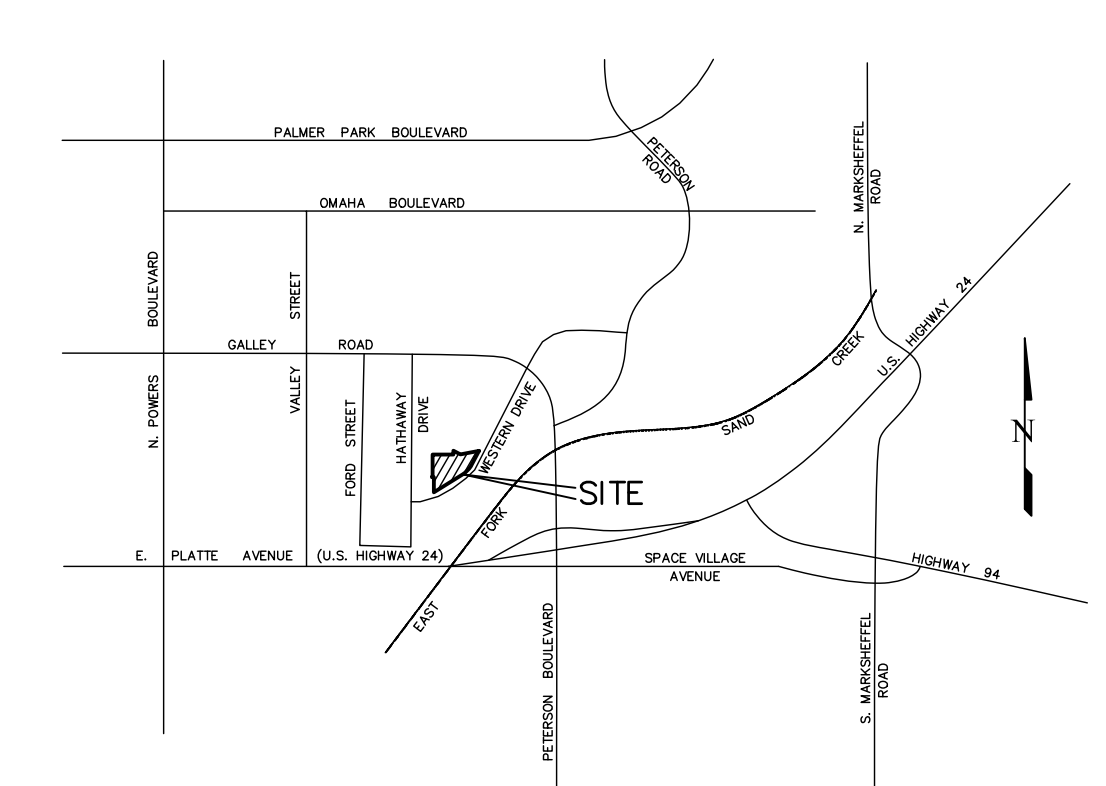


VICINITY MAP
NO SCALE



PROPERTY DESCRIPTION: EPC APN 54074-07-047

Lot 2, WESTERN HILLS SUBDIVISION FILING NO. 2, County of El Paso, State of Colorado, according to the plat thereof recorded December 13, 1994 under Reception No. 164557 in Plat Book G-5 at Page 94 . . . 734 Western Drive.

SITE DATA:

R-4 MULTI-FAMILY RESIDENTIAL
PERMITTED USE: APARTMENT HOUSES

LOT AREA REQUIREMENTS:

68 units, maximum
50 units proposed

BUILDING HEIGHT REQUIREMENTS: 40'-0" maximum

BUILDING AREA REQUIREMENTS: None

SETBACK REQUIREMENTS:

Side Yard = 5'-0" minimum
Front Yard = 20'-0" minimum
Rear Yard = 25'-0" minimum
Landscape (perimeter) = 10'-0" minimum

MAXIMUM LOT COVERAGE: 35%

Lot Size: 3.87 acres = 168,577.2 SQFT
Impervious: 59,527 SQFT
Open Space: 109,050.2 SQFT
Percentage of Open Space: 65%

PARKING REQUIREMENTS:

1.1 parking spaces per Studio = 6.6 parking spaces
1.5 parking spaces per One Bdrm = 57 parking spaces
1.7 parking spaces per Two Bdrm = 10.2 parking spaces
TOTAL UNIT PARKING SPACES = 73.8 parking spaces

Guest Parking - 1 parking space per 3 Units
50 Units = 17 Spaces Required
ADA Parking - 1 per Accessible, Type "A" Unit
6 Units = 6 Spaces Required

Parking Required = 96.8 parking spaces
PARKING PROVIDED = 97 parking spaces

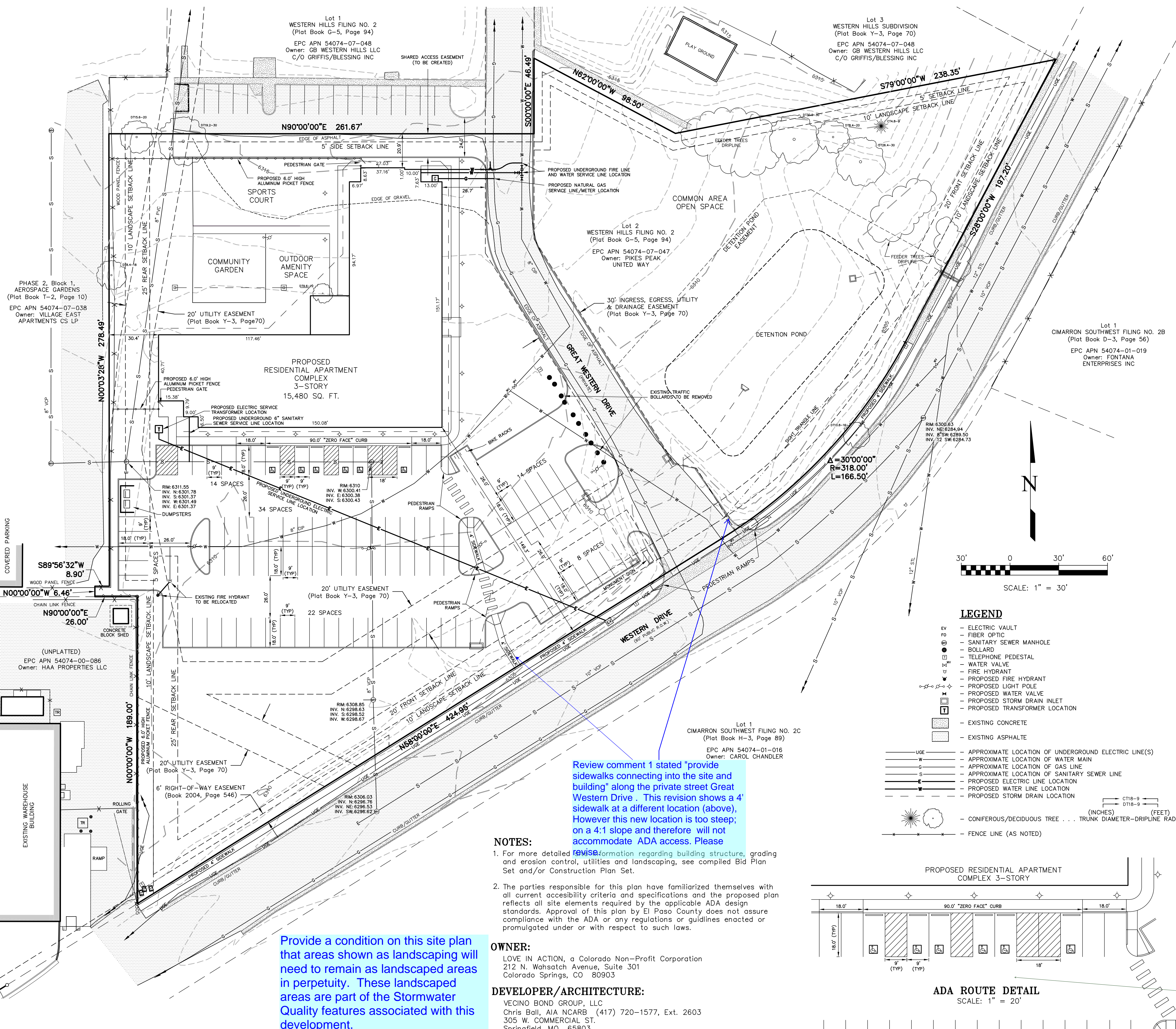
UNIT DISTRIBUTION AND AREA SUMMARY

	STUDIO, TYPE "A"	STUDIO, TYPE "B"	1 BD, TYPE "A"	1 BD, TYPE "B"	2 BD, TYPE "A"	2 BD, TYPE "B"	TOTAL
1st FLOOR	1	1	1	8	1	1	13
2nd FLOOR	0	2	2	12	0	2	18
3rd FLOOR	0	2	1	14	0	2	19
TOTAL	1	5	4	34	1	5	50
TYPE A	1		4		1		6
NET SQ.FT. TOTALS	433	2,120	2,152	18,292	665	3,325	26,987
GROSS SQ.FT.							
1st FLOOR	14,921						
2nd FLOOR	14,736						
3rd FLOOR	14,769						
TOTAL	44,426						

SHEET INDEX:

- SDP - SITE DEVELOPMENT PLAN
- A001 - ARCHITECTURAL SITE PLAN
- A002 - ENLARGED SITE PLAN & DETAILS
- A-201 - ELEVATIONS
- A-202 - ELEVATIONS
- C1 - GRADING AND EROSION CONTROL PLAN COVER SHEET
- C2 - GRADING PLAN
- C3 - PRIVATE STORM SYSTEM & DETENTION BASIN PLAN
- C4 - CIVIL DETAILS
- C5 - EROSION CONTROL PLAN
- C6 - EROSION CONTROL DETAILS
- C7 - UTILITY DEVELOPMENT PLAN
- LS1 - LANDSCAPE PLAN
- LS2 - LANDSCAPE DETAILS
- PME-100 - PME UTILITY PLAN (LIGHTING)
- E-300 - SCHEDULE (LIGHTING)
- G-010 - SIGNAGE
- G-012 - ENUMERATION PLANS

This is not an ADA route, this is showing the parking, per original comment, an separate sheet indicating the ADA route for the site is required.



LEGEND

- EV - ELECTRIC VAULT
- FO - FIBER OPTIC
- SM - SANITARY SEWER MANHOLE
- B - BOLLARD
- TP - TELEPHONE PEDESTAL
- WV - WATER VALVE
- FH - FIRE HYDRANT
- PFH - PROPOSED FIRE HYDRANT
- LP - PROPOSED LIGHT POLE
- WV - PROPOSED WATER VALVE
- PSDI - PROPOSED STORM DRAIN INLET
- PTL - PROPOSED TRANSFORMER LOCATION
- EC - EXISTING CONCRETE
- EA - EXISTING ASPHALTE
- UE - APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE(S)
- WM - APPROXIMATE LOCATION OF WATER MAIN
- G - APPROXIMATE LOCATION OF GAS LINE
- SS - APPROXIMATE LOCATION OF SANITARY SEWER LINE
- EL - PROPOSED ELECTRIC LINE LOCATION
- WL - PROPOSED WATER LINE LOCATION
- SD - PROPOSED STORM DRAIN LOCATION
- CTD - CONIFEROUS/DECIDUOUS TREE . . . TRUNK DIAMETER-DRIPLINE RADIUS
- FL - FENCE LINE (AS NOTED)

NOTES:

- For more detailed information regarding building structure, grading and erosion control, utilities and landscaping, see compiled Bid Plan Set and/or Construction Plan Set.
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

OWNER:

LOVE IN ACTION, a Colorado Non-Profit Corporation
212 N. Wahsatch Avenue, Suite 301
Colorado Springs, CO 80903

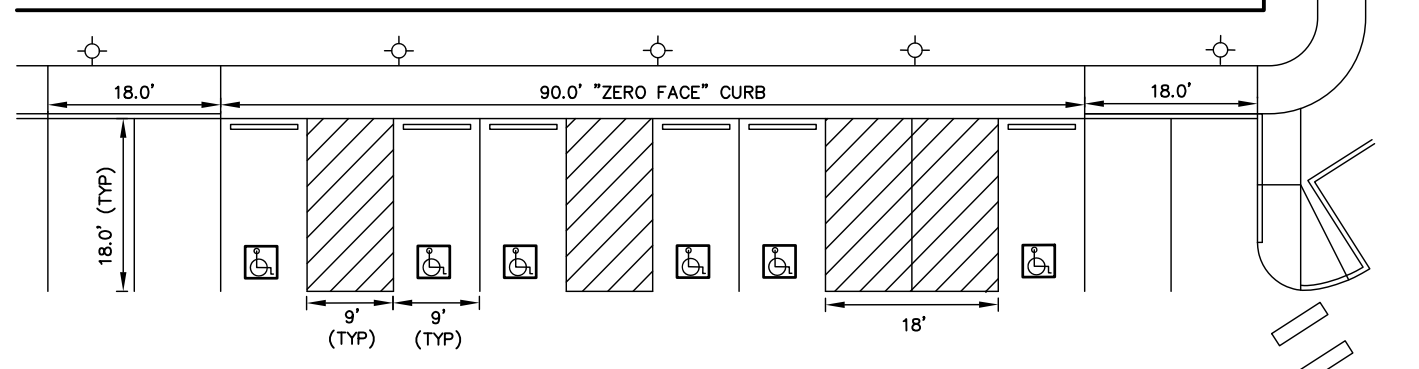
DEVELOPER/ARCHITECTURE:

VECINO BOND GROUP, LLC
Chris Ball, AIA NCARB (417) 720-1577, Ext. 2603
305 W. COMMERCIAL ST.
Springfield, MO 65803

Review comment 1 stated "provide sidewalks connecting into the site and building" along the private street Great Western Drive. This revision shows a 4' sidewalk at a different location (above). However this new location is too steep; on a 4:1 slope and therefore will not accommodate ADA access. Please

Provide a condition on this site plan that areas shown as landscaping will need to remain as landscaped areas in perpetuity. These landscaped areas are part of the Stormwater Quality features associated with this development.

PROPOSED RESIDENTIAL APARTMENT COMPLEX 3-STORY



ADA ROUTE DETAIL
SCALE: 1" = 20"

Corporate Entity No. 2018120152

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FREEDOM SPRINGS
734 WESTERN DRIVE
COLORADO SPRINGS, EL PASO COUNTY,
COLORADO 80915

REVISION	DESCRIPTION	DATE
1	PERMIT SET	03-05-18
2	ADDENDUM #1	10-25-18
3	ADDENDUM #2	11-01-18

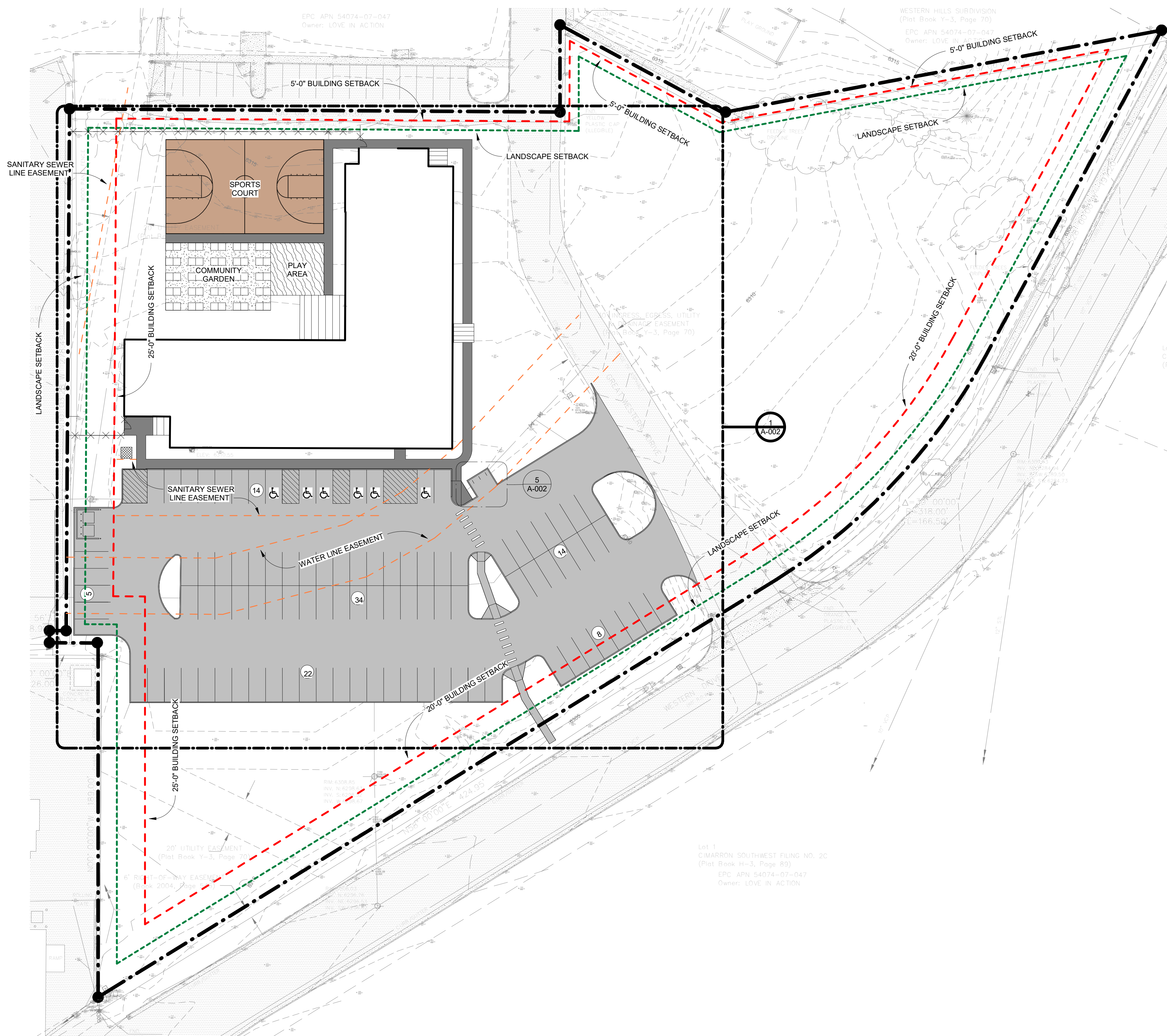
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CONSTRUCTION

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DATE: 03-05-18
PROJECT NUMBER: LDC 18005
DRAWN BY: SLOGDVM
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SITE DEVELOPMENT PLAN
SDP



What is this page referring to? There is no legend, and at one point the red hatch line is shown to be a 20' building setback, in another a 5' building setback.

1 SITE PLAN
1" = 30'-0"



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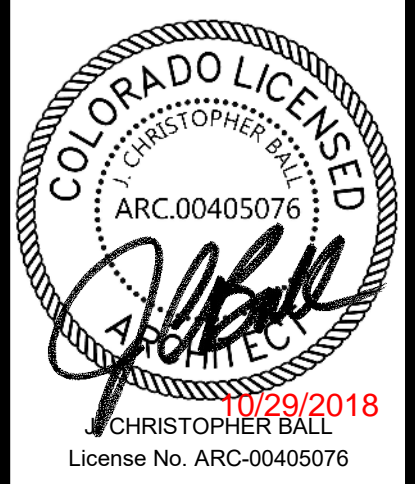
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FREEDOM SPRINGS
734 WESTERN DRIVE
COLORADO SPRINGS, EL PASO COUNTY,
COLORADO 80915

REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
	ADDENDUM 01	04-18-18
	ADDENDUM 02	10-26-18

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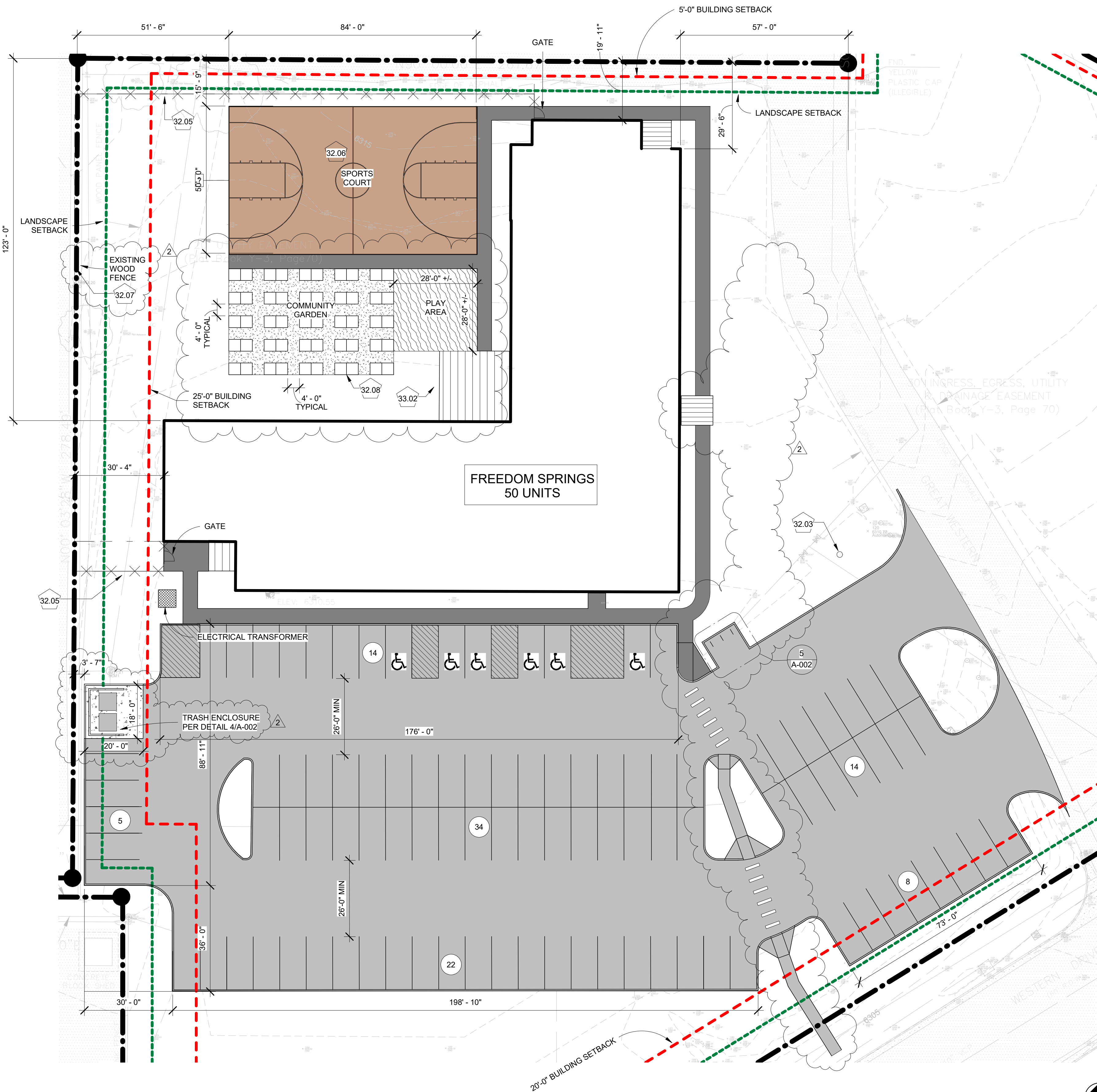


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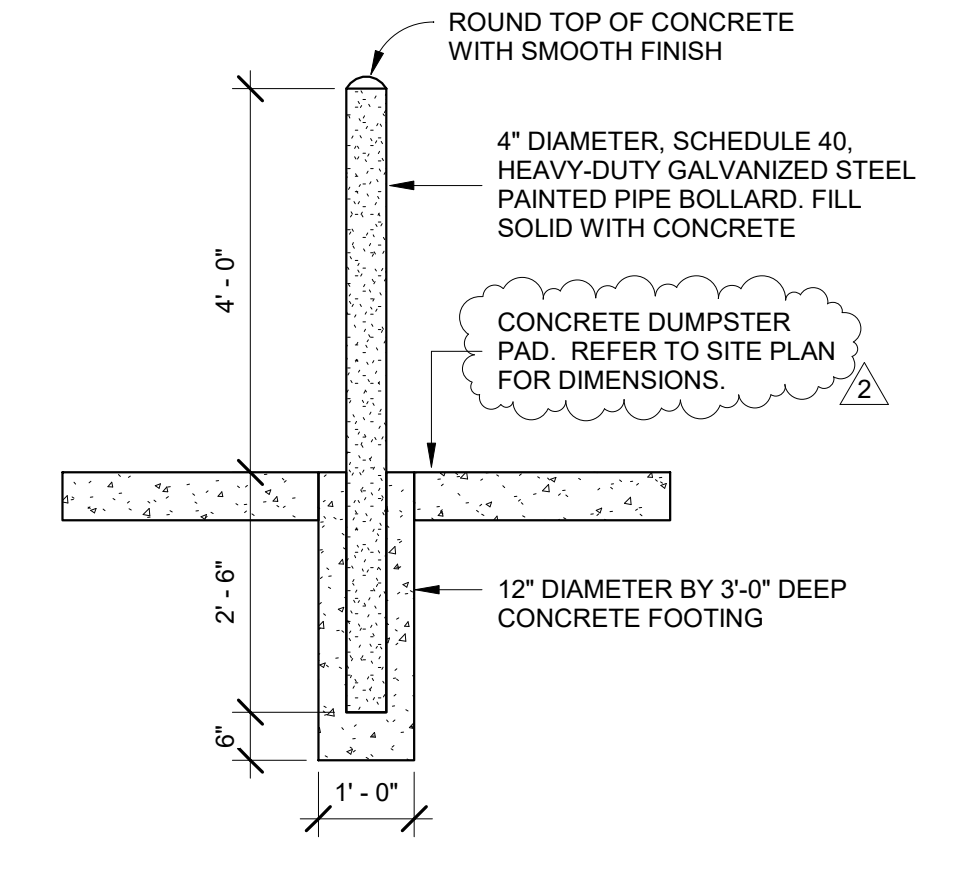
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PROJECT NUMBER: 17150
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ARCHITECTURAL
SITE PLAN

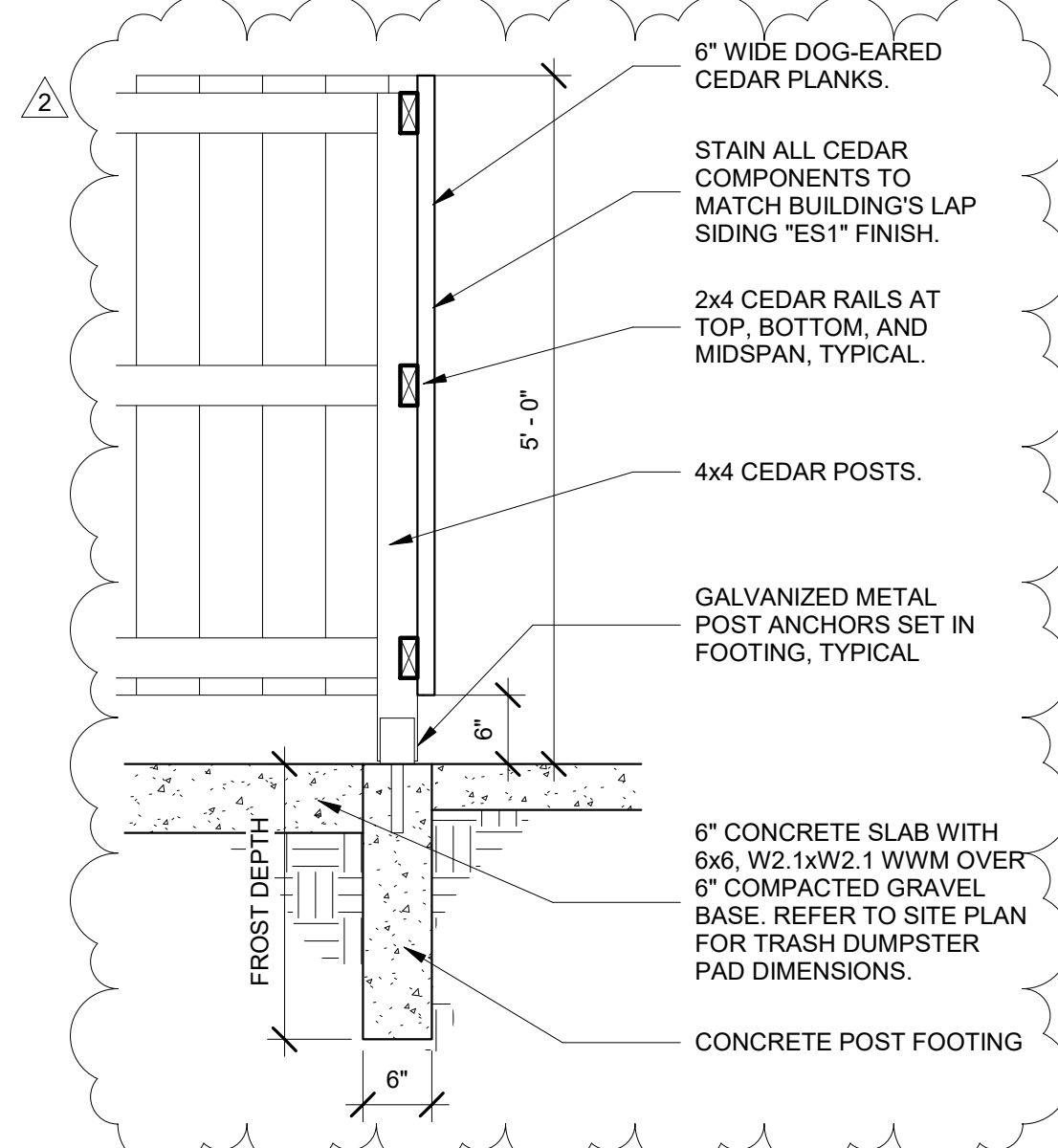
A-001



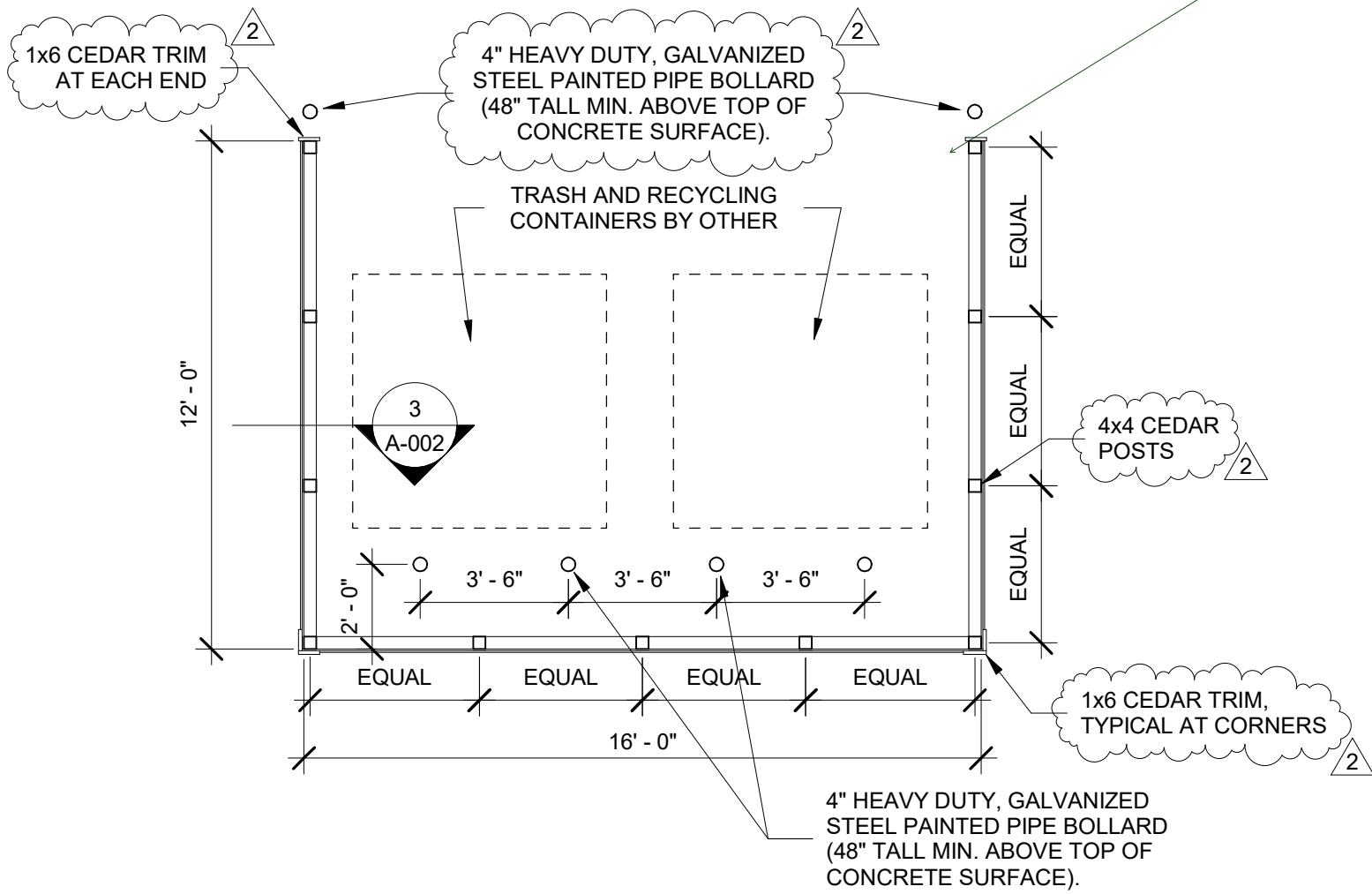
1 ENLARGED SITE PLAN
1" = 20'-0"



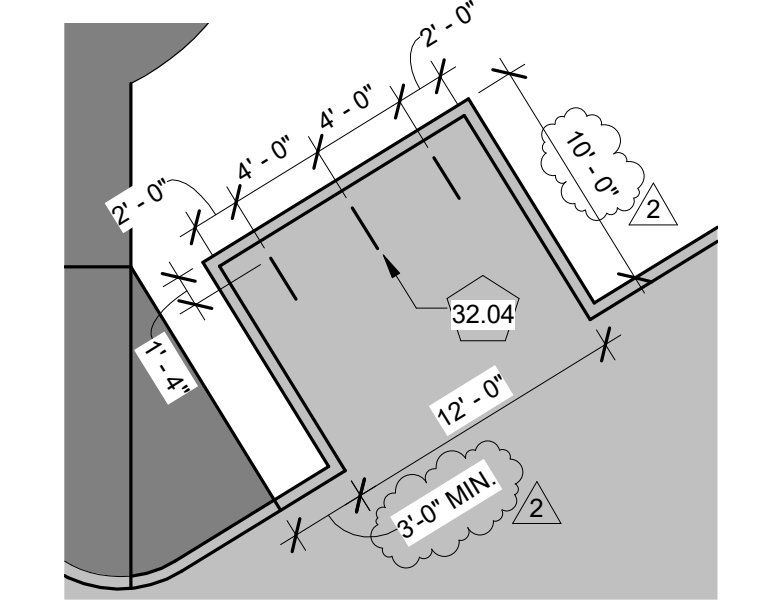
2 BOLLARD DETAIL
1/2" = 1'-0"



3 TRASH ENCLOSURE - SECTION
3/4" = 1'-0"



4 TRASH ENCLOSURE - PLAN VIEW
1/4" = 1'-0"



5 BICYCLE PARKING DETAIL
1/8" = 1'-0"

KEYNOTE LEGEND

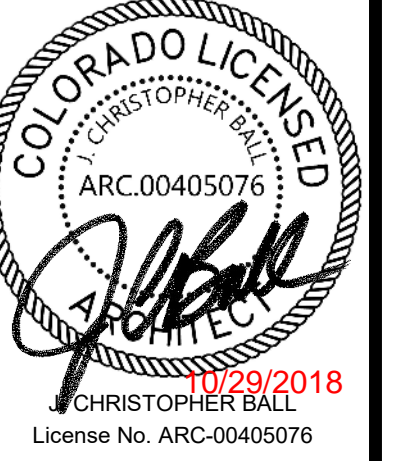
- 32.03 30 FOOT TALL COMMERCIAL-GRADE BLACK ANODIZED ALUMINUM TAPERED FLAGPOLE COMPLETE WITH EXTERNAL SINGLE REVOLVING TRUCK (STAINLESS STEEL BEARINGS, ALUMINUM SPINDLE, AND ALUMINUM PULLEY), HALYARD (WEATHERPROOF BRAIDED POLYPROPYLENE ROPE), SWIVEL SNAP HOOKS, GOLD ANODIZED BALL, HEAVY-DUTY CAST ALUMINUM CLEAT, MATCHING ALUMINUM BASE COLLAR, AND GALVANIZED STEEL GROUND SLEEVE ASSEMBLY. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION / FOOTING REQUIREMENTS. APPLY CONTINUOUS BEAD OF EXTERIOR GRADE CAULKING AROUND PERIMETER OF FLAGPOLE BASE PRIOR TO INSTALLING COLLAR.
- 32.04 U-SHAPED BICYCLE STORAGE RACK EQUAL TO "HOOP RACK" BY DERO (www.dero.com). 1.5" SCHEDULE 40 PIPE WITH THERMOPLASTIC FINISH (COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOR PALETTE). IN-GROUND INSTALLATION. (3) RACKS TOTAL. REFER TO SITE PLAN FOR LOCATION AND SPACING REQUIREMENTS.
- 32.05 SIX FOOT TALL CEDAR PRIVACY FENCE PER DETAIL 31.52. FENCE PICKETS SHALL BE PLACED ALONG SOUTH FACE OF FENCE RAILS. INSTALL MATCHING 3'-6" WIDE PEDESTRIAN GATE WITH SELF-CLOSING HINGES AND LEVER STYLE GATE LATCH EQUAL TO ASHLEY WORTON MD GATE LATCH WITH "MERIDIAN" (310) LEVER. ALL GATE HARDWARE TO HAVE MATTE BLACK FINISH. REFER TO SITE PLAN FOR GATE LOCATIONS. STAIN CEDAR FENCE AND GATES TO MATCH EXTERIOR BUILDING LAP SIDING "ES1".
- 32.06 REGULATION SIZE (HIGH SCHOOL) BASKETBALL COURT. COURT CONSTRUCTION SHALL CONSIST OF 3" THICK COMPACTED ASPHALT SURFACE, OVER 4" THICK COMPACTED AGGREGATE BASE, OVER COMPACTED AND LEVEL SUBGRADE. PROVIDE MINIMUM CROSS SLOPE OF 2% TO PAVEMENT EDGES FOR SURFACE DRAINAGE. COURT SHALL BE COMPLETE WITH PAINTED STRIPING AND (2) IN-GROUND MOUNTED BASKETBALL GOAL-POSTS.
- 32.07 POWERWASH BACKSIDE OF EXISTING WOOD PRIVACY FENCE ALONG WEST PROPERTY LINE. STAIN TO MATCH NEW CEDAR PRIVACY FENCE.
- 32.08 (25 TOTAL) 48"W x 96"L x 16"H RAISED GARDEN BEDS WITH CENTER DIVIDER. LAYOUT AND SPACING AS SHOWN. CONTRACTOR HAS THE OPTION TO CONSTRUCT BOXES WITH 2x WESTERN RED CEDAR SIDE PANELS AND REINFORCED CORNERS OR INSTALL A PRODUCT EQUAL TO GREENES FENCE COMPANY'S CEDAR RAISED GARDEN BED KIT. STAIN CEDAR TO MATCH PRIVACY FENCE. FILL AREAS IN BETWEEN GARDEN BEDS WITH 1.5" ROYAL GRANITE CRUSHED ROCK (3" DEEP) OVER LANDSCAPE FABRIC. INSTALL DRIP IRRIGATION LINES TO SERVE EACH GARDEN BED. ROUTE AND BURY IRRIGATION LINES AS REQUIRED BELOW CIRCULATION PATHS SO THEY ARE NOT TRIP HAZARDS. CONNECT TO MAIN IRRIGATION SYSTEM / MASTER CONTROL.
- 33.02 EXTEND NATURAL GAS LINE SERVICE TO WESTERN EDGE OF OUTDOOR COVERED PATIO (CENTERED WITH PATIO) AND STUB UP FOR CONNECTION TO OUTDOOR GAS GRILL.

Elevations required, Approval from utility company granted

FREEDOM SPRINGS
734 WESTERN DRIVE
COLORADO SPRINGS, EL PASO COUNTY,
COLORADO 80915

REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
1	ADDENDUM 01	04-18-18
2	ADDENDUM 02	10-26-18

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PROJECT NUMBER: 17150
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ENLARGED SITE PLAN & DETAILS

A-002

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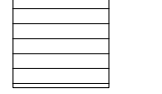
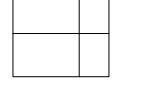

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GENERAL NOTES

- REFER TO SHEET A-502 FOR MAIN ENTRANCE CANOPY DETAILS.

EXTERIOR SIDING LEGEND

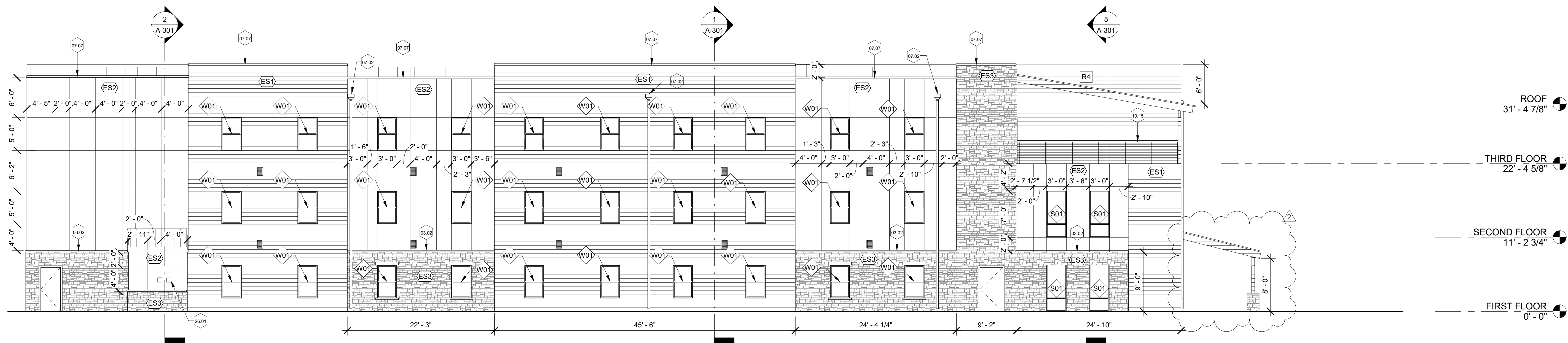
-  (ES1) 5/16" THICK BY 9.25" WIDE (8" EXPOSURE) FIBER CEMENT BOARD HORIZONTAL LAP SIDING WITH CEDAR WOOD GRAIN TEXTURE AND FACTORY APPLIED STAIN FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
-  (ES2) 5/16" THICK SMOOTH ARCHITECTURAL FIBER CEMENT BOARD VERTICAL PANEL SIDING WITH FACTORY APPLIED PRIMER AND FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL COLOR RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
-  (ES3) MANUFACTURED STONE VENEER EQUAL TO BORAL USA CULTURED STONE COLLECTION. STONE TO BE SELECTED FROM THE MANUFACTURER'S FULL LEDGESTONE COLLECTION. PROVIDE AND INSTALL CULTURED STONE MANUFACTURER'S ACCESSORY WINDOW LINTELS, WATERTABLE/SILLS, STONE VENEER ELECTRICAL BOXES, AND PIER CAPS AT COLUMN WRAPS.

GENERAL EXTERIOR SIDING NOTES

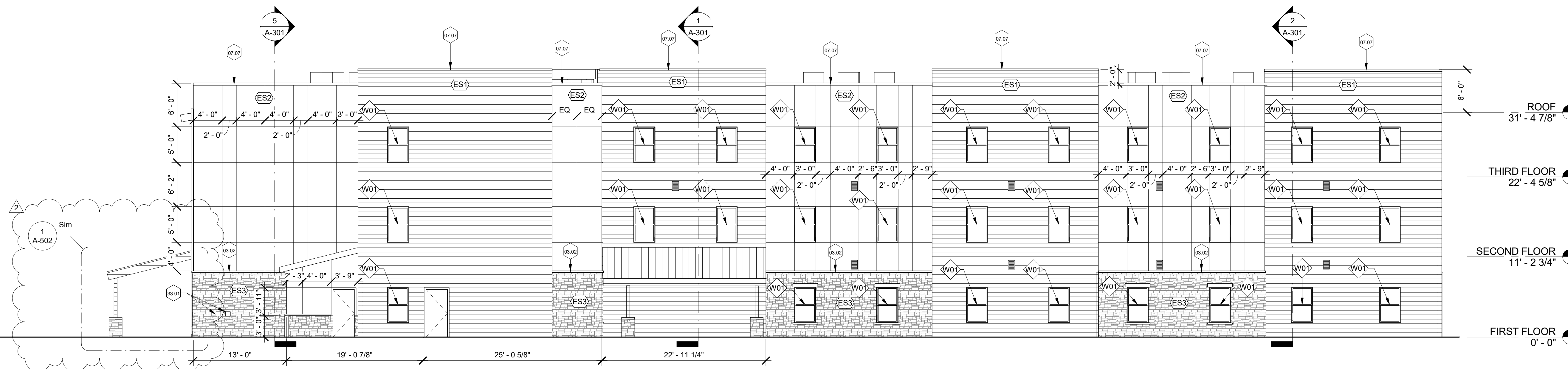
- FOLLOW THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR FIBER CEMENT BOARD HORIZONTAL LAP SIDING AND VERTICAL PANEL SIDING.
- AT HORIZONTAL FIBER CEMENT LAP SIDING, USE DOUBLE HOT DIPPED GALVANIZED OR STAINLESS STEEL BLIND FASTENERS PER THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- AT VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS, USE MANUFACTURER'S RECOMMENDED FASTENERS WITH COLOR-MATCHED FASTENER HEADS.
- HOLD BACK FIBER CEMENT BOARD SIDING 6" MINIMUM ABOVE FINISHED GRADE.
- LEAVE AN 1/8" GAP BETWEEN SIDING AND TRIM SURROUNDING DOORS AND WINDOWS.
- USE NON-CORROSIVE, COATED ALUMINUM OR METAL FLASHINGS THAT WILL NOT REACT WHEN IN CONTACT WITH FIBER CEMENT SIDING PRODUCTS.
- MAINTAIN 1/4" CLEARANCE BETWEEN SIDING AND HORIZONTAL FLASHINGS. DO NOT CAULK GAP ABOVE HORIZONTAL Z-FLASHING OVER DOOR AND WINDOW OPENINGS.
- USE NON-CORROSIVE BACKFLASHING AT ALL BUTT JOINTS.
- USE HIGH QUALITY, PAINTABLE OR COLOR-MATCHED, EXTERIOR-GRADE SEALANT THAT MEETS ASTM C-920 AND IS COMPATIBLE WITH FIBER CEMENT SIDING PRODUCT(S).
- INSTALL HORIZONTAL FIBER CEMENT LAP SIDINGS AND VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS COMPLETE WITH FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM EQUAL TO EASY TRIM REVEALS. INSTALL VERTICAL TRANSITION TRIMS BETWEEN LAP SIDINGS AND VERTICAL FIBER CEMENT BOARD PANELS INCLUDING INSIDE & OUTSIDE CORNERS (SQUARE EDGE), Z-TRIMS, AND J-TRIMS. INSTALL VERTICAL AND HORIZONTAL REVEALS AT ARCHITECTURAL FIBER CEMENT BOARD PANELS - REFER TO BUILDING ELEVATIONS FOR LOCATIONS. FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL PRODUCT RANGE.
- EXHAUST VENTS PER MEP DRAWINGS.

KEYNOTE LEGEND

- 03.02 MANUFACTURED STONE ACCENT BAND. REFER TO DETAIL 5/A-501
- 07.02 16" WIDE BY 10" TALL THROUGH WALL PRE-FINISHED SHEET METAL SCUPPER. DISCHARGE INTO PRE-FINISHED METAL CONDUCTOR HEAD AND 4"x5", SMOOTH, SQUARE PROFILE DOWNSPOUT COMPLETE WITH CONCEALED UNION SLEEVES AND MATCHING ELBOWS WHERE REQUIRED. ANCHOR WITH MATCHING WALL BRACKETS VERTICALLY SPACED 60" ON CENTER. MAX. TERMINATE DOWNSPOUT INTO ADAPTER / DOWNSPOUT BOOT CONNECTED TO UNDERGROUND STORMWATER PIPING. REFER TO CIVIL DRAWINGS FOR STORMWATER PIPING AND DETAILS.
- 07.07 PRE-FINISHED METAL (24 GA. MINIMUM) TAPERED PARAPET CAP FLASHING/COPING WITH CONTINUOUS CLEAT. INSTALL PRE-FORMED, ONE PIECE INSIDE AND OUTSIDE CORNERS. FACE OF PARAPET CAP TO BE 6" TALL MINIMUM. FINISH TO BE SELECTED FROM MANUFACTURER'S FULL COLOR SELECTION.
- 10.15 CABLE RAILING SYSTEM BY ULTRA-TEC. SEE DETAILS 5/A-502 AND 1/A-202.
- 26.01 ELECTRIC METER BANK, DISCONNECT, AND PULL BOX. CONTRACTOR TO COORDINATE ELECTRIC SERVICE, LOCATIONS, AND INSTALLATION. REFER TO ELECTRICAL DRAWINGS AND LOCAL ELECTRIC SERVICE REQUIREMENTS MANUAL FOR ADDITIONAL INFORMATION.
- 33.01 NATURAL GAS METER BANK. CONTRACTOR TO COORDINATE GAS SERVICE, METER SET / INSTALLATION, AND SERVICE CONNECTIONS.



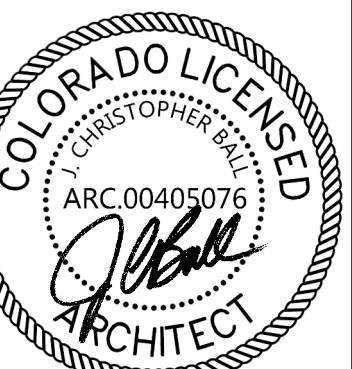
1 SOUTH ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"

REVISION	DESCRIPTION	DATE
	PERMIT SET	5-5-18
1	Addendum 2	7-25-18

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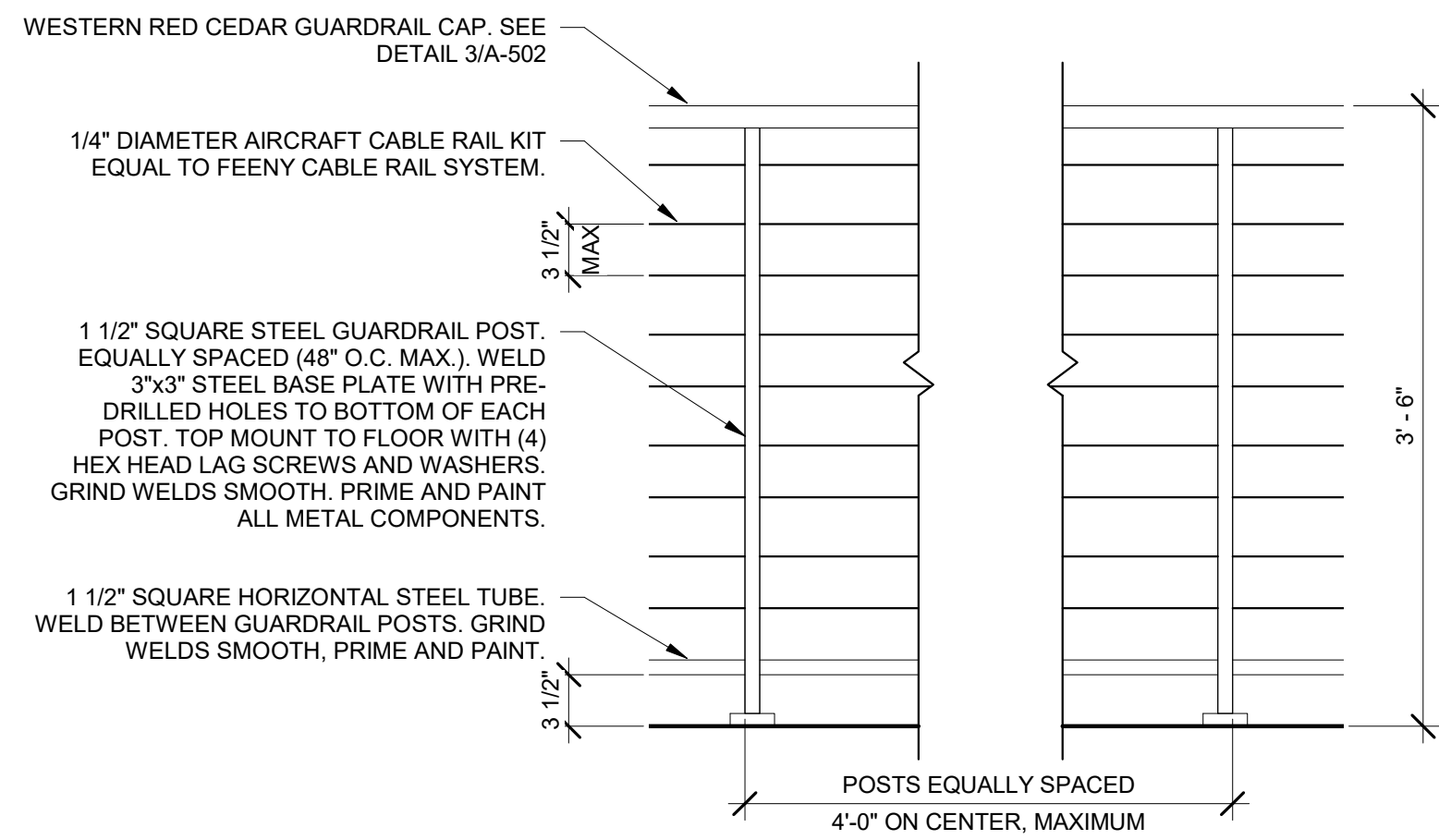
7/30/2018
ARCHITECT
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ELEVATIONS

A-201

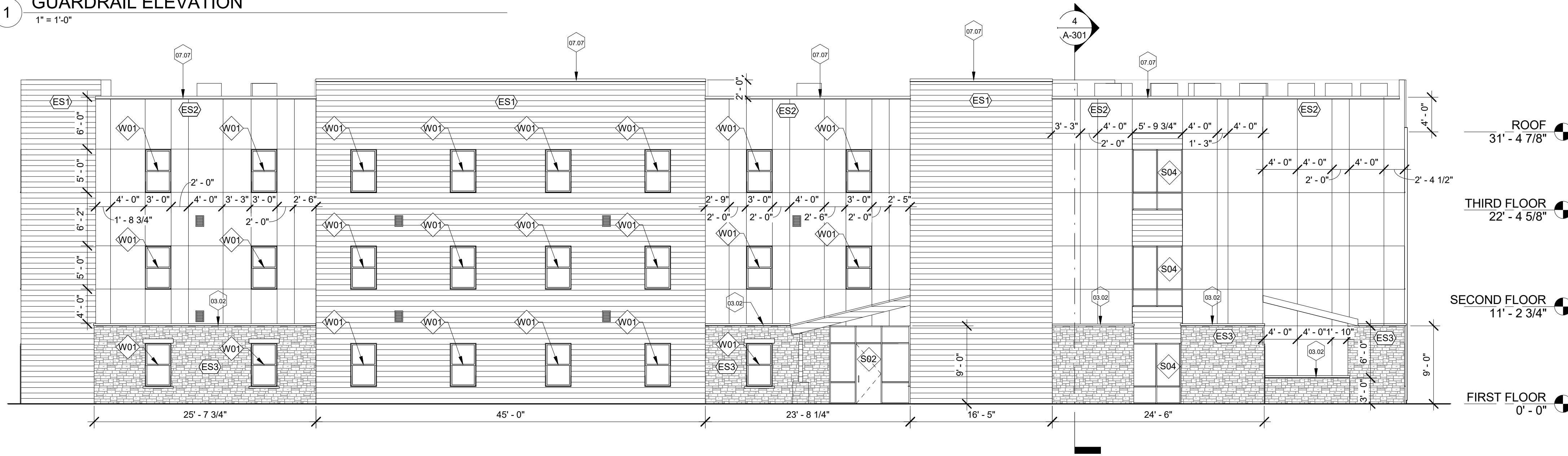


NOTE: GUARDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A LINEAR LOAD OF 50 PLF AND A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7. INTERMEDIATE RAILS AND BALUSTERS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 50 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7.

STEEL GUARDRAIL COMPONENTS SHALL HAVE AN EXTERIOR-GRADE POWDERCOAT FINISH. COLOR TO BE SELECTED BY ARCHITECT.

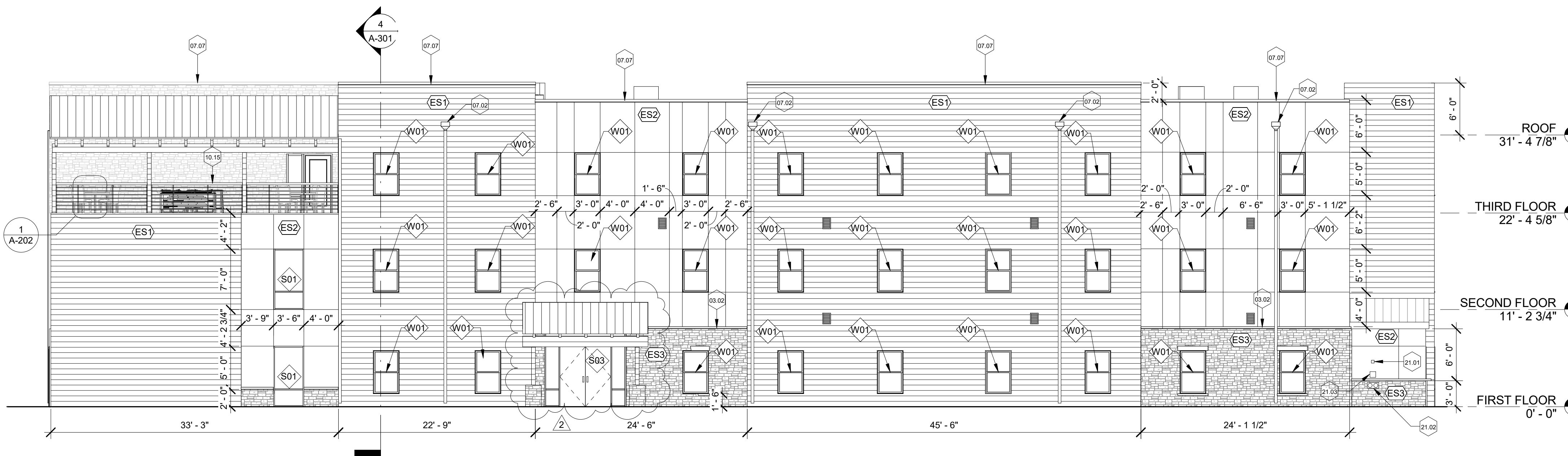
1 GUARDRAIL ELEVATION

1" = 1'-0"



2 WEST ELEVATION

1/8" = 1'-0"



3 EAST ELEVATION

1/8" = 1'-0"

KEYNOTE LEGEND

- 03.02 MANUFACTURED STONE ACCENT BAND. REFER TO DETAIL 5/A-501
- 07.02 16" WIDE BY 10" TALL THROUGH WALL PRE-FINISHED SHEET METAL SCUPPER. DISCHARGE INTO PRE-FINISHED METAL CONDUCTOR HEAD AND 4"x5" SMOOTH, SQUARE PROFILE DOWNSPOUT COMPLETE WITH CONCEALED UNION SLEEVES AND MATCHING ELBOWS WHERE REQUIRED. ANCHOR WITH MATCHING WALL BRACKET'S VERTICALLY SPACED 60" ON CENTER. MAX. TERMINATE DOWNSPOUT INTO ADAPTER / DOWNSPOUT BOOT CONNECTED TO UNDERGROUND STORMWATER PIPING. REFER TO CIVIL DRAWINGS FOR STORMWATER PIPING AND DETAILS.
- 07.07 PRE-FINISHED METAL (24 GA. MINIMUM) TAPERED PARAPET CAP FLASHING/COPING WITH CONTINUOUS CLEAT. INSTALL PRE-FORMED, ONE PIECE INSIDE AND OUTSIDE CORNERS. FACE OF PARAPET CAP TO BE 6" TALL MINIMUM. FINISH TO BE SELECTED FROM MANUFACTURER'S FULL COLOR SELECTION.
- 10.15 CABLE RAILING SYSTEM BY ULTRA-TEC. SEE DETAILS 5/A-502 AND 1/A-202.
- 21.01 SURFACE-MOUNTED FIRE DEPARTMENT KNOX BOX RAPID ENTRY SYSTEM WITH TAMPER SWITCH EQUAL TO MODEL #3266 (DARK BRONZE) BY KNOX COMPANY. MOUNT TOP OF KNOX BOX 6'-0" MAX. ABOVE FINISHED GRADE / WALKING SURFACE. KNOX BOX SHALL CONTAIN A MASTER KEY THAT WILL OPEN ALL DOORS, A MASTER RFID / PROXIMITY CARD FOR ELECTRONICALLY CONTROLLED ACCESS DOORS, ELECTRONIC KEYPAD ACCESS CODE, A KEY TO THE MASTER ALARM PANEL(S), AND ALL OTHER ROOMS / EQUIPMENT AS REQUIRED BY THE FIRE MARSHAL AND LOCAL ORDINANCES. THE FIRE CHIEF AND FIRE MARSHAL SHALL HAVE A MASTER KEY FOR ALL KNOX BOXES LOCATED ON THE PROPERTY.
- 21.02 FIRE DEPARTMENT CONNECTION (FDC) INSTALLED IN ACCORDANCE WITH NFPA SYSTEM REQUIREMENTS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. INSTALL KNOX FIRE DEPARTMENT SECURITY CAPS ON EACH FIRE DEPARTMENT CONNECTION PER THE FIRE MARSHAL AND LOCAL ORDINANCES.
- 21.03 FURNISH AND INSTALL EXTERIOR-GRADE METAL SIGN AT EACH FIRE DEPARTMENT CONNECTION. SIGN SHALL CONSIST OF 1 INCH TALL (MINIMUM) RAISED LETTERS ON A CONTRASTING COLOR BACKGROUND THAT READ: FIRE DEPARTMENT CONNECTION OR FIRE HOSE CONNECTION OR FIRE DEPARTMENT SPRINKLER CONNECTION OR A COMBINATION THEREOF AS APPLICABLE.

EXTERIOR SIDING LEGEND

- (ES1) 5/16" THICK BY 9.25" WIDE (8" EXPOSURE) FIBER CEMENT BOARD HORIZONTAL LAP SIDING WITH CEDAR WOOD GRAIN TEXTURE AND FACTORY APPLIED STAIN FINISH SYSTEM TO BE SELECTED FROM THE MANUFACTURER'S FULL RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
- (ES2) 5/16" THICK SMOOTH ARCHITECTURAL FIBER CEMENT BOARD VERTICAL PANEL SIDING WITH FACTORY APPLIED PRIMER AND FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL COLOR RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS
- (ES3) MANUFACTURED STONE VENEER EQUAL TO BORAL USA CULTURED STONE COLLECTION. STONE TO BE SELECTED FROM THE MANUFACTURER'S FULL LEDGESTONE COLLECTION. PROVIDE AND INSTALL CULTURED STONE MANUFACTURER'S ACCESSORY WINDOW LINTELS, WATERTABLE/SILLS, STONE VENEER ELECTRICAL BOXES, AND PIER CAPS AT COLUMN WRAPS.

GENERAL EXTERIOR SIDING NOTES

1. FOLLOW THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR FIBER CEMENT BOARD HORIZONTAL LAP SIDING AND VERTICAL PANEL SIDING.
2. AT HORIZONTAL FIBER CEMENT LAP SIDING, USE DOUBLE HOT DIPPED GALVANIZED OR STAINLESS STEEL BLIND FASTENERS PER THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
3. AT VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS, USE MANUFACTURER'S RECOMMENDED FASTENERS WITH COLOR-MATCHED FASTENER HEADS.
4. HOLD BACK FIBER CEMENT BOARD SIDING 6" MINIMUM ABOVE FINISHED GRADE.
5. LEAVE AN 1/8" GAP BETWEEN SIDING AND TRIM SURROUNDING DOORS AND WINDOWS.
6. USE NON-CORROSIVE, COATED ALUMINUM OR METAL FLASHINGS THAT WILL NOT REACT WHEN IN CONTACT WITH FIBER CEMENT SIDING PRODUCTS.
7. MAINTAIN 1/4" CLEARANCE BETWEEN SIDING AND HORIZONTAL FLASHINGS. DO NOT CAULK GAP ABOVE HORIZONTAL Z-FLASHING OVER DOOR AND WINDOW OPENINGS.
8. USE NON-CORROSIVE BACKFLASHING AT ALL BUTT JOINTS.
9. USE HIGH QUALITY, PAINTABLE OR COLOR-MATCHED, EXTERIOR-GRADE SEALANT THAT MEETS ASTM C-920 AND IS COMPATIBLE WITH FIBER CEMENT SIDING PRODUCT(S).
10. INSTALL HORIZONTAL FIBER CEMENT LAP SIDINGS AND VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS COMPLETE WITH FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM EQUAL TO EASY TRIM REVEALS. INSTALL VERTICAL TRANSITION TRIMS BETWEEN LAP SIDINGS AND VERTICAL FIBER CEMENT BOARD PANELS INCLUDING INSIDE & OUTSIDE CORNERS (SQUARE EDGE), Z-TRIMS, AND J-TRIMS. INSTALL VERTICAL AND HORIZONTAL REVEALS AT ARCHITECTURAL FIBER CEMENT BOARD PANELS - REFER TO BUILDING ELEVATIONS FOR LOCATIONS. FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL PRODUCT RANGE.
11. EXHAUST VENTS PER MEP DRAWINGS.

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REVISION	DESCRIPTION	DATE
	PERMIT SET	3-5-18
△	Addendum 2	7-25-18

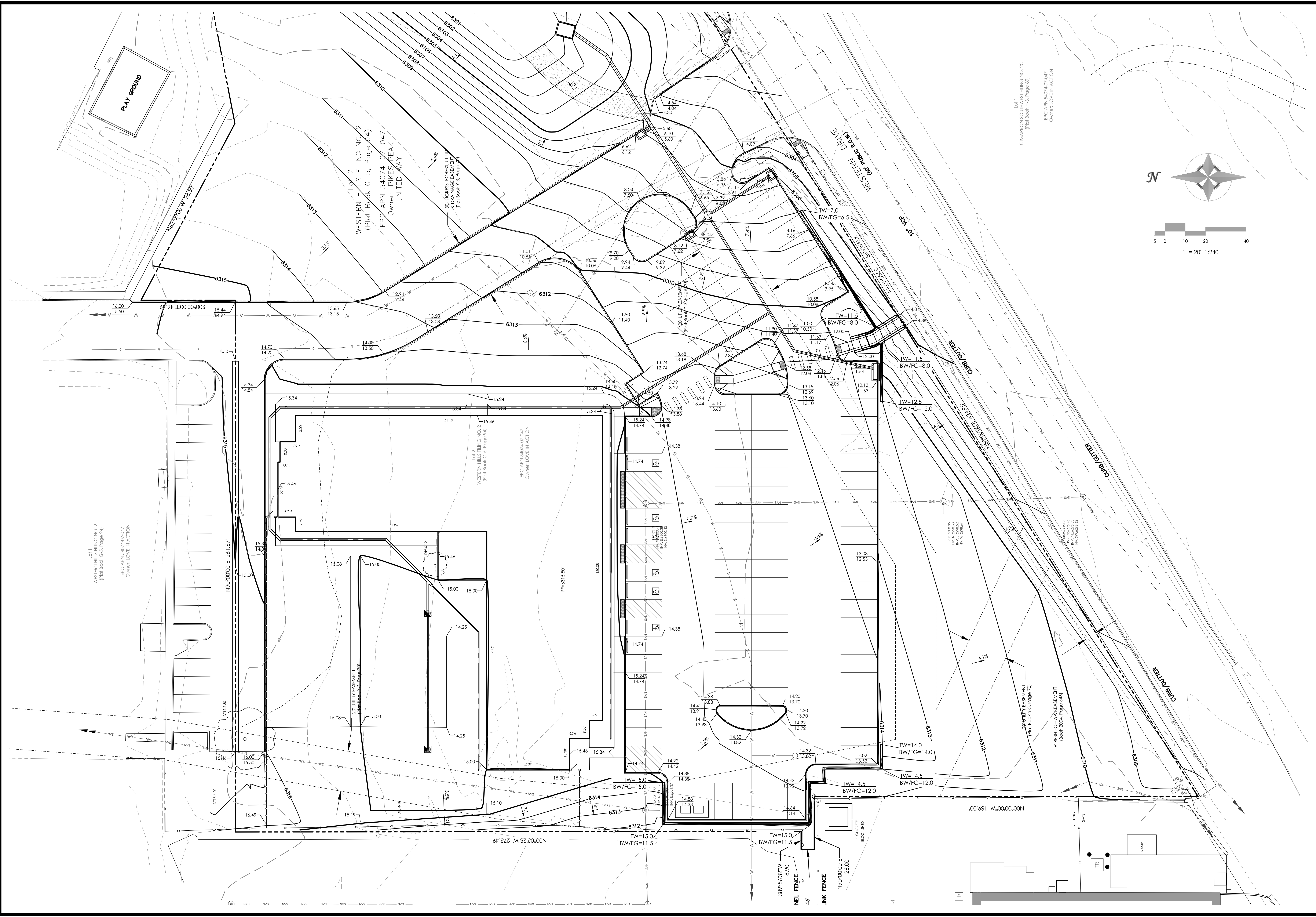
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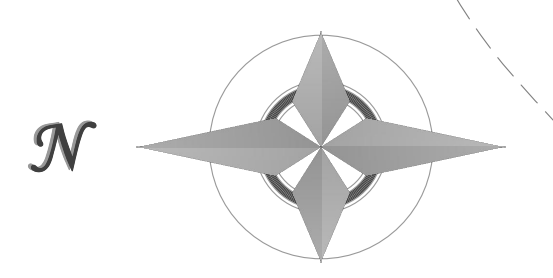
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ELEVATIONS
A-202



Lot 1
CHARRON SOUTHWEST FILING NO. 2C
(Plat Book H-3, Page 89)

EPC APN 54074-07-047
Owner: LOVE IN ACTION



1" = 20' 1:240

Lot 1
WESTERN HILLS FILING NO. 2
(Plat Book G-5, Page 94)

EPC APN 54074-07-047
Owner: LOVE IN ACTION

Lot 2
WESTERN HILLS FILING NO. 2
(Plat Book G-5, Page 94)

EPC APN 54074-07-047
Owner: PIKES PEAK
UNITED WAY

Lot 2
WESTERN HILLS FILING NO. 2
(Plat Book G-5, Page 94)

EPC APN 54074-07-047
Owner: LOVE IN ACTION

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3	Addendum #3	11/02/18
	County Resubmittal	11/09/18

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Grading Plan
C-2

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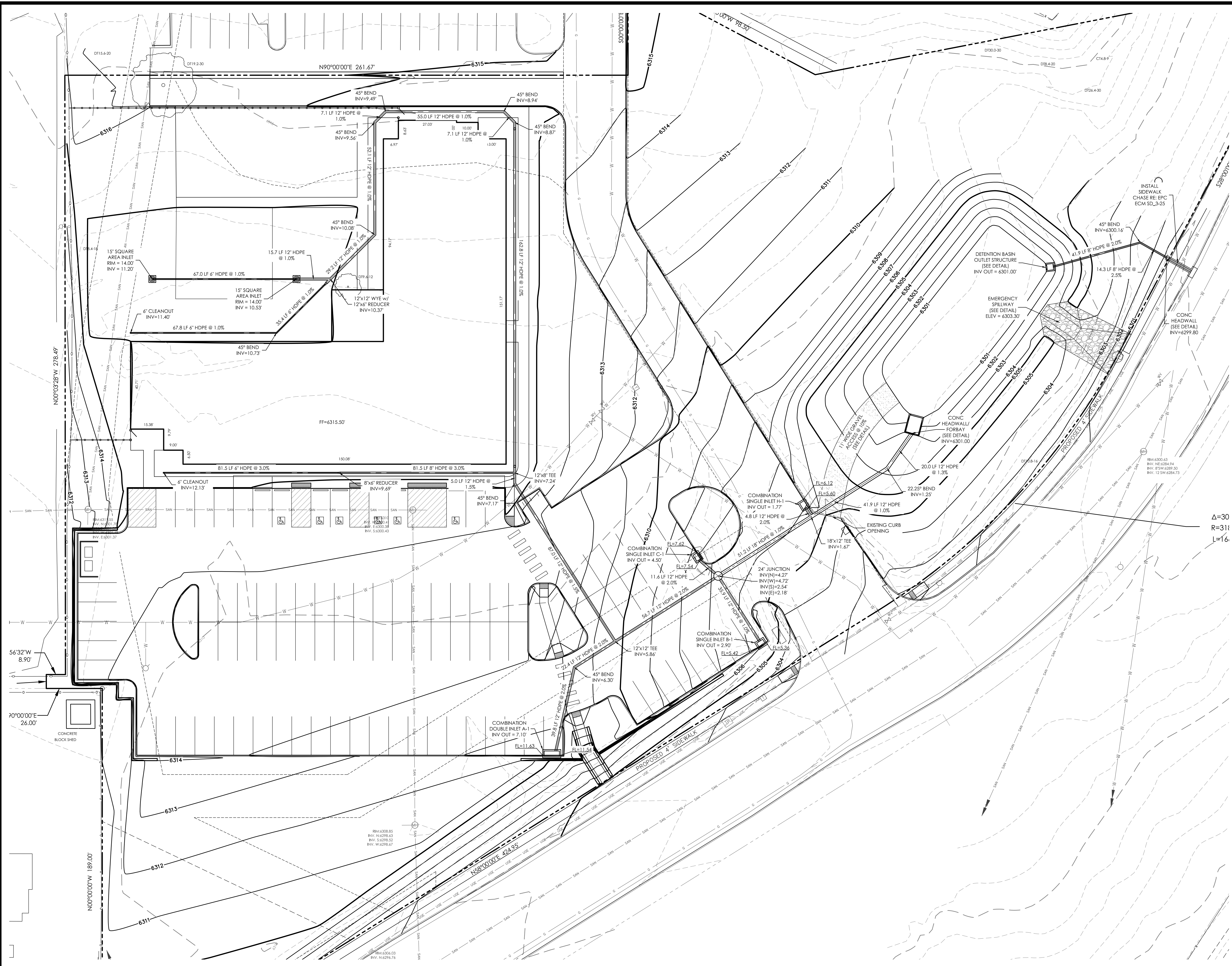
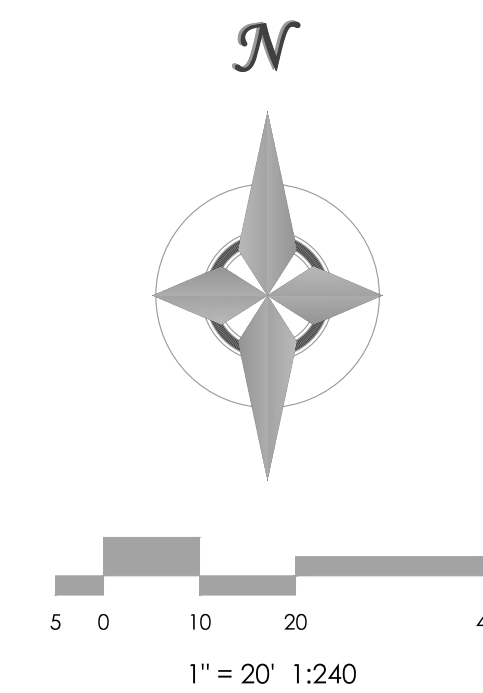
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Private Storm System & Detention Basin Plan

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	County Resubmittal	11/09/18

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PROJECT NUMBER: 17150

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Civil Details

C-4

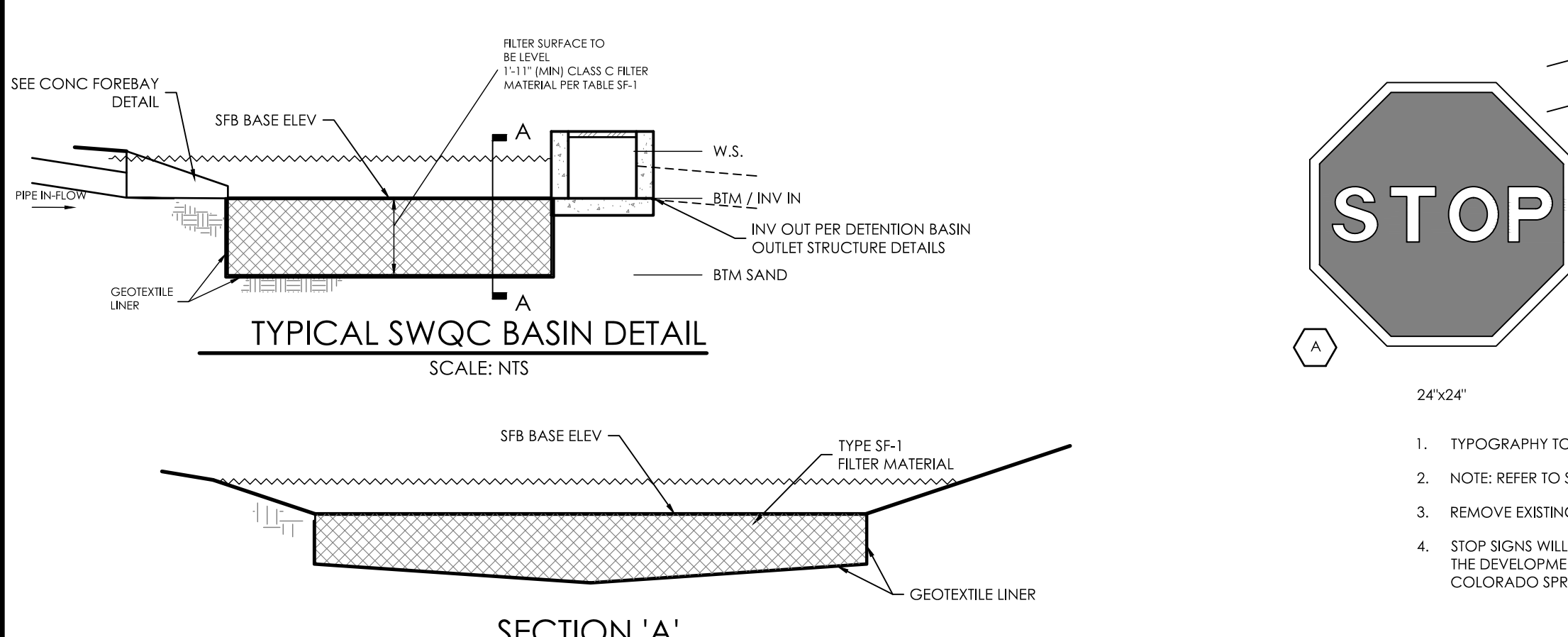
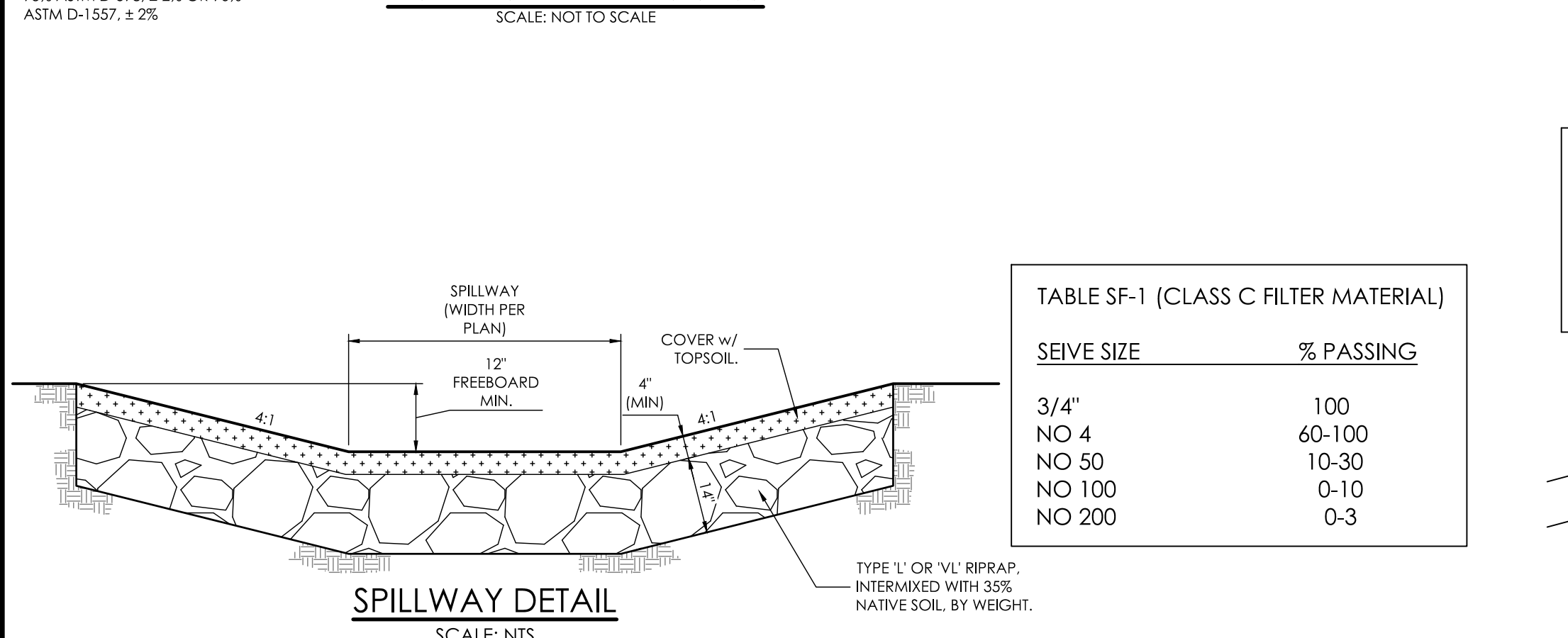
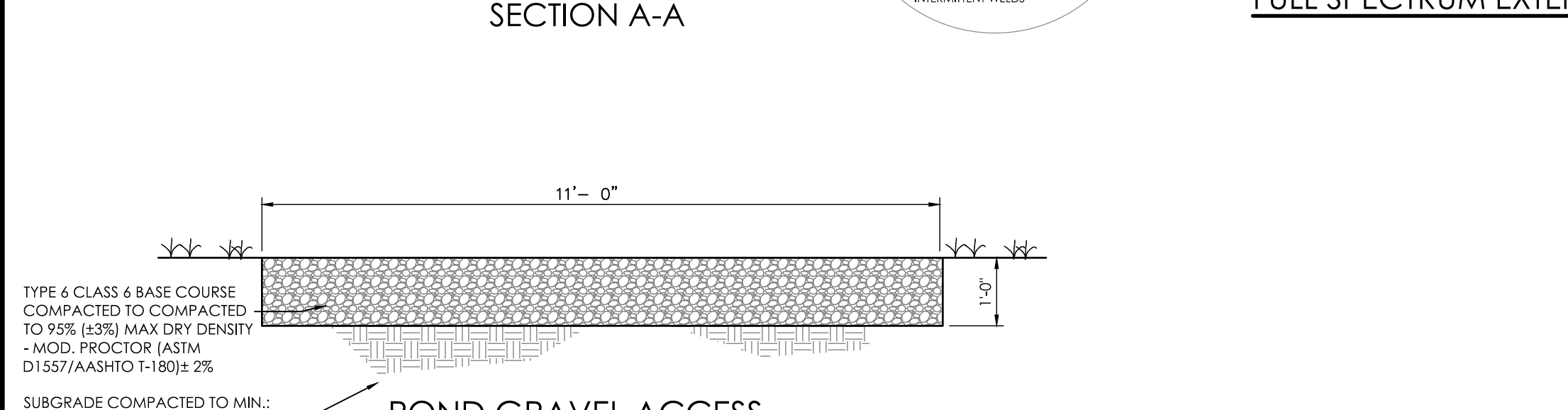
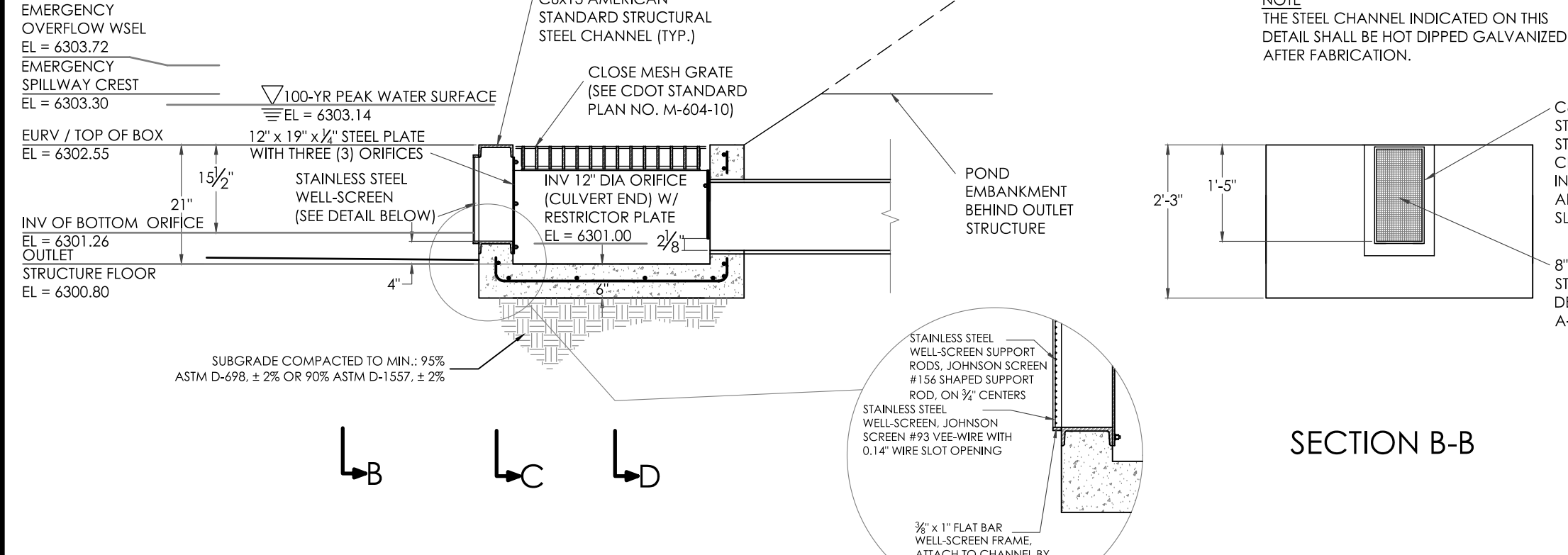
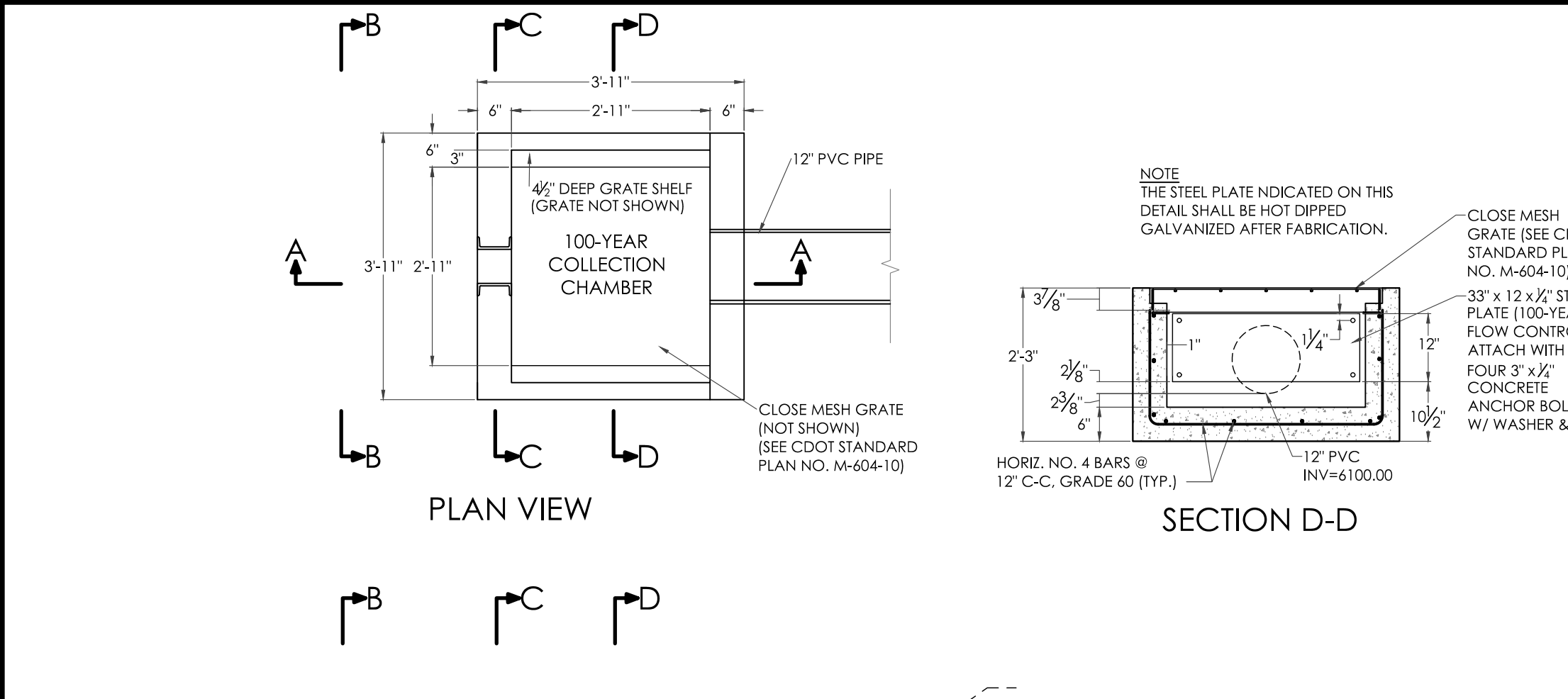
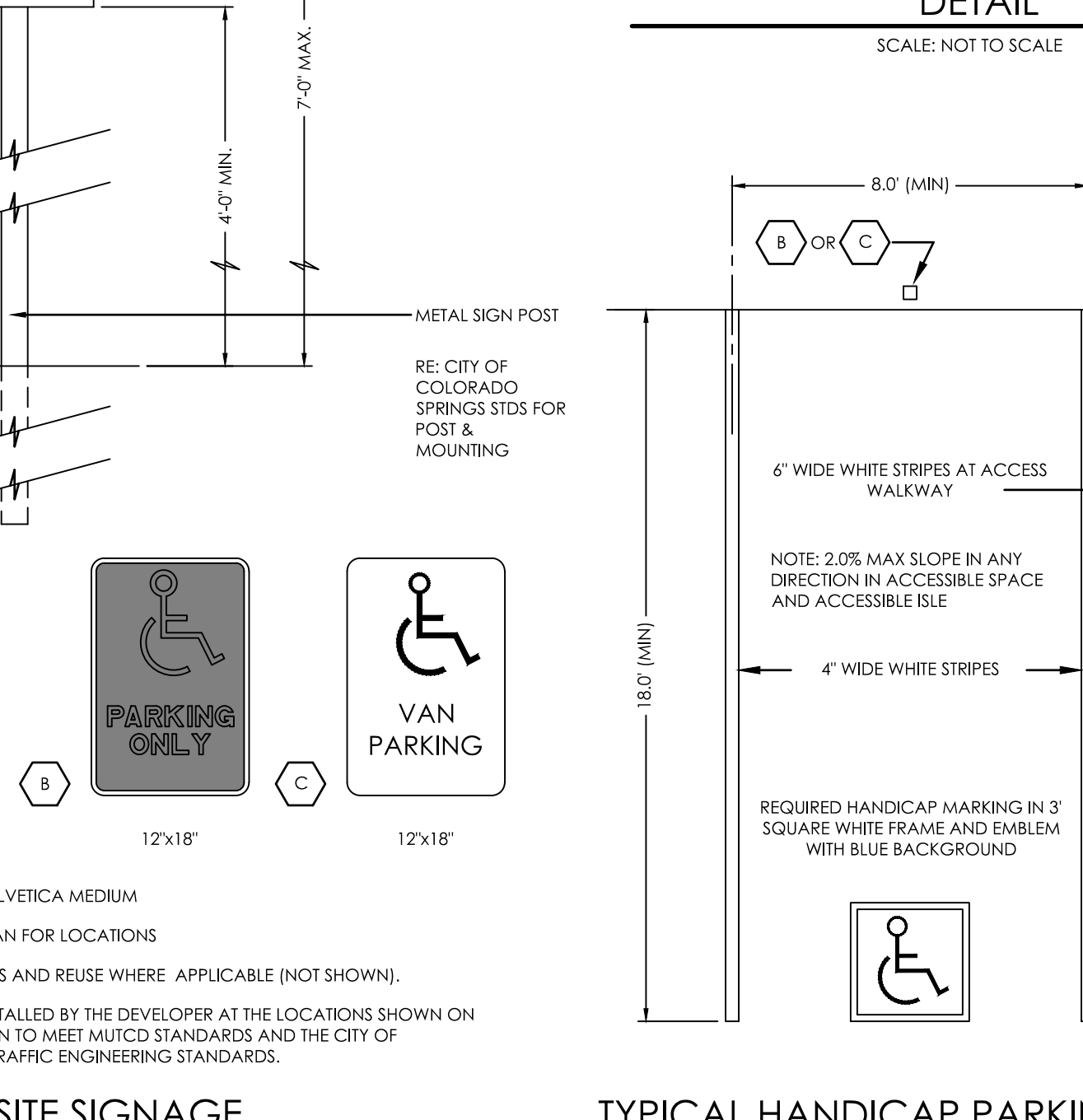
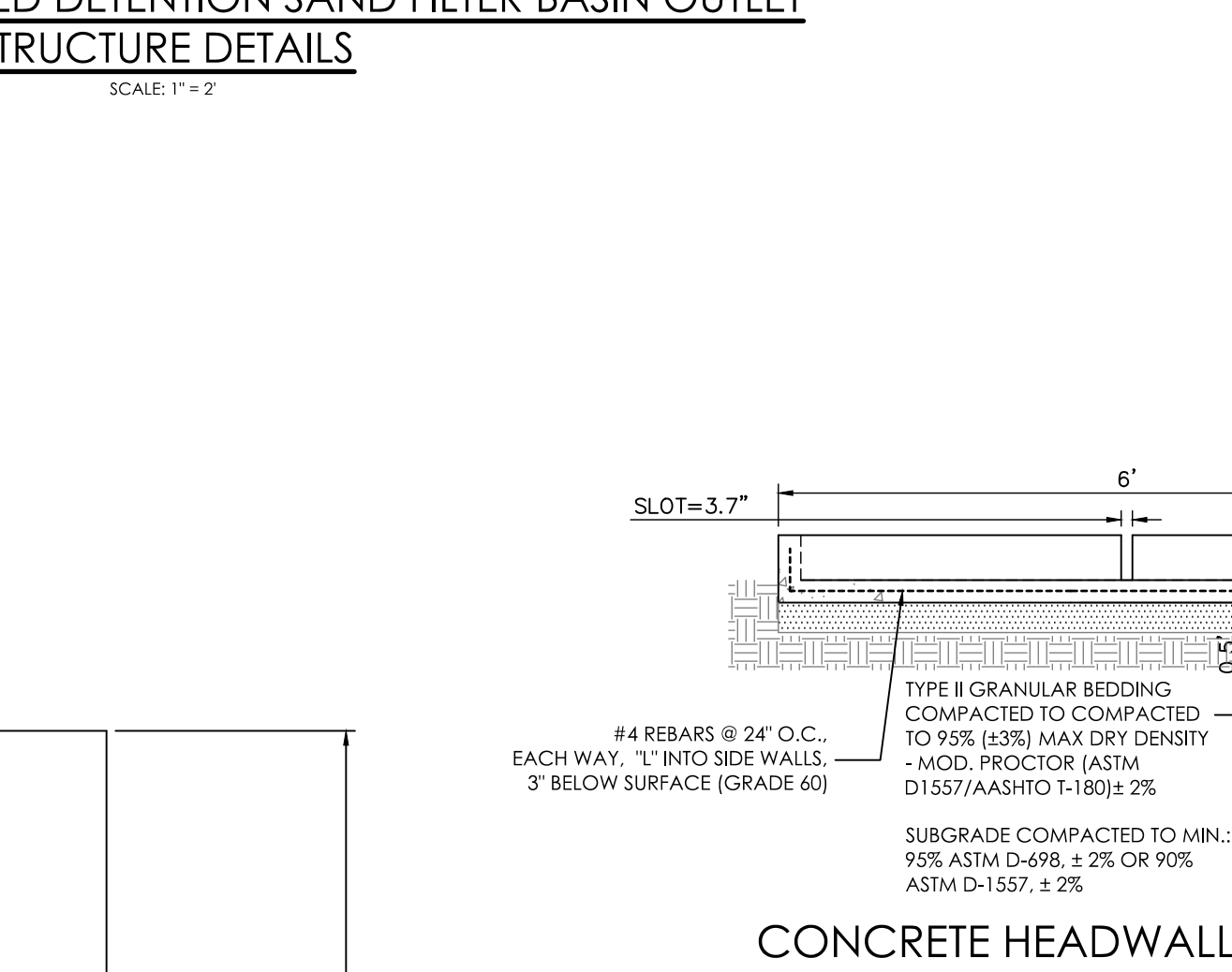
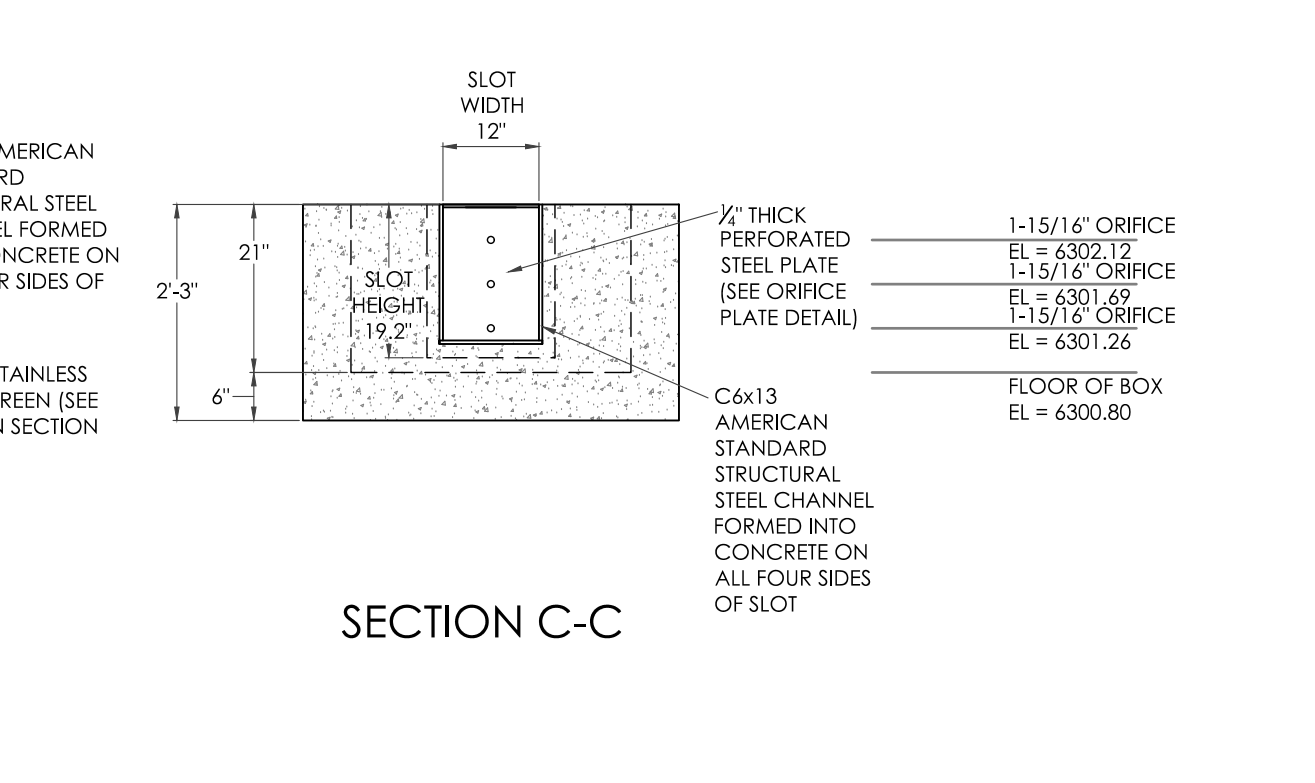
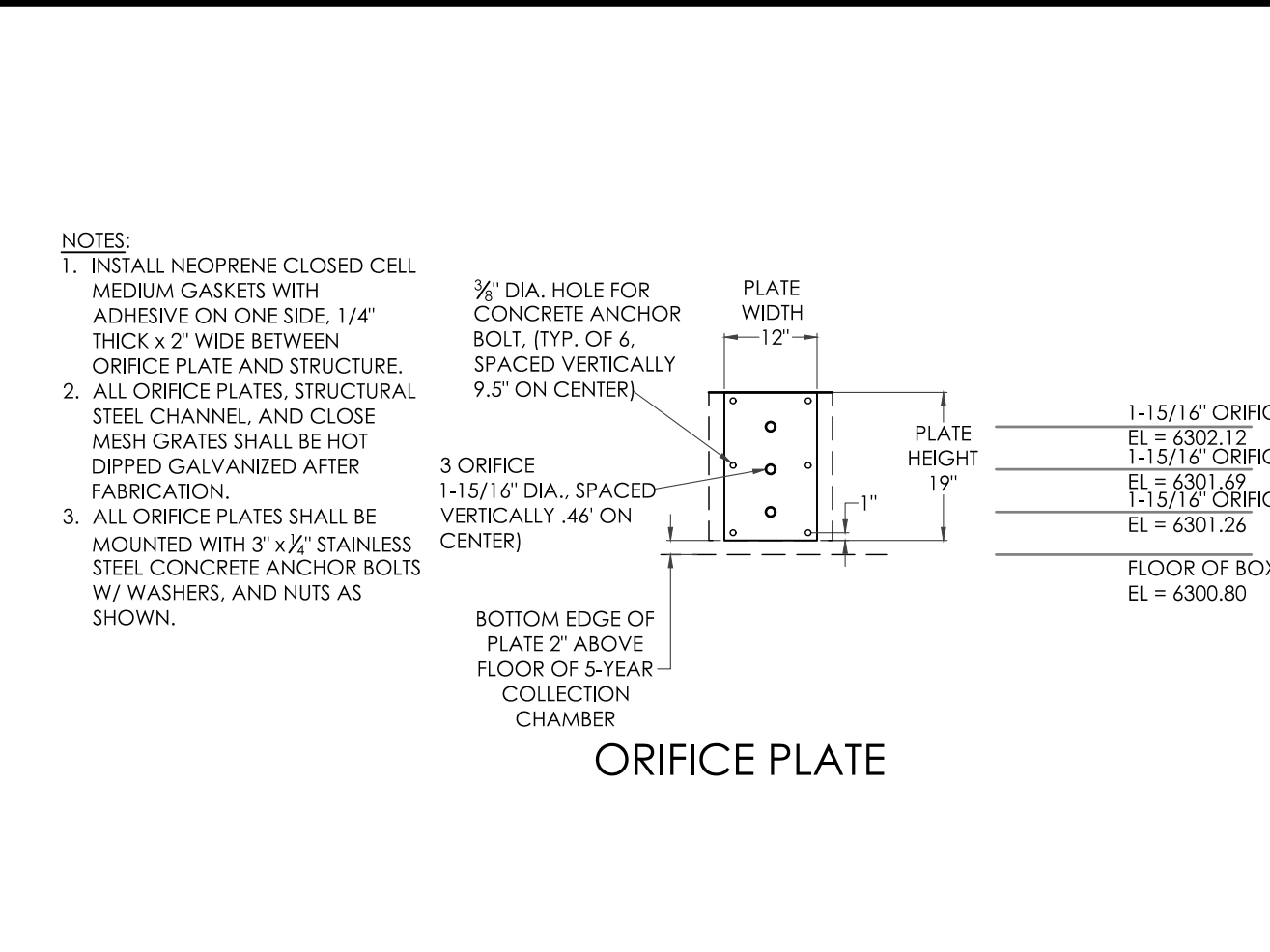
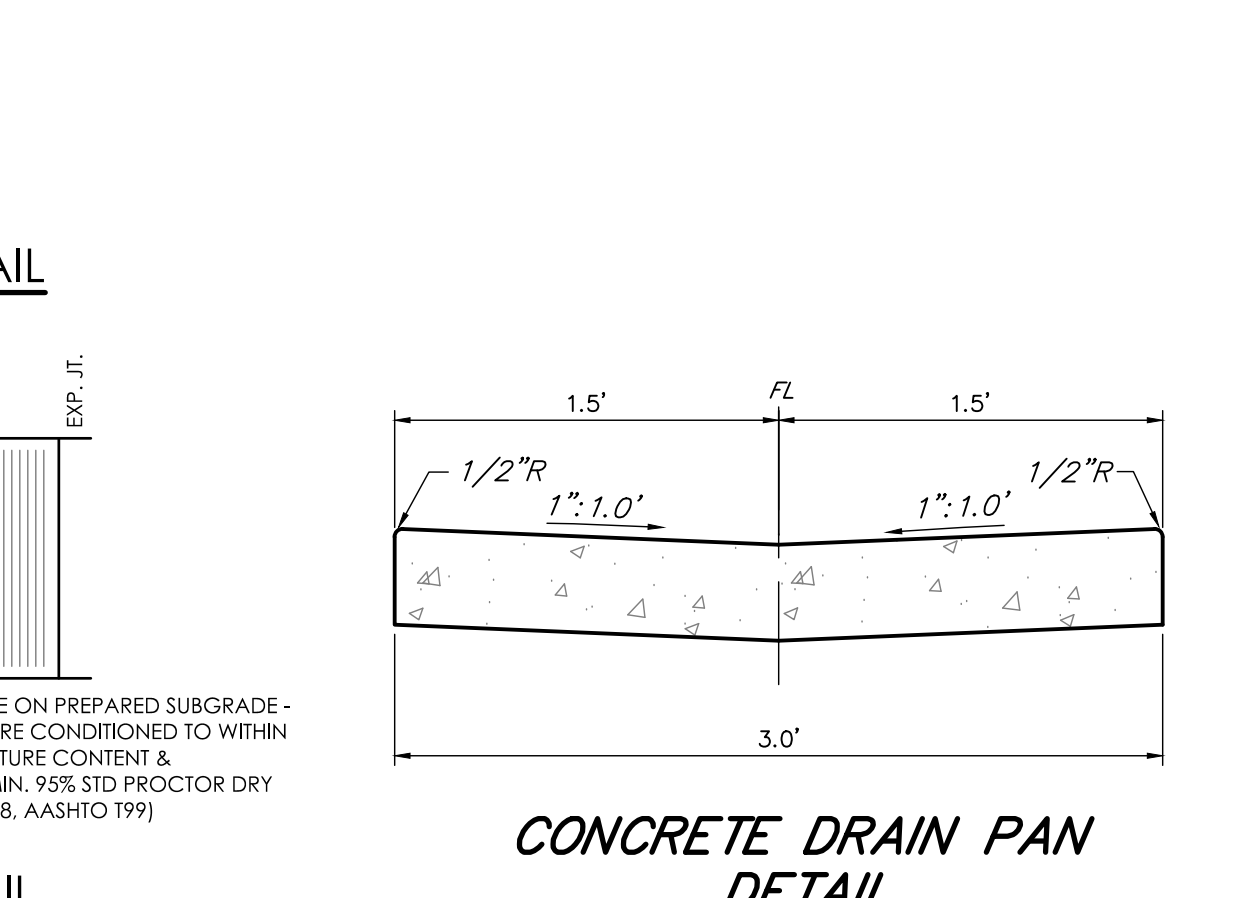
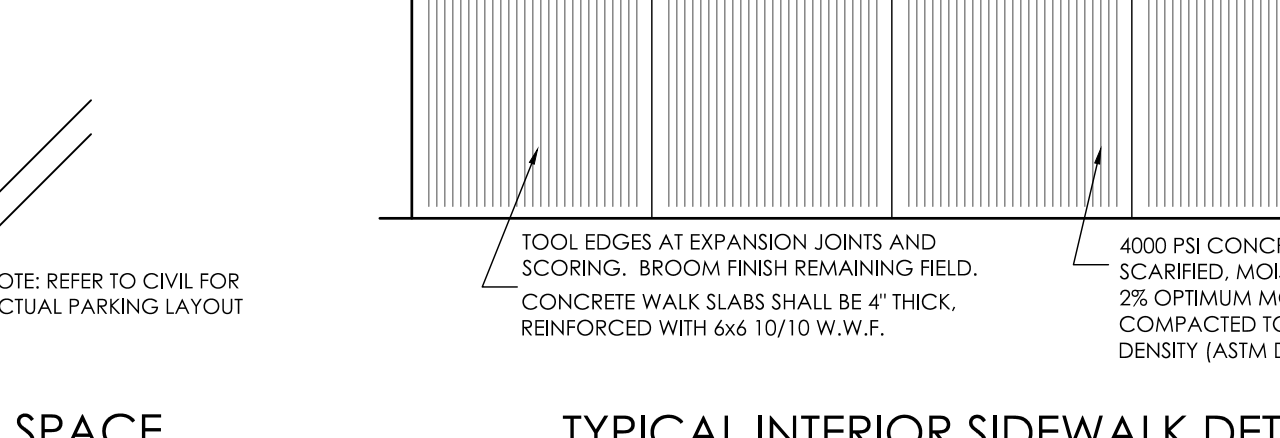
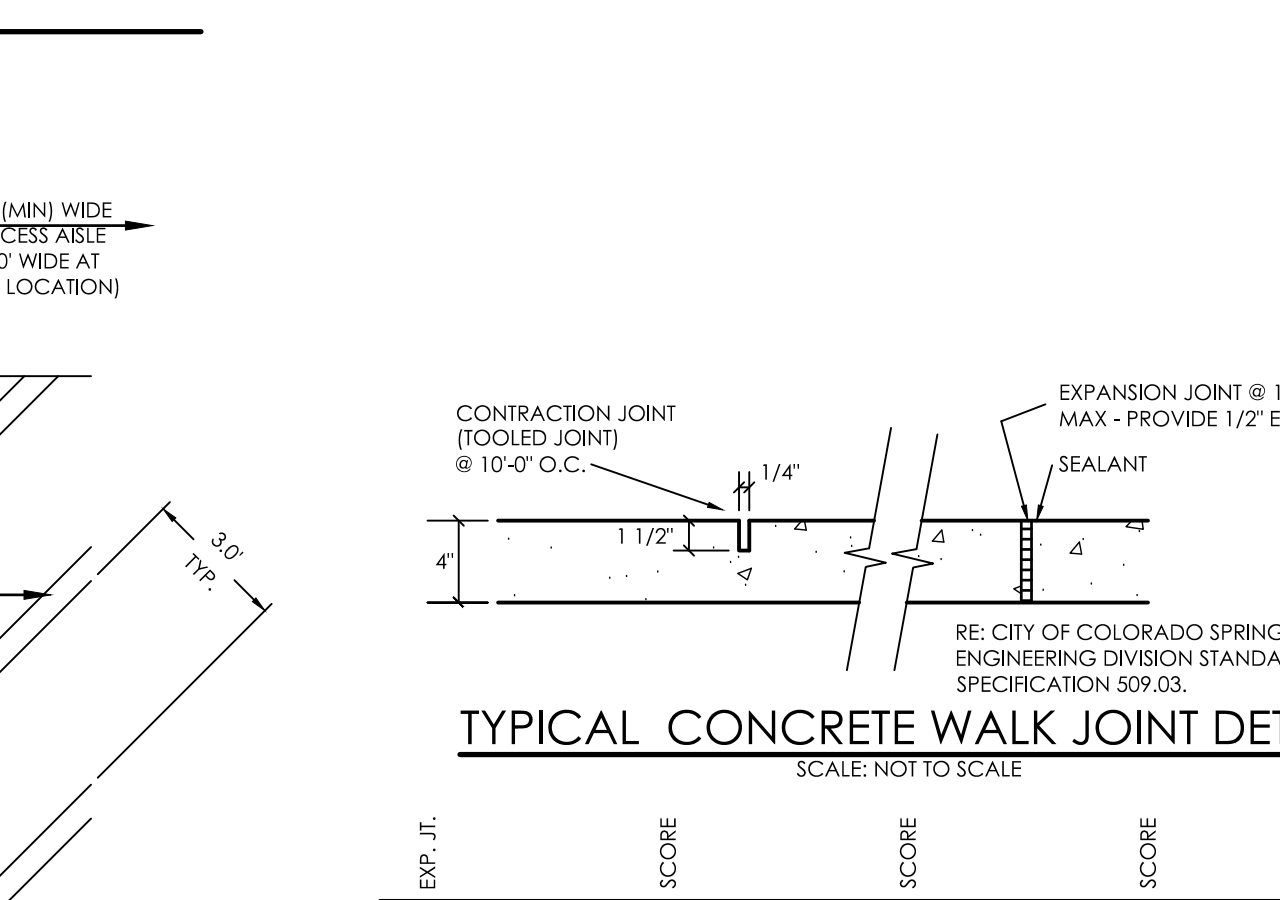
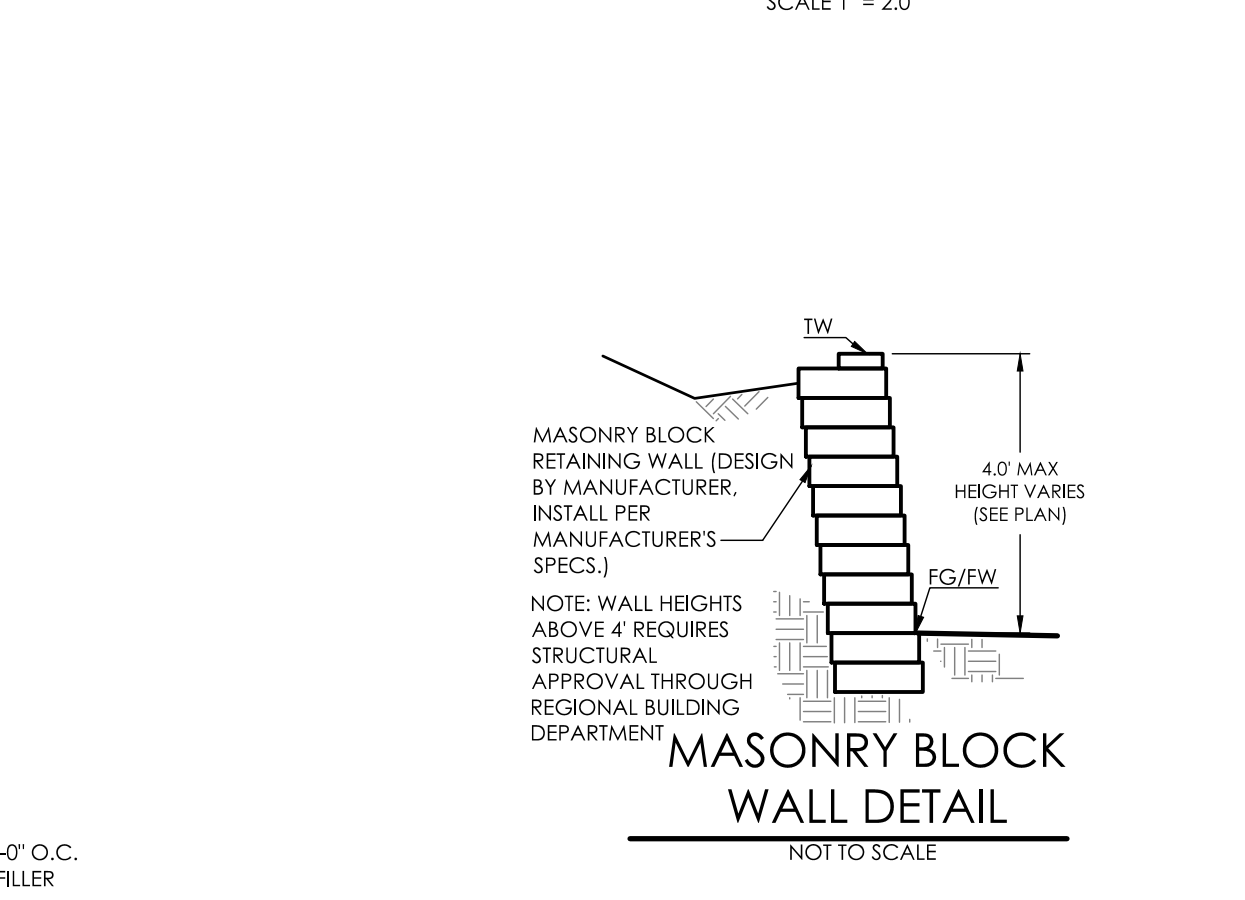
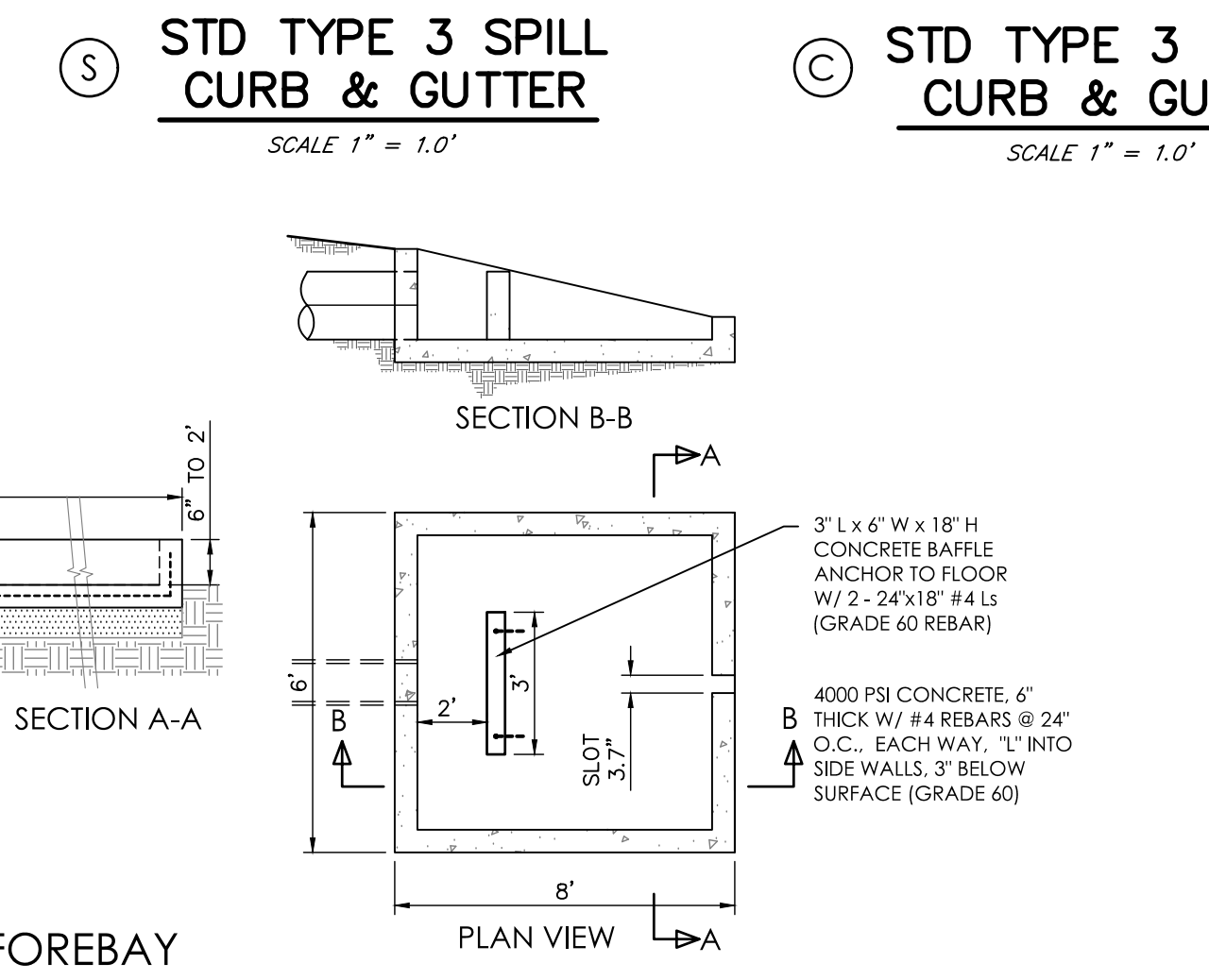
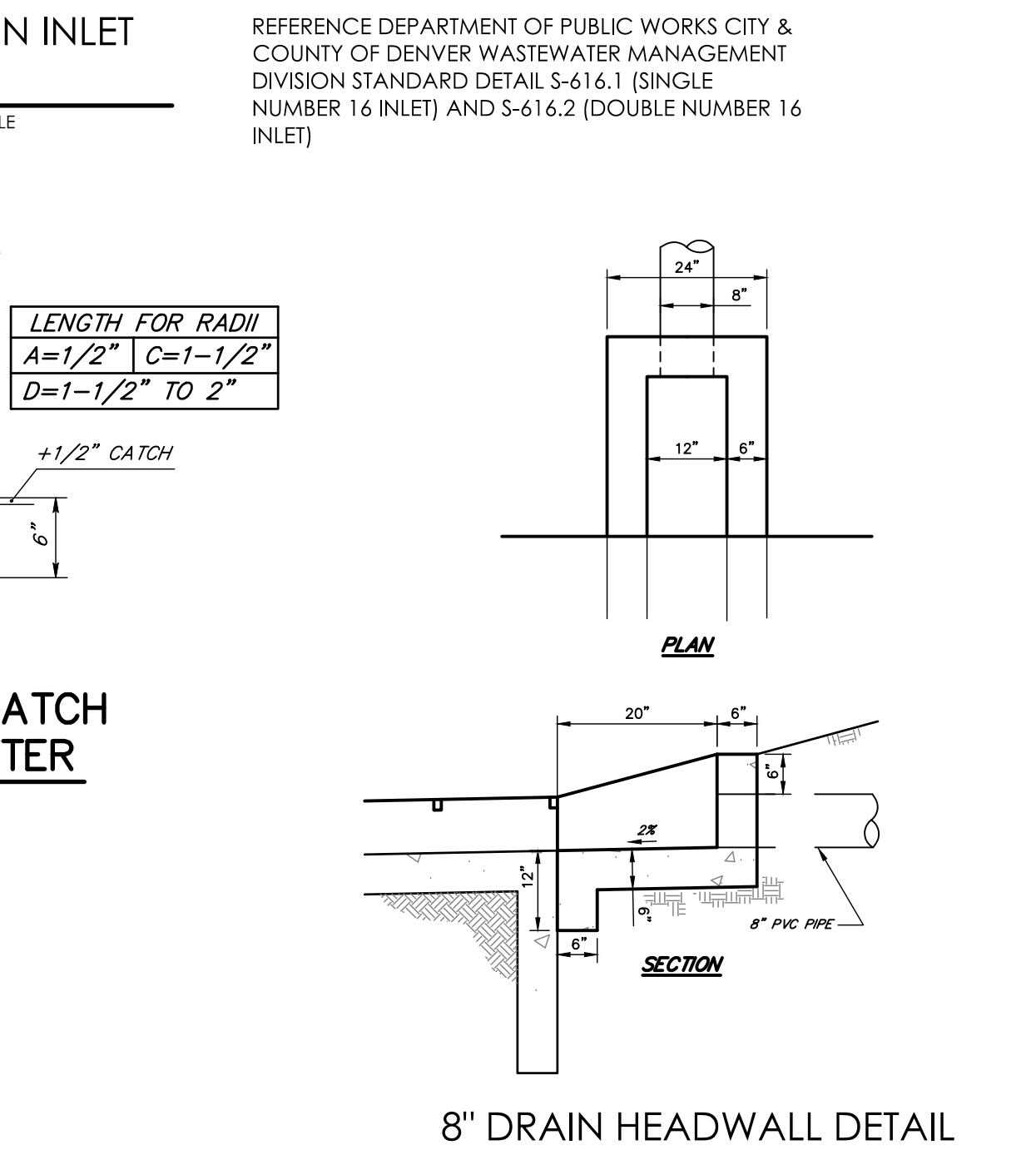
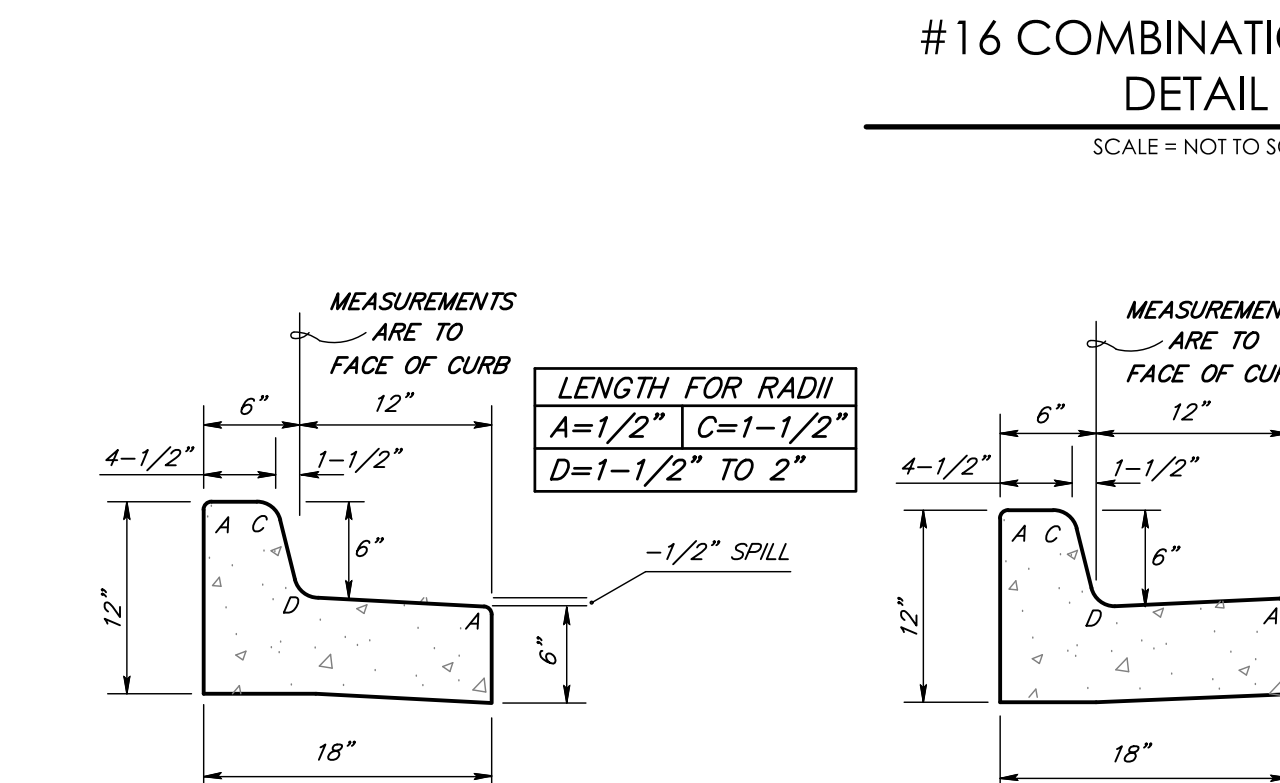
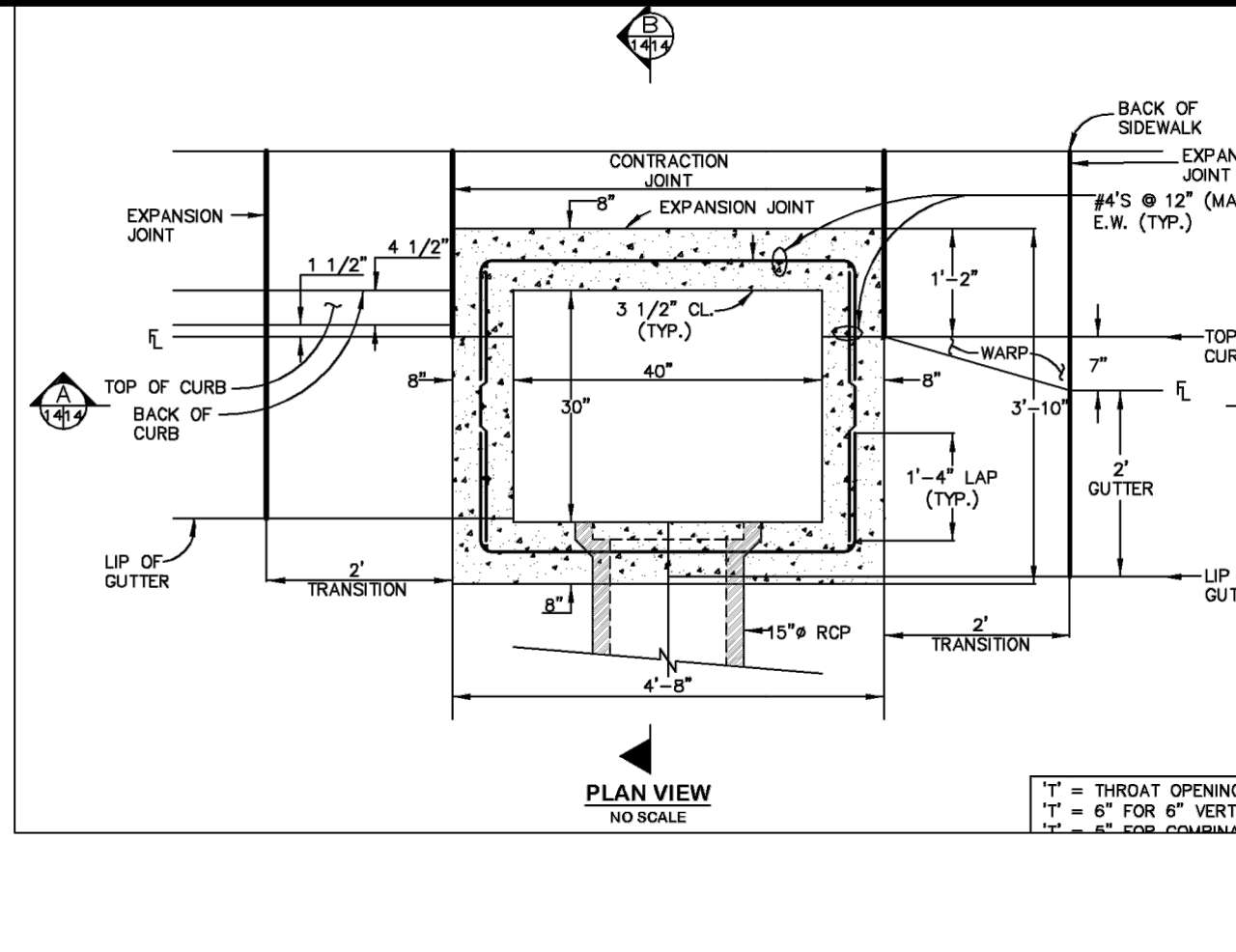
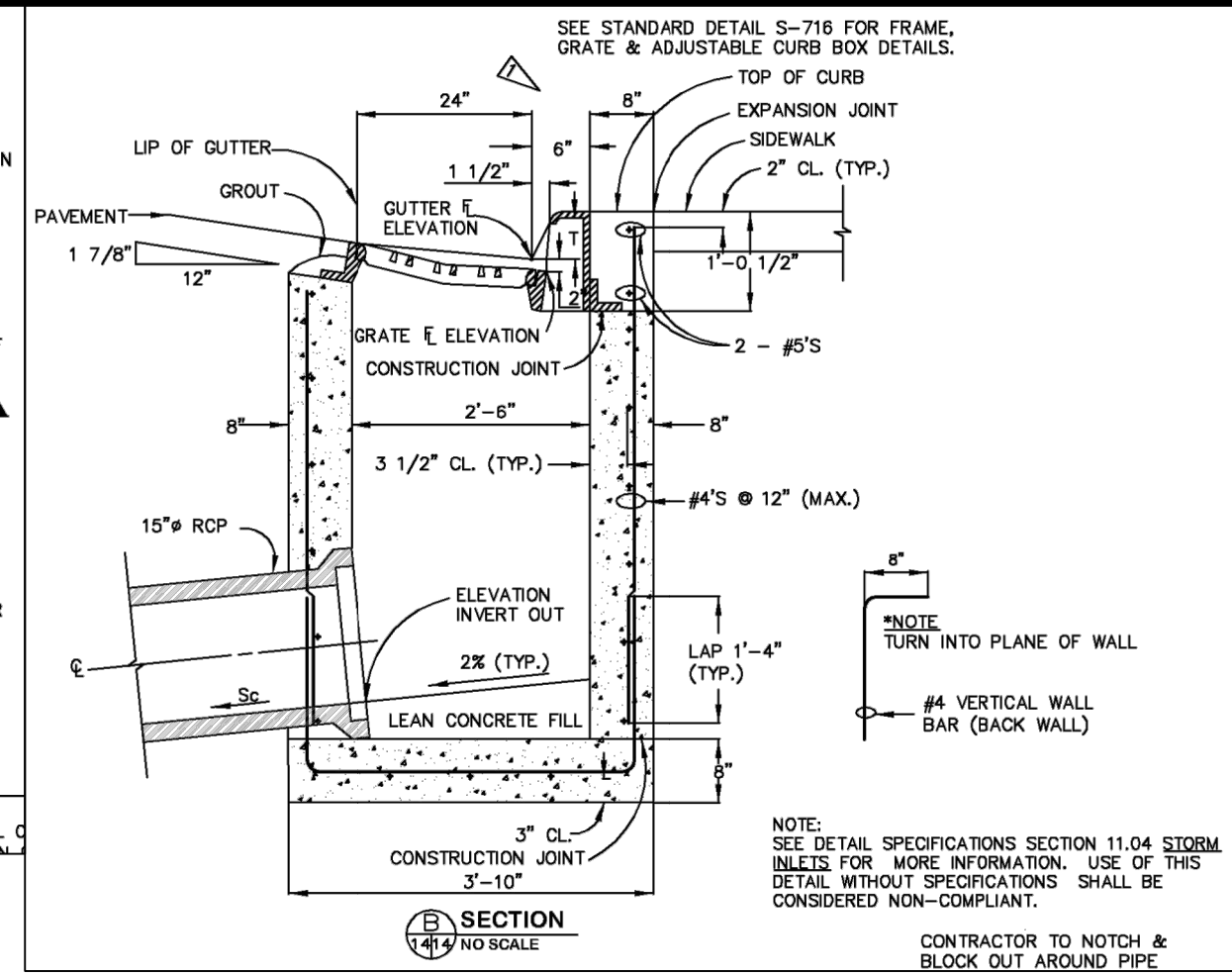


TABLE SF-1 (CLASS C FILTER MATERIAL)

SEIVE SIZE	% PASSING
3/4"	100
NO 4	60-100
NO 50	10-30
NO 100	0-10
NO 200	0-3

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	County Resubmittal	11/09/18

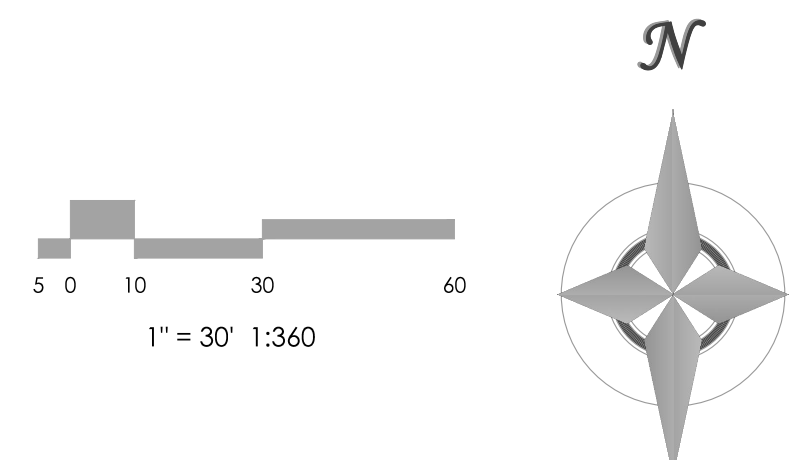
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Erosion Control Plan

C-5



MAP SYMBOL	KEY	DESCRIPTION
	CWA	CONCRETE WASHOUT AREA
	SF	SILT FENCE
	SCL	SEDIMENT CONTROL LOG
	SBB	STRAW BALE BARRIER
	RS	ROCK SOCK
	ECB	EROSION CONTROL BLANKET
	VTC	VEHICLE TRACKING CONTROL
	SW	STREET SWEEPING
	IP	INLET PROTECTION
	OP	PERMANENT OUTLET PROTECTION (SEE CONSTRUCTION PLANS)
	SSA	STABILIZED STAGING AREA
	MU	MULCHING
	SR	SURFACE ROUGHENING
	PS	PERMANENT SEEDING
		LIMITS OF CONSTRUCTION SITE BOUNDARIES
		LIMITS OF CUT/FILL
		LIMITS OF SOIL TYPE
		FLOW DIRECTION ARROW

SOIL TYPE	
MAP UNIT NUMBER	DESCRIPTION
8	BLAKELAND LOAMY SAND

EROSION CONTROL DATA

TIMING	DATE
ANTICIPATED START & COMPLETION TIME PERIOD OF SITE GRADING	DEC 2018 TO AUG 2019
EXPECTED DATE ON WHICH FINAL STABILIZATION WILL BE COMPLETED	OCT 2019

AREAS

SITE AREA	3.87 ACRES
TOTAL AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED	3.68 ACRES

RECEIVING WATERS

EAST FORK SAND CREEK

SOIL DATA

PRIMARY SOIL DESCRIPTION	LOAMY SAND
PERMEABILITY	HIGH
SURFACE RUNOFF	LOW
HAZARD OF EROSION	LOW
HYDROLOGIC SOIL GROUP	A
EXISTING PERCENT IMPERVIOUS	8%
DEVELOPED PERCENT IMPERVIOUS	58%

OTHER DATA

LAT/LONG COORDS: 38°50'31" / 104°42'23"

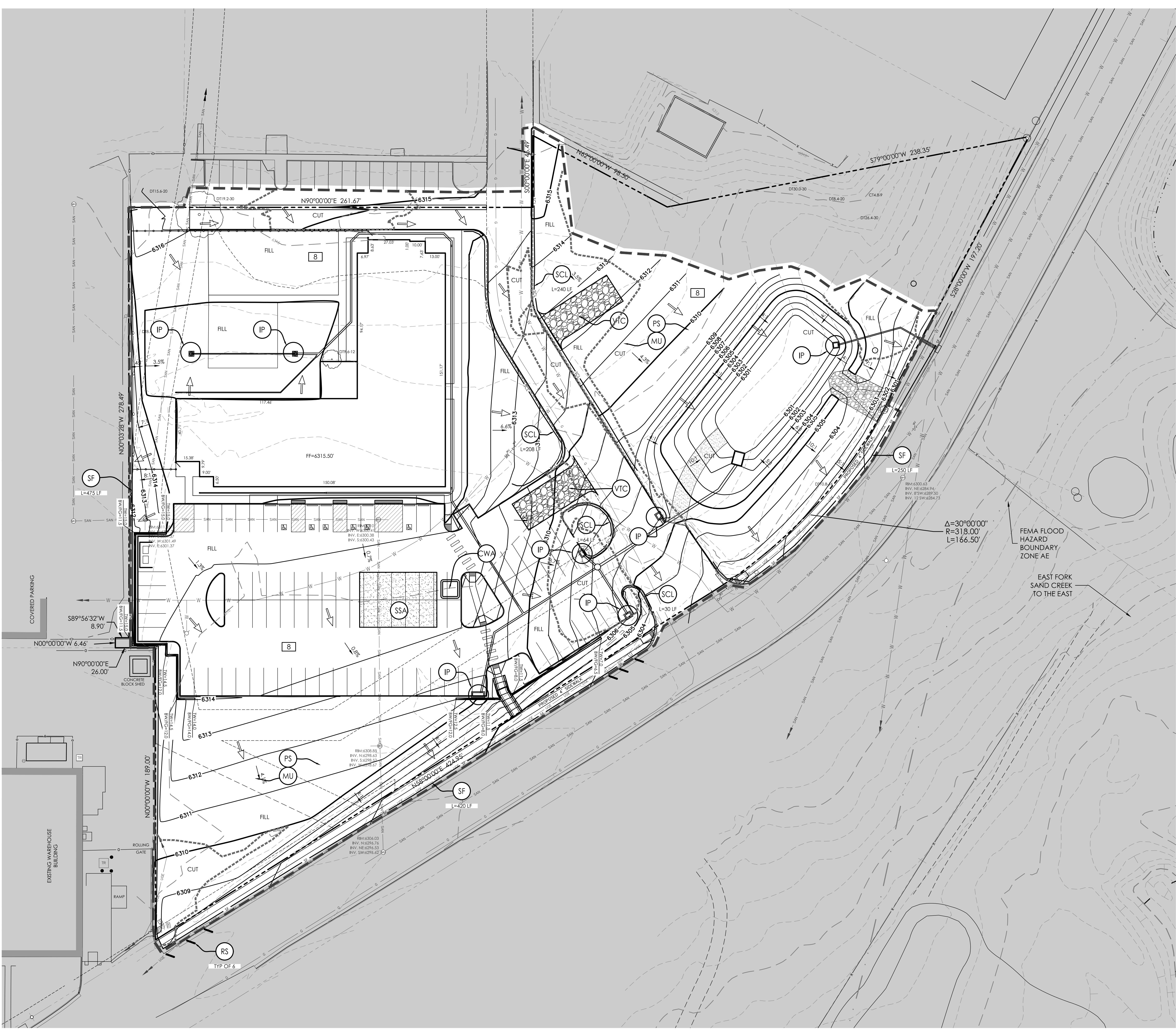
VEGETATION:
EXISTING: NATIVE PRAIRIE GRASSES & WEEDS,
60% COVERAGE
PROPOSED: PLANTINGS & RESEEDING PER LANDSCAPE PLAN

APPROX. EARTHWORK QUANTITIES:
2600 CY CUT, 9600 CY FILL

BATCH PLANTS: NONE

DEWATERING: NONE

RETAINING WALLS: 0.5' - 3.5' AS SHOWN



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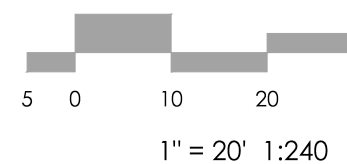
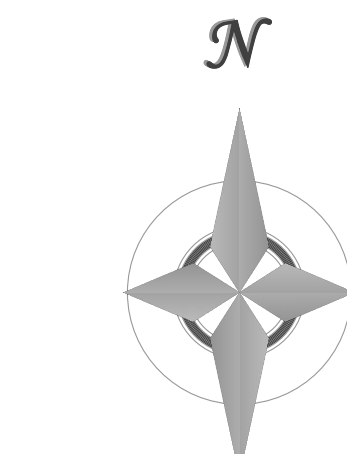
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Utility Development Plan

C-7

LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- WATER SERVICE
--- EASEMENT LINE	--- WATER VALVE
--- 8" W CIP --- WATER LINE	--- S --- SANITARY SEWER SERVICE
--- 16544 --- WATER VALVE	--- DCO --- SANITARY SEWER CLEANOUT
--- 859-B --- FIRE HYDRANT	--- G --- GAS SERVICE LINE
--- 8" SS VCP --- SANITARY SEWER LINE	--- E --- ELECTRIC SERVICE LINE
--- S --- SANITARY SEWER MANHOLE	--- G --- GAS METER
--- G --- GAS LINE	--- T --- ELECTRIC TRANSFORMER PAD



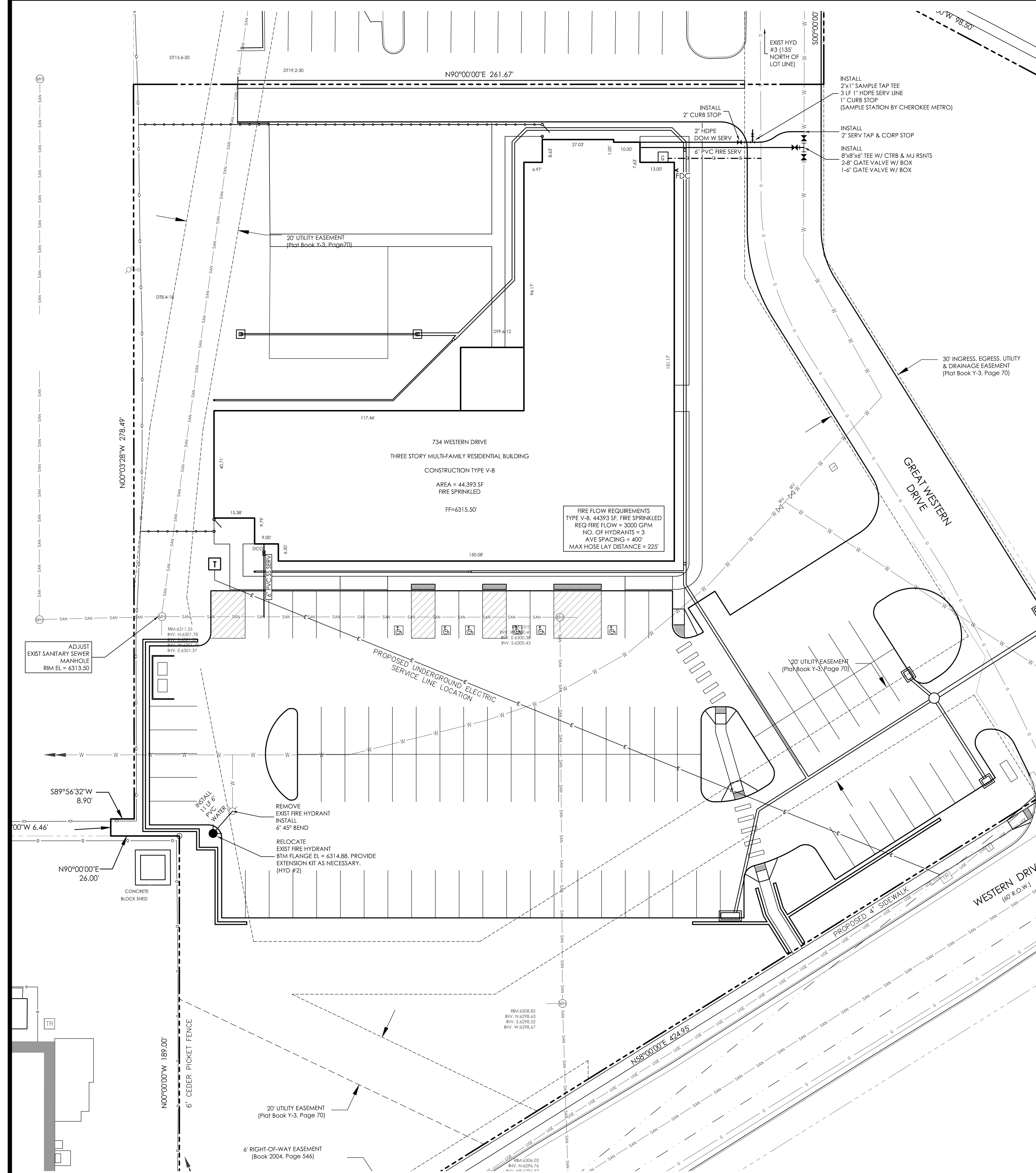
SANITARY SEWER CONSTRUCTION NOTES:

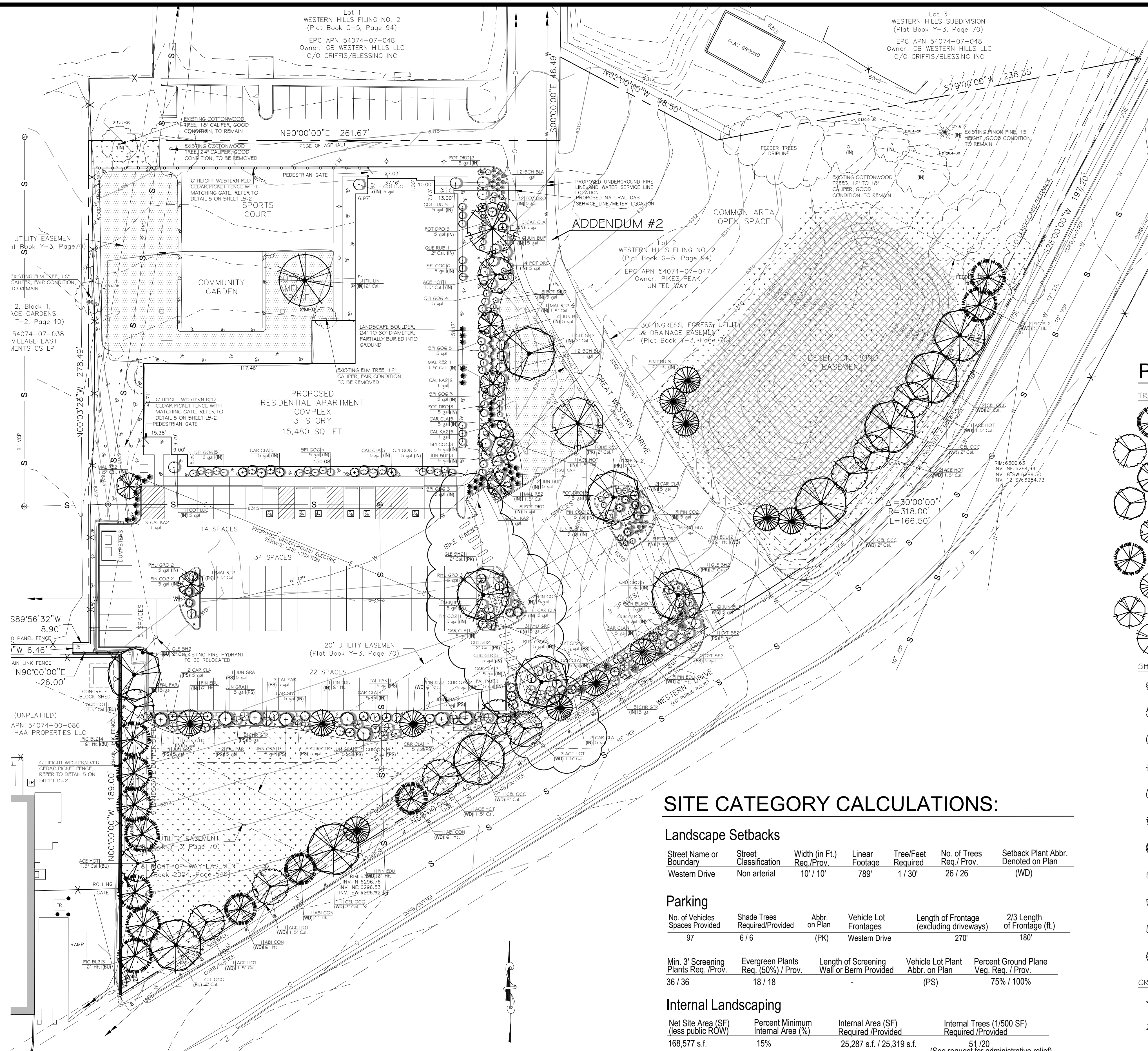
1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH CHEROKEE METROPOLITAN DISTRICT STANDARD AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS NOTED OTHERWISE. IN THE EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN.
2. SANITARY SEWER PIPE SHALL CONFORM TO ASTM D3034 SDR35 PVC.
3. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM.
4. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.
5. INFILTRATION AND EXFILTRATION TESTS CONDUCTED BY AND AT THE EXPENSE OF THE CONTRACTOR SHALL BE PERFORMED ON A REPRESENTATIVE PORTION OF THE PROJECT IN ACCORDANCE WITH SECTION 7.04 OF THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS.
6. ALL SANITARY SEWER MANHOLES, LIDS, BASES AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH (JAW) COLORADO SPRINGS DETAILS STANDARD MANHOLE DETAIL 1. EXCEPT AS NOTED ON THESE PLANS, WHERE REQUIRED ON THESE PLANS, WATER TIGHT MANHOLES, LIDS AND CONNECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH COLORADO SPRINGS STANDARDS.
7. WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE 3 DEGREE BENDS ON ALL CURVILINEAR SANITARY SEWER PIPE.
8. SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL, ON THE UTILITY SERVICE PLAN, OR AT THE DIRECTION OF THE CONSTRUCTION MANAGER.
9. OVERLOT GRADING AND STREET SUBGRADE MUST BE WITHIN ± ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION.
10. WHILE CONSTRUCTING THE SANITARY SEWER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION" SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO PLANS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE SANITARY SEWER SYSTEM.
11. CONTRACTOR TO CONSTRUCT ALL MANHOLES AND STRUCTURES TO FINISHED GRADE.
12. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE BY THE DISTRICT, TWO (2) COPIES OF "AS-CONSTRUCTED" PLANS AND TWO (2) SETS OF ELECTRONIC DATA FILES OF THE PLANS SHALL BE SUBMITTED TO THE DISTRICT FOR RECORD.
 - A. THE TWO (2) COPIES SHALL BE COMPLETE WITH ALL "AS-CONSTRUCTED" INFORMATION TOGETHER WITH A CERTIFICATION BY THE PARTY RESPONSIBLE FOR CONSTRUCTION THAT ALL DATA THEREON IS ACCURATE AND REPRESENTS ACTUAL CONSTRUCTED CONDITIONS.
 - B. THE TWO PLAN SETS SHALL BE SUBMITTED ON SHEETS THAT ARE 24" X 36" IN SIZE.
 - C. THE PLAN SET SHALL BE ON A DURABLE MEDIA THAT CAN BE RUN THROUGH PHOTOCOPIING EQUIPMENT.
 - D. THE TWO ELECTRONIC DATA FORMATS SHALL BE SUBMITTED. THE FIRST ELECTRONIC DATA FILE SET SHALL BE IN AUTOCAD 2006 OR NEWER FORMAT WITH NO EXTERNAL REFERENCE DRAWINGS. ALL EXTERNAL REFERENCES MUST BE BOUND INTO THE DRAWING SET. THE SECOND SET OF ELECTRONIC DATA FILES SHALL BE IN ADOBE ACROBAT PDF FORMAT.
 - E. "AS-CONSTRUCTED" PLANS SHALL BE SUBMITTED WITHIN TWO WEEKS OF COMPLETION OF THE WATER AND/OR SANITARY SEWER UTILITIES.
 - F. NO AUTHORIZATION TO CONNECT TO THE SYSTEM OR DISCHARGE TO THE SYSTEM WILL BE ALLOWED UNTIL THE "AS-CONSTRUCTED" DOCUMENTS HAVE BEEN RECEIVED AND ACCEPTED BY THE DISTRICT.
 - G. ALL PLANS, SPECIFICATIONS AND SUPPORTING DOCUMENTS SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF COLORADO. ALL PLANS AND SPECIFICATIONS SHALL BEAR THE SEAL AND SIGNATURE OF SAID LICENSED PROFESSIONAL ENGINEER.
13. TRACER WIRE IS TO BE INSTALLED WITH ALL SANITARY SEWER MAIN LINES AND SERVICES (FROM MAIN LINE TO THE BUILDING STRUCTURE). ALL NONMETALLIC PIPES SHALL HAVE A TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 TYPE COPPER CONNECTORS AND SHALL BE PERMANENTLY AFFIXED TO THE TOP OF THE PIPE USING TAPE AT 4' INTERVALS. ALL POINTS OF CONNECTION SHALL BE PROTECTED FROM CORROSION BY AN EPOXY OR SILICON COATING. ROUTE TRACER WIRE TO SURFACE AT ALL MANHOLES AND CLEANOUT LOCATIONS.

WATER SYSTEM CONSTRUCTION NOTES:

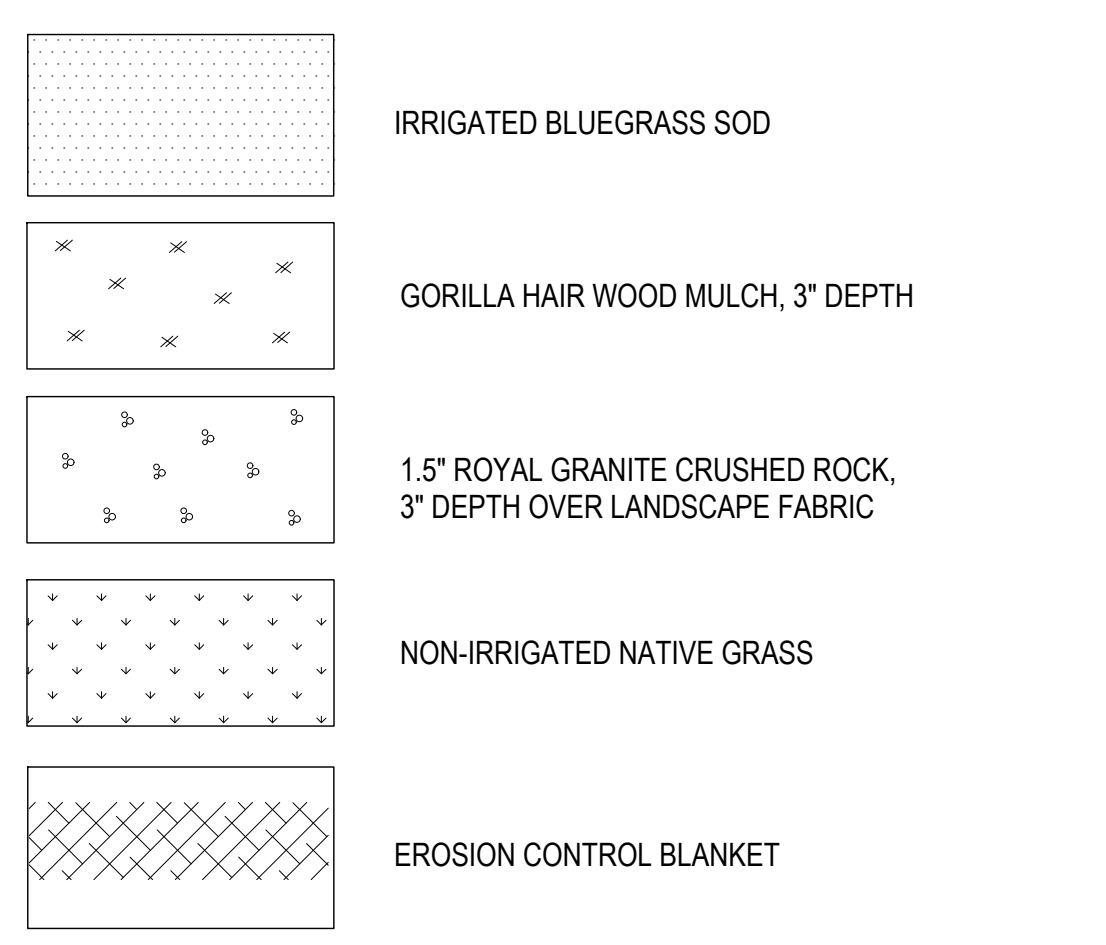
1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH CHEROKEE METROPOLITAN DISTRICT STANDARDS AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS NOTED OTHERWISE. IN THE EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN.
2. ALL WATER SYSTEM MAINS PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 200 (DR-14) PER AWWA C-900 AND ASTM D241 SPECIFICATIONS, EXCEPT WHERE NOTED. SPECIFICALLY, SECTIONS OF WATER PIPE THAT CROSS UNDER MAJOR DRAINAGE WAYS (SAND CREEK) R MAJOR THOROUGHFARES SHALL BE DUCTILE IRON PIPE.
3. ALL FITTINGS SHALL BE CONSTRUCTED OF GRAY-IRON MATERIAL AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL BE WRAPPED WITH A 9-MIL THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD C105.
4. ALL WATER PIPES SHALL BE INSTALLED AT A MINIMUM DEPTH OF FIVE (5) FEET BELOW FINISHED GRADE.
5. ALL BENDS, TEE, FIRE HYDRANTS, BLOW-OFFS, AND PLUGS AT DEAD END MAINS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
6. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE ALL PIPES, FITTINGS, VALVES, APPURTENANCES, MATERIALS AND LABOR THAT ARE NECESSARY TO INSTALL A COMPLETE AND USEABLE FIRE HYDRANT. FIRE HYDRANT ASSEMBLIES SHALL BE ONE OF THE FOLLOWING TYPES:
 - A. MUELLER CENTURION, MODEL A-473
 - B. KENNEDY VALVE
 - C. AMERICAN AVE.
 - D. OR ENGINEER/DISTRICT APPROVED EQUAL.
7. VALVE BOXES SHALL BE TYLER SLIP; TYPE "C" CAST IRON VALVE BOX ASSEMBLY SERIES 4860 WITH NO. 160 OVAL BASE OR APPROVED EQUAL.
8. CONTRACTOR SHALL PRESSURE TEST AND DISINFECT THE SYSTEM PRIOR TO CONNECTING TO EXISTING MAINS.
9. ALL WATER SYSTEM COMPONENTS SHALL BE FLUSHED AND CHLORINATED PER AWWA C-601. "DISINFECTING WATER MAINS" PRIOR TO ACCEPTANCE. THE CONTRACTOR SHALL PRODUCE A 25 MG/L SOLUTION BY ADHERING CHLORINE TABLETS TO THE PIPE SECTION WITH PERMATHEX CLEAR TRV INSIDE THE SYSTEM. CHLORINATION SHALL OCCUR PRIOR TO HYDROSTATIC TESTING. THE CONTRACTOR SHALL OBTAIN A BACTERIOLOGICAL SAMPLE AFTER THE SYSTEM HAS BEEN FLUSHED. A CLEAN BACTERIOLOGICAL SAMPLE MUST BE OBTAINED PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE.
10. HYDROSTATIC TESTING: ALL WATER SYSTEM MAINS SHALL BE FIELD PRESSURE TESTED TO A MINIMUM OF 150 PSI OR 1 1/2 TIMES THE STATIC OPERATING PRESSURE, WHICHEVER IS GREATER. MAXIMUM ALLOWABLE LEAKAGE FOR EACH SECTION OF PIPE BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING: *10 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY.
11. ALL VALVES SHALL CONFORM TO OPEN LEFT CONVENTION PER CHEROKEE METROPOLITAN DISTRICT STANDARDS. SERVICE LINE STOP VALVES/BOXES SHALL BE LOCATED A MINIMUM OF 7 FEET BEYOND THE PROPERTY LINE OR PER THE SERVICE DETAIL ON THE UTILITY SERVICE PLAN. ALL OTHER VALVES SHALL BE LOCATED PER THESE PLANS.
12. WHEN IT IS NECESSARY TO RAISE OR LOWER WATER MAINS AT OTHER UTILITY CROSSINGS THE CONTRACTOR SHALL INSURE A MINIMUM CLEARANCE OF 18" WHERE POSSIBLE BETWEEN THE OUTSIDE DIAMETER OF PIPES.
13. WHILE CONSTRUCTING THE WATER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION" SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO PLANS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE WATER SYSTEM.
14. COMPACTION TESTING RESULTS OF ALL TRENCHES AND BEDDING MATERIAL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO ACCEPTANCE OF THE WATER SYSTEM.
15. PRIOR TO TAPPING ANY EXISTING WATER MAIN THE CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL FOR SAID TAP IN ACCORDANCE WITH THE CHEROKEE METROPOLITAN DISTRICT STANDARDS.
16. PVC PIPE MUST BE PRESSURIZED PRIOR TO TAPPING.
17. THE WATER SYSTEM CONTRACTOR SHALL INSTALL ALL IRRIGATION TAPS AND METERS PER THESE PLANS.
18. FIRE FLOW DEMAND IS 1500 GPM FOR A 3 HOUR DURATION AT A 20-PSI MINIMUM RESIDUAL MAIN LINE PRESSURE.
19. ALL NONMETALLIC PIPES SHALL HAVE A TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 TYPE COPPER CONNECTORS AND SHALL BE PERMANENTLY AFFIXED TO THE TOP OF THE PIPE USING TAPE AT 4' INTERVALS. THE TRACER WIRE SHALL ALSO BE PERMANENTLY CONNECTED TO ALL FIRE HYDRANT TEE, METALLIC PIPE BENDS, MAIN VALVE AND OTHER METALLIC FITTINGS AND APPURTENANCES. ALL POINTS OF CONNECTION SHALL BE PROTECTED FROM CORROSION BY AN EPOXY OR SILICON COATING. GROUND TRACER WIRES TO SURFACE AT ALL VALVE BOXES.
20. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.
21. ALL VALVES SHALL BE INSTALLED IN ACCORDANCE WITH COLORADO SPRINGS STANDARDS EXCEPT FOR NOTE 11 ABOVE. SPACING SHALL BE EQUIDISTANT FROM TEES, ELBOWS, BENDS AND OTHER APPURTENANCES AT 3 FOOT WHERE POSSIBLE.
22. HIGH DEFLECTION COUPLINGS ARE NOT TO BE USED IN THE INSTALLATION OF CURVILINEAR WATER PIPE.
23. TAPS WILL NOT BE RELEASE UNTIL THE FOLLOWING CONDITIONS ARE MET:
 - A. WATER AND SEWER LINES ARE INSTALLED AND PRESSURE TESTED TO THE DISTRICT STANDARDS. ALL 2X4 MARKERS ARE INTACT AND PAINTED FOR SERVICES.
 - B. AS CONSTRUCTED DRAWINGS HAVE BEEN SUBMITTED TO THE DISTRICT. DRAWINGS TO INCLUDE ANY CHANGES FROM CONSTRUCTION DRAWINGS, THE LENGTH, DEPTH, GRADE AND LOCATION OF ALL SEWER SERVICES.
 - C. ALL ELECTRIC AND GAS UTILITIES ARE INSTALLED.
 - D. THE FIRST LIFT OF HOT MIX ASPHALT MUST BE INSTALLED.
24. CONTRACTOR IS TO NOTIFY CHEROKEE METROPOLITAN DISTRICTS' INSPECTOR 24 HOURS PRIOR TO ALL STORM SEWER CRITICAL CROSSING OVER WATER AND SEWER LINES, TO VERIFY CLEARANCE.
25. FIRE HYDRANTS MUST BE PAINTED, BLUE CAPS AND BONNETS; WHITE BARREL SECTIONS. COLOR CODES ARE AS FOLLOWS; CHEROKEE BLUE, PRODUCT NUMBER 5815; CHEROKEE WHITE, PRODUCT NUMBER 5810; BOTH GLOSS OIL BASE EXTERIOR DEVOE-BAROX. CAN BE PURCHASED AT THE PAINT SHOP 5849 PALMER PARK BLVD COLORADO SPRINGS, CO 80915, OR EQUAL BRAND.

CURVILINEAR PIPELINE - THERE IS NO DEFLECTION ALLOWED AT THE JOINTS ON 12-INCH AND SMALLER PIPE. NOTICE: MECHANICAL MEANS SHOULD NOT BE EMPLOYED TO ACCOMPLISH THESE RADII. IT IS THE INTENT THAT THE WORKER SHOULD ACCOMPLISH THIS MANUALLY IN THE TRENCH, ON 4-INCH TO 12-INCH PIPE. THE CURVE SHOULD BE ACCOMPLISHED BY BENDING THE PIPE RATHER THAN DEFLECTING JOINTS. THERE SHALL BE NO DEFLECTION IN THE JOINTS UPON COMPLETION TO AVOID OVER-STRESSING THE BELL AND PREVENT POSSIBLE BREAKAGE AND/OR LEAKS.





GROUND PLANE TREATMENT



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
	ABI CON	3	Abies concolor / White Fir	6' Ht.	B # B
	ACE HOT	12	Acer tatanum 'Hot Wings' / Hot Wings Tatanum Maple	1.5' Cal.	B # B
	CEL OCC	7	Celtis occidentalis / Common Hackberry	2" Cal.	B # B
	GLE SH2	6	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	2" Cal.	B # B
	MAL RE2	5	Malus x 'Red Jewel' / Red Jewel Crab Apple	1.5' Cal.	B # B
	PIC BL2	9	Picea pungens glauca / Colorado Blue Spruce	6' Ht.	B # B
	PIN EDU	12	Pinus cembroides edulis / Pinyon Pine	6' Ht.	B # B
	QUE RUB	2	Quercus rubra / Red Oak	2" Cal.	B # B
	TIL LIN	1	Tilia amercana / American Linden	2" Cal.	B # B
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
	CAR CLA	39	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Spirea	5 gal	
	CHR GTR	22	Chrysothamnus nauseosus graveolens / Tall Green Rabbitbrush	5 gal	
	COT LUC	5	Cotoneaster lucidus / Peking Cotoneaster	5 gal	
	CYT SP2	5	Cytisus purgans 'Spanish Gold' / Spanish Gold Broom	5 gal	
	FAL PAR	11	Fallugia paradoxa / Apache Plume	5 gal	
	JUN BUF	29	Juniperus sabinna 'Buffalo' / Buffalo Juniper	5 gal	
	JUN GRA	8	Juniperus scopulorum 'Gray Gleam' / Gray Gleam Juniper	5 gal	
	PIN CO2	10	Pinus mugo 'Compacta' / Dwarf Mugo Pine	5 gal	
	POT DRO	30	Potentilla fruticosa 'Gold Drop' / Gold Drop Potentilla	5 gal	
	RHU GRO	19	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	
	SPI GOG	39	Spiraea japonica 'Goldflame' / Goldflame Spirea	5 gal	
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
	CAL KA2	33	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	
	SCH BLA	42	Schizachyrium scoparium 'Blaze' / Blaze Little Bluestem	1 gal	

SITE CATEGORY CALCULATIONS:

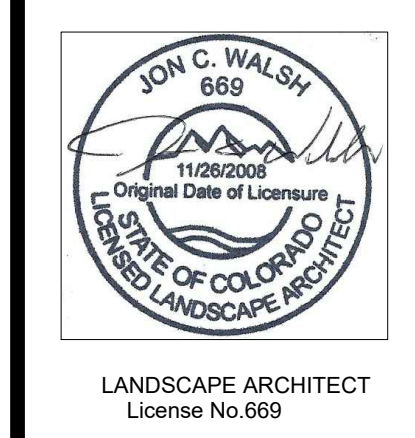
Landscape Setbacks						
Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req. / Prov.	Setback Plant Abbr. Denoted on Plan
Western Drive	Non arterial	10' / 10'	789'	1 / 30'	26 / 26	(WD)
Parking						
No. of Vehicles Spaces Provided	Shade Trees Required/Provided	Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)	2/3 Length of Frontage (ft.)	
97	6 / 6	(PK)	Western Drive	270'	180'	
Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Prov.		
36 / 36	18 / 18	-	(PS)	75% / 100%		(See request for administrative relief)
Internal Landscaping						
Net Site Area (SF) (less public ROW)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided			
168,577 s.f.	15%	25,287 s.f. / 25,319 s.f.	51 / 20			(See request for administrative relief)
Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan					
180 / 180	(IN)					
Landscape Buffer & Screens						
Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (50%) / Provided		
Southwest Boundary	15' / 15'	215'	11 / 11	6 / 7		
Length of 6 Ft. Opaque Structure Req. / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.				
215' / 215'	(BU)	75% / 100%				

ADDENDUM #3
 Landscape layout revised to reflect addition of public sidewalk from building to street. Planting bed configurations have been revised, but all plant material and landscape boulder quantities have remained unchanged.

Corporate Entity No. 2018120152
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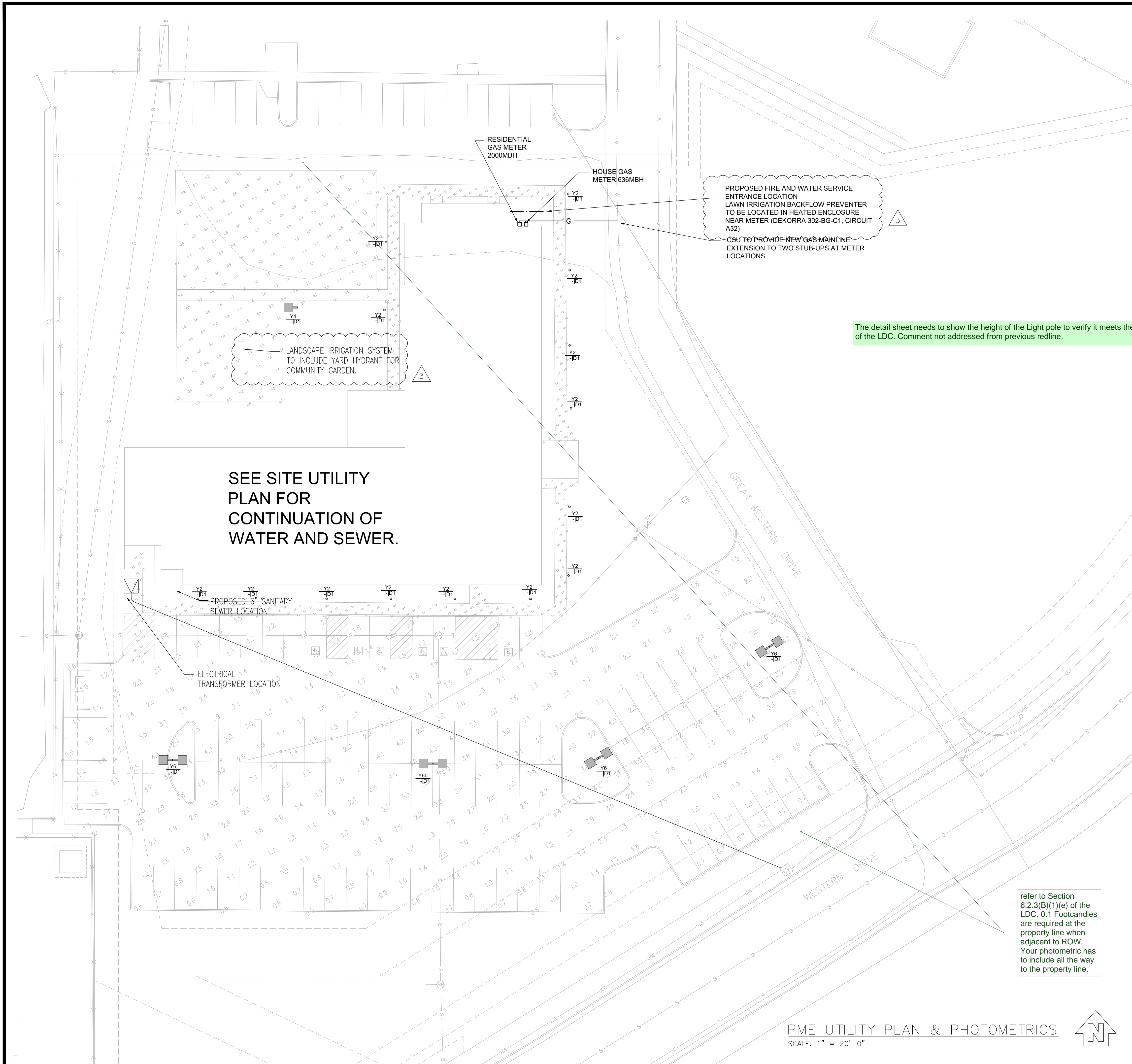
FREEDOM SPRINGS
 734 WESTERN DRIVE
 COLORADO SPRINGS, EL PASO COUNTY
 COLORADO 80915

REVISION	DESCRIPTION	DATE



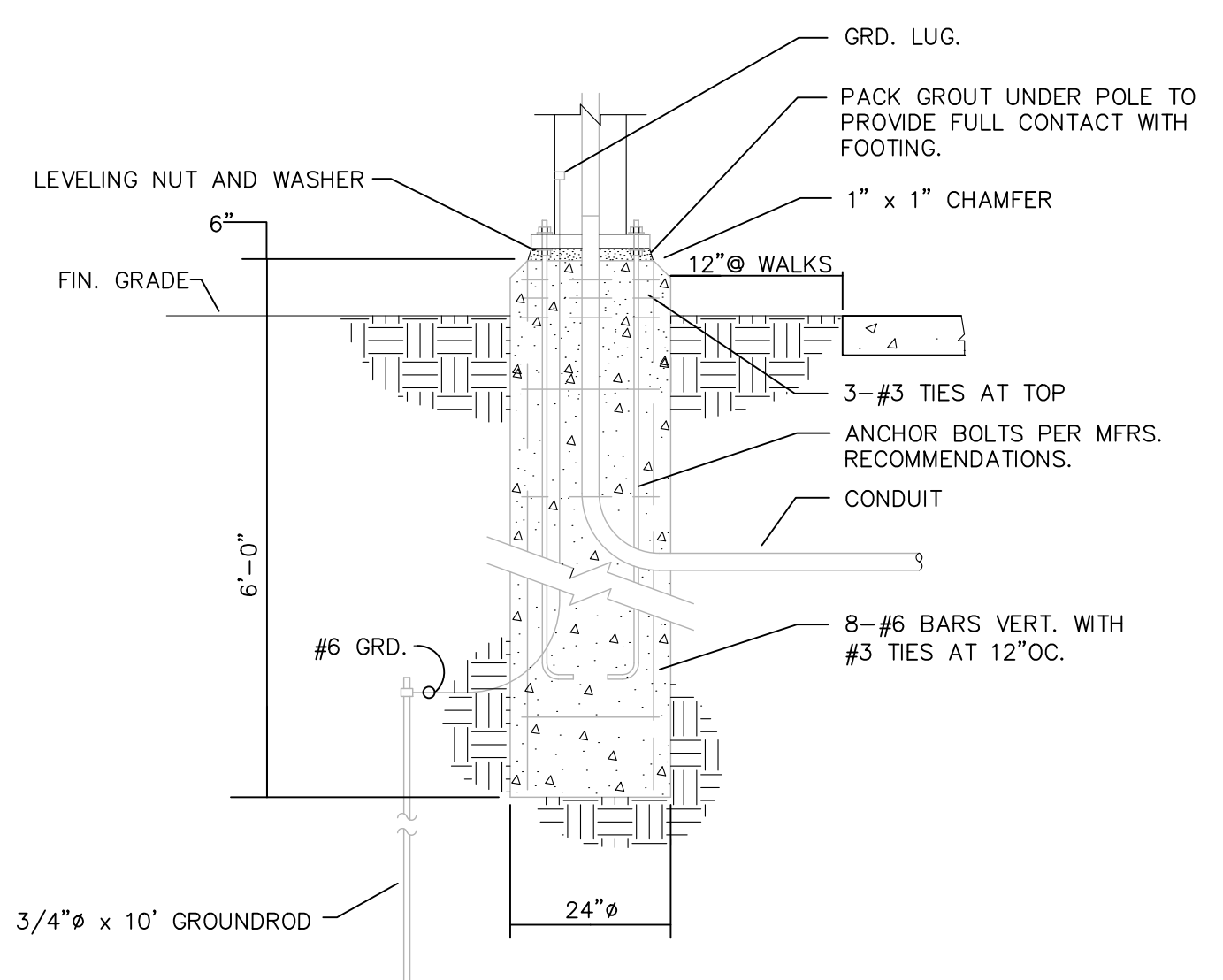
LANDSCAPE ARCHITECT
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 DATE: November 1, 2018
 PROJECT NUMBER:
 DRAWN BY:
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Landscape Plan
LS1

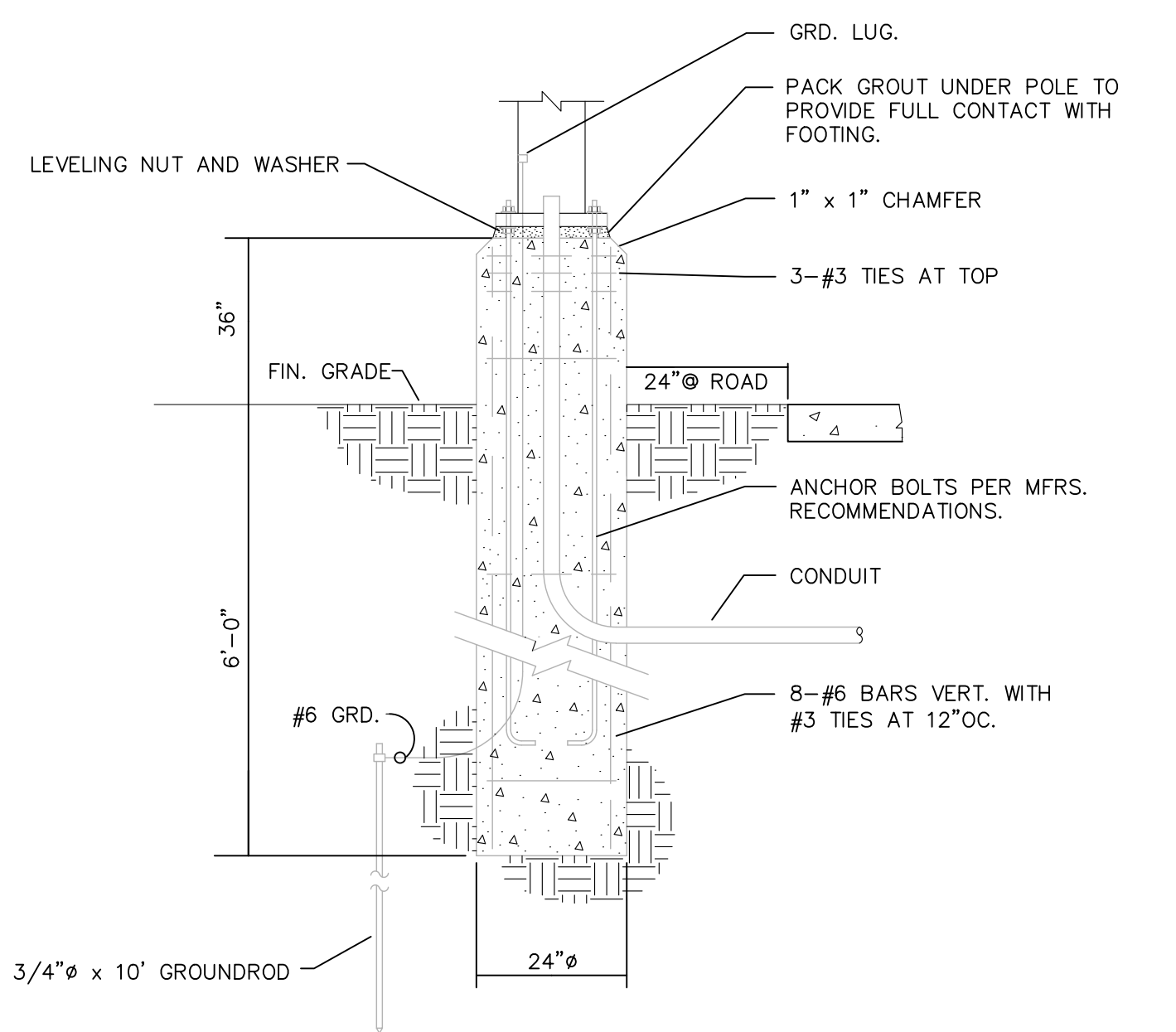


The detail sheet needs to show the height of the Light pole to verify it meets the standard of the LDC. Comment not addressed from previous redline.

refer to Section 6.2.3(B)(1)(e) of the LDC. 0.1 Footcandles are required at the property line when adjacent to ROW. Your photometric has to include all the way to the property line.



LIGHT POLE BASE DETAIL (WALK ADJACENT) 1
NOT TO SCALE RME100



LIGHT POLE BASE DETAIL (VEHICLE ADJACENT) 2
NOT TO SCALE RME100

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FREEDOM SPRINGS
734 WESTERN DRIVE
COLORADO SPRINGS, EL PASO COUNTY,
COLORADO, 80915

REVISION	DESCRIPTION	DATE
PERMIT SET		03-05-18
ADDENDUM 02		10-26-18
ADDENDUM 03		11-02-18

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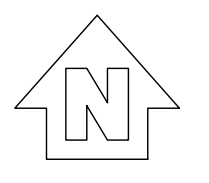


11/02/2018
Walter Warren - PE
CO 0051474

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PME UTILITY PLAN
PME-100



SUPPLEMENTAL SPECIFICATIONS:

FIRE ALARM SYSTEM:
See specifications manual.

SECURITY SYSTEMS:

- A. General:
- Furnish and install a complete operating access building security system as described herein and as shown on drawings. The system shall be complete with all necessary materials and controls required for operation whether or not such materials and controls are specified or shown. Shop drawings shall be provided to the Architect for confirmation of location of all cameras.
 - CCTV devices:
CCTV cameras shall be located where shown to monitor entry and exit of the building, and building exterior. Monitors, recorder and other gear shall be located in Room 113 near the MDF. Coordinate location with fire alarm, HVAC, and other nearby trades.
 - IP camera (1.3MP minimum resolution, color),
 - Monitor, 24" 16:9 LED monitor, 1920x1080 resolution
 - Network Video Recorder, 30 days storage
 - Network switch
 - Battery backup
 - Power for security systems shall be provided through the specified house panel circuit for security. See electrical panel diagrams.
 - Security systems shall be provided with stand-alone standby battery or circuit with inverter to provide sufficient power for 24 hours of operation.

ACCESS AND DOOR CONTROL SYSTEMS:

- A. General:
- Furnish and install a complete operating access control system as described herein and as shown on drawings. The system shall be complete with all necessary materials and controls required for operation whether or not such materials and controls are specified or shown. Shop drawings shall be provided to the Architect for confirmation of location of all access and door control systems.
 - Access control shall be located at all building entrances as indicated on the drawings. Controls at exterior pedestrian locations shall include proximity sensor. Call box shall be located at main entry without remote unlock capability.
 - Magnetic hold opens shall be as specified with door hardware. Power for magnetic hold-opens shall be provided from the nearest public unswitched, non-GFCI, non-AFCI, receptacle circuit.
 - Power for access control systems shall be provided through the specified house panel circuit for Access Control. See electrical panel diagrams.
 - Access control systems shall be provided with stand-alone standby battery or circuit with inverter to provide sufficient power for 24 hours of operation.

PUBLIC WIFI SYSTEM:

Furnish and install a complete operating public WIFI system providing wireless access points, powered by POE, where shown and as required to provide service to specified areas on drawings.

2

The detail sheet needs to show the height of the Light pole to verify it meets the standard of the LDC. Comment not addressed from previous redline.

2

LIGHT FIXTURE SCHEDULE							
TAG	LOCATION	MODEL #	FINISH	WATTS	LUMENS	MOUNTING	NOTES
A	APARTMENTS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING	
C1	CEILING FAN	PROGRESS P2574-2030K	BZ			CEILING	WET RATED
D1	LIVING ROOM	PROGRESS P3612-0930K9	WH	44.5W	3745	CEILING	22"DIA, 2700K
D2	BEDROOM	PROGRESS P3611-093069	WH	29.5W	2330	CEILING	15"DIA, 2700K
E	MECHANICAL CLOSET	LEVITON 8829-CW4		8.5W		WALL	KEYLESS LAMP HOLDER W/ LED BULB OVER DOOR. PROTECTIVE CAGE REQ'D AT ELEVATOR PIT.
F	CLOSETS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING	
G2	BATH VANITY	PROGRESS P2094-0930K9	PC	35W	3000LM	WALL	38" LENGTH
H	BATH	PROGRESS P8022-82-30K	BN	15W	1000LM	CEILING	
J	KITCHEN PENDANT	PROGRESS P5092-09	BN	9.5W	915LM	PENDANT	FROSTED GLASS
K	CORRIDORS	PROGRESS P8022-28-30K	WH	15W	1000LM	CEILING	3000K
L	NOT USED						
M	HEARING IMPAIRED APARTMENTS	NUTONE LA11WH, C907 XFORM, HARRIS DOORBELL STROBE, SPORE TDB-N-AL BUTTON	WH	-	-	WALL	BUTTON STRIKE SIDE AT 48", CHIME/STROBE VISIBLE TO LIVING ROOM.
N1	OFFICE	LUMENOPTIX LUZ-22-40-EA8-35K-DU1-KS	WH	40W	4100LM	SURFACE CEILING	2X2 LED PANEL W/ SURFACE MT KIT
Q	CLOSETS	LEVITON 9864-LED		8.5W		CEILING	MOTION, NO SWITCH
R	UTILITY	COLUMBIA CSL4-4035	WH	36W	4000LM	SURFACE	48" STRIP LIGHT W/ HANGER FOR 9' MAX MOUNTING HEIGHT
S	CLASSROOM	FINELITE HP2-D-4-H-830-F-120V-FA50-SC-C*	WH	26W	2600LM	PENDANT	48" LINEAR
Y1	EXTERIOR CANOPY	HINKLEY 2302KZ-LED ARIA	BZ	15W		PENDANT	
Y2	EXTERIOR BOLLARD	H.E.WILLIAMS OSA6R-L20/840-AC-FT-DBZ-AB-DRV-UNV	BK	18W	2000LM	GROUND	
Y3	EXTERIOR WALL	WAC WS-W5318	BZ	15W	1218LM	WALL	VERIFY MT HEIGHT
Y4	YARD LITE	KENALL TPDPT26-5R-55-FTA-DB-160L30K-DV-DS34 0-500V250-OT-HH-FBCP-AB-DB-(VAL,KEN ALL)	BK	150W	13860LM	POLE	3000K, 25' POLE
Y5	PARKING	BEACON VP-S/30NB-70/3K/T2/UNV/RA/DBT, BEACON SSSB16-40A-1-1B4-DBT	BK	54.7W	6530LM	POLE	3000K, 25' POLE
Y6	PARKING	BEACON VP-L/96NB-280/3K/T3/UNV/RA/DBT, BEACON SSSB25-50B-2-S2-DB	BK	215W	24084LM	POLE	DUAL HEAD, 3000K, 25' POLE
Y6b	PARKING	BEACON VP-L/96NB-280/3K/T3/UNV/RA/DBT, BEACON SSSB22-50B-2-S2-DB	BK	215W	24084LM	POLE	DUAL HEAD, 3000K, CUSTOM 22' POLE HEIGHT.
Y7	WALLPAK	BEACON TRV/D/24NB/27/3K/T2/UNV/BL	BK	27W		WALL	
EX1	EMERGENCY	COMPASS CCG	WH			UNIVERSAL	EMERGENCY/EXIT
EX2	EMERGENCY	COMPASS CEG + REMOTE	WH			UNIVERSAL	EMERGENCY/EXIT WITH REMOTE HEAD
EX3	EMERGENCY	COMPASS CCGRC	WH	1.4W		WALL 7.5'	2 HEAD EMERG. LIGHT
EM1	EMERGENCY	COMPASS CU2 + REMOTE	WH	1.4W		WALL 7.5'	2HEAD W/ REMOTE
EM2	EMERGENCY	COMPASS CU2RC	WH	14W		WALL 7.5'	HIGH OUTPUT
EM3	EMERGENCY	DUAL EVHC6					

ALL FIXTURES SHALL BE 3000K COLOR TEMP. 2700K TO 3500K IS ACCEPTED WHERE 3000K IS NOT AVAILABLE.
EXHAUST FANS, HEATERS, AND OTHER MECHANICAL EQUIPMENT BY MC. CONNECTION BY EC. SEE M300 FOR SPECS.
SMOKE & CO ALARM - SEE SPECIFICATIONS
DWELLING UNIT FIXTURES REQUIRING SCREW-IN LAMPS SHALL USE CREE A19, 2700K, 9.5W, 915LM, OMNIDIRECTIONAL, 80CRI MIN.

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FREEDOM SPRINGS
734 WESTERN DRIVE
COLORADO SPRINGS, EL PASO COUNTY,
COLORADO, 80915

REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
△	ADDENDUM 02	10-26-18

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10/25/2018
Walter Warren - PE
CO 0051474

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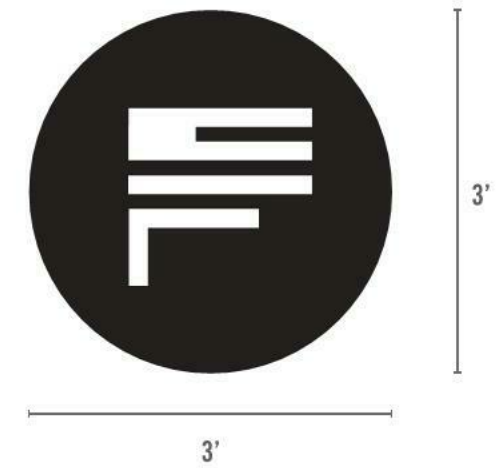
SCHEDULES

E-300

Sign plan must be submitted on EDARP on additional project, this has not been done.

CUTOUT METAL WALL SIGN ON EAST ELEVATION, AND FLAGPOLE IN EAST COURTYARD.

NOT ILLUMINATED.
APPROXIMATE SIZE: 3' x 3'



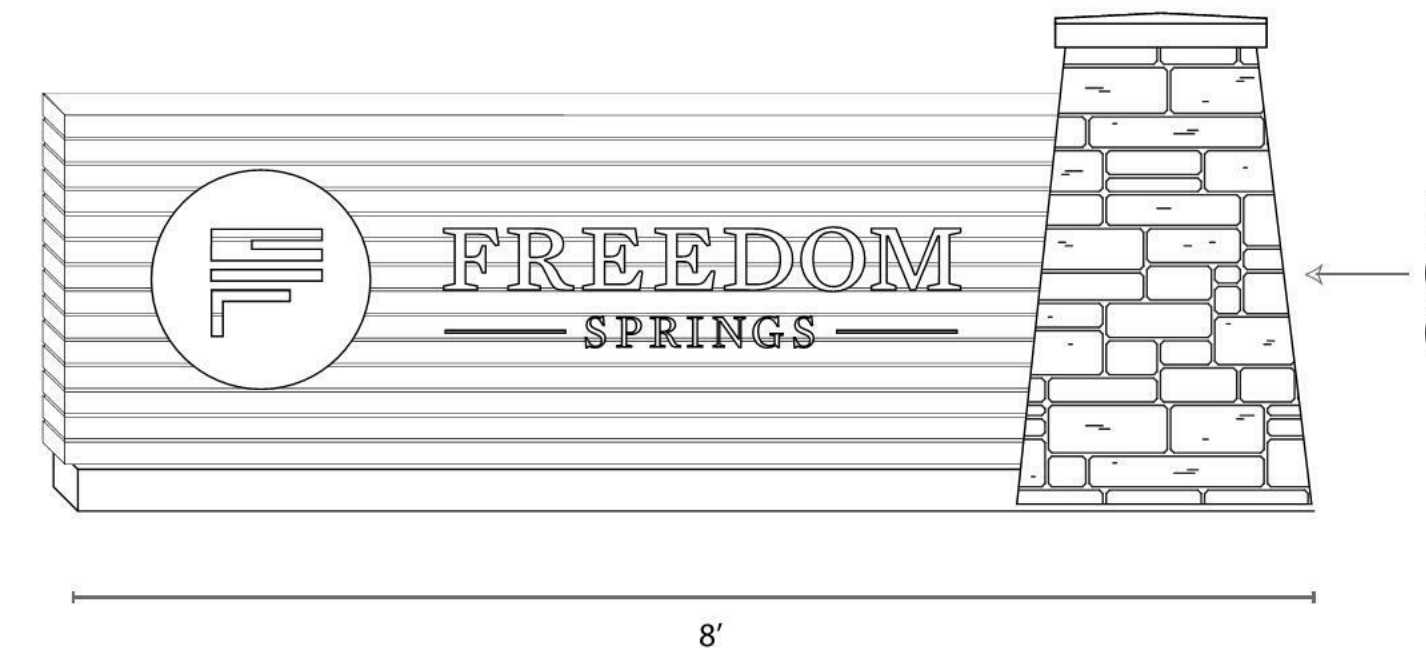
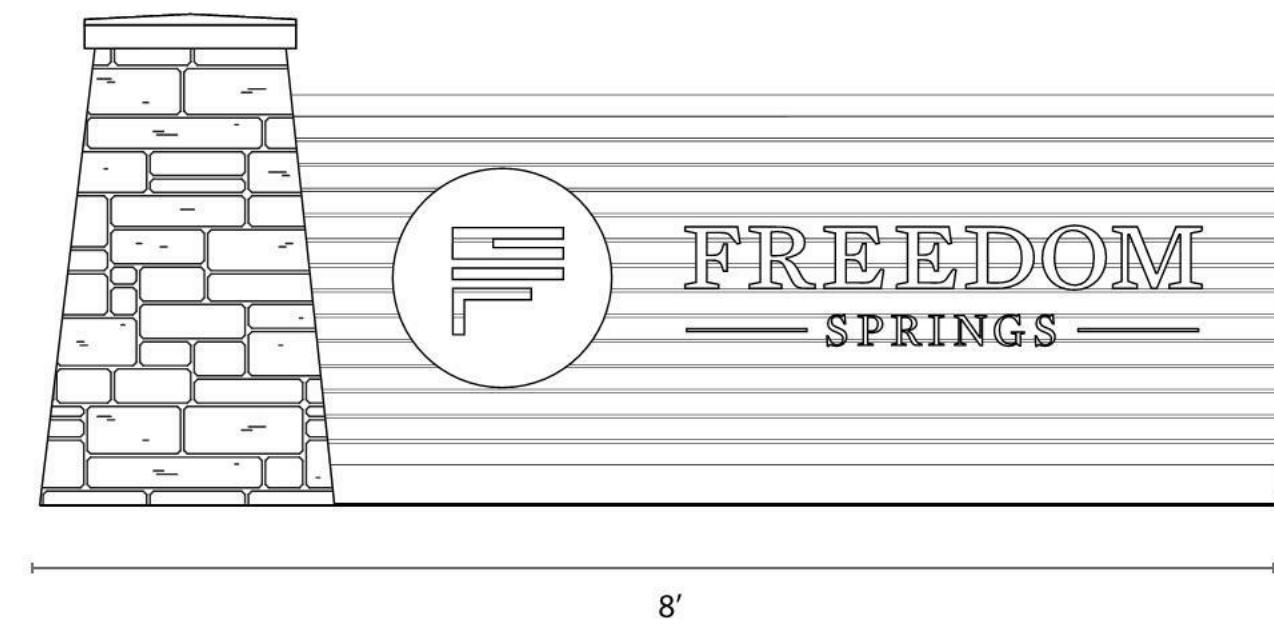
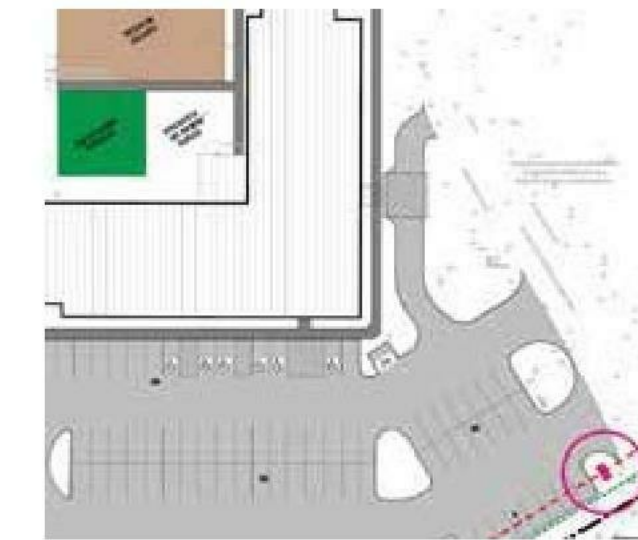
BUILDING PLACEMENT - EAST FACE



MONUMENT SIGN ON SE CORNER OF PROPERTY NEAR CORNER AT WESTERN DRIVE.

DOUBLE SIDED.
WOODEN SLATS ON CONCRETE BASE.
METAL CUTOUT LETTERING AND LOGO.
APPROXIMATE SIZE: 8' x 3' x 4.5'
STREET NUMBER ON OUTSIDE STONE AREA OF SIGN, FACING STREET.
SOLAR GROUND LIGHTING

SITE PLACEMENT



SIDE VIEW

ILLUMINATED WALL SIGN ON SOUTH ELEVATION "CHIMNEY"

LED BOX/CHANNEL LETTERS WITH DARK SIDES. FRONT GLOW ONLY.
APPROXIMATE SIZE: 6'6" x 4'6"



BUILDING PLACEMENT - SOUTH FACE



1 SOUTH ELEVATION Copy 1

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REVISION	DESCRIPTION	DATE
	PERMIT SET	5-5-18

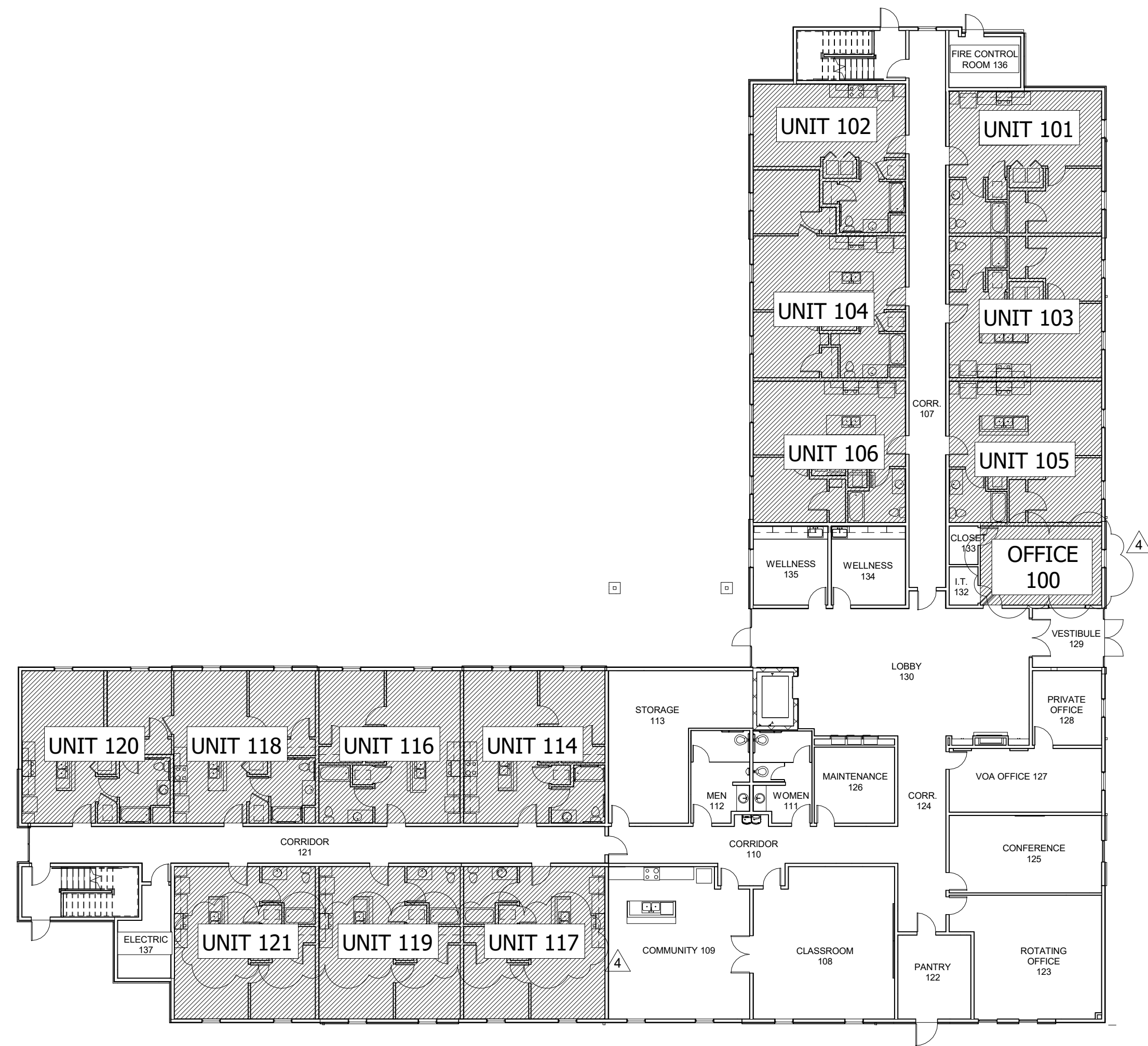
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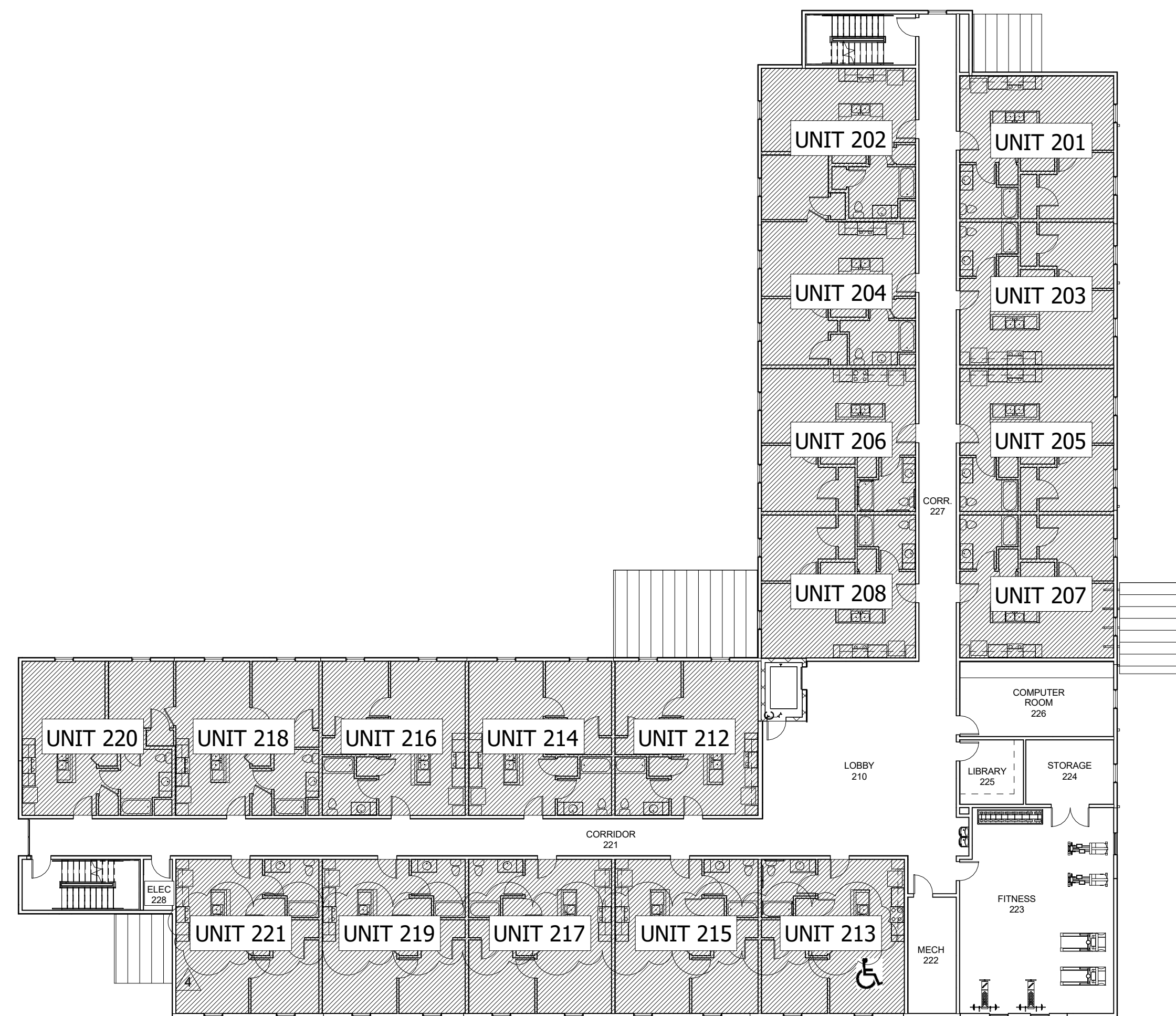
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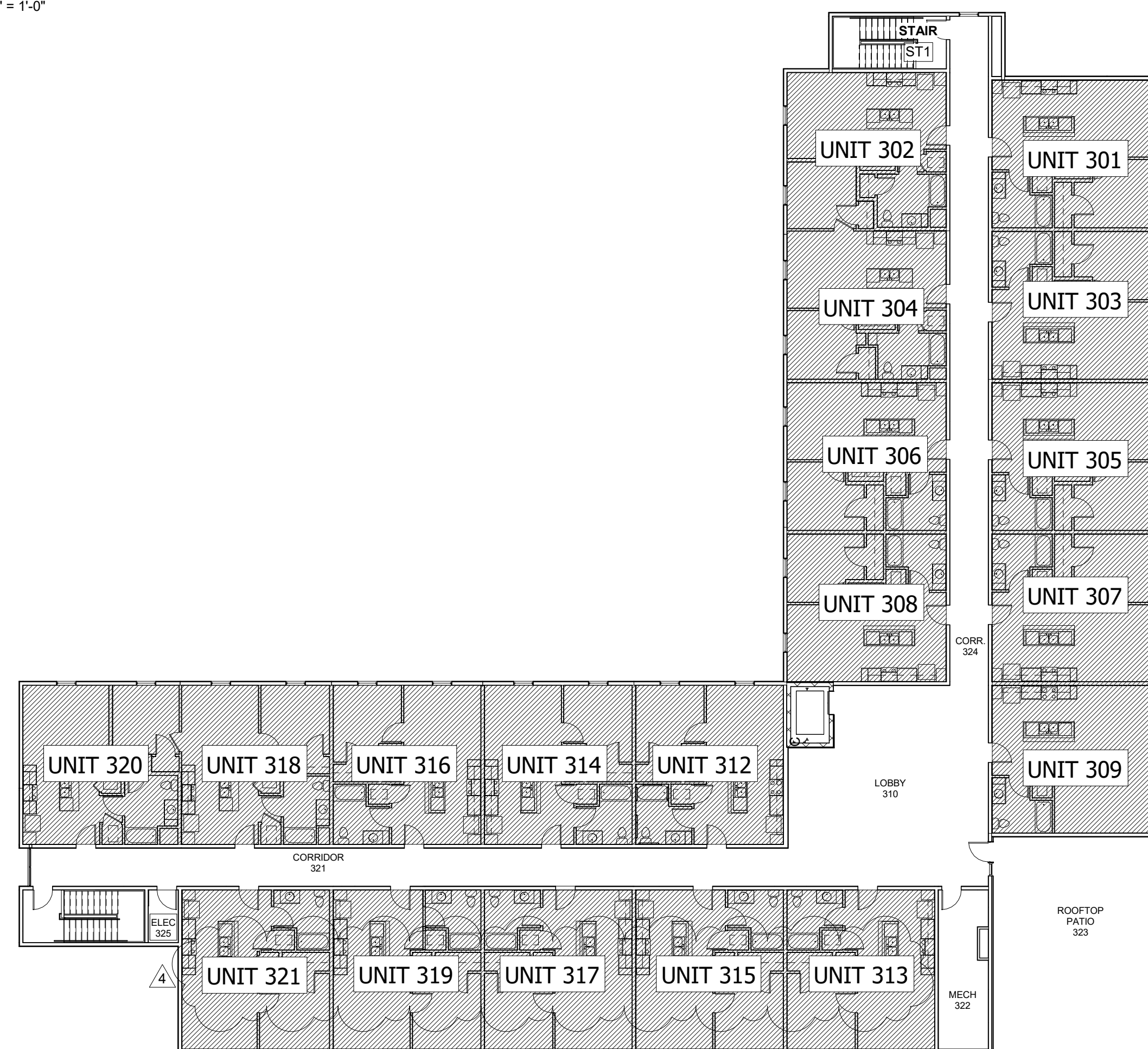
SIGNAGE
G-010



1 FIRST FLOOR ENUMERATION PLAN
1/16" = 1'-0"



2 SECOND FLOOR ENUMERATION PLAN
1/16" = 1'-0"



3 THIRD FLOOR ENUMERATION PLAN
1/16" = 1'-0"

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REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
▲	ADDENDUM #1	03-15-18
▲	ADDENDUM #2	10-26-18
▲	ADDENDUM #3	11-02-18
▲	ADDENDUM #4	11-06-18

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ENUMERATION PLANS

G-012