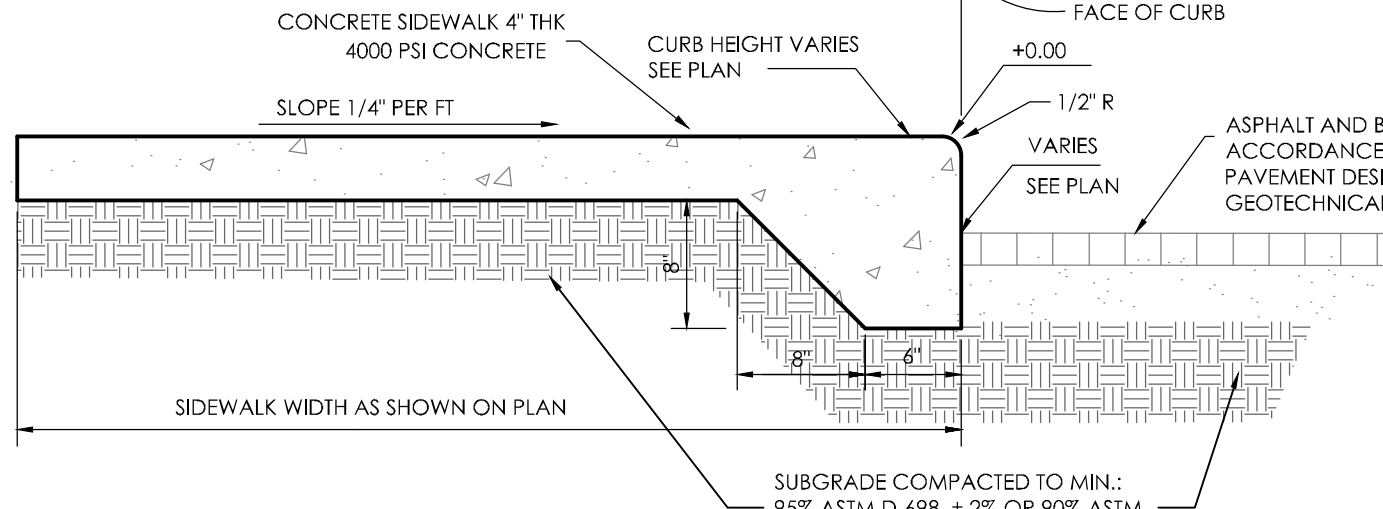
SAWCUT & CURB PLACEMENT  
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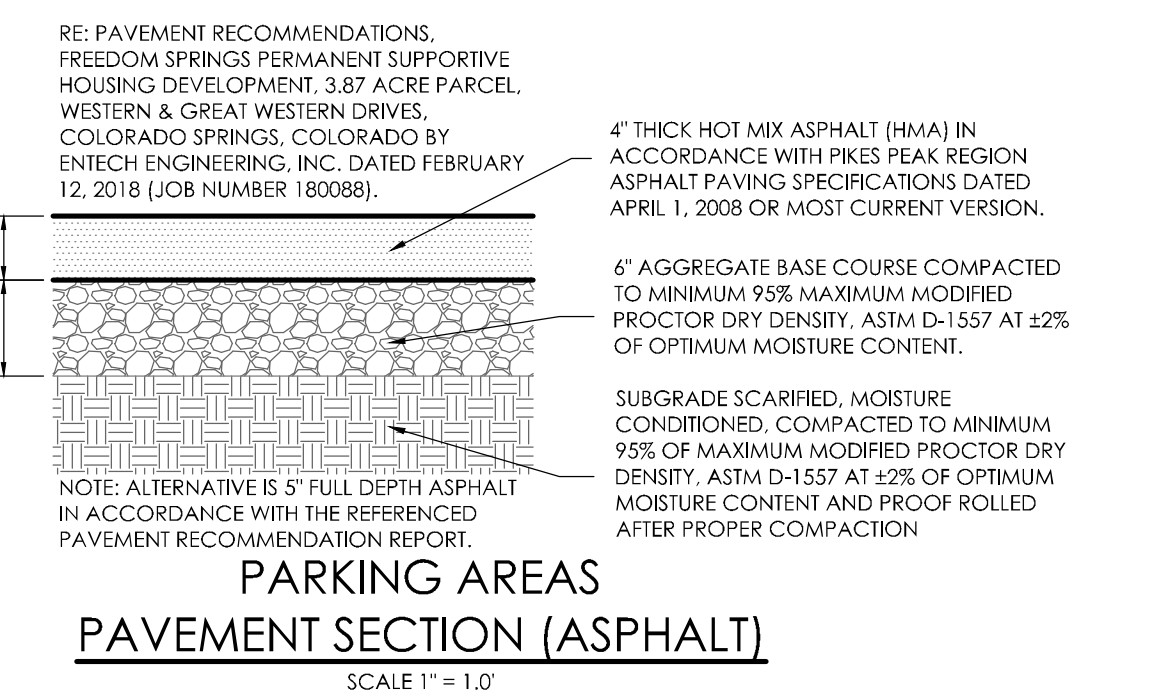
AREA INLET DETAIL  
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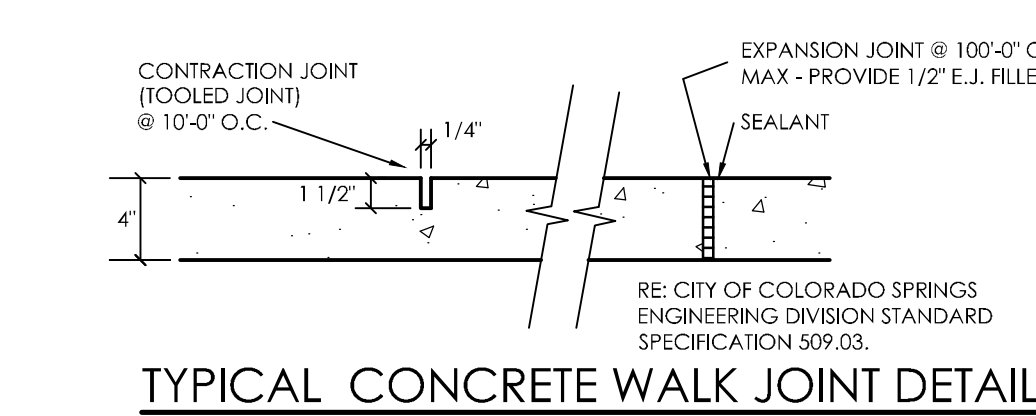
STD TYPE 3 CATCH CURB & GUTTER  
SCALE 1" = 1.0'



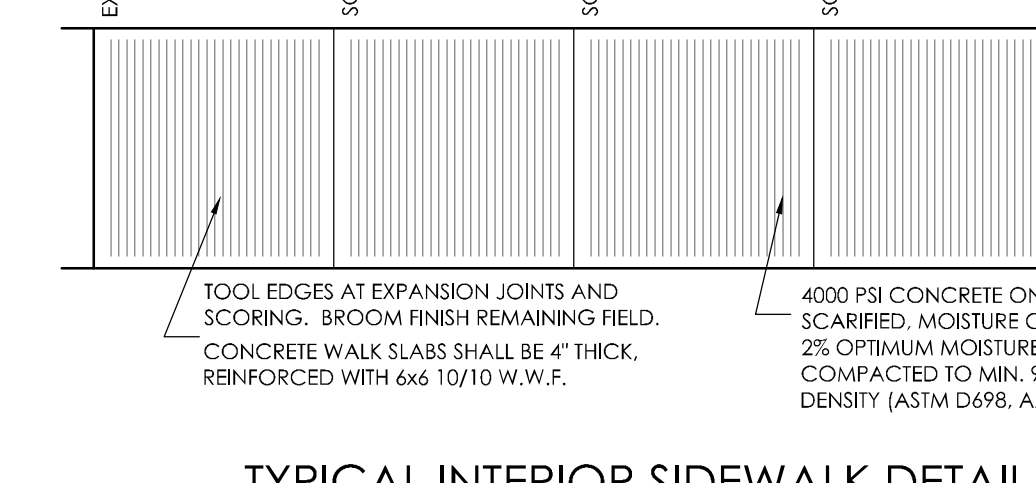
THICKENED EDGE SIDEWALK  
SCALE: 1" = 1.0'



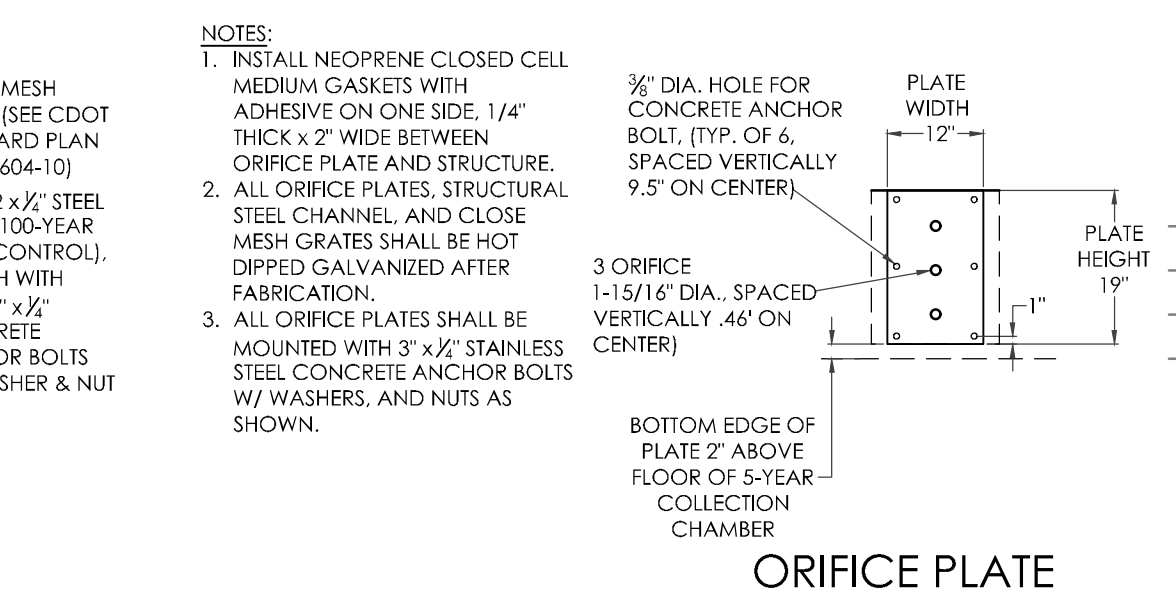
PARKING AREAS PAVEMENT SECTION (ASPHALT)  
SCALE 1" = 1.0'



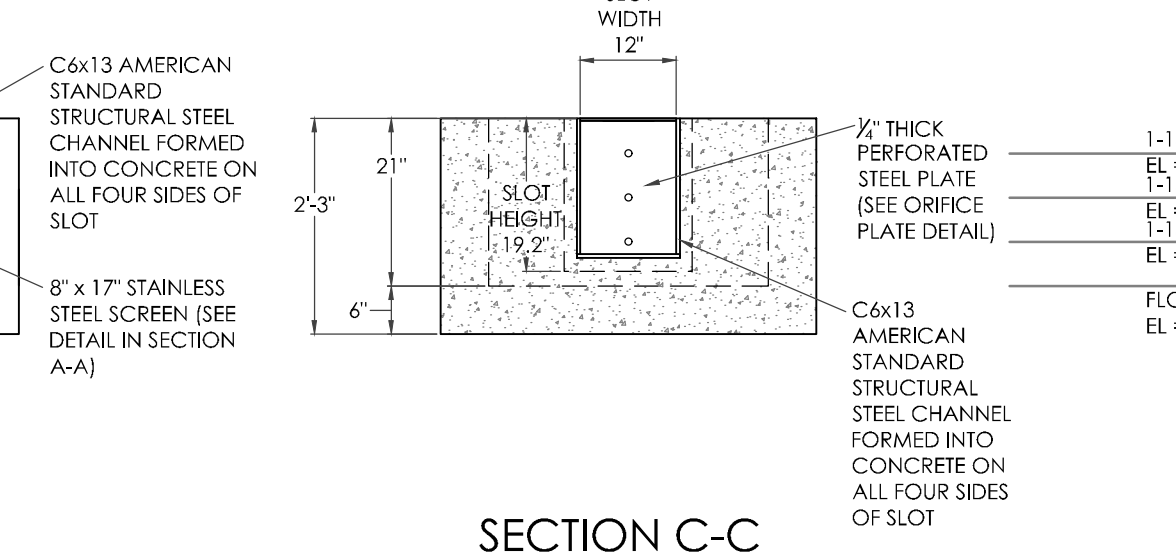
TYPICAL CONCRETE WALK JOINT DETAIL  
SCALE: NOT TO SCALE



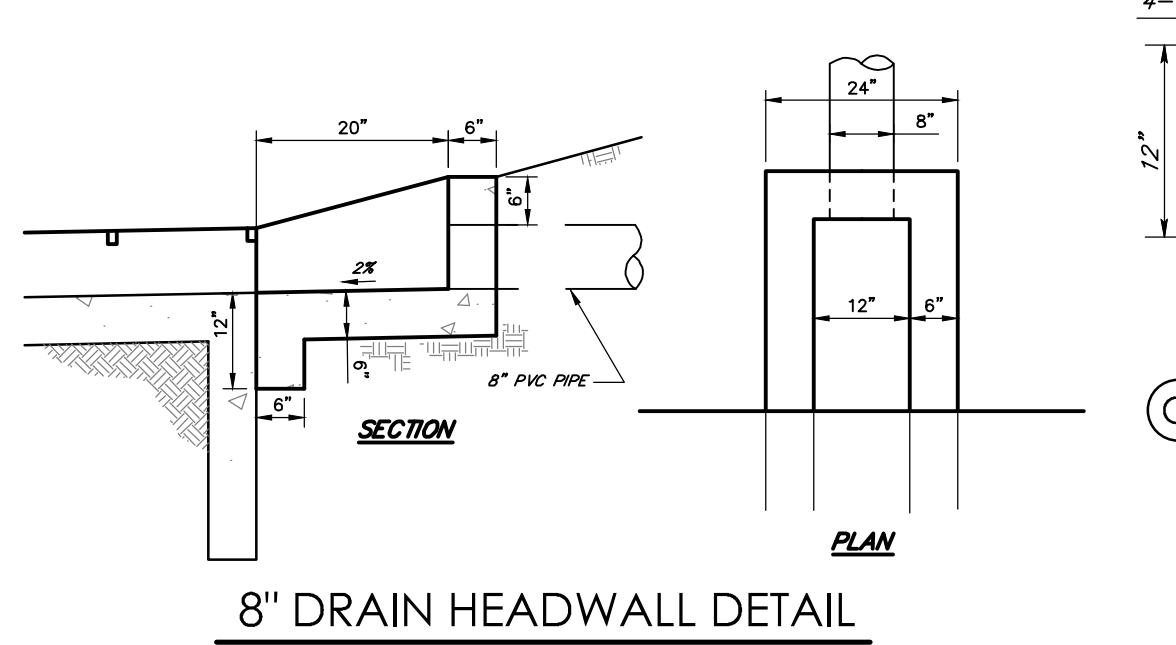
TYPICAL INTERIOR SIDEWALK DETAIL  
SCALE 1" = 4.0'



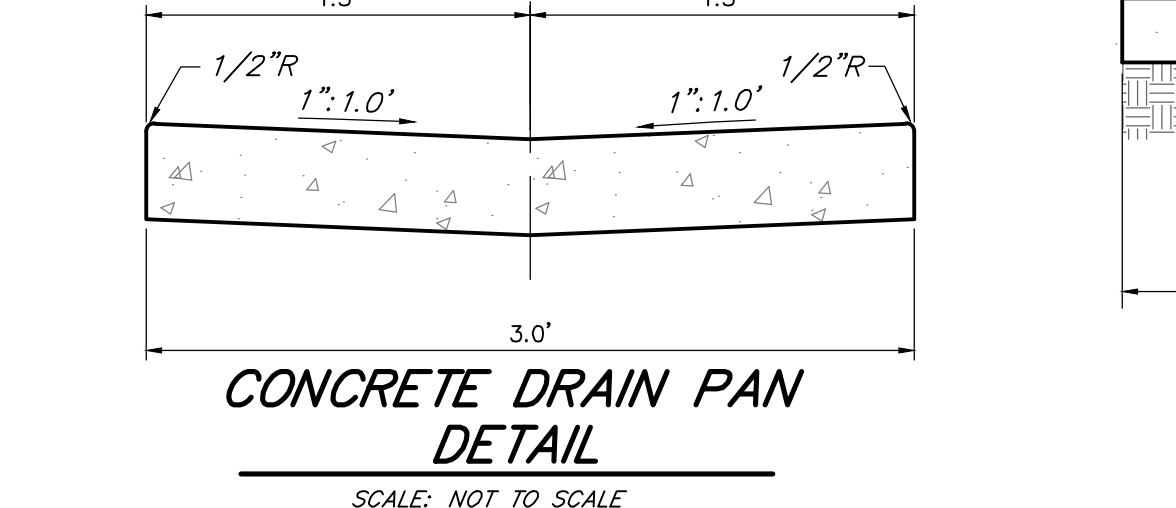
ORIFICE PLATE  
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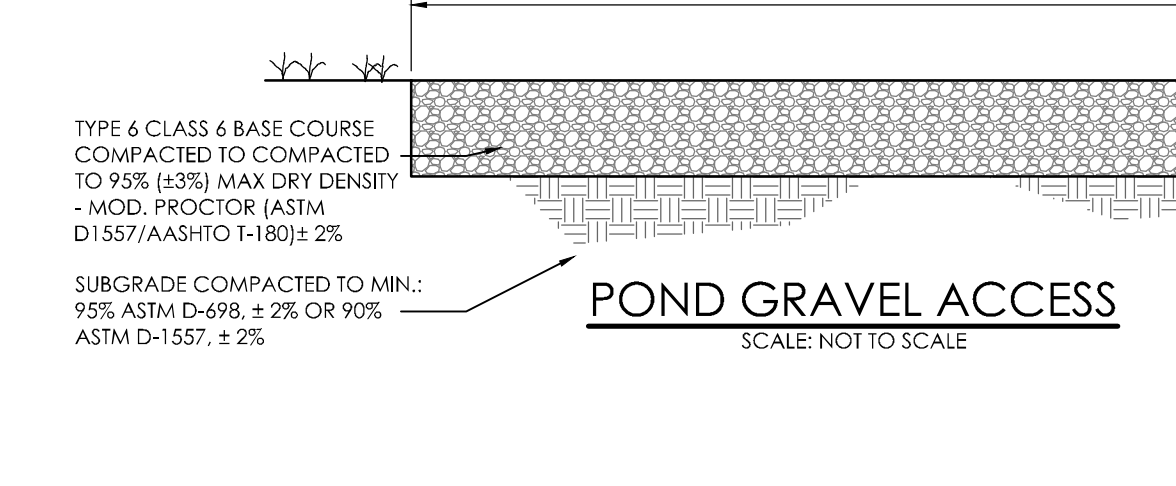
SECTION B-B  
SECTION C-C  
FULL SPECTRUM EXTENDED DETENTION SAND FILTER BASIN OUTLET  
STRUCTURE DETAILS  
SCALE 1" = 2.0'



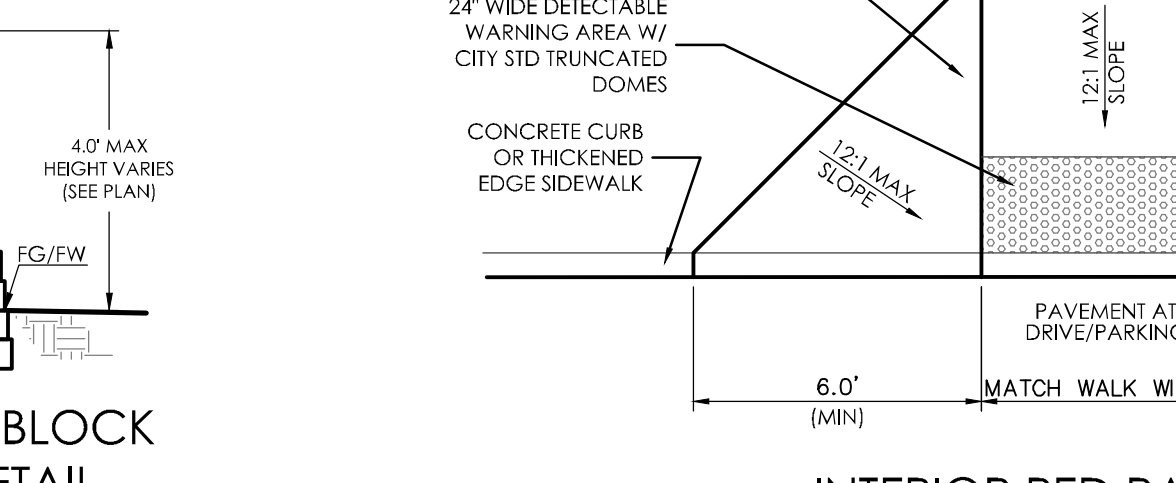
8" DRAIN HEADWALL DETAIL  
SCALE 1" = 2.0'



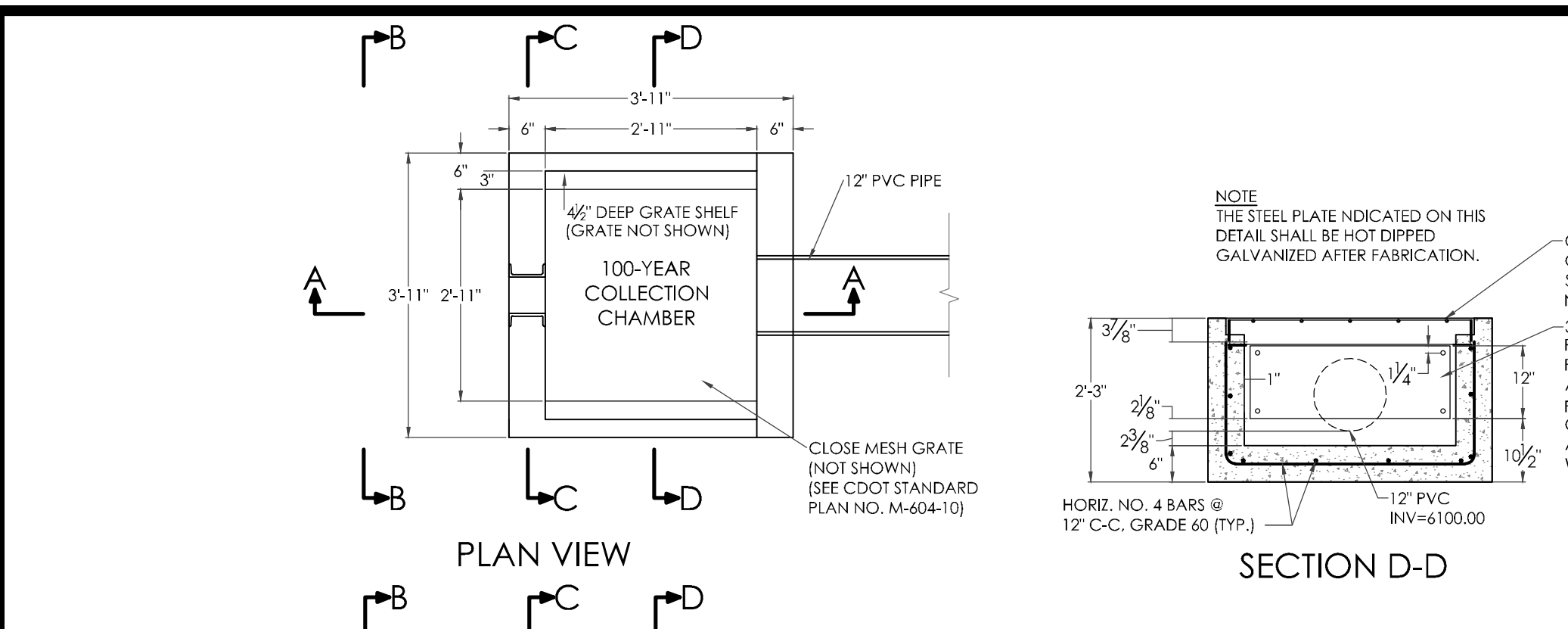
CONCRETE DRAIN PAN DETAIL  
SCALE: NOT TO SCALE



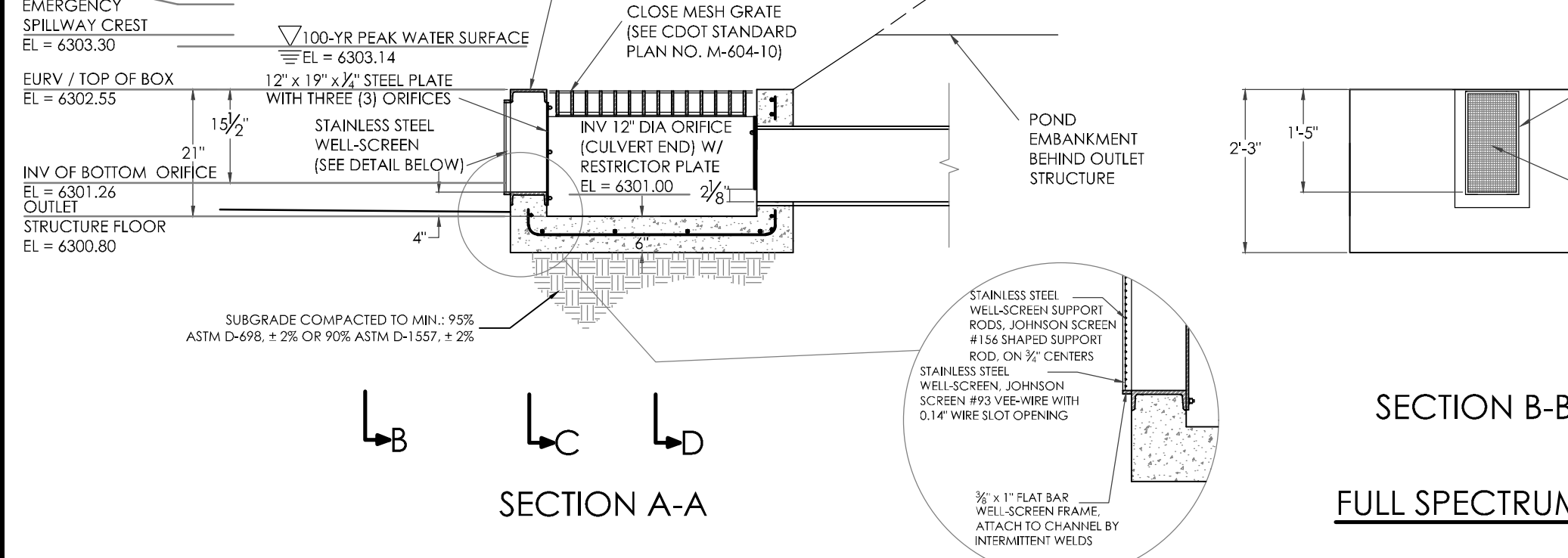
POND GRAVEL ACCESS  
SCALE: NOT TO SCALE



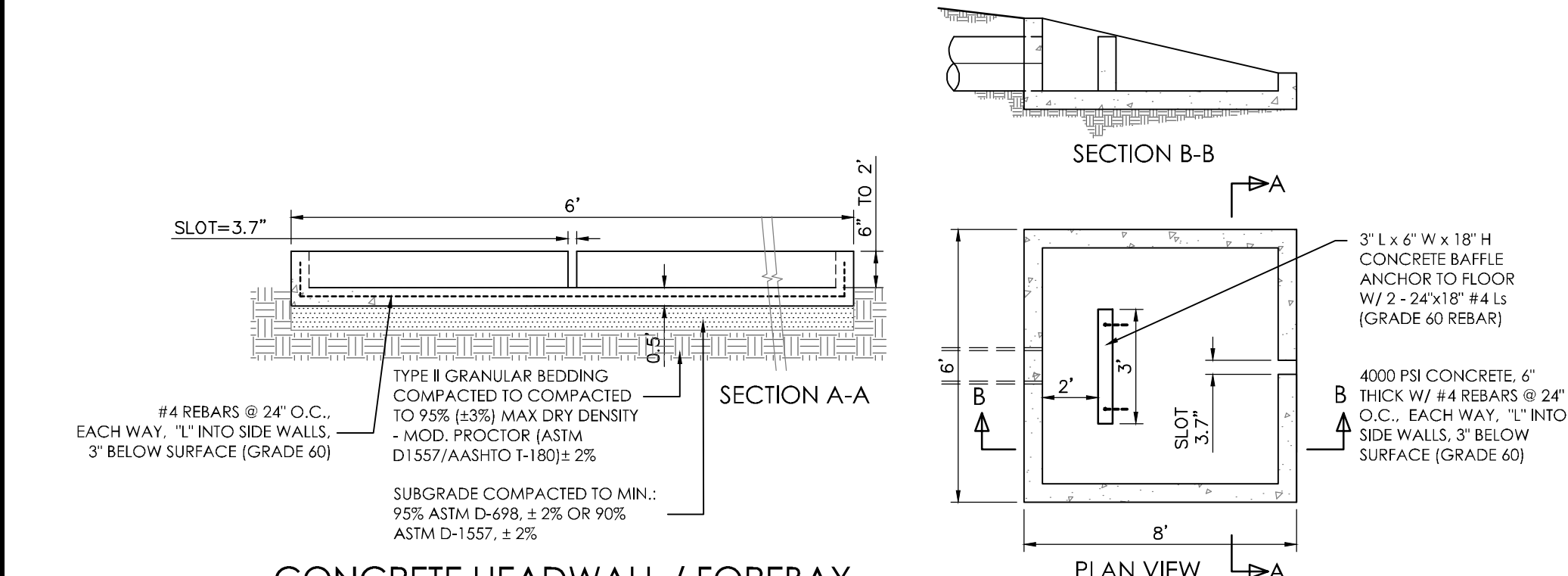
INTERIOR PED RAMP DETAIL  
SCALE: NOT TO SCALE



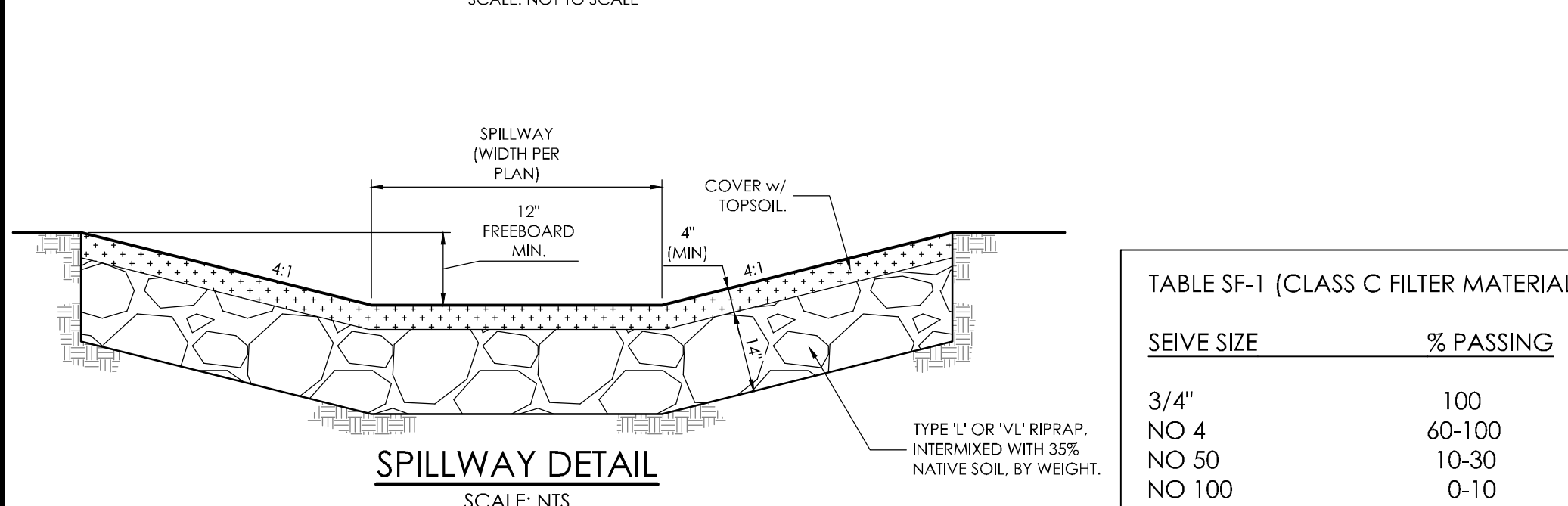
PLAN VIEW  
SECTION D-D  
SCALE 1" = 4.0'



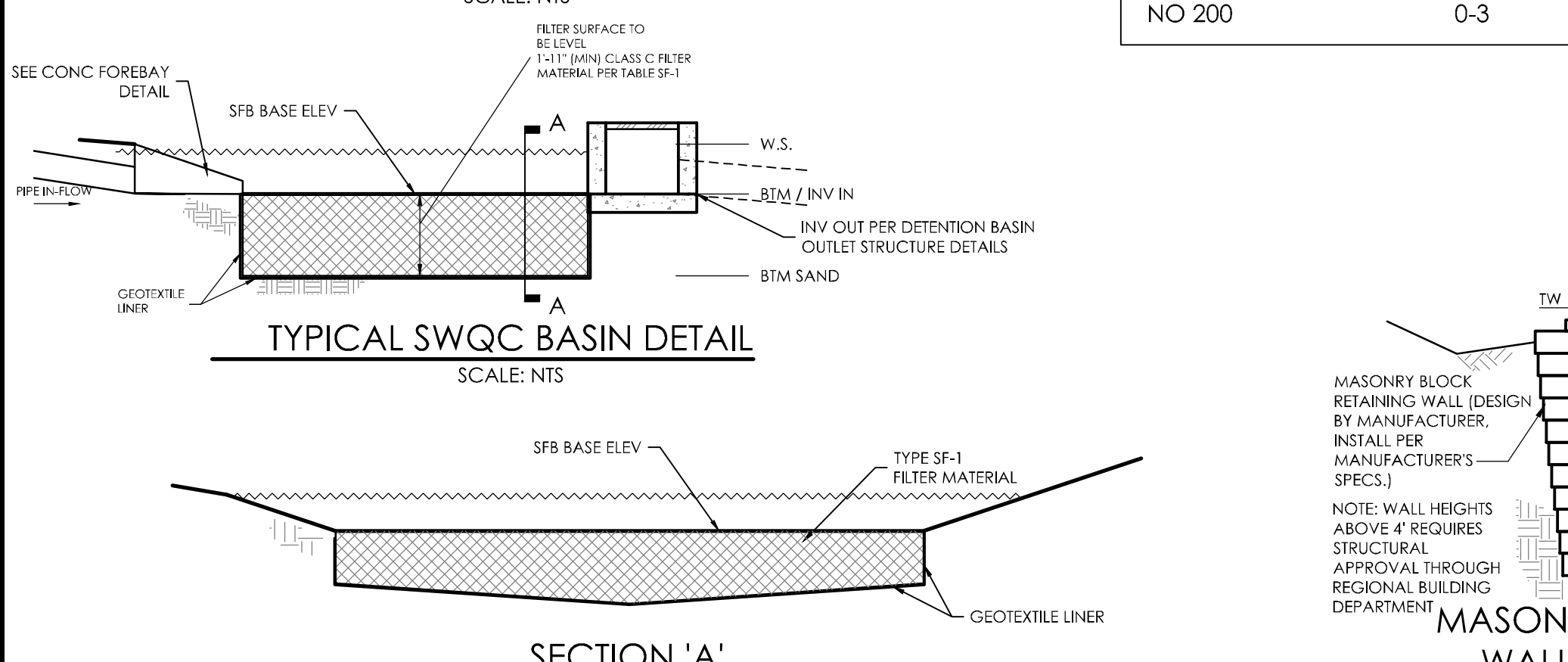
SECTION A-A  
CONCRETE HEADWALL / FOREBAY DETAIL  
SCALE: NOT TO SCALE



SECTION B-B  
PLAN VIEW  
CONCRETE HEADWALL / FOREBAY DETAIL  
SCALE: NOT TO SCALE



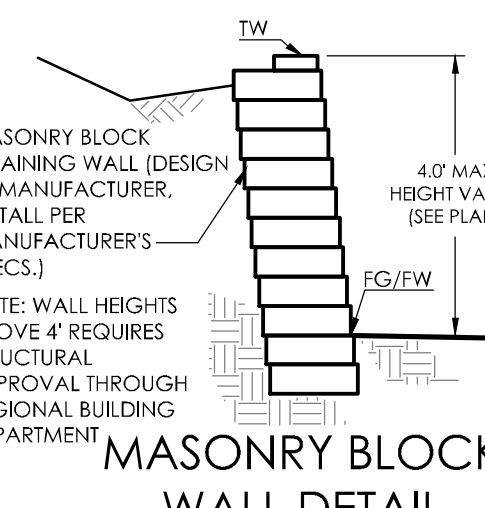
SPILLWAY DETAIL  
SCALE: NTS



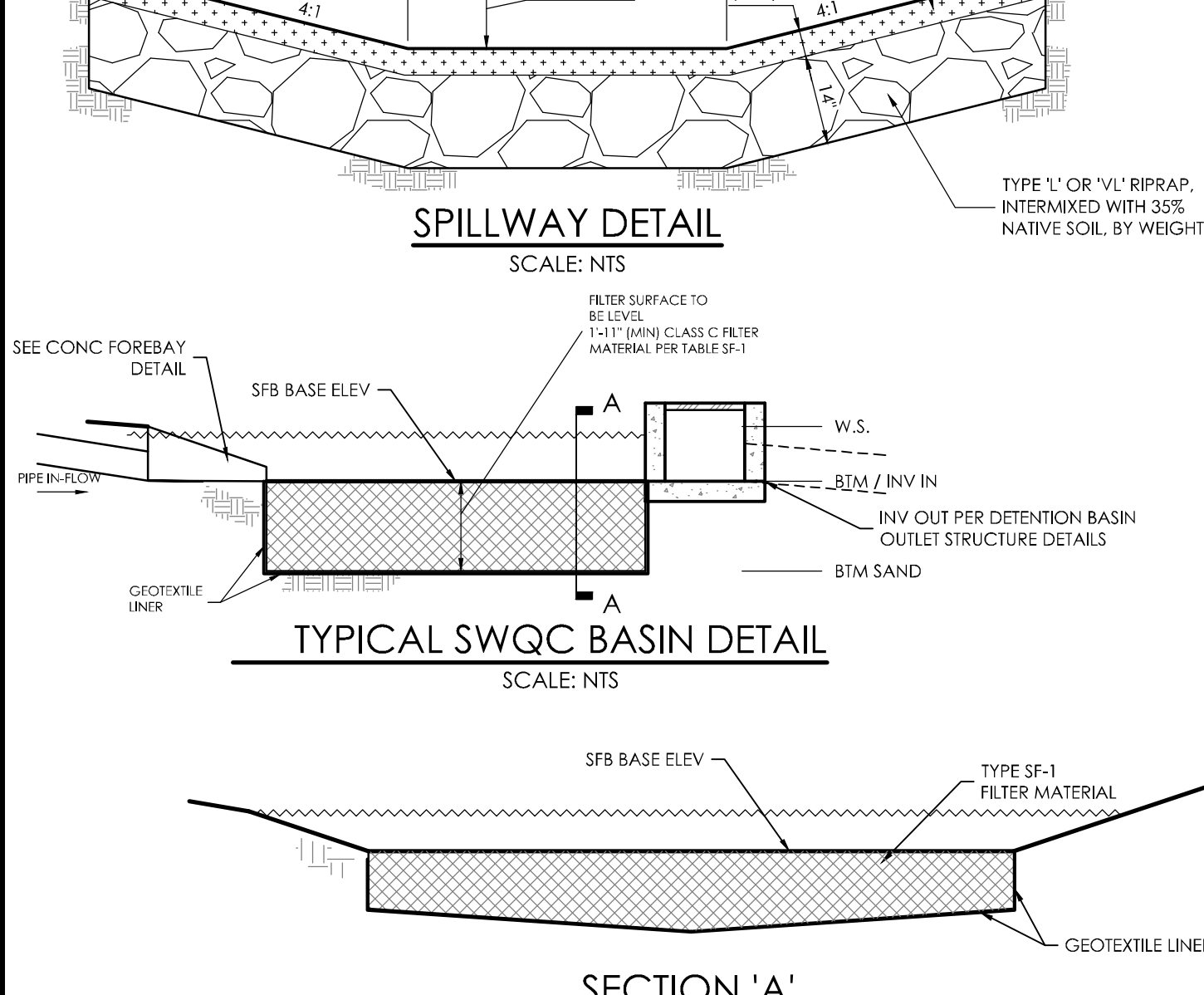
TYPICAL SWQC BASIN DETAIL  
SCALE: NTS

SECTION 'A'  
SCALE: 1" = 4'

SEIVE SIZE	% PASSING
3/4"	100
NO 4	60-100
NO 50	10-30
NO 100	0-10
NO 200	0-3

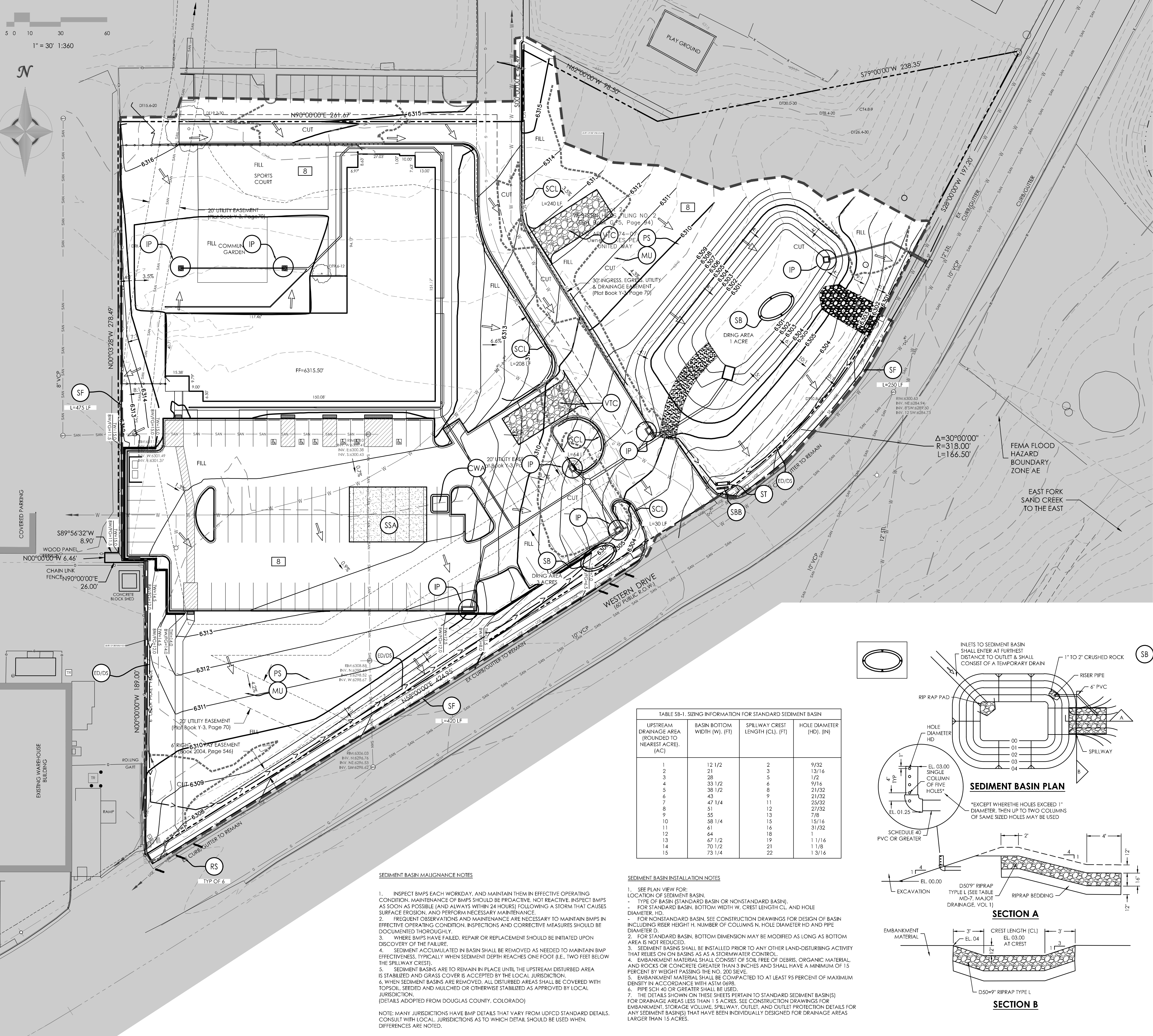


MASONRY BLOCK WALL DETAIL  
SCALE: NOT TO SCALE



MASONRY BLOCK RETAINING WALL DETAIL  
SCALE: NOT TO SCALE

SECTION 'A'  
SCALE: 1" = 4'



**BMP LEGEND**

MAP SYMBOL	KEY	DESCRIPTION
	CWA	CONCRETE WASHOUT AREA
	SB	TEMPORARY SEDIMENT BASIN
	SF	SILT FENCE
	SCL	SEDIMENT CONTROL LOG
	ED/DS	**EARTH DIKE/DRAINAGE SWALE
	ST	**SEDIMENT TRAP
	SBB	STRAW BALE BARRIER
	RS	ROCK SOCK
	ECB	EROSION CONTROL BLANKET
	VTC	VEHICLE TRACKING CONTROL
	SW	STREET SWEEPING
	IP	INLET PROTECTION
	OP	PERMANENT OUTLET PROTECTION (SEE CONSTRUCTION PLANS)
	SSA	STABILIZED STAGING AREA
	SP	STOCKPILE PROTECTION
	MU	MULCHING
	SR	SURFACE ROUGHENING
	PS	PERMANENT SEEDING
		LIMITS OF CONSTRUCTION SITE BOUNDARIES
		LIMITS OF CUT/FILL/NO GRADE CHANGE
		LIMITS OF SOIL TYPE
		FLOW DIRECTION ARROW

HYDROLOGIC SOIL GROUP	
MAP UNIT NUMBER	DESCRIPTION
8	BLAKELAND LOAM SANDY

EROSION CONTROL DATA	
<b>TIMING</b>	ANTICIPATED START & COMPLETION TIME: FEBRUARY, 2019 TO OCTOBER, 2019
	GRADING EXPECTED DATE ON WHICH FINAL STABILIZATION WILL BE COMPLETED: JUNE, 2020
<b>AREAS</b>	TOTAL AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED: 3.68 ACRES
<b>RECEIVING WATERS</b>	NAME OF RECEIVING WATERS: EAST FORK OF SAND CREEK
<b>SOIL DATA</b>	PRIMARY SOIL DESCRIPTION: BLAKELAND LOAM SANDY
	PERMEABILITY: HIGH
	SURFACE RUNOFF: LOW
	HAZARD OF EROSION: LOW
	HYDROLOGIC SOIL GROUP: A
	EXISTING PERCENT IMPERVIOUS: 8%
	DEVELOPED PERCENT IMPERVIOUS: 58%

**OTHER DATA**

LAT/LONG COORDS: 38°50'31" / 104°42'23"

VEGETATION: EXISTING: NATIVE PRAIRIE GRASSES & WEEDS. 60% COVERAGE  
PROPOSED: PLANTINGS & RESEEDING PER LANDSCAPE PLAN

APPROX. EARTHWORK QUANTITIES: 2600 CY CUT, 9600 CY FILL

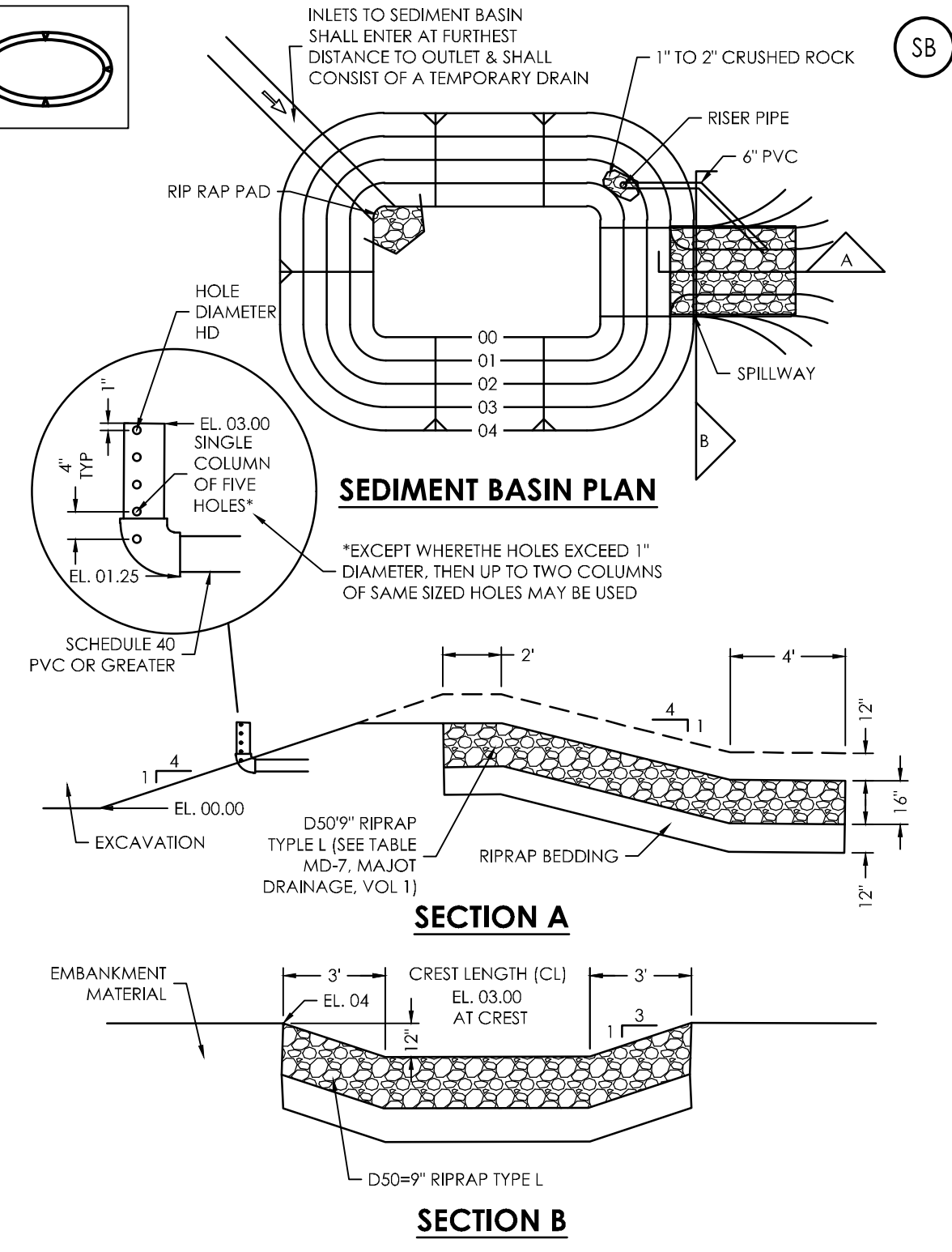
BATCH PLANTS: NONE

DEWATERING: NONE

RETAINING WALLS: 0.5' - 3.5' AS SHOWN

TABLE SB-1. SIZING INFORMATION FOR STANDARD SEDIMENT BASIN

UPSTREAM DRAINAGE AREA (ROUNDED TO NEAREST ACRE), (AC)	BASIN BOTTOM WIDTH (W), (FT)	SPILLWAY CREST LENGTH (CL), (FT)	HOLE DIAMETER (HD), (IN)
1	12 1/2	2	9/32
2	21	3	13/16
3	28	5	1/2
4	33 1/2	6	9/16
5	38 1/2	8	21/32
6	43	9	21/32
7	47 1/4	11	25/32
8	51	12	27/32
9	55	13	7/8
10	58 1/4	15	15/16
11	61	16	31/32
12	64	18	1
13	67 1/2	19	1 1/16
14	70 1/2	21	1 1/8
15	73 1/4	22	1 3/16



**SEDIMENT BASIN MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE. NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION. ALSO PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS. TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET BELOW THE SPILLWAY CREST).
  - SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
  - WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDS AND MULCH OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION. (DETAILS ADOPTED FROM DOUGLAS COUNTY, COLORADO)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

**SEDIMENT BASIN INSTALLATION NOTES**

- SEE PLAN VIEW FOR: LOCATION OF SEDIMENT BASIN.
- TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN).
- FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD.
- FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE DIAMETER D.
- FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
- SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS AS A STORMWATER CONTROL.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
- PIPE SCH 40 OR GREATER SHALL BE USED.
- THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

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Corporate Entity No. 2018128152

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COLORADO 80915

REVISION	DESCRIPTION	DATE
1	ADDENDUM #1	10/26/18
2	ADDENDUM #2	10/26/18
3	ADDENDUM #3	11/02/18
4	COUNTY RESUBMITTAL	11/02/18
5	ADDENDUM #5	11/12/18
6	COUNTY RESUBMITTAL	11/12/18

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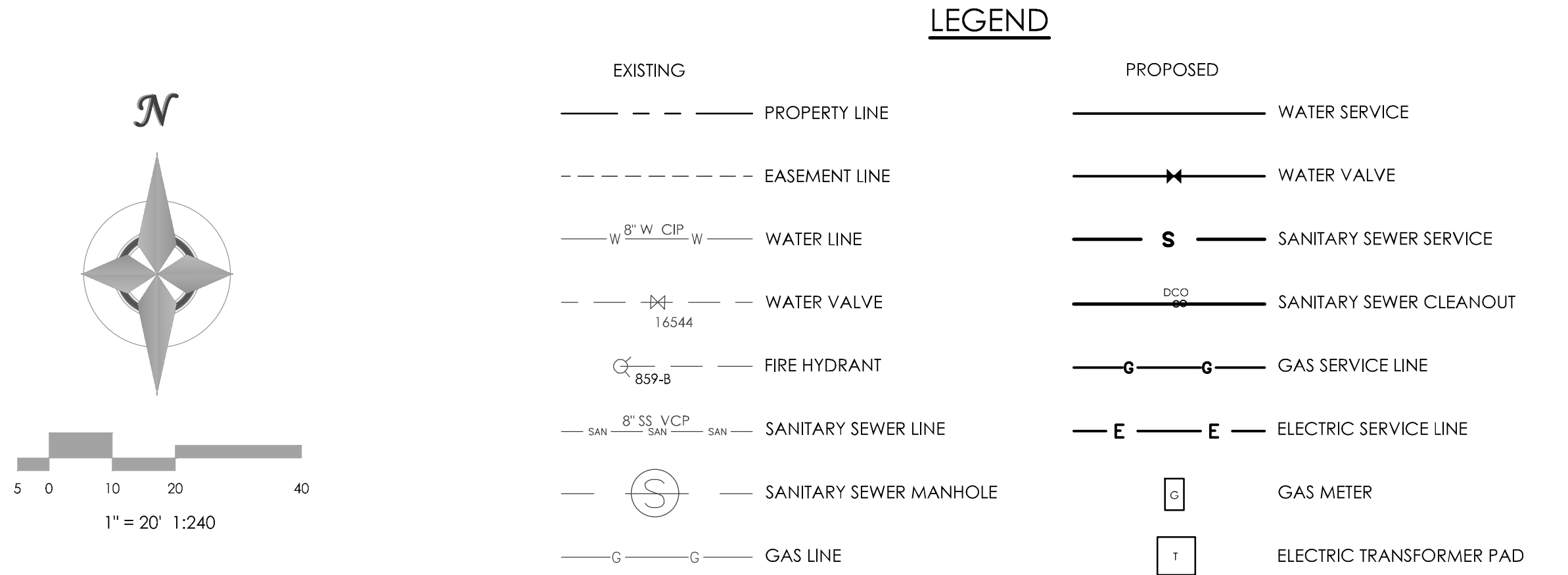
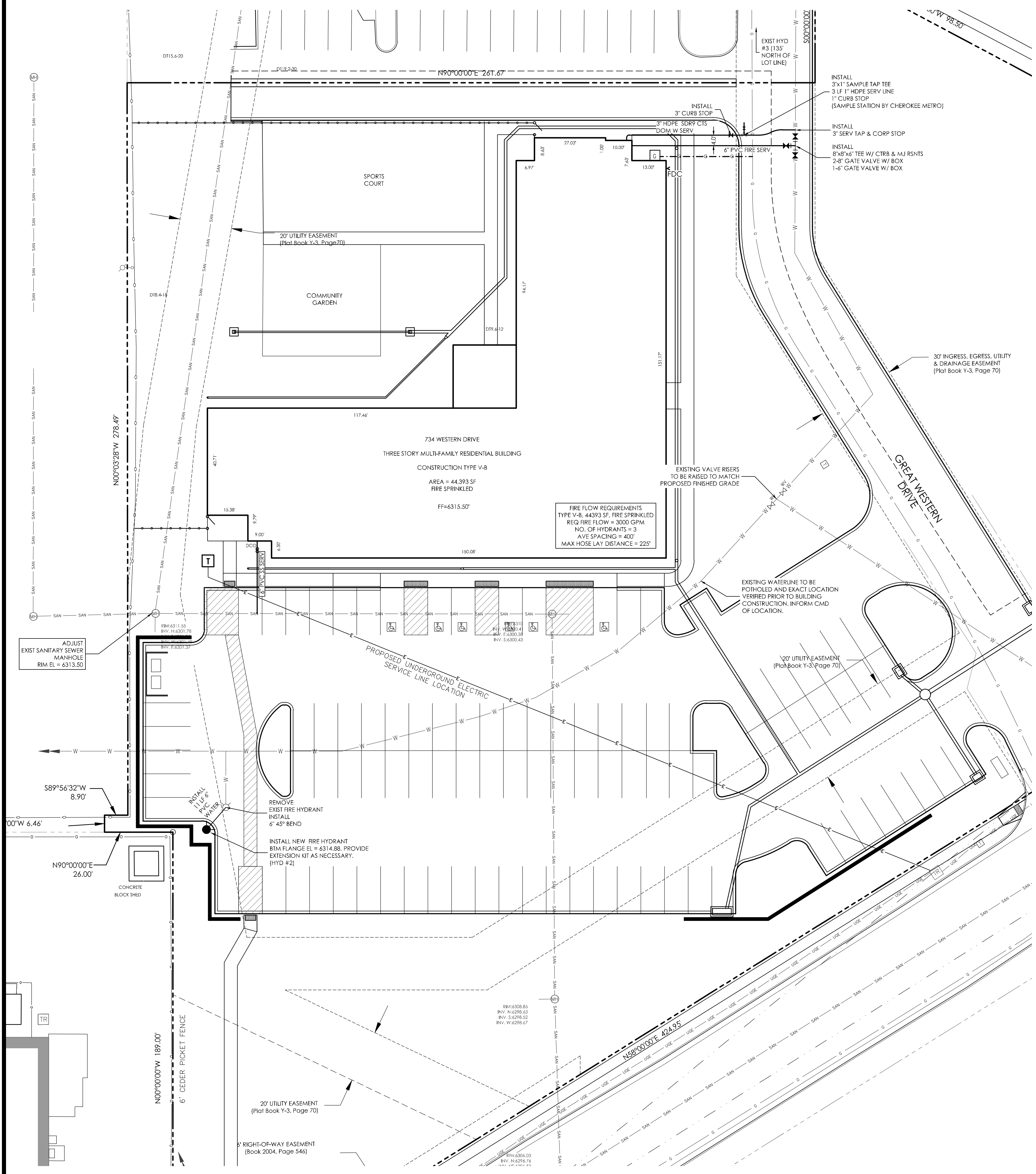
**PROFESSIONAL ENGINEER**  
DAVID M. WILSON  
31672  
1/16/19

DATE: August 29, 2018  
PROJECT NUMBER: 17150  
MAP PROJ. NO.: 01990 DWG. CON-GEO-EC  
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Erosion Control Plan

**C-5**





**SANITARY SEWER CONSTRUCTION NOTES:**

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH CHEROKEE METROPOLITAN DISTRICT STANDARD AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS NOTED OTHERWISE. IN THE EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN.
2. SANITARY SEWER PIPE SHALL CONFORM TO ASTM D3034 SDR35 PVC.
3. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM.
4. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.
5. INFILTRATION AND EXFILTRATION TESTS CONDUCTED BY AND AT THE EXPENSE OF THE CONTRACTOR SHALL BE PERFORMED ON A REPRESENTATIVE PORTION OF THE PROJECT IN ACCORDANCE WITH SECTION 7.04 OF THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS.
6. ALL SANITARY SEWER MANHOLES, LIDS, BASES AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH (IAW) COLORADO SPRINGS DETAILS STANDARD MANHOLE DETAIL 1. EXCEPT AS NOTED ON THESE PLANS, WHERE REQUIRED ON THESE PLANS, WATER TIGHT MANHOLES, LIDS AND CONNECTIONS SHALL BE PROVIDED IAW COLORADO SPRINGS STANDARDS.
7. WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE 3 DEGREE BENDS ON ALL CURVILINEAR SANITARY SEWER PIPE.
8. SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL ON THE UTILITY SERVICE PLAN, OR AT THE DIRECTION OF THE CONSTRUCTION MANAGER.
9. OVERLOT GRADING AND STREET SUBGRADE MUST BE WITHIN ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION.
10. WHILE CONSTRUCTING THE SANITARY SEWER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION" SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO PLANS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE SANITARY SEWER SYSTEM.
11. CONTRACTOR TO CONSTRUCT ALL MANHOLES AND STRUCTURES TO FINISHED GRADE.
12. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE BY THE DISTRICT, TWO (2) COPIES OF "AS-CONSTRUCTED" PLANS AND TWO (2) SETS OF ELECTRONIC DATA FILES OF THE PLANS SHALL BE SUBMITTED TO THE DISTRICT FOR RECORD.
  - A. THE TWO (2) COPIES SHALL BE COMPLETE WITH ALL "AS-CONSTRUCTED" INFORMATION TOGETHER WITH A CERTIFICATION BY THE PARTY RESPONSIBLE FOR CONSTRUCTION THAT ALL DATA THEREON IS ACCURATE AND REPRESENTS ACTUAL CONSTRUCTED CONDITIONS.
  - B. THE TWO PLAN SETS SHALL BE SUBMITTED ON SHEETS THAT ARE 24" X 36" IN SIZE.
  - C. THE PLAN SET SHALL BE ON A DURABLE MEDIA THAT CAN BE RUN THROUGH PHOTOCOPIING EQUIPMENT.
  - D. THE TWO ELECTRONIC DATA FORMATS SHALL BE SUBMITTED. THE FIRST ELECTRONIC DATA FILE SET SHALL BE IN AUTOCAD 2006 OR NEWER FORMAT WITH NO EXTERNAL REFERENCE DRAWINGS. ALL EXTERNAL REFERENCES MUST BE BOUND INTO THE DRAWING SET. THE SECOND SET OF ELECTRONIC DATA FILES SHALL BE IN ADOBE ACROBAT .PDF FORMAT.
  - E. "AS-CONSTRUCTED" PLANS SHALL BE SUBMITTED WITHIN TWO WEEKS OF COMPLETION OF THE WATER AND/OR SANITARY SEWER UTILITIES.
  - F. NO AUTHORIZATION TO CONNECT TO THE SYSTEM OR DISCHARGE TO THE SYSTEM WILL BE ALLOWED UNTIL THE "AS-CONSTRUCTED" DOCUMENTS HAVE BEEN RECEIVED AND ACCEPTED BY THE DISTRICT.
  - G. ALL PLANS, SPECIFICATIONS AND SUPPORTING DOCUMENTS SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF COLORADO. ALL PLANS AND SPECIFICATIONS SHALL BEAR THE SEAL AND SIGNATURE OF SAID LICENSED PROFESSIONAL ENGINEER.
13. TRACER WIRE IS TO BE INSTALLED WITH ALL SANITARY SEWER MAIN LINES AND SERVICES (FROM MAIN LINE TO THE BUILDING STRUCTURE). ALL NONMETALLIC PIPES SHALL HAVE A TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 TYPE COPPER CONNECTORS AND SHALL BE PERMANENTLY AFFIXED TO THE TOP OF THE PIPE USING TAPE AT 4' INTERVALS. ALL POINTS OF CONNECTION SHALL BE PROTECTED FROM CORROSION BY AN EPOXY OR SILICON COATING. ROUTE TRACER WIRE TO SURFACE AT ALL MANHOLES AND CLEANOUT LOCATIONS.

**WATER SYSTEM CONSTRUCTION NOTES:**

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH CHEROKEE METROPOLITAN DISTRICT STANDARD AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS NOTED OTHERWISE. IN THE EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN.
2. ALL WATER SYSTEM MAINS PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 200 (DR-14) PER AWWA C-900 AND ASTM D241 SPECIFICATIONS, EXCEPT WHERE NOTED. SPECIFICALLY, SECTIONS OF WATER PIPE THAT CROSS UNDER MAJOR DRAINAGE WAYS (SAND CREEK) OR MAJOR THOROUGHFARES SHALL BE DUCTILE IRON PIPE.
3. ALL FITTINGS SHALL BE CONSTRUCTED OF GRAY-IRON MATERIAL AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL BE WRAPPED WITH A 9-MIL THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD C105.
4. ALL WATER PIPES SHALL BE INSTALLED AT A MINIMUM DEPTH OF FIVE (5) FEET BELOW FINISHED GRADE.
5. ALL BENDS, TEE, FIRE HYDRANTS, BLOW-OFFS, AND PLUGS AT DEAD END MAINS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
6. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE ALL PIPES, FITTINGS, VALVES, APPURTENANCES, MATERIALS AND LABOR THAT ARE NECESSARY TO INSTALL A COMPLETE AND USEABLE FIRE HYDRANT. FIRE HYDRANT ASSEMBLIES SHALL BE ONE OF THE FOLLOWING TYPES:
  - A. MUELLER CENTURION, MODEL A-473
  - B. KENNEDY VALVE
  - C. AMERICAN AKV
  - D. OR ENGINEER/DISTRICT APPROVED EQUAL.
7. VALVE BOXES SHALL BE TYLER SLIP, TYPE "C" CAST IRON VALVE BOX ASSEMBLY SERIES 6860 WITH NO. 160 OVAL BASE OR APPROVED EQUAL.
8. CONTRACTOR SHALL PRESSURE TEST AND DISINFECT THE SYSTEM PRIOR TO CONNECTING TO EXISTING MAINS.
9. ALL WATER SYSTEM COMPONENTS SHALL BE FLUSHED AND CHLORINATED PER AWWA C-601. "DISINFECTING WATER MAINS" PRIOR TO ACCEPTANCE. THE CONTRACTOR SHALL PRODUCE A 25 MG/L SOLUTION BY ADHERING CHLORINE TABLETS TO THE PIPE SECTION WITH PERMATAX CLEAR TRV INSIDE THE SYSTEM. CHLORINATION SHALL OCCUR PRIOR TO HYDROSTATIC TESTING. THE CONTRACTOR SHALL OBTAIN A BACTERIOLOGICAL SAMPLE AFTER THE SYSTEM HAS BEEN FLUSHED. A CLEAN BACTERIOLOGICAL SAMPLE MUST BE OBTAINED PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE.
10. HYDROSTATIC TESTING: ALL WATER SYSTEM MAINS SHALL BE FIELD PRESSURE TESTED TO A MINIMUM OF 150 PSI OR 1 1/2 TIMES THE STATIC OPERATING PRESSURE, WHICHEVER IS GREATER. MAXIMUM ALLOWABLE LEAKAGE FOR EACH SECTION OF PIPE BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING: \*10 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY.
11. ALL VALVES SHALL CONFORM TO OPEN LEFT CONVENTION PER CHEROKEE METROPOLITAN DISTRICT STANDARDS. SERVICE LINE STOP VALVES/BOXES SHALL BE LOCATED A MINIMUM OF 7 FEET BEYOND THE PROPERTY LINE OR PER THE SERVICE DETAIL ON THE UTILITY SERVICE PLAN. ALL OTHER VALVES SHALL BE LOCATED PER THESE PLANS.
12. WHEN IT IS NECESSARY TO RAISE OR LOWER WATER MAINS AT OTHER UTILITY CROSSINGS THE CONTRACTOR SHALL INSURE A MINIMUM CLEARANCE OF 18" WHERE POSSIBLE BETWEEN THE OUTSIDE DIAMETER OF PIPES.
13. WHILE CONSTRUCTING THE WATER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION" SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO PLANS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE WATER SYSTEM.
14. COMPACTION TESTING RESULTS OF ALL TRENCHES AND BEDDING MATERIAL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO ACCEPTANCE OF THE WATER SYSTEM.
15. PRIOR TO TAPPING ANY EXISTING WATER MAIN THE CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL FOR SAID TAP IN ACCORDANCE WITH THE CHEROKEE METROPOLITAN DISTRICT STANDARDS.
16. PVC PIPE MUST BE PRESSURIZED PRIOR TO TAPPING.
17. THE WATER SYSTEM CONTRACTOR SHALL INSTALL ALL IRRIGATION TAPS AND METERS PER THESE PLANS.
18. FIRE FLOW DEMAND IS 1500 GPM FOR A 3 HOUR DURATION AT A 20-PSI MINIMUM RESIDUAL MAIN LINE PRESSURE.
19. ALL NONMETALLIC PIPES SHALL HAVE A TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 TYPE COPPER CONNECTORS AND SHALL BE PERMANENTLY AFFIXED TO THE TOP OF THE PIPE USING TAPE AT 4' INTERVALS. THE TRACER WIRE SHALL ALSO BE PERMANENTLY CONNECTED TO ALL FIRE HYDRANT TEE, METALLIC PIPE BENDS, MAIN VALVE AND OTHER METALLIC FITTINGS AND APPURTENANCES. ALL POINTS OF CONNECTION SHALL BE PROTECTED FROM CORROSION BY AN EPOXY OR SILICON COATING. GROUND TRACER WIRES TO SURFACE AT ALL VALVE BOXES.
20. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.
21. ALL VALVES SHALL BE INSTALLED IN ACCORDANCE WITH COLORADO SPRINGS STANDARDS EXCEPT FOR NOTE 11 ABOVE. SPACING SHALL BE EQUIDISTANT FROM TEES, ELBOWS, BENDS AND OTHER APPURTENANCES AT 3 FOOT WHERE POSSIBLE.
22. HIGH DEFLECTION COUPLINGS ARE NOT TO BE USED IN THE INSTALLATION OF CURVILINEAR WATER PIPE.
23. TAPS WILL NOT BE RELEASE UNTIL THE FOLLOWING CONDITIONS ARE MET:
  - A. WATER AND SEWER LINES ARE INSTALLED AND PRESSURE TESTED TO THE DISTRICT STANDARDS. ALL 2X4 MARKERS ARE INTACT AND PAINTED FOR SERVICES.
  - B. AS CONSTRUCTED DRAWINGS HAVE BEEN SUBMITTED TO THE DISTRICT. DRAWINGS TO INCLUDE ANY CHANGES FROM CONSTRUCTION DRAWINGS, THE LENGTH, DEPTH, GRADE AND LOCATION OF ALL SEWER SERVICES.
  - C. ALL ELECTRIC AND GAS UTILITIES ARE INSTALLED.
  - D. THE FIRST LIFT OF HOT MIX ASPHALT MUST BE INSTALLED.
24. CONTRACTOR IS TO NOTIFY CHEROKEE METROPOLITAN DISTRICTS' INSPECTOR 24 HOURS PRIOR TO ALL STORM SEWER CRITICAL CROSSING OVER WATER AND SEWER LINES. TO VERIFY CLEARANCE.
25. FIRE HYDRANTS MUST BE PAINTED. BLUE CAPS AND BONNETS; WHITE BARREL SECTIONS. COLOR CODES ARE AS FOLLOWS: CHEROKEE BLUE, PRODUCT NUMBER 58155; CHEROKEE WHITE, PRODUCT NUMBER 58101. BOTH GLOSS OIL BASE EXTERIOR DEVOE-BAROX. CAN BE PURCHASED AT THE PAINT SHOP 5849 PALMER PARK BLVD COLORADO SPRINGS, CO 80915, OR EQUAL BRAND.

CURVILINEAR PIPELINE: THERE IS NO DEFLECTION ALLOWED AT THE JOINTS ON 12-INCH AND SMALLER PIPE. NOTICE: MECHANICAL MEANS SHOULD NOT BE EMPLOYED TO ACCOMPLISH THESE RADII. IT IS THE INTENT THAT THE WORKER SHOULD ACCOMPLISH THIS MANUALLY IN THE TRENCH. ON 4-INCH TO 12-INCH PIPE, THE CURVE SHOULD BE ACCOMPLISHED BY BENDING THE PIPE RATHER THAN DEFLECTING JOINTS. THERE SHALL BE NO DEFLECTION IN THE JOINTS UPON COMPLETION TO AVOID OVER-STRESSING THE BELL AND PREVENT POSSIBLE BREAKAGE AND/OR LEAKS.

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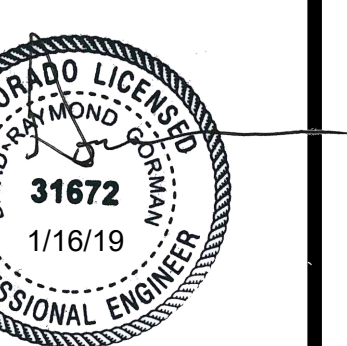
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**FREEDOM SPRINGS**  
734 WESTERN DRIVE  
COLORADO SPRINGS, EL PASO COUNTY,  
COLORADO 80915

REVISION	DESCRIPTION	DATE
2	Addendum #2	10/26/18
3	Addendum #3	11/02/18
5	County Resubmittal	11/09/18
5	Addendum #5	11/12/18
6	County Resubmittal	11/15/19





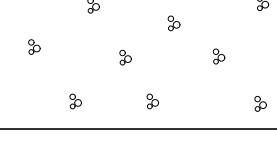
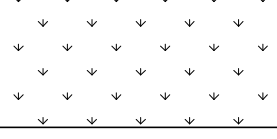
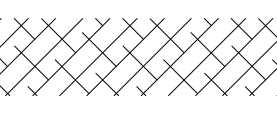
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DATE: August 20, 2018  
PROJECT NUMBER: 1750  
MVP/PROJ NO.: 61090 DWG.-CON-GE-CP  
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Utility Development Plan

**C-7**

## GROUND PLANE TREATMENT

-  IRRIGATED BLUEGRASS SOD
-  GORILLA HAIR WOOD MULCH, 3" DEPTH
-  1.5" ROYAL GRANITE CRUSHED ROCK, 3" DEPTH OVER LANDSCAPE FABRIC
-  NON-IRRIGATED NATIVE GRASS
-  EROSION CONTROL BLANKET

## PLANT SCHEDULE

TREES					
CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	
ABI CON	3	Abies concolor / White Fir	6" Ht.	B # B	
ACE HOT	12	Acer tatanum 'Hot Wings' / Hot Wings Tatanum Maple	1.5" Cal.	B # B	
CEL OCC	7	Celtis occidentalis / Common Hackberry	2" Cal.	B # B	
GLE SH2	6	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	2" Cal.	B # B	
MAL RE2	5	Malus x 'Red Jewel' / Red Jewel Crab Apple	1.5" Cal.	B # B	
PIC BL2	9	Picea pungens glauca / Colorado Blue Spruce	6" Ht.	B # B	
PIN EDU	12	Pinus cembroides edulis / Pinyon Pine	6" Ht.	B # B	
QUE RUB	2	Quercus rubra / Red Oak	2" Cal.	B # B	
TIL LIN	1	Tilia amercana / American Linden	2" Cal.	B # B	
SHRUBS					
CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	
CAR CLA	39	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Spirea	5 gal		
CHR GTR	22	Chrysothamnus nauseosus graveolens / Tall Green Rabbitbrush	5 gal		
COT LUC	5	Cotoneaster lucidus / Peking Cotoneaster	5 gal		
CYT SP2	5	Cytisus purgans 'Spanish Gold' / Spanish Gold Broom	5 gal		
FAL PAR	11	Fallugia paradoxa / Apache Plume	5 gal		
JUN BUF	29	Juniperus sabinus 'Buffalo' / Buffalo Juniper	5 gal		
JUN GRA	8	Juniperus scopulorum 'Gray Gleam' / Gray Gleam Juniper	5 gal		
PIN CO2	10	Pinus mugo 'Compacta' / Dwarf Mugo Pine	5 gal		
POT DRO	30	Potentilla fruticosa 'Gold Drop' / Gold Drop Potentilla	5 gal		
RHU GRO	19	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal		
SPI GOG	39	Spiraea japonica 'Goldflame' / Goldflame Spirea	5 gal		
GRASSES					
CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	
CAL KA2	33	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal		
SCH BLA	42	Schizachyrium scoparium 'Blaze' / Blaze Little Bluestem	1 gal		

## SITE CATEGORY CALCULATIONS:

### Landscape Setbacks

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req. / Prov.	Setback Plant Abbr. Denoted on Plan
Western Drive	Non arterial	10' / 10'	789'	1 / 30'	26 / 26	(WD)

### Parking

No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)
97	6 / 6	(PK)	Western Drive	270'	180'

Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.
36 / 36	18 / 18	-	(PS)	75% / 100%

### Internal Landscaping

Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
168,577 s.f.	15%	25,287 s.f. / 25,319 s.f.	51 / 20 (See request for administrative relief)

Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan
180 / 180	(IN)

### Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (50%) / Provided
Southwest Boundary	15' / 15'	215'	11 / 11	6 / 7

Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
215' / 215'	(BU)	75% / 100%

## ADDENDUM #4

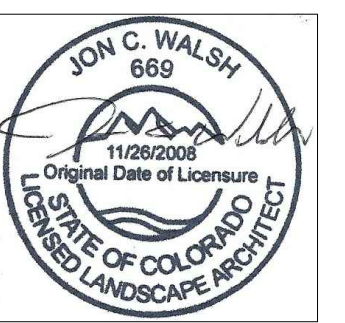
Landscape layout revised to reflect addition of public sidewalk from building to street at west side of property. Planting bed configurations have been revised, but all plant material and landscape boulder quantities have remained unchanged.

**FREEDOM SPRINGS**  
 734 WESTERN DRIVE  
 COLORADO SPRINGS, EL PASO COUNTY  
 COLORADO 80915

REVISION DESCRIPTION DATE

REVISION	DESCRIPTION	DATE

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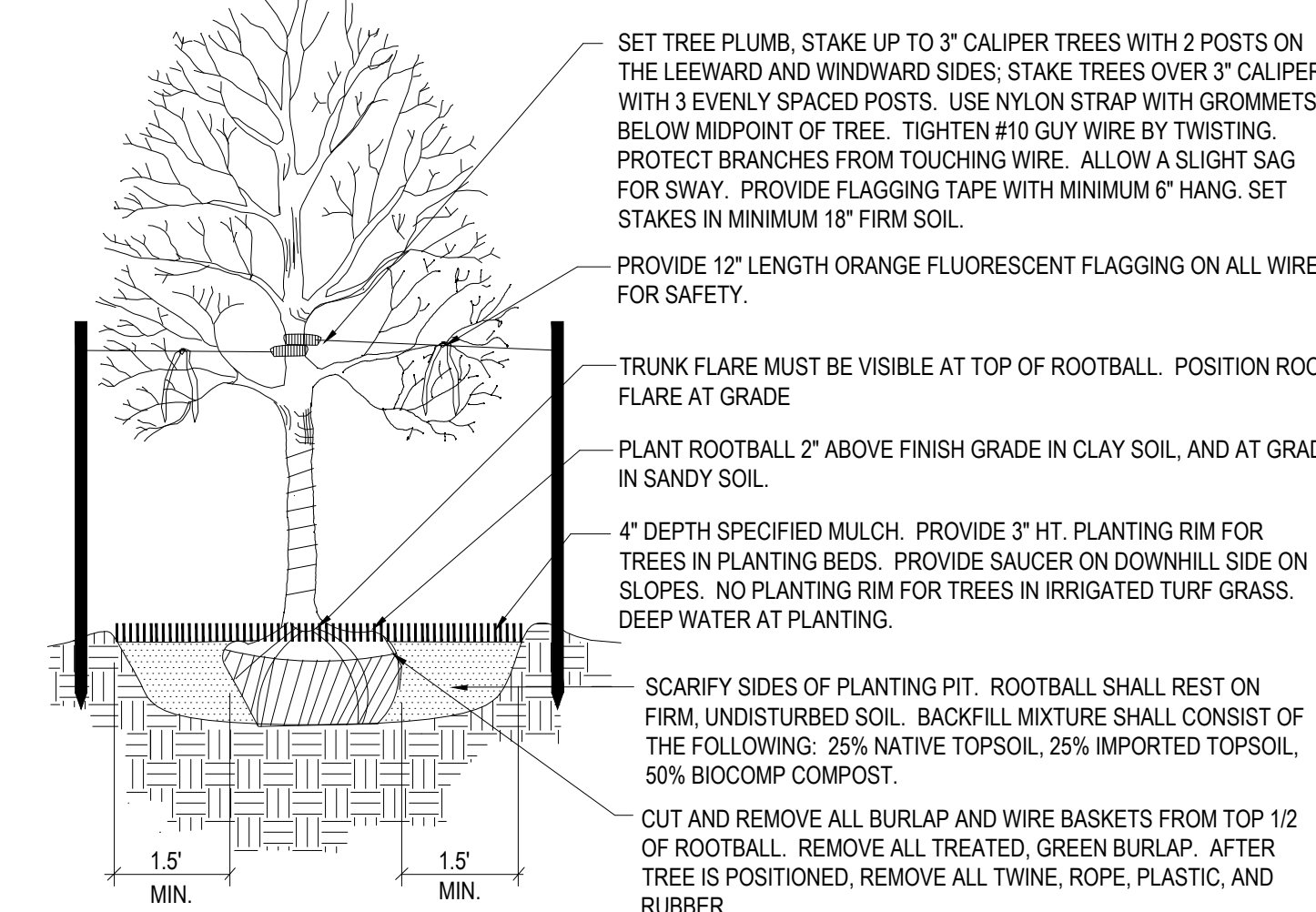
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Landscape Plan

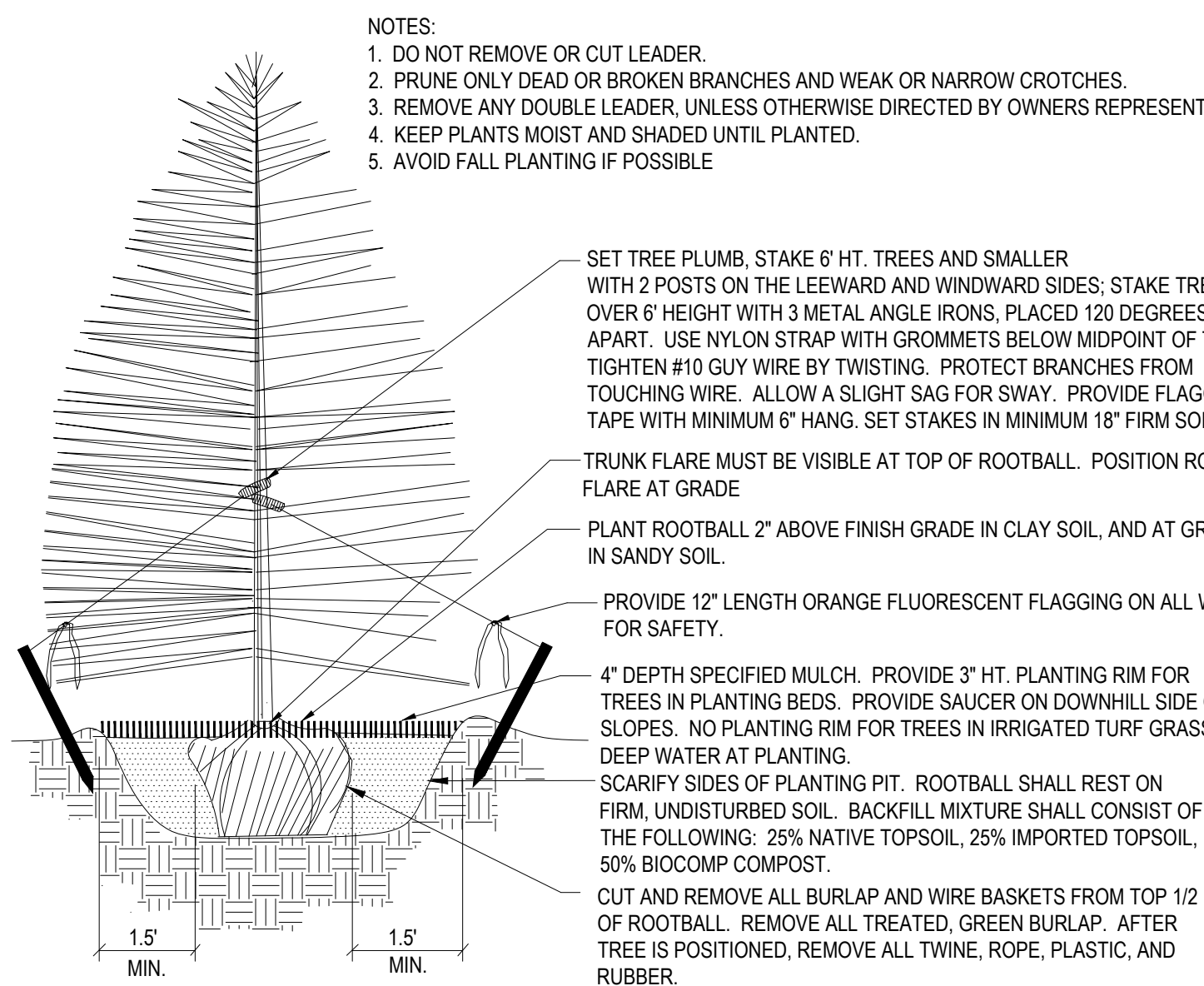
**LS1**

# PLANTING DETAILS

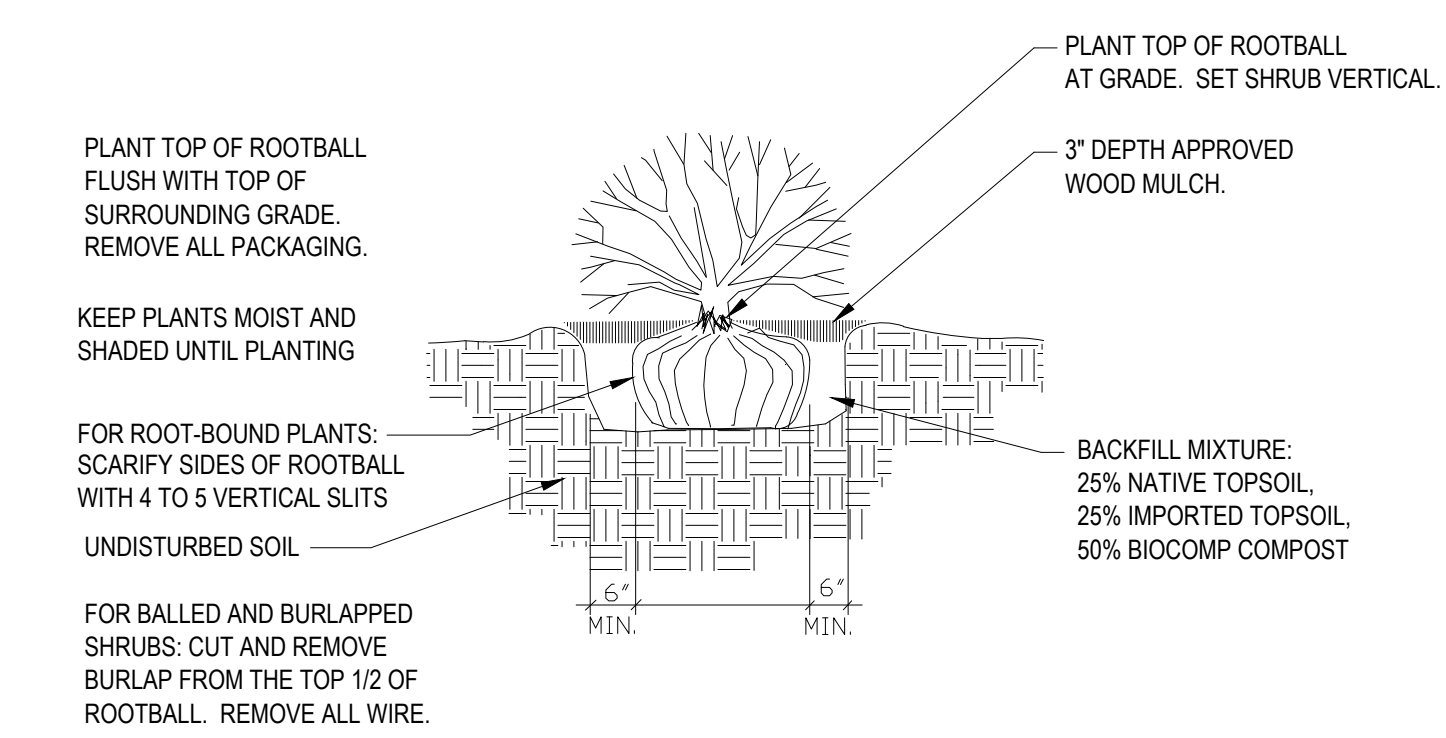
- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
  2. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
  3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
  4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
  5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  6. WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



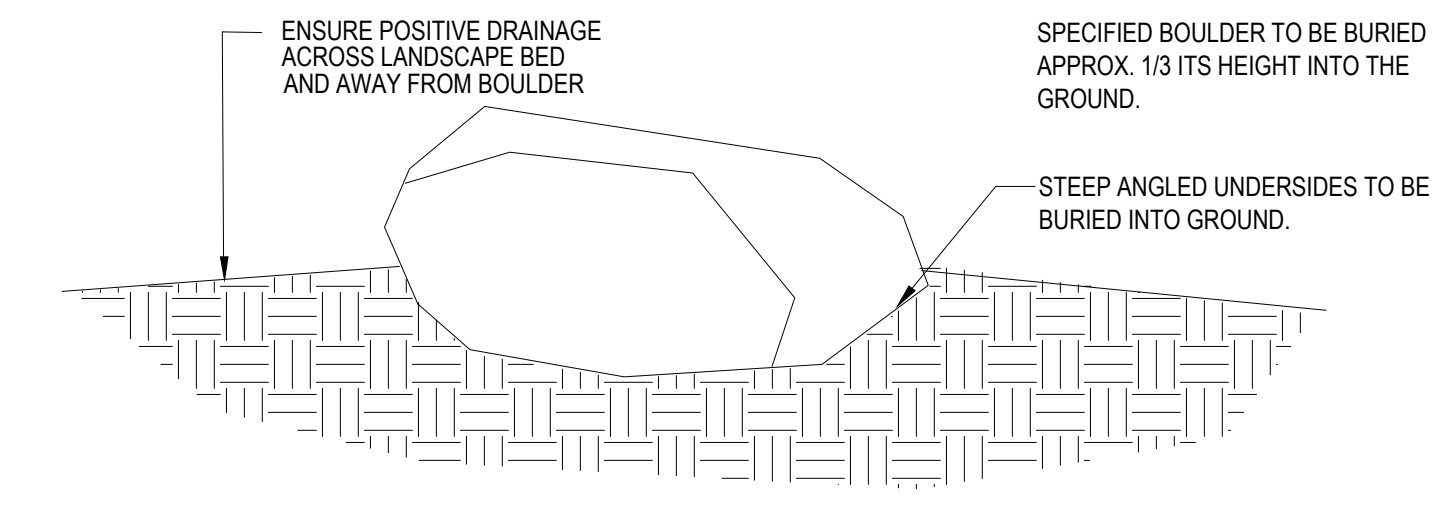
**1** Deciduous Tree Planting Detail  
NOT TO SCALE



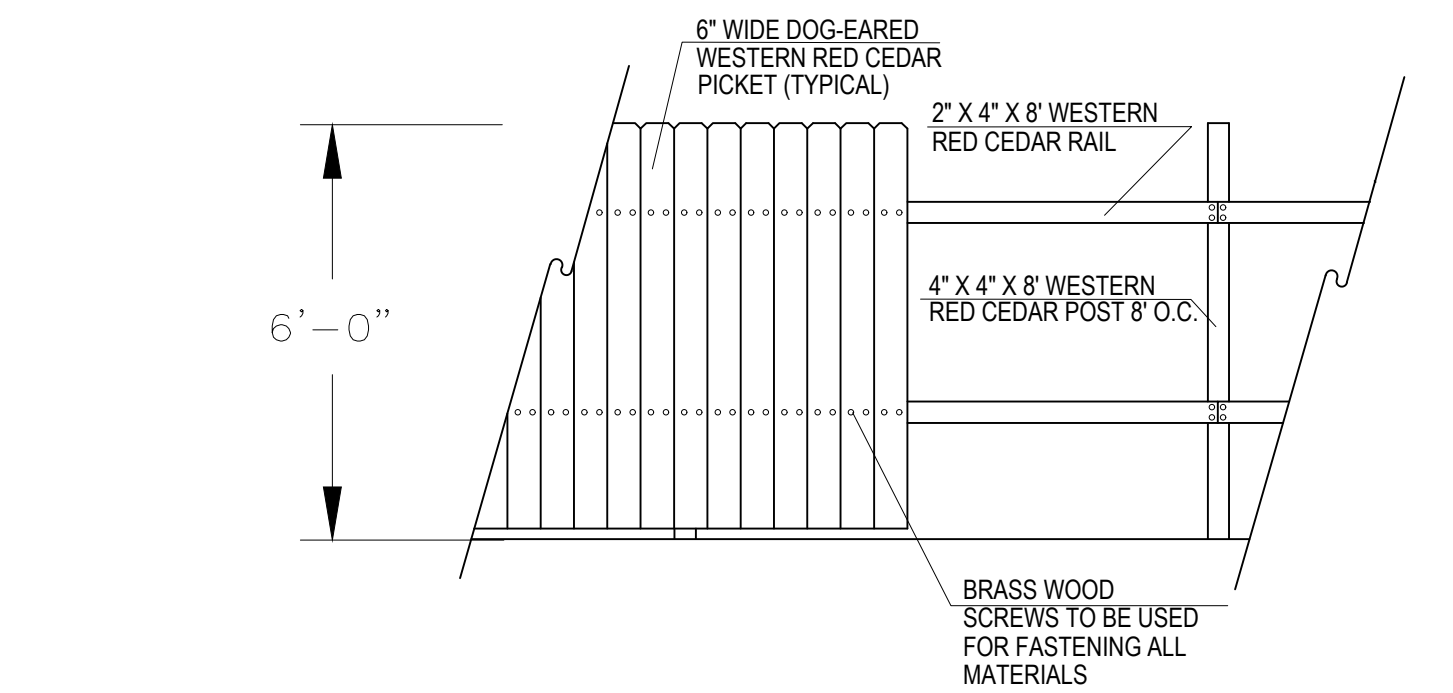
**2** Coniferous Tree Planting Detail  
NOT TO SCALE



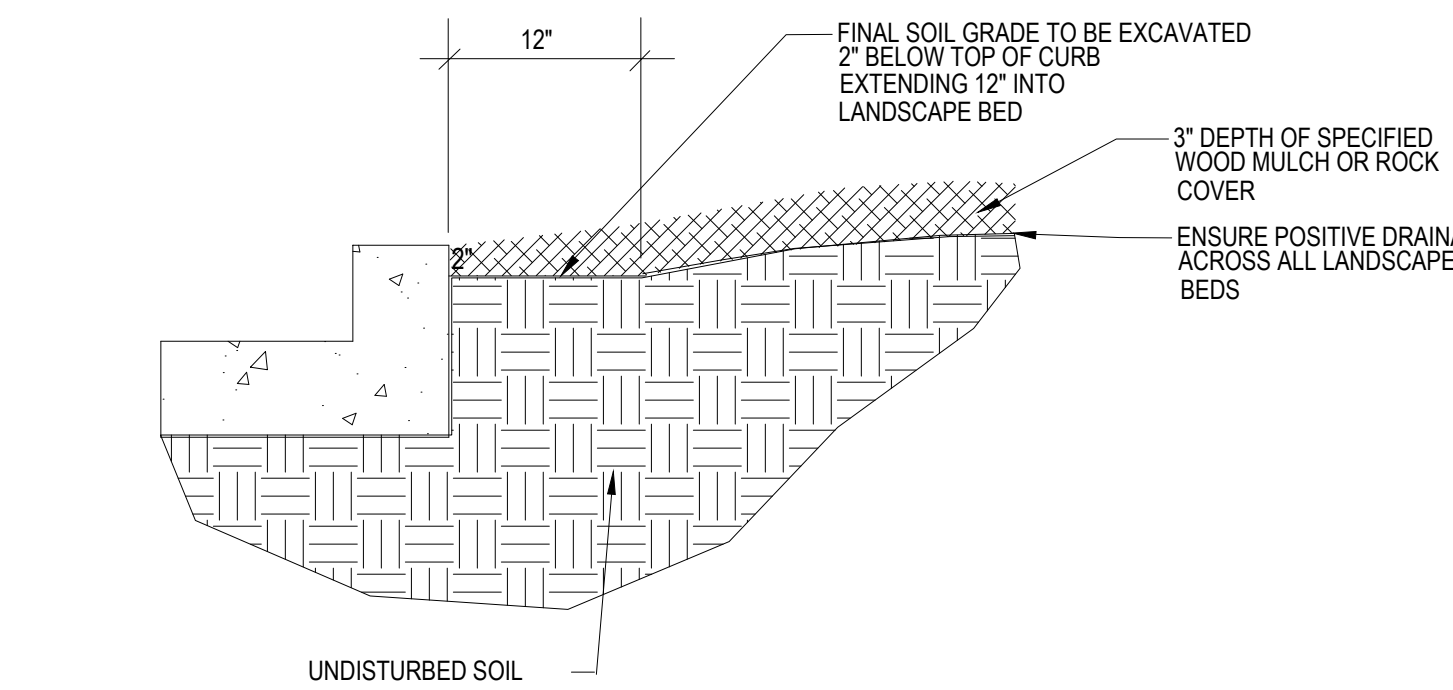
**3** Shrub Planting Detail  
SCALE: NOT TO SCALE



**4** Landscape Boulder Placement  
SCALE: NOT TO SCALE



**5** Cedar Picket Wood Fence Detail  
NOT TO SCALE



**6** Rock Cover / Mulch Bed Excavation  
SCALE: NOT TO SCALE

## NATIVE SEED ESTABLISHMENT

**INITIAL PLANTING**  
STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDING AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT EXCEED 6" X 6".

**OVER SEEDING**  
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURER'S INSTRUCTIONS.

# GENERAL NOTES

1. ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES 1-800-922-1987 PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
5. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION.
6. CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO SPECIFICATIONS HANDBOOK, 1996 (OR MORE RECENT) REVISED EDITION FOR SPECIFICATIONS RELATING TO LANDSCAPE AND IRRIGATION CONSTRUCTION ON THIS SITE. REFER TO SECTIONS 02810, 02930, 02940, AND 02950. CONTRACTOR SHOULD CONTACT OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT FOR CLARIFICATIONS OR QUESTIONS.
7. THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT. ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE 'ALCC SPECIFICATIONS HANDBOOK' REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

## PROJECT NOTES

1. FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADES SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE INCH.
2. CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS:  
2" BELOW TOP OF CONCRETE OR RETAINING WALLS FOR ALL MULCH AND ROCK COVER BEDS.  
1" BELOW TOP OF CONCRETE OR RETAINING WALLS FOR IRRIGATED TURF AND NATIVE SEED AREAS.  
CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL.
3. ALL AREAS SHOWN AS 'NON-IRRIGATED NATIVE SEED' TO BE SEEDED WITH 'LOW GROW NATIVE SEED MIX' (PAWNEE BUTTE SEED, INC.) BY DRILL SEEDING AND HYDRO-MULCH SEEDING AT A RATE OF 2 LBS. PER 1,000 SQ. FT. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS. ALL SEEDED AREAS WITH EROSION CONTROL BLANKET TO RECEIVE EROSION CONTROL BLANKET- 'R1 EXCEL' WESTERN EXCELSIOR PHOTO-DEGRADABLE EROSION CONTROL BLANKET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
4. ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF DEWITT WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6" STEEL ANCHOR PINS TO BE INSTALLED 6" O.C. MAX.
5. PROPOSED SOD IS TO CONSIST OF A BLUEGRASS BLEND. SOD IS TO HAVE LOW CLAY CONTENT. SOD BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS AND ROCKS GREATER THAN ONE HALF INCH. SOD IS TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION.
6. ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING. PARKING LOT ISLANDS WHERE TREES ARE PROPOSED ARE TO BE EXCAVATED TO A 30" DEPTH, 8" DIAMETER AT PROPOSED TREE LOCATIONS AND HALF OF EXCAVATED SOIL IS TO BE MIXED WITH IMPORTED TOPSOIL AND REPLACED INTO ISLANDS.
7. AFTER PLANTING, BUT BEFORE MULCH IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SHAPSHOT), APPLY PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO SPRAY ALL PLANTING BEDS WITH WATER IMMEDIATELY AFTER MULCH IS INSTALLED TO REMOVE PRE-EMERGENT FROM FOLIAGE AND ACTIVATE HERBICIDE.
8. LANDSCAPE BOULDERS TO CONSIST OF 24" TO 30" DIAMETER 'COTTONWOOD' BOULDERS (C & C SAND), PARTIALLY BURIED INTO GROUND. REFER TO DETAIL.
9. GORILLA HAIR WOOD MULCH IS TO BE PROVIDED IN ALL PLANTING BEDS SHOWN AT SPECIFIED DEPTHS SHOWN ON LANDSCAPE PLAN. MULCH TO BE INSTALLED AT A UNIFORM 3" TO 4" DEPTH. NO LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH. CONTRACTOR IS TO SPRAY MULCH WITH WATER IMMEDIATELY AFTER SPREADING TO HELP MAT IT DOWN AND PREVENT MULCH FROM BLOWING AWAY.
10. STEEL EDGING IS TO CONSIST OF 16 GAUGE PERFORATED GALVANIZED ROLLED-TOP STEEL EDGING. EDGING IS TO BE USED TO SEPARATE TURF, WOOD MULCH, AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. 12" STEEL EDGING PINS TO BE INSTALLED EVERY 4' O.C. MAX. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO PINS SECURING OVERLAPPED ENDS.

## SOIL PREPARATION NOTES

1. **PROPOSED BLUEGRASS SOD AREAS:** ALL SODDED AREAS TO RECEIVE 4 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
2. **PROPOSED NATIVE GRASS AREAS:** ALL SEEDED AREAS TO RECEIVE 3 CU. YDS. PER 1,000 SQ. FT. OF IMPORTED GRADE A TOPSOIL (C&C SAND) INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
3. **PROPOSED TREES AND SHRUBS:** ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A TOPSOIL (C&C SAND). REFER TO PLANTING DETAILS.

## IRRIGATION NOTES

1. ALL PROPOSED TREES AND SHRUBS ARE TO BE WATERED BY A PROPOSED DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC CONTROLLER, RAIN SENSOR, BACKFLOW PREVENTER (INSTALLED PER LOCAL CODES), AND TWO QUICK COUPLERS EVENLY SPACED ALONG MAINLINE. TREES TO HAVE (4) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. SHRUBS TO HAVE (2) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL. ALL DRIP PIPE SHALL BE SECURED WITH 6" METAL STAPLES AND BURIED. REFER TO SPECIFICATIONS FOR STANDARDS TO MEET WITH DESIGN/BUILD IRRIGATION SYSTEM.
2. ALL BLUEGRASS SOD AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD COVERAGE.
3. ALL DISTURBED NATIVE SEED AREAS TO RECEIVE TEMPORARY IRRIGATION UNTIL NATIVE GRASS IS ESTABLISHED. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION. HOSES ARE TO BE CONNECTED TO BUILDING HOSE BIBS AND IRRIGATION QUICK COUPLERS TO MANUALLY WATER PROPOSED NATIVE SEED AREAS WITH PORTABLE SPRINKLERS UNTIL ESTABLISHED.
4. PROVIDE IRRIGATION TO COMMUNITY GARDEN AS DIRECTED BY ARCHITECTURAL DRAWINGS.

Corporate Entity No. 2018128152

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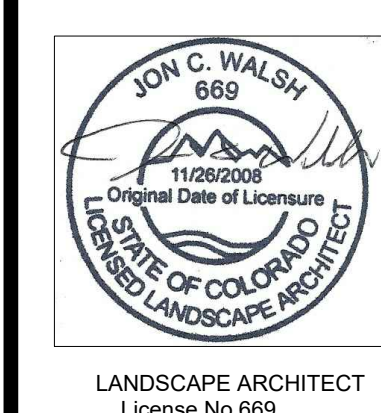
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**FREEDOM SPRINGS**  
734 WESTERN DRIVE  
COLORADO SPRINGS, EL PASO COUNTY  
COLORADO 80915

REVISION	DESCRIPTION	DATE

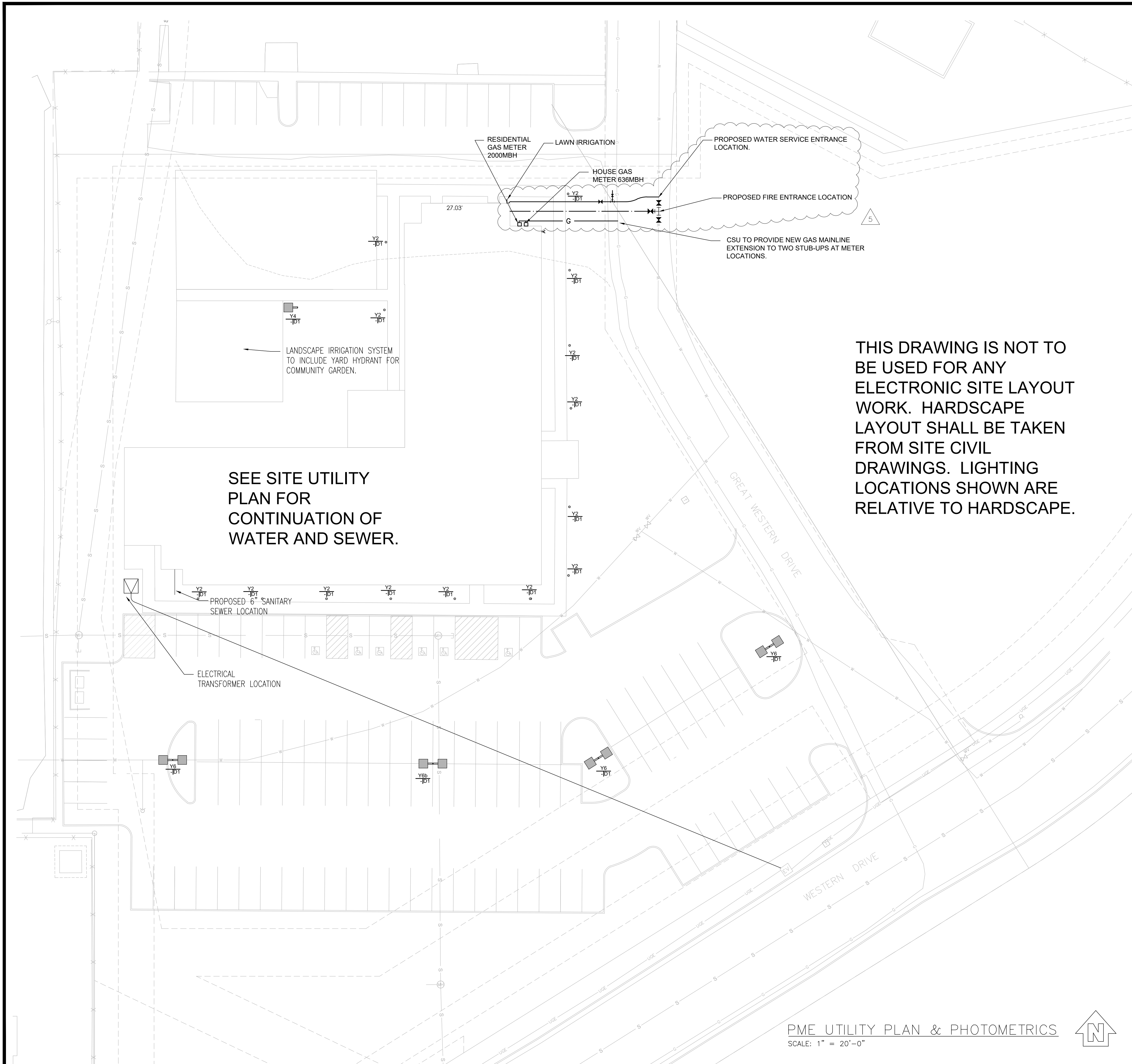
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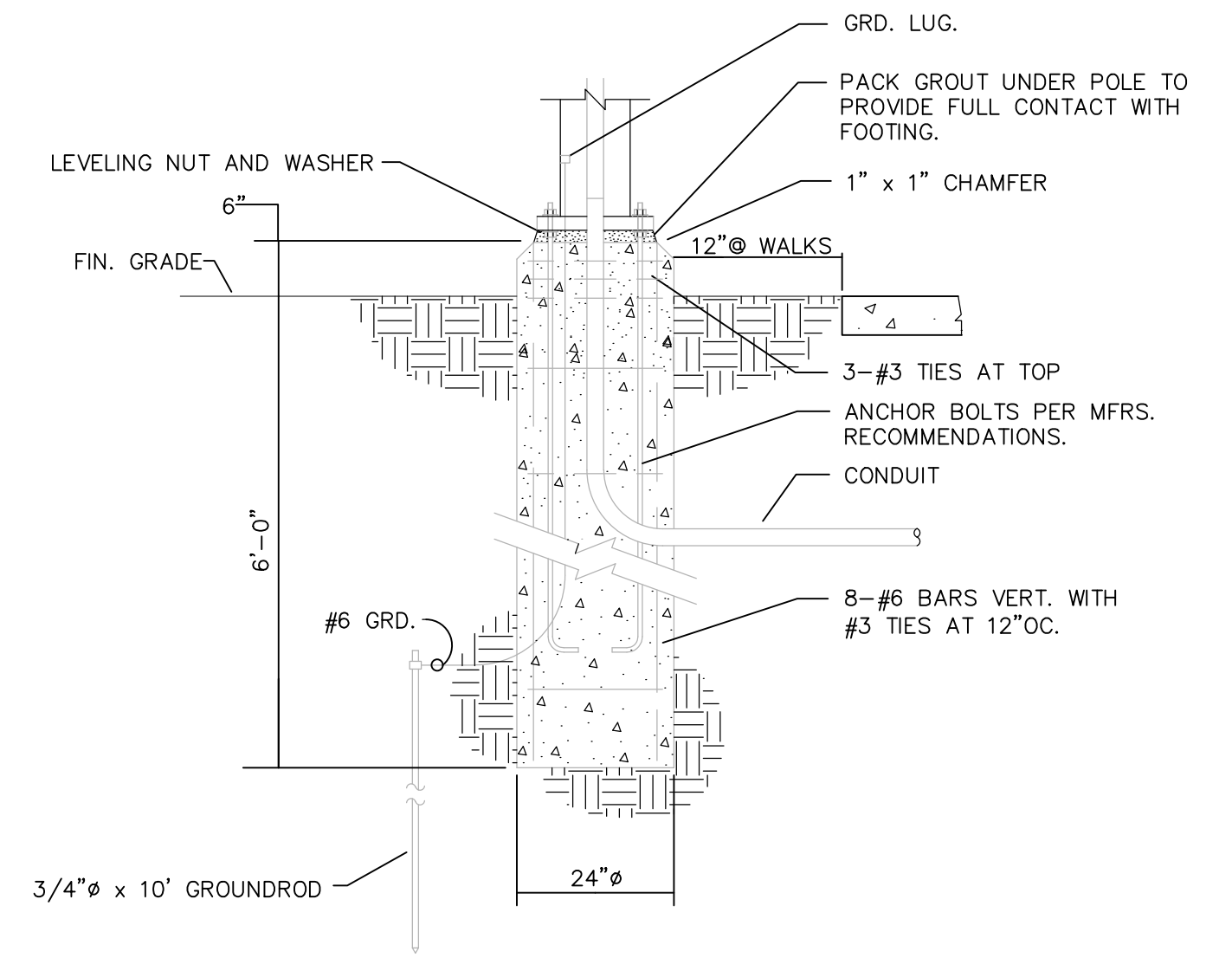
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Landscape Details  
**LS2**

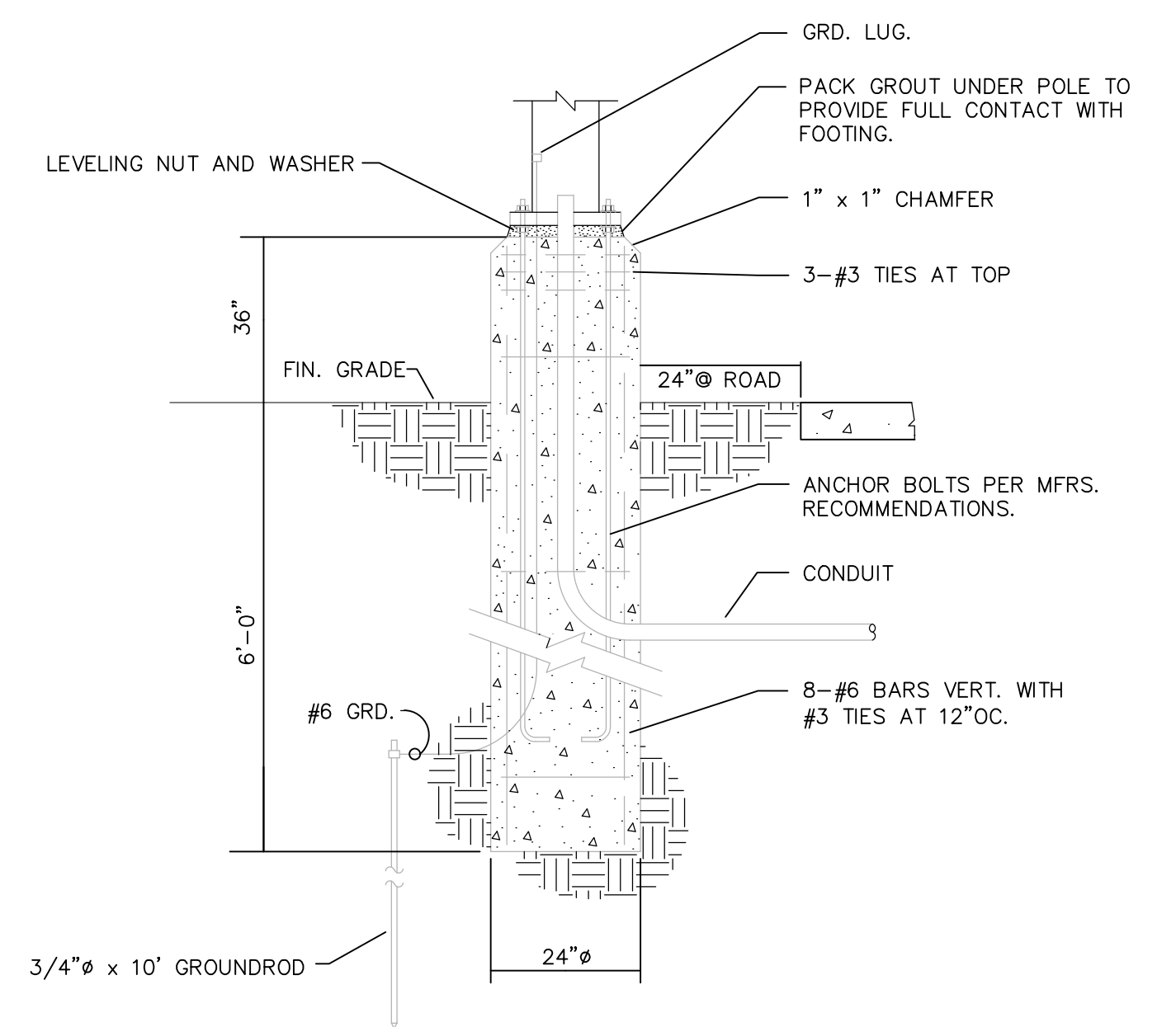


SEE SITE UTILITY PLAN FOR CONTINUATION OF WATER AND SEWER.

THIS DRAWING IS NOT TO BE USED FOR ANY ELECTRONIC SITE LAYOUT WORK. HARDSCAPE LAYOUT SHALL BE TAKEN FROM SITE CIVIL DRAWINGS. LIGHTING LOCATIONS SHOWN ARE RELATIVE TO HARDSCAPE.



LIGHT POLE BASE DETAIL (WALK ADJACENT) NOT TO SCALE 1 RME100



LIGHT POLE BASE DETAIL (VEHICLE ADJACENT) NOT TO SCALE 2 RME100

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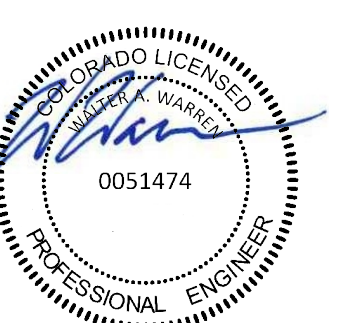
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**FREEDOM SPRINGS**  
734 WESTERN DRIVE  
COLORADO SPRINGS, EL PASO COUNTY,  
COLORADO, 80915

REVISION	DESCRIPTION	DATE
PERMIT SET		03-05-18
ADDENDUM 02		10-26-18
ADDENDUM 03		11-02-18
ADDENDUM 05		01-11-19

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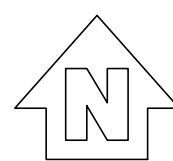


01/11/2019  
Walter Warren - PE  
CO 0051474

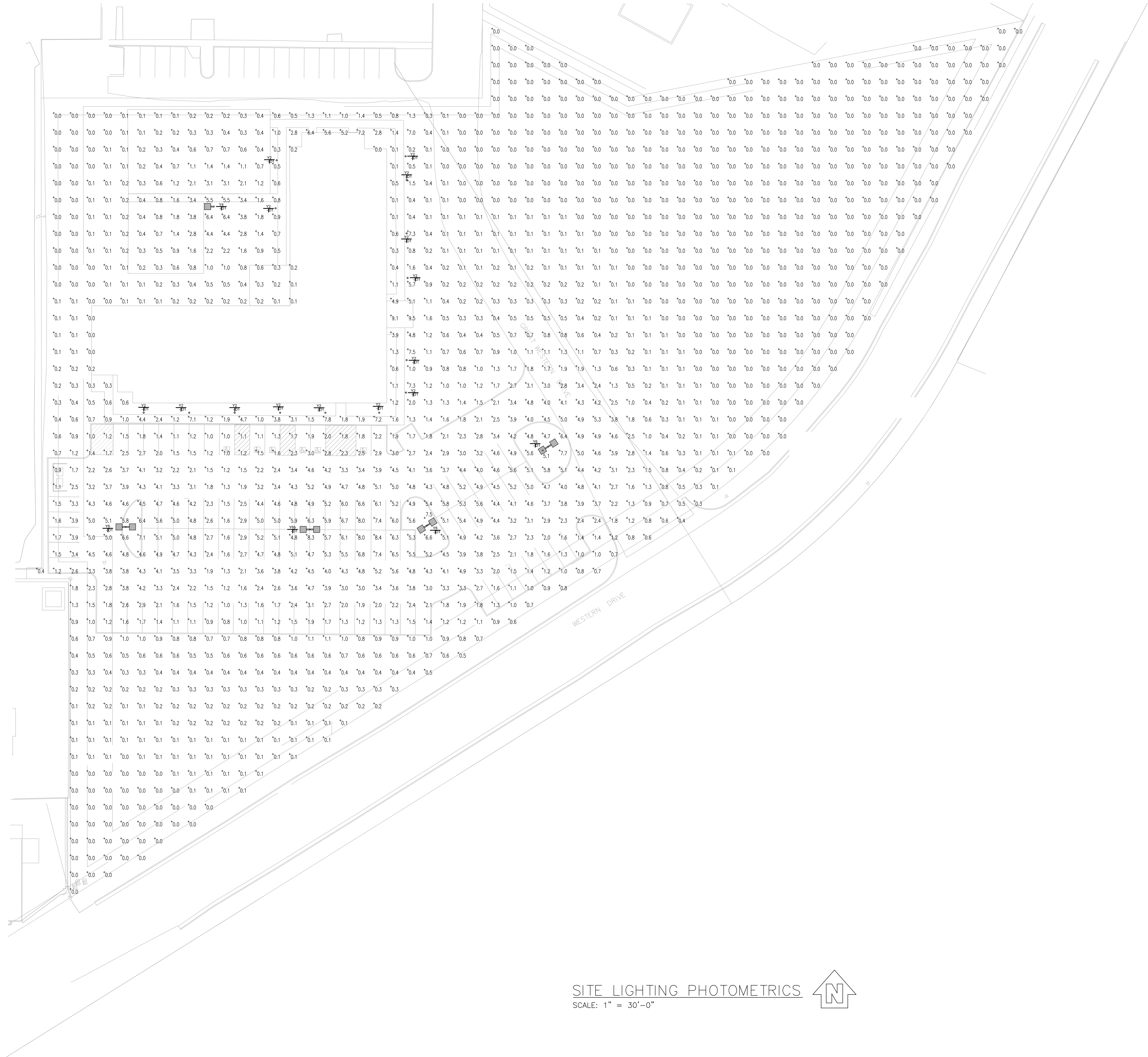
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PME UTILITY PLAN  
**PME-100**

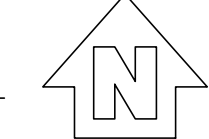






SITE LIGHTING PHOTOMETRICS

SCALE: 1" = 30'-0"



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Corporate Entity No. 20181126152

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**FREEDOM SPRINGS**  
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REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
▲	ADDENDUM 02	10-26-18
▲	ADDENDUM 03	11-02-18
▲	ADDENDUM 05	01-11-19

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SITE LIGHTING PHOTOMETRICS  
**ESL-100**

**SUPPLEMENTAL SPECIFICATIONS:**

**FIRE ALARM SYSTEM:**  
See specifications manual.

**SECURITY SYSTEMS:**

- A. General:
- Furnish and install a complete operating access building security system as described herein and as shown on drawings. The system shall be complete with all necessary materials and controls required for operation whether or not such materials and controls are specified or shown. Shop drawings shall be provided to the Architect for confirmation of location of all cameras.
  - CCTV devices:
    - CCTV cameras shall be located where shown to monitor entry and exit of the building, and building exterior. Monitors, recorder and other gear shall be located in Room 113 near the MDF. Coordinate location with fire alarm, HVAC, and other nearby trades.
    - IP camera (1.3MP minimum resolution, color).
    - Monitor, 24" 16:9 LED monitor, 1920x1080 resolution
    - Network Video Recorder, 30 days storage
    - Network switch
    - Battery backup
  - Power for security systems shall be provided through the specified house panel circuit for security. See electrical panel diagrams.
  - Security systems shall be provided with stand-alone standby battery or circuit with inverter to provide sufficient power for 24 hours of operation.

**ACCESS AND DOOR CONTROL SYSTEMS:**

- A. General:
- Furnish and install a complete operating access control system as described herein and as shown on drawings. The system shall be complete with all necessary materials and controls required for operation whether or not such materials and controls are specified or shown. Shop drawings shall be provided to the Architect for confirmation of location of all access and door control systems.
  - Access control shall be located at all building entrances as indicated on the drawings. Controls at exterior pedestrian locations shall include proximity sensor. Call box shall be located at main entry without remote unlock capability.
  - Magnetic hold opens shall be as specified with door hardware. Power for magnetic hold-opens shall be provided from the nearest public unswitched, non-GFCI, non-AFCI, receptacle circuit.
  - Power for access control systems shall be provided through the specified house panel circuit for Access Control. See electrical panel diagrams.
  - Access control systems shall be provided with stand-alone standby battery or circuit with inverter to provide sufficient power for 24 hours of operation.

**PUBLIC WIFI SYSTEM:**

Furnish and install a complete operating public WIFI system providing wireless access points, powered by POE, where shown and as required to provide service to specified areas on drawings.

2

2

LIGHT FIXTURE SCHEDULE							
TAG	LOCATION	MODEL #	FINISH	WATTS	LUMENS	MOUNTING	NOTES
A	APARTMENTS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING	
C1	CEILING FAN	PROGRESS P2574-2030K	BZ			CEILING	WET RATED
D1	LIVING ROOM	PROGRESS P3612-0930K9	WH	44.5W	3745	CEILING	22"DIA, 2700K
D2	BEDROOM	PROGRESS P3611-093069	WH	29.5W	2330	CEILING	15"DIA, 2700K
E	MECHANICAL CLOSET	LEVITON 8829-CW4		8.5W		WALL	KEYLESS LAMP HOLDER W/ LED BULB OVER DOOR. PROTECTIVE CAGE REQ'D AT ELEVATOR PIT.
F	CLOSETS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING	
G2	BATH VANITY	PROGRESS P2094-0930K9	PC	35W	3000LM	WALL	38" LENGTH
H	BATH	PROGRESS P8022-82-30K	BN	15W	1000LM	CEILING	
J	KITCHEN PENDANT	PROGRESS P5092-09	BN	9.5W	915LM	PENDANT	FROSTED GLASS
K	CORRIDORS	PROGRESS P8022-28-30K	WH	15W	1000LM	CEILING	3000K
L	NOT USED						
M	HEARING IMPAIRED APARTMENTS	NUTONE LA11WH, C907 XFORM, HARRIS DOORBELL STROBE, SPORE TDB-N-AL BUTTON	WH	-	-	WALL	BUTTON STRIKE SIDE AT 48", CHIME/STROBE VISIBLE TO LIVING ROOM.
N1	OFFICE	LUMENOPTIX LUZ-22-40-EA8-35K-DU1-KS	WH	40W	4100LM	SURFACE CEILING	2X2 LED PANEL W/ SURFACE MT KIT
Q	CLOSETS	LEVITON 9864-LED		8.5W		CEILING	MOTION, NO SWITCH
R	UTILITY	COLUMBIA CSL4-4035	WH	36W	4000LM	SURFACE	48" STRIP LIGHT W/ HANGER FOR 9' MAX MOUNTING HEIGHT
S	CLASSROOM	FINELITE HP2-D-4-H-830-F-120V-FA50-SC-C*	WH	26W	2600LM	PENDANT	48" LINEAR
Y1	EXTERIOR CANOPY	HINKLEY 2302KZ-LED ARIA	BZ	15W		PENDANT	
Y2	EXTERIOR BOLLARD	H.E.WILLIAMS OSA6R-L20/840-AC-FT-DBZ-AB-DRV-UNV	BK	18W	2000LM	GROUND	
Y3	EXTERIOR WALL	WAC WS-W5318	BZ	15W	1218LM	WALL	VERIFY MT HEIGHT
Y4	YARD LITE	KENALL TPDPT26-5R-55-FTA-DB-160L30K-DV-DS34 0-500V250-OT-HH-FBCP-AB-DB-(VAL,KEN ALL)	BK	150W	13860LM	POLE	3000K, 25' POLE
Y5	PARKING	BEACON VP-S/30NB-70/3K/T2/UNV/RA/DBT, BEACON SSSB16-40A-1-1B4-DBT	BK	54.7W	6530LM	POLE	3000K, 25' POLE
Y6	PARKING	BEACON VP-L/96NB-280/3K/T3/UNV/RA/DBT, BEACON SSSB25-50B-2-S2-DB	BK	215W	24084LM	POLE	DUAL HEAD, 3000K, 25' POLE
Y6b	PARKING	BEACON VP-L/96NB-280/3K/T3/UNV/RA/DBT, BEACON SSSB22-50B-2-S2-DB	BK	215W	24084LM	POLE	DUAL HEAD, 3000K, CUSTOM 22' POLE HEIGHT.
Y7	WALLPAK	BEACON TRV/D/24NB/27/3K/T2/UNV/BL	BK	27W		WALL	
EX1	EMERGENCY	COMPASS CCG	WH			UNIVERSAL	EMERGENCY/EXIT
EX2	EMERGENCY	COMPASS CEG + REMOTE	WH			UNIVERSAL	EMERGENCY/EXIT WITH REMOTE HEAD
EX3	EMERGENCY	COMPASS CCGRC	WH	1.4W		WALL 7.5'	2 HEAD EMERG. LIGHT
EM1	EMERGENCY	COMPASS CU2 + REMOTE	WH	1.4W		WALL 7.5'	2HEAD W/ REMOTE
EM2	EMERGENCY	COMPASS CU2RC	WH	14W		WALL 7.5'	HIGH OUTPUT
EM3	EMERGENCY	DUAL EVHC6					

ALL FIXTURES SHALL BE 3000K COLOR TEMP. 2700K TO 3500K IS ACCEPTED WHERE 3000K IS NOT AVAILABLE.  
EXHAUST FANS, HEATERS, AND OTHER MECHANICAL EQUIPMENT BY MC. CONNECTION BY EC. SEE M300 FOR SPECS.  
SMOKE & CO ALARM - SEE SPECIFICATIONS  
DWELLING UNIT FIXTURES REQUIRING SCREW-IN LAMPS SHALL USE CREE A19, 2700K, 9.5W, 915LM, OMNIDIRECTIONAL, 80CRI MIN.

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**FREEDOM SPRINGS**  
734 WESTERN DRIVE  
COLORADO SPRINGS, EL PASO COUNTY,  
COLORADO, 80915

REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
2	ADDENDUM 02	10-26-18

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SCHEDULES

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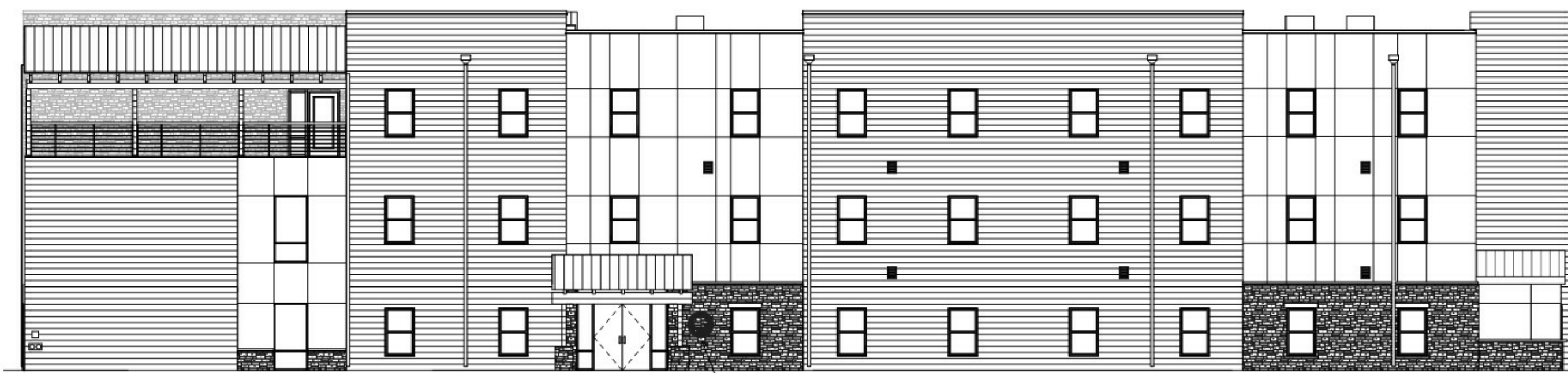
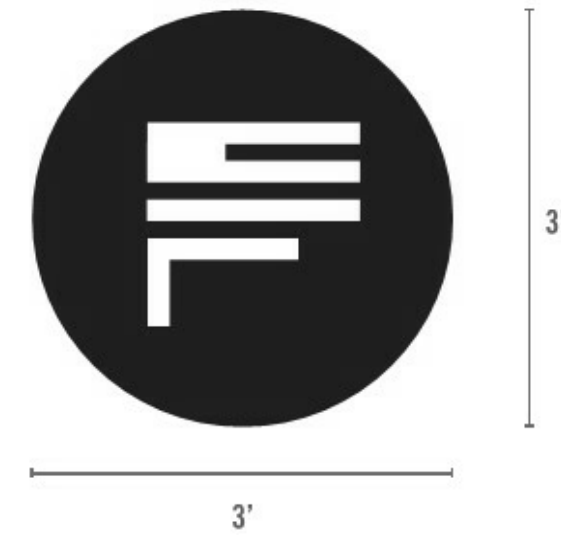
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ghosteller@ldc-inc.com

CUTOUT METAL WALL SIGN ON EAST ELEVATION, AND FLAGPOLE IN EAST COURTYARD.

NOT ILLUMINATED.  
APPROXIMATE SIZE: 3' x 3'

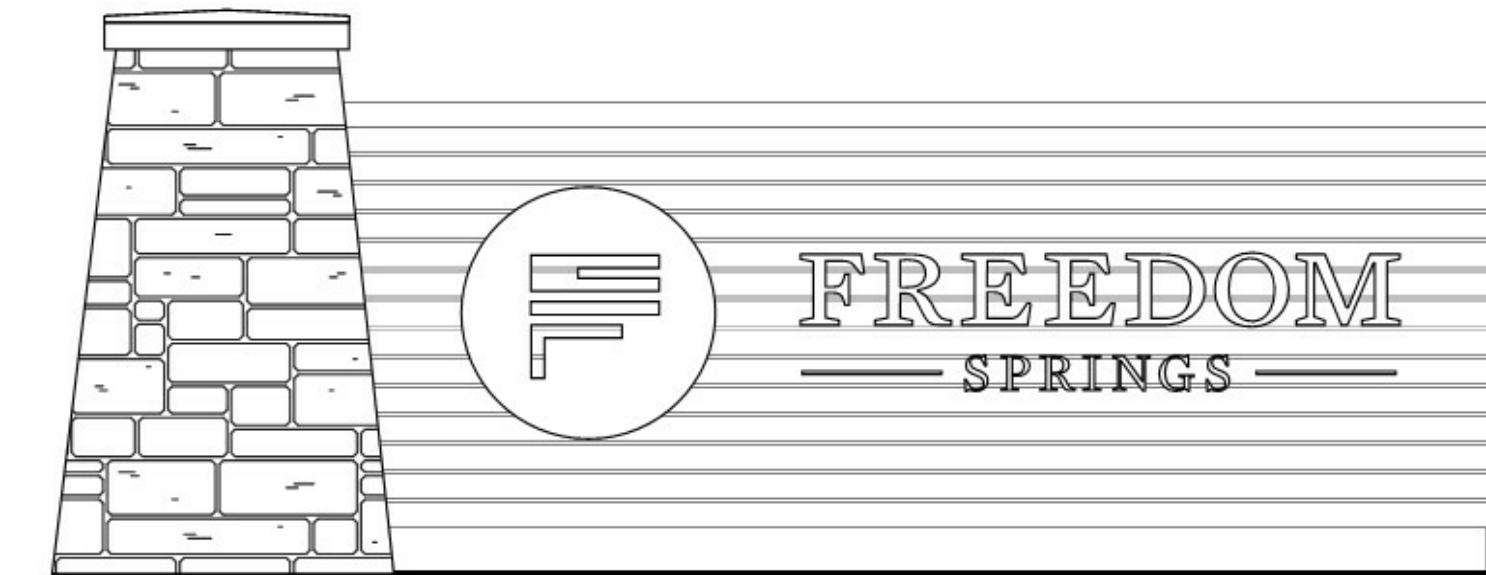


BUILDING PLACEMENT - EAST FACE

WALL-MOUNTED SIGN LOCATION

MONUMENT SIGN ON SE CORNER OF PROPERTY NEAR CORNER AT WESTERN DRIVE.

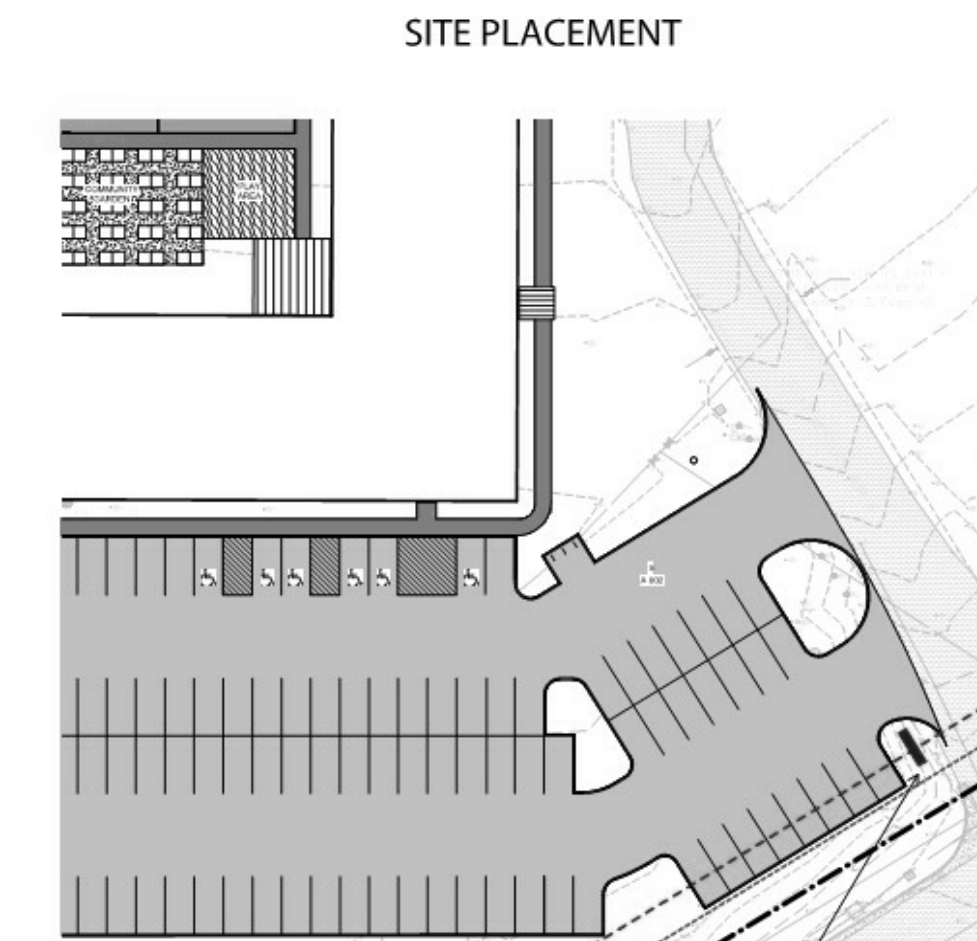
DOUBLE SIDED.  
WOODEN SLATS ON CONCRETE BASE.  
METAL CUTOUT LETTERING AND LOGO.  
APPROXIMATE SIZE: 8' x 3' x 4.5'  
STREET NUMBER ON OUTSIDE STONE AREA OF SIGN, FACING STREET.  
SOLAR GROUND LIGHTING



8'

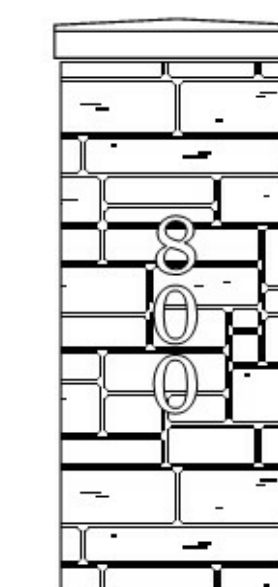


8'



SITE PLACEMENT

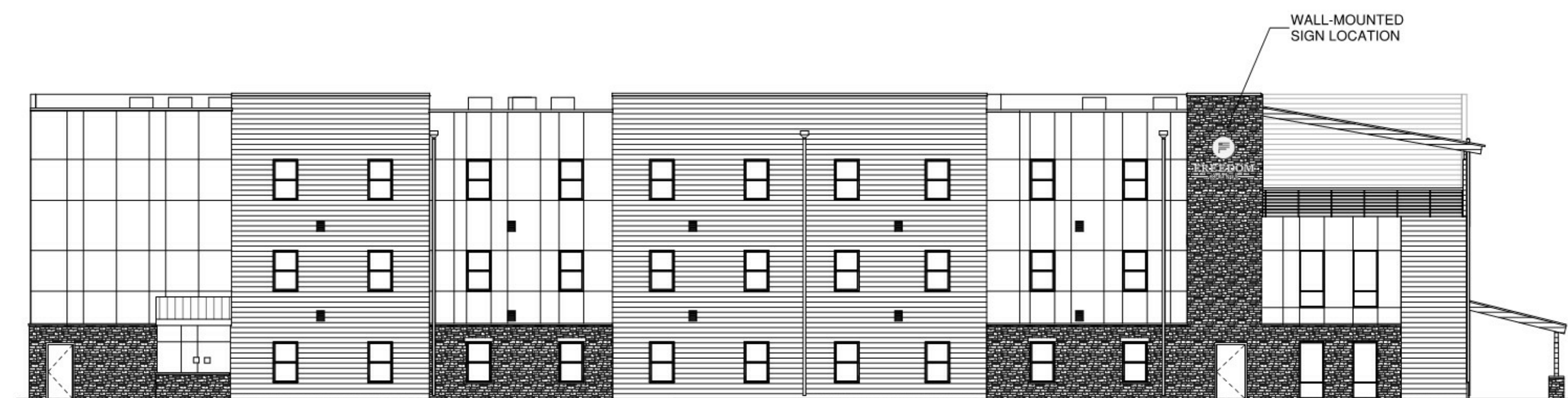
MONUMENT SIGN LOCATION



SIDE VIEW

ILLUMINATED WALL SIGN ON SOUTH ELEVATION "CHIMNEY"

LED BOX/CHANNEL LETTERS WITH DARK SIDES. FRONT GLOW ONLY.  
APPROXIMATE SIZE: 6'6" x 4'6"



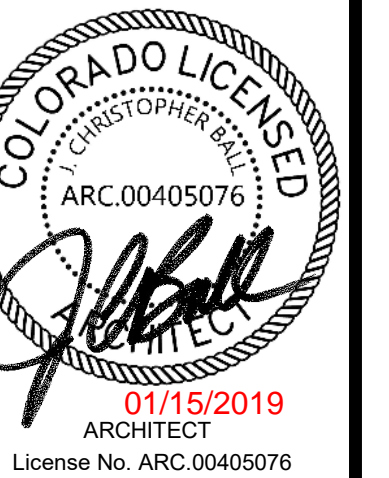
BUILDING PLACEMENT - SOUTH FACE

WALL-MOUNTED SIGN LOCATION

**FREEDOM SPRINGS**  
734 WESTERN DRIVE  
COLORADO SPRINGS, EL PASO COUNTY,  
COLORADO 80915

REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-19
▲	ADDENDUM #1	03-15-19
▲	ADDENDUM #2	10-26-19
▲	ADDENDUM #3	11-02-19
▲	ADDENDUM #4	11-06-19
▲	ADDENDUM #5	01-14-19

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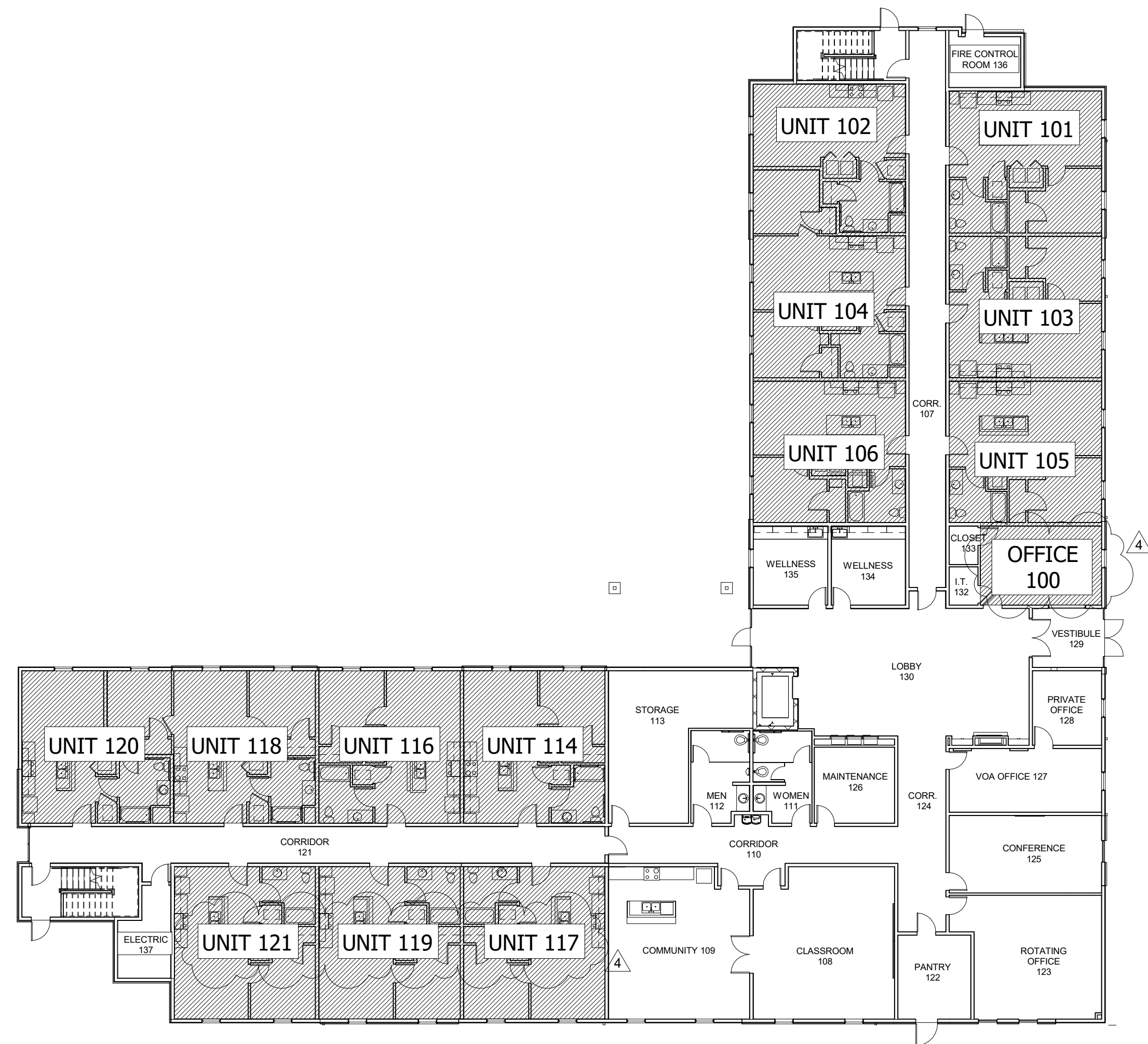


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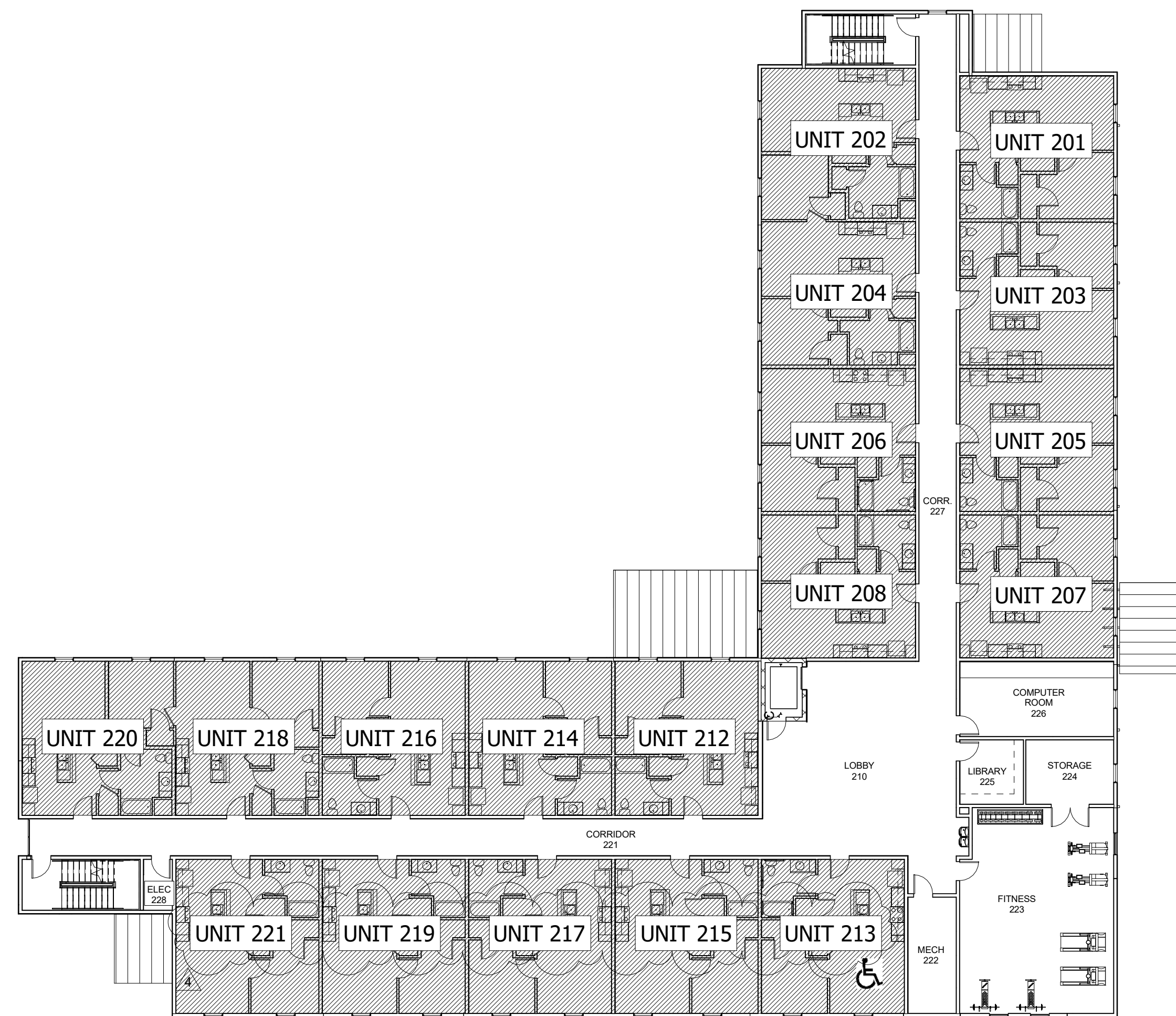
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SIGNAGE

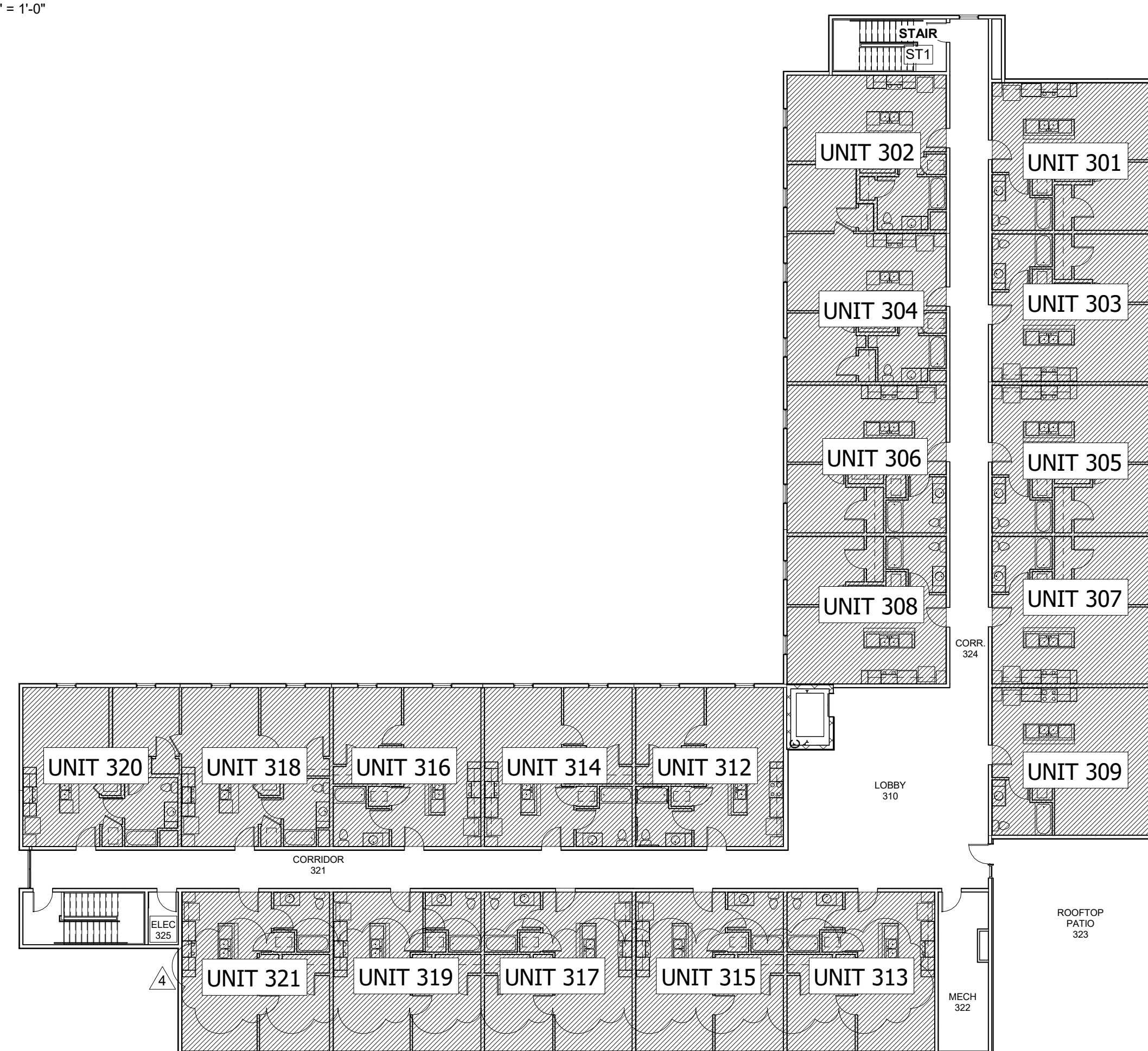
**G-010**



1 FIRST FLOOR ENUMERATION PLAN  
1/16" = 1'-0"



2 SECOND FLOOR ENUMERATION PLAN  
1/16" = 1'-0"



3 THIRD FLOOR ENUMERATION PLAN  
1/16" = 1'-0"

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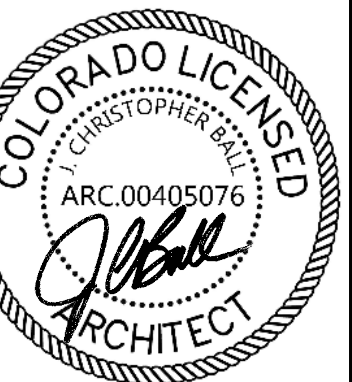
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REVISION	DESCRIPTION	DATE
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▲	ADDENDUM #4	11-06-18

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11/6/2018  
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ENUMERATION PLANS

**G-012**

# Markup Summary

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dsdrice (1)

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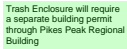
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**Page Label:** 1  
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**Author:** dsdrice  
**Date:** 1/28/2019 11:26:16 AM  
**Color:** ■

Areas shown as landscaping need to remain landscaped unless a revised site development plan is submitted and approved. The landscaped areas are part of the stormwater quality features associated with this site development plan.

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dsdsevigny (1)

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**Subject:** Text Box  
**Page Label:** 3  
**Lock:** Locked  
**Author:** dsdsevigny  
**Date:** 1/28/2019 11:27:53 AM  
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Trash Enclosure will require a separate building permit through Pikes Peak Regional Building