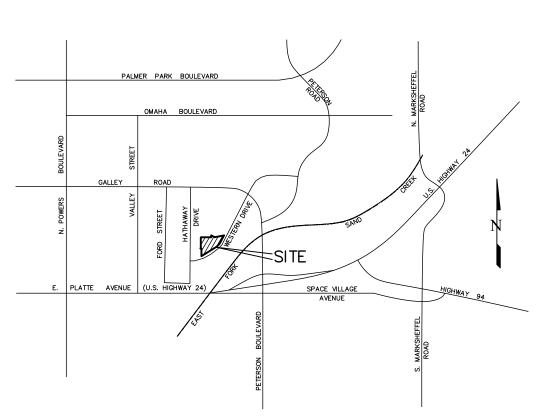


### VICINITY MAP NO SCALE



#### PROPERTY DESCRIPTION: EPC APN 54074-07-047

Lot 2, WESTERN HILLS SUBDIVISION FILING NO. 2, County of El Paso, State of Colorado, according to the plat thereof recorded December 13, 1994 under Reception No. 164557 in Plat Book G-5 at Page 94 . . . 734 Western Drive.

### SITE DATA:

R-4 MULTI-FAMILY RESIDENTIAL PERMITTED USE: APARTMENT HOUSES

LOT AREA REQUIREMENTS: 68 units, maximum

50 units proposed

BUILDING HEIGHT REQUIREMENTS: 40'-0" maximum

#### BUILDING AREA REQUIREMENTS: None

SETBACK REQUIREMENTS:

- Side Yard = 5'-0'' minimum Front Yard = 20'-0'' minimum Rear Yard = 25'-0" minimum Landscape (perimeter) = 10'-0'' minimum
- MAXIMUM LOT COVERAGE: 35% Lot Size: 3.87 acres = 168,577.2 SQFT Impervious: 59,527 SQFT
  - Open Space: 109,050.2 SQFT Percentage of Open Space: 65%

### PARKING REQUIREMENTS:

1.1 parking spaces per Studio = 6.6 parking spaces 1.5 parking spaces per One Bdrm = 57 parking spaces 1.7 parking spaces per Two Bdrm = 10.2 parking spaces TOTAL UNIT PARKING SPACES = 73.8 parking spaces

Guest Parking - 1 parking space per 3 Units 50 Units = 17 Spaces Required ADA Parking - 1 per Accessible, Type A" Unit 6 Units = 6 Spaces Required

Parking Required = 96.8 parking spaces **PARKING PROVIDED** = 97 parking spaces

UNIT DISTRIBUTION AND AREA SUMMARY							
	STUDIO, TYPE "A"	STUDIO, TYPE "B"	1 BD, TYPE "A"	A BD, TYPE "B"	2 BD, TYPE "A"	2 BD, TYPE "B"	TOTAL
1st FLOOR	1	1	1	8	1	1	13
2nd FLOOR	0	2	2	12	0	2	18
3rd FLOOR	0	2	1	14	0	2	19
TOTAL	1	5	4	34	1	5	50
TYPE A	1		4		1		6
NET SQ.FT. TOTALS	433	2,120	2,152	18,292	665	3,325	26,987

(FEET)

GROSS SQ.FT.

1st FLOOR | 14,921

2nd FLOOR | 14,736

3rd FLOOR | 14,769

This is not an ADA

the parking, per

separate sheet

required.

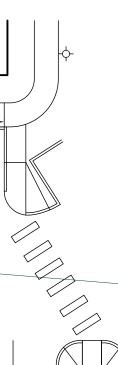
route, this is showing

original comment, an

indicating the ADA

route for the site is

TOTAL | 44,426 |



SHEET	<b>INDEX:</b>
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- SDP SITE DEVELOPMENT PLAN
- A001 ARCHITECTUAL SITE PLAN
- A002 ENLARGED SITE PLAN & DETAILS 4. A-201 - ELEVATIONS
- 5. A-202 ELEVATIONS 6. C1 - GRADING AND EROSION CONTROL PLAN COVER SHEET 7. C2 – GRADING PLAN 8. C3 - PRIVATE STORM SYSTEM & DETENTION
- BASIN PLAN C4 – CIVIL DETAILS
- 10. C5 EROSION CONTROL PLAN C6 - EROSION CONTROL DETAILS 11. 12 C7 – UTILITY DEVELOPMENT PLAN 13. LS1 – LANDSCAPE PLAN 14. LS2 – LANDSCAPE DETAILS 15. PME-100 - PME UTILITY PLAN (LIGHTING) 16. E-300 - SCHEDULE (LIGHTING)
- 17. G-010 SIGNAGE
- 18. G-012 ENUMERATION PLANS

### CONSULTANTS

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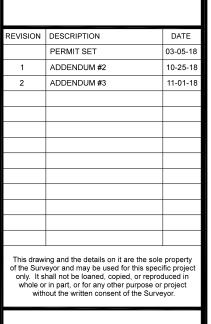
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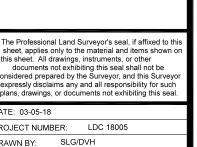
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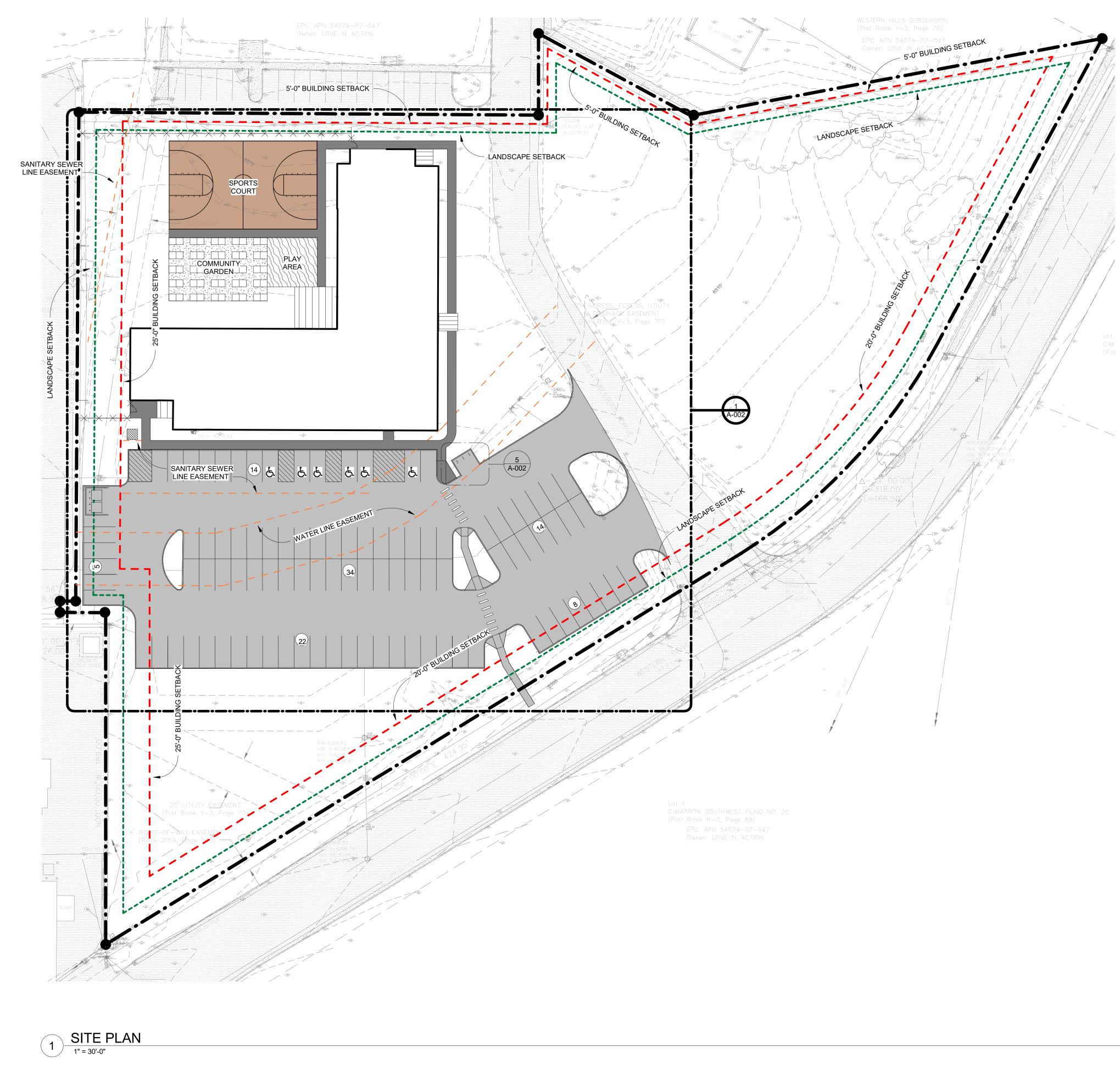






SITE DEVELOPMENT PLAN

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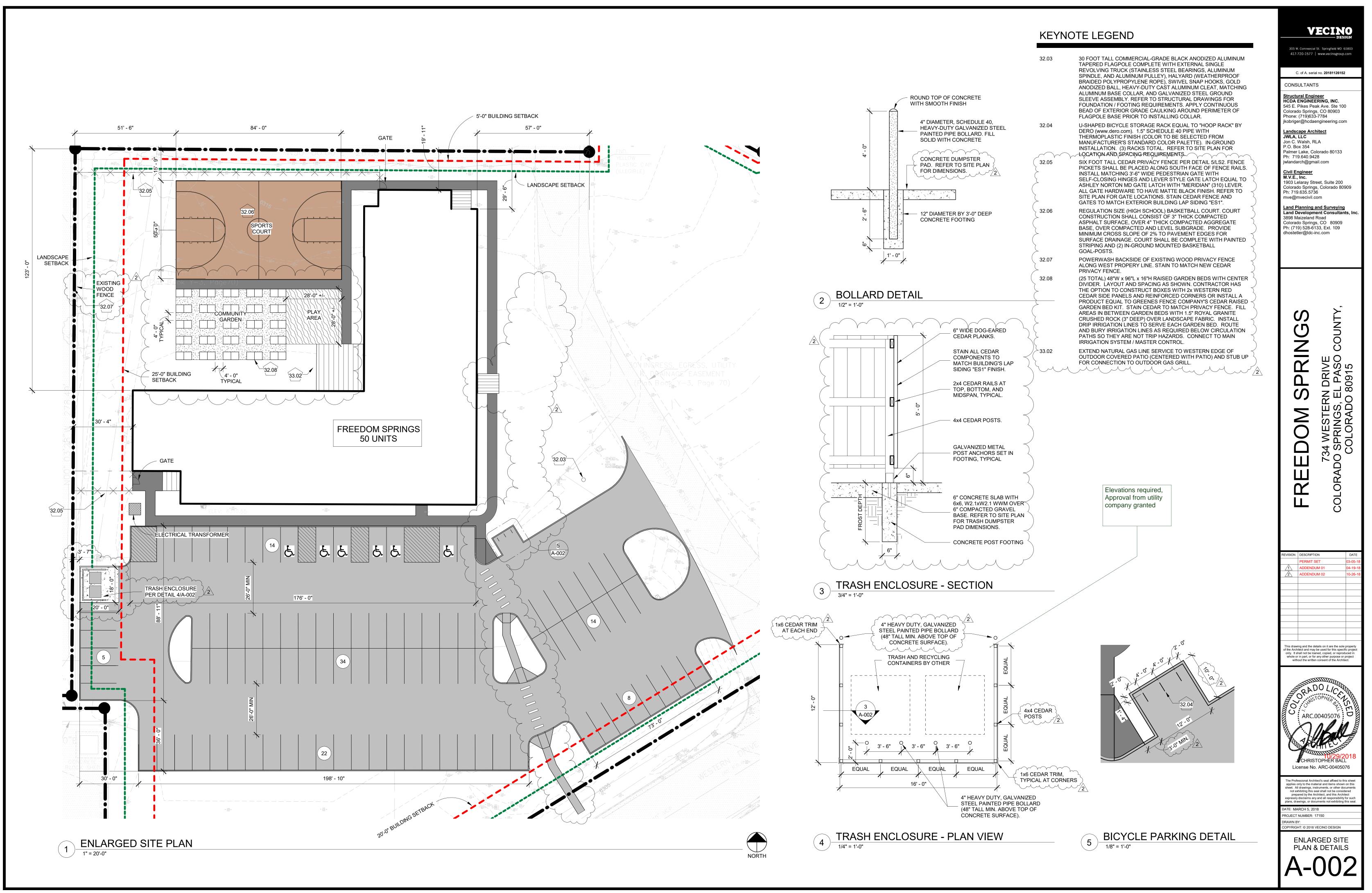
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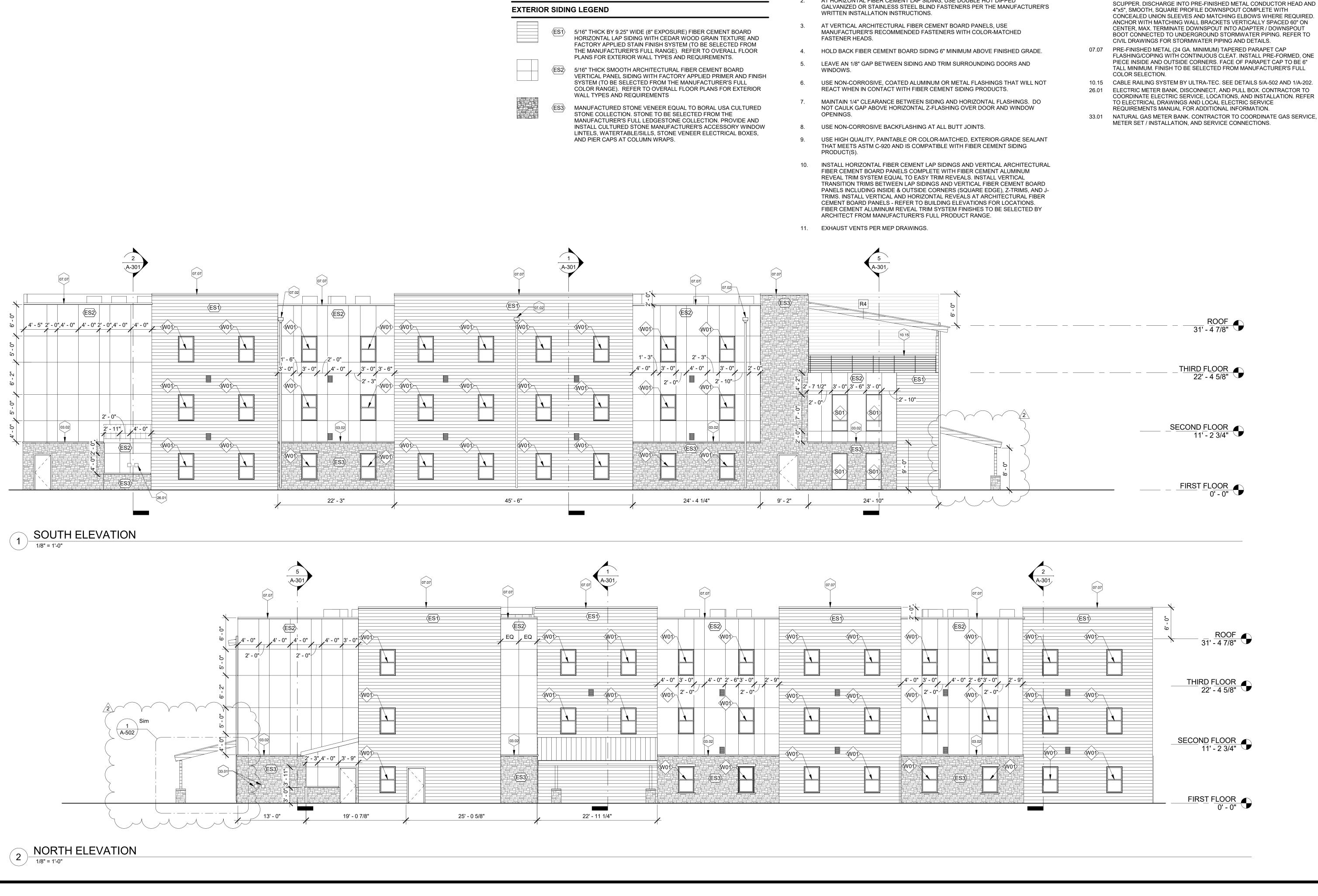
SITE PLAN



What is this page referring to? There is no legend, and at one point the red hatch line is shown to be a 20' building setback, in another a 5' building setback.

SHEET 2 OF 18





### **GENERAL NOTES**

REFER TO SHEET A-502 FOR MAIN ENTRANCE CANOPY DETAILS.

#### **GENERAL EXTERIOR SIDING NOTES**

- FOLLOW THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR FIBER CEMENT BOARD HORIZONTAL LAP SIDING AND VERTICAL PANEL SIDING.
- AT HORIZONTAL FIBER CEMENT LAP SIDING, USE DOUBLE HOT DIPPED GALVANIZED OR STAINLESS STEEL BLIND FASTENERS PER THE MANUFACTURER'S

### **KEYNOTE LEGEND**

03.02 MANUFACTURED STONE ACCENT BAND, REFER TO DETAIL 5/A-501

07.02 16" WIDE BY 10" TALL THROUGH WALL PRE-FINISHED SHEET METAL

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Addendum 2

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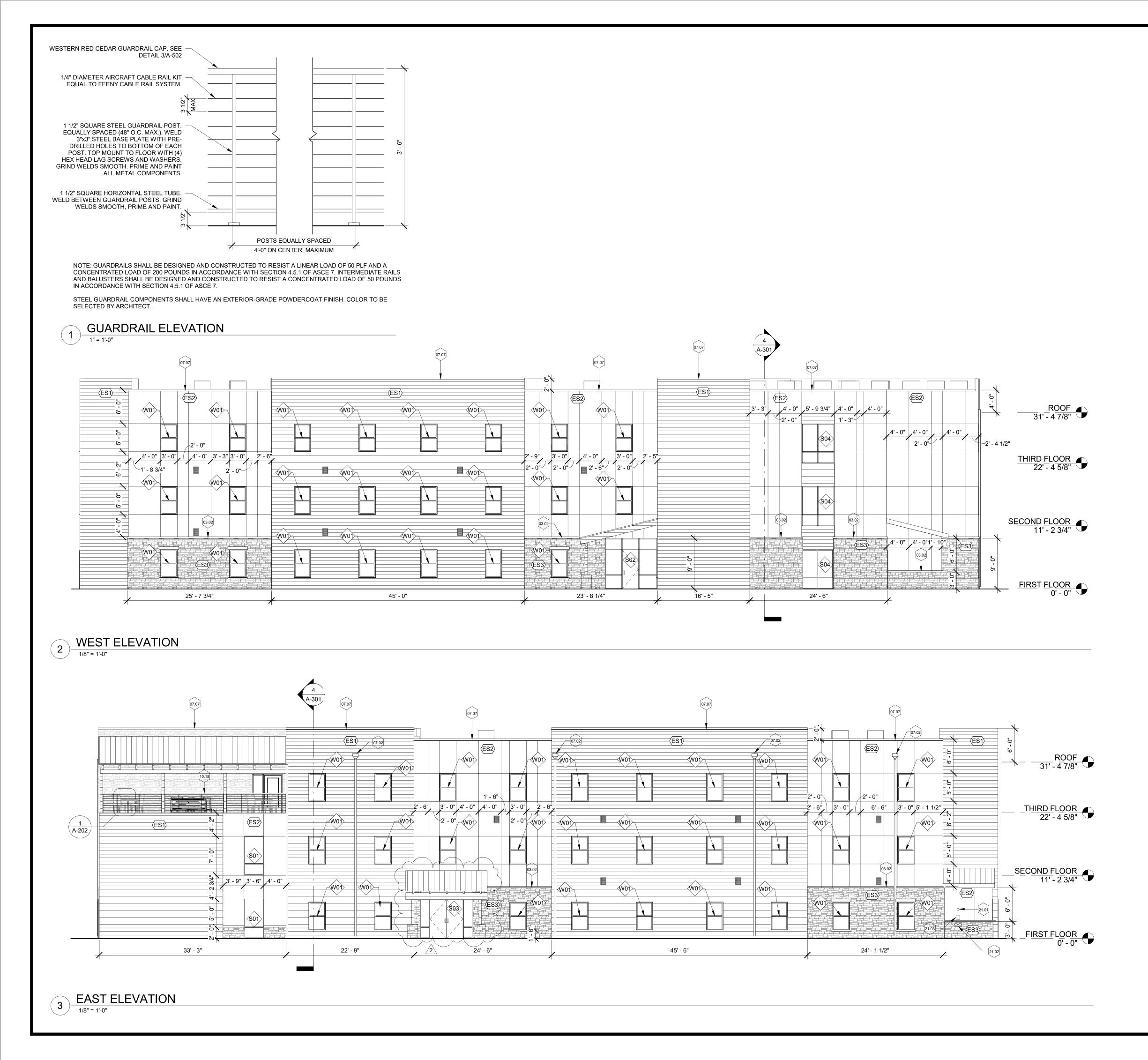
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### **KEYNOTE LEGEND**

03.02 07.02	MANUFACTURED STONE ACCENT BAND. REFER TO DETAIL 5/A-501 16" WIDE BY 10" TALL THROUGH WALL PRE-FINISHED SHEET METAL SCUPPER. DISCHARGE INTO PRE-FINISHED METAL CONDUCTOR HEAD AND 4"x5", SMOOTH, SQUARE PROFILE DOWNSPOUT COMPLETE WITH CONCEALED UNION SLEEVES AND MATCHING ELBOWS WHERE REQUIRED. ANCHOR WITH MATCHING WALL BRACKETS VERTICALLY SPACED 60" ON CENTER, MAX. TERMINATE DOWNSPOUT INTO ADAPTER / DOWNSPOUT BOOT CONNECTED TO UNDERGROUND STORMWATER PIPING. REFER TO CIVIL DRAWINGS FOR STORMWATER PIPING AND DETAILS.
07.07	PRE-FINISHED METAL (24 GA. MINIMUM) TAPERED PARAPET CAP FLASHING/COPING WITH CONTINUOUS CLEAT. INSTALL PRE-FORMED, ONE PIECE INSIDE AND OUTSIDE CORNERS. FACE OF PARAPET CAP TO BE 6" TALL MINIMUM. FINISH TO BE SELECTED FROM MANUFACTURER'S FULL COLOR SELECTION.
10.15	CABLE RAILING SYSTEM BY ULTRA-TEC. SEE DETAILS 5/A-502 AND 1/A-202.
21.01	SURFACE-MOUNTED FIRE DEPARTMENT KNOX BOX RAPID ENTRY SYSTEM WITH TAMPER SWITCH EQUAL TO MODEL #3266 (DARK BRONZE) BY KNOX COMPANY. MOUNT TOP OF KNOX BOX 6'-0" MAX. ABOVE FINISHED GRADE / WALKING SURFACE. KNOX BOX SHALL CONTAIN A MASTER KEY THAT WILL OPEN ALL DOORS, A MASTER RFID / PROXIMITY CARD FOR ELECTRONICALLY CONTROLLED ACCESS DOORS, ELECTRONIC KEYPAD ACCESS CODE, A KEY TO THE MASTER ALARM PANEL(S), AND ALL OTHER ROOMS / EQUIPMENT AS REQUIRED BY THE FIRE MARSHAL AND LOCAL ORDINANCES. THE FIRE CHIEF AND FIRE MARSHAL SHALL HAVE A MASTER KEY FOR ALL KNOX BOXES LOCATED ON THE PROPERTY.
21.02	FIRE DEPARTMENT CONNECTION (FDC) INSTALLED IN ACCORDANCE WITH NFPA SYSTEM REQUIREMENTS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. INSTALL KNOX FIRE DEPARTMENT SECURITY CAPS ON EACH FIRE DEPARTMENT CONNECTION PER THE FIRE MARSHAL AND LOCAL ORDINANCES.
21.03	FURNISH AND INSTALL EXTERIOR-GRADE METAL SIGN AT EACH FIRE DEPARTMENT CONNECTION. SIGN SHALL CONSIST OF 1 INCH TALL (MINIMUM) RAISED LETTERS ON A CONTRASTING COLOR BACKGROUND THAT READ: FIRE DEPARTMENT CONNECTION OR FIRE HOSE CONNECTION OR FIRE DEPARTMENT SPRINKLER CONNECTION OR A COMBINATION THEREOF AS

### EXTERIOR SIDING LEGEND

APPLICABLE.

(ES1)	5/16" THICK BY 9.25" WIDE (8" EXPOSURE) FIBER CEMENT BOARD HORIZONTAL LAP SIDING WITH CEDAR WOOD GRAIN TEXTURE AND FACTORY APPLIED STAIN FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS.
ES2	5/16" THICK SMOOTH ARCHITECTURAL FIBER CEMENT BOARD VERTICAL PANEL SIDING WITH FACTORY APPLIED PRIMER AND FINISH SYSTEM (TO BE SELECTED FROM THE MANUFACTURER'S FULL COLOR RANGE). REFER TO OVERALL FLOOR PLANS FOR EXTERIOR WALL TYPES AND REQUIREMENTS
ES3	MANUFACTURED STONE VENEER EQUAL TO BORAL USA CULTURED STONE COLLECTION. STONE TO BE SELECTED FROM THE MANUFACTURER'S FULL LEDGESTONE COLLECTION. PROVIDE AND INSTALL CULTURED STONE MANUFACTURER'S ACCESSORY WINDOW LINTELS, WATERTABLE/SILLS, STONE VENEER ELECTRICAL BOXES, AND PIER CAPS AT COLUMN WRAPS.

#### **GENERAL EXTERIOR SIDING NOTES**

- 1. FOLLOW THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR FIBER CEMENT BOARD HORIZONTAL LAP SIDING AND VERTICAL PANEL SIDING.
- 2. AT HORIZONTAL FIBER CEMENT LAP SIDING, USE DOUBLE HOT DIPPED GALVANIZED OR STAINLESS STEEL BLIND FASTENERS PER THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- 3. AT VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS, USE MANUFACTURER'S RECOMMENDED FASTENERS WITH COLOR-MATCHED FASTENER HEADS.
- 4. HOLD BACK FIBER CEMENT BOARD SIDING 6" MINIMUM ABOVE FINISHED GRADE.
- 5. LEAVE AN 1/8" GAP BETWEEN SIDING AND TRIM SURROUNDING DOORS AND WINDOWS.
- 6. USE NON-CORROSIVE, COATED ALUMINUM OR METAL FLASHINGS THAT WILL NOT REACT WHEN IN CONTACT WITH FIBER CEMENT SIDING PRODUCTS.
- MAINTAIN 1/4" CLEARANCE BETWEEN SIDING AND HORIZONTAL FLASHINGS. DO NOT CAULK GAP ABOVE HORIZONTAL Z-FLASHING OVER DOOR AND WINDOW OPENINGS.
- 8. USE NON-CORROSIVE BACKFLASHING AT ALL BUTT JOINTS.
- 9. USE HIGH QUALITY, PAINTABLE OR COLOR-MATCHED, EXTERIOR-GRADE SEALANT THAT MEETS ASTM C-920 AND IS COMPATIBLE WITH FIBER CEMENT SIDING PRODUCT(S).
- 10. INSTALL HORIZONTAL FIBER CEMENT LAP SIDINGS AND VERTICAL ARCHITECTURAL FIBER CEMENT BOARD PANELS COMPLETE WITH FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM EQUAL TO EASY TRIM REVEALS. INSTALL VERTICAL TRANSITION TRIMS BETWEEN LAP SIDINGS AND VERTICAL FIBER CEMENT BOARD PANELS INCLUDING INSIDE & OUTSIDE CORNERS (SQUARE EDGE), Z-TRIMS, AND J-TRIMS. INSTALL VERTICAL AND HORIZONTAL REVEALS AT ARCHITECTURAL FIBER CEMENT BOARD PANELS - REFER TO BUILDING ELEVATIONS FOR LOCATIONS. FIBER CEMENT ALUMINUM REVEAL TRIM SYSTEM FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL PRODUCT RANGE.
- 11. EXHAUST VENTS PER MEP DRAWINGS.

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CONSULTANTS

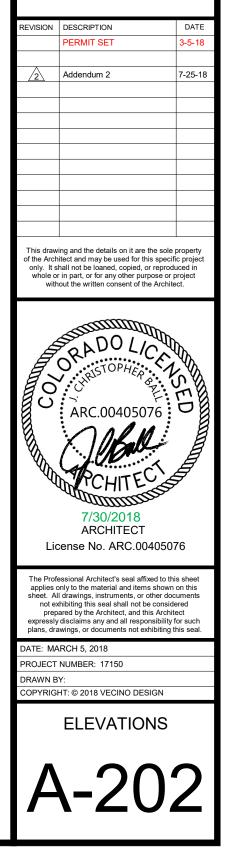
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- STANDARD EL PASO COUNTY GRADING & EROSION CONTROL PLAN NOTES
- . CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM PLANNING AND COMMUNITY DEVELOPMENT (PCD) AND A PRECONSTRUCTION CONFERENCE IS HELD WITH PLANNING AND COMMUNITY DEVELOPMENT (PCD) INSPECTIONS.
- . STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS, ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WFTI ANDS
- 3. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING
- . A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN erosion and stormwater quality control permit (esqcp) issued prior to commencing CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH work progress and changes in the field.
- 5. ONCE THE ESOCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPS AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY PCD INSPECTIONS STAFF.
- 6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPS SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- 7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX
- 3. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL erosion and sediment control measures including BMPS in conformance with the erosion CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- 2. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPS AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ), ANY FARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO FEFECTIVELY REDUCE. ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- 1. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- 12. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- 13. EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1. 4. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- 15. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- . THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- 18. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS
- 19. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- 20. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- 21. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- 22. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- 23. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS. 24. PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- 25. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS
- REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND. 26. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC. AND SHALL BE
- 27. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT: COLORADO DEPARTMENT OF PUBLIC, HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, WQCD - PERMITS, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, CO 80246-1530,, ATTN: PERMITS UNIT

### GENERAL GRADING NOTES:

CONSIDERED A PART OF THESE PLANS.

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN DRAWN FROM AVAILABLE RECORDS ANO/OR SURFACE EVIDENCE. THE LOCATION OF ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND LOCATIONS HAVE NOT BEEN PERFORMED. THEREFORE, THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE. ALL UTILITIES SHALL BE LOCATED PRIOR TO ANY EARTH WORK OR DIGGING (1-800-922-1987). THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL SUBSURFACE UTILITY OWNERS PRIOR TO BEGINNING WORK TO DETERMINE LOCATION OF UTILITY FACILITIES. EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR. DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. . M.V.E., INC. OR THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR USE OF THIS GRADING PLAN FOR ANY OTHER PURPOSE THAN OVER LOT GRADING OPERATIONS. ALL WEEDS, TRASH, DEBRIS, RUBBLE, BROKEN ASPHALT, ORGANIC MATERIAL (EXCLUDING TOPSOIL) AND REFUSE, OR ANY OTHER MATERIAL WHICH WOULD NOT BE DELETERIOUS AS FILL MATERIAL OR INCAPABLE OF SUPPORTING THE BUILDING, VEHICULAR AND/OR OVERBURDEN LOADS TO BE IMPOSED SHALL BE CLEARED, GRUBBED OR EXCAVATED AS THE CASE MAY DICTATE PRIOR TO GRADING AND SHALL BE REMOVED FROM SITE AND DISPOSED OF LEGALLY.
- CONTOUR INTERVAL FOR EXISTING AND PROPOSED CONTOUR LINES IS 1.0'. PROPOSED CONTOURS SHOWN ARE FINISH GRADES AND READ TO TOP OF PAVEMENT AND FINISH SOIL GRADE.
- . THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT GRADED AREAS FROM, AND AS NECESSARY RESTORE TO GRADE, ANY RUTS, WASHES OR OTHER CHANGES FROM THE DESIGN ELEVATIONS SHOWN HEREON, UNTIL GRADING WORK IS ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ENDEAVOR NOT TO DISTURB ANY OFFSITE AREAS. THE CONTRACTOR SHALL RESTORE TO THE ORIGINAL CONDITION, ADJACENT (OFF-SITE) PROPERTY DISTURBED BY HIS OPERATIONS 0. THE GENERAL CONTRACTOR SHALL STRIP TOPSOIL FROM CONSTRUCTION AREAS AND STOCKPILE TOPSOIL AT AREA SHOWN ON THIS PLAN. PLACE TOPSOIL WITH APPROPRIATE EROSION CONTROL AND IN A MANNER SO AS TO NOT CONFLICT WITH
- OTHER TRADES AND CONSTRUCTION PROCESS. ALL GRADING SHALL BE DONE TO INSURE POSITIVE DRAINAGE AWAY FROM FOUNDATIONS AND STRUCTURES.
- 12. FINISHED GRADE OF ALL PERVIOUS EARTH SURFACES THAT CONTACT FOUNDATION WALLS SHALL BE A MINIMUM OF 6" BELOW ANY UNTREATED WOOD MATERIAL OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN.
- 13. PERVIOUS EARTH SURFACES SHALL SLOPE AWAY FROM ALL FOUNDATION WALLS AT A MINIMUM RATE OF 6" IN 10 FEET (5%) FOR THE FIRST 10 FEET ADJACENT TO THE FOUNDATION OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN. 14. CONCRETE OR OTHER IMPERVOIUS SURFACES THAT CONTACT FOUNDATION WALLS SHALL SLOPE AWAY FROM ALL FOUNDATION WALLS AT A MINIMUM RATE OF 1/4" PER FOOT (2.00%) OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN. . ANY FILL MATERIAL REQUIRED TO BRING GRADES UP TO PROPOSED ELEVATIONS SHALL BE PROVIDED BY THE CONTRACTOR.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING TOPSOIL THROUGHOUT THE LAWN AND PLANTING AREAS ACCORDING TO APPROVED LANDSCAPE PLANS, BY OTHERS. 7. THE NATURE OF WORK PROPOSED BY THIS PLAN IS GRADING AND THE EXTENT OF SAID PROPOSED GRADING IS SHOWN BY THE EXISTING AND PROPOSED CONTOURS HEREON.
- 18. CONTRACTOR SHALL USE MECHANICAL METHODS TO GO FROM THE EXISTING TO PROPOSED CONTOURS IN ACCORDANCE WITH THIS GRADING PLAN, QUALITY CONTROL OF SOILS AND GRADING OPERATION WILL BE AS DIRECTED BY OWNERS. GEOTECHNICAL ENGINEER.ALL NEW CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY IS TO CONFORM TO THE SPECIFICATIONS OF EL PASO COUNTY. 9. ALL NEW CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY IS TO CONFORM TO THE SPECIFICATIONS OF EL PASO COUNTY.
- 20. ALL STORM DRAIN OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE HDPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR WITH PVC FITTINGS. ALL STORM DRAIN INLETS SHALL BE BE PRE-CAST. ALL STORM DRAIN CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE PLACED IN ACCORDANCE WITH EL PASO COUNTY SPECIFICATIONS. . CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING HELD PRIOR TO CONSTRUCTION WITH EPC-PCD, ENGINEER, AND CONTRACTOR IN ATTENDANCE. 22. CONTRACTOR IS RESPONSIBLE FOR ALL OF HIS OPERATIONS ON THE SITE. CONTRACTOR SHALL OBSERVE ALL SAFETY AND OSHA REGULATIONS DURING CONSTRUCTION OPERATIONS. TRENCH WIDTHS AND SLOPE ANGLES SHALL BE DETERMINED BY
- THE CONTRACTOR IN THE FIELD AND ACCORDING TO SAFETY AND OSHA REGULATIONS.

- STANDARD EL PASO COUNTY CONSTRUCTION PLAN NOTES
- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- 3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING: a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
- b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2 C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION d. CDOT M & S STANDARDS
- 4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2 ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- 8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD. 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT
- 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES. 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY PCD AND MUTCD CRITERIA. [IF APPLICABLE,
- ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED. 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY PCD, INCLUDING WORK WITHIN
- THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS. 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM

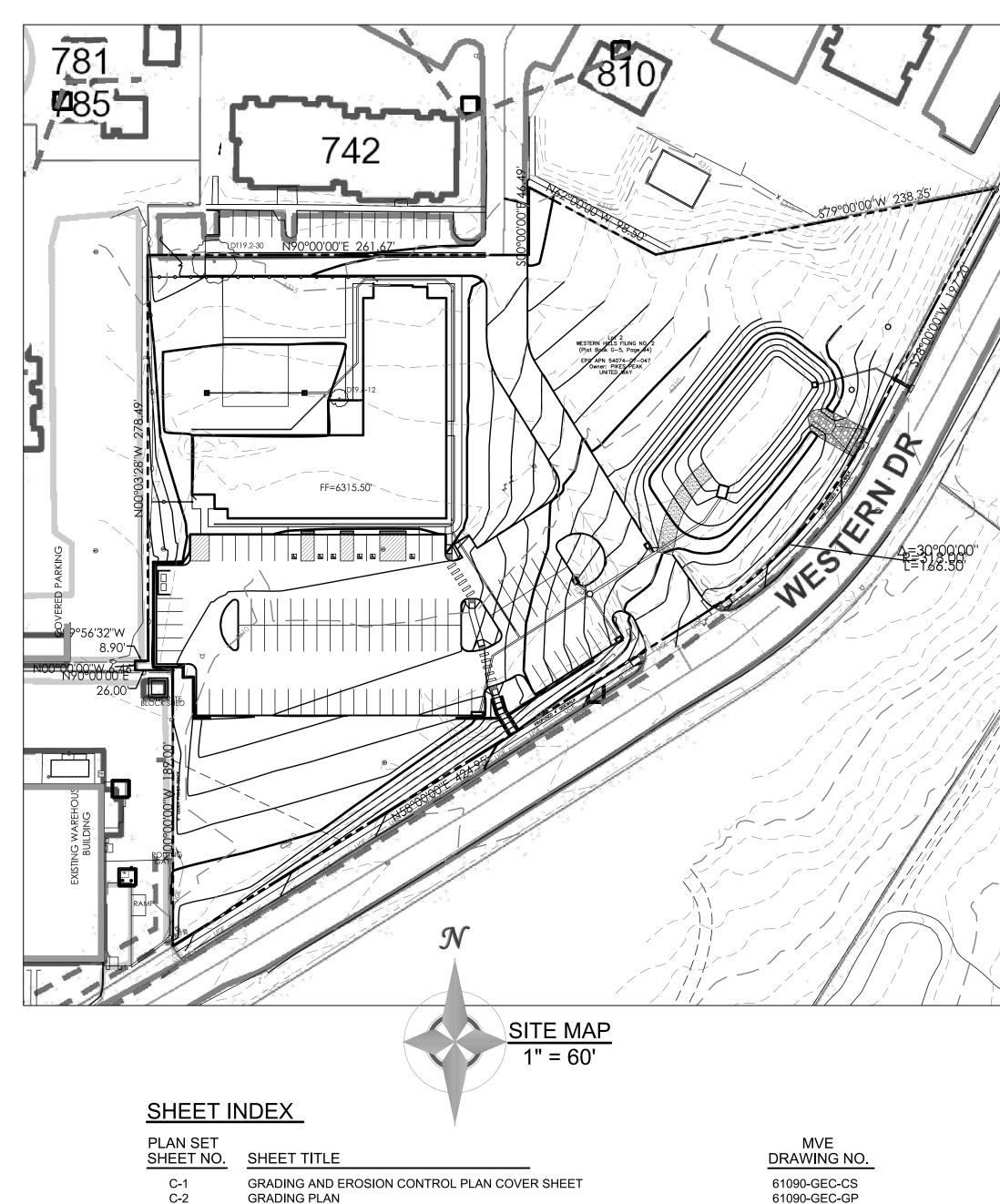
### STANDARD EL PASO COUNTY SIGNING AND STRIPING NOTES

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- 3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- 4 ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- 5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- 6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR. 7. ALL STREET NAME SIGNS SHALL HAVE "C" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND COLLECTOR ROADWAY SIGNS BEING 6" LETTERING,
- UPPER-LOWER CASE ON 12" BLANK, WITH  $\frac{1}{2}$ " WHITE BORDER THAT IS NOT RECESSED 8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- 9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- 10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- 11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- 12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- 13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- 14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT OF TRANSPORTATION PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

# **GRADING AND EROSIO CONTROL PLANS**

## for FREEDOM SPRINGS - 734 WESTERN DRI EL PASO COUNTY, COLORADO



C-2 GRADING PLAN C-3 PRIVATE STORM SYSTEM AND EXTENDED DETENTION SAND FILTER BASIN PLAN C-4 C-5 C-6

CIVIL DETAILS EROSION CONTROL PLAN EROSION CONTROL DETAILS

UTILITY DEVELOPMENT PLAN

### MAP NOTES

C-7

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 2, WESTERN HILLS FILING NO. 2, ASSUMED TO BEAR N00°00'00"W. 2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY LAND DEVELOPMENT CONSULTANTS, INC. PROJECT NUMBER 18005,

TOPOGRAPHIC SURVEY DATED JAN 26, 2018. ELEVATIONS SHOWN ARE RELATIVE TO THE CITY OF COLORADO SPRINGS CONTROL NETWORK (FIMS DATAM) 3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



### FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA's) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 F, EFFECTIVE MARCH 17, 1997.

61090-GEC-PD

61090-GEC-CD

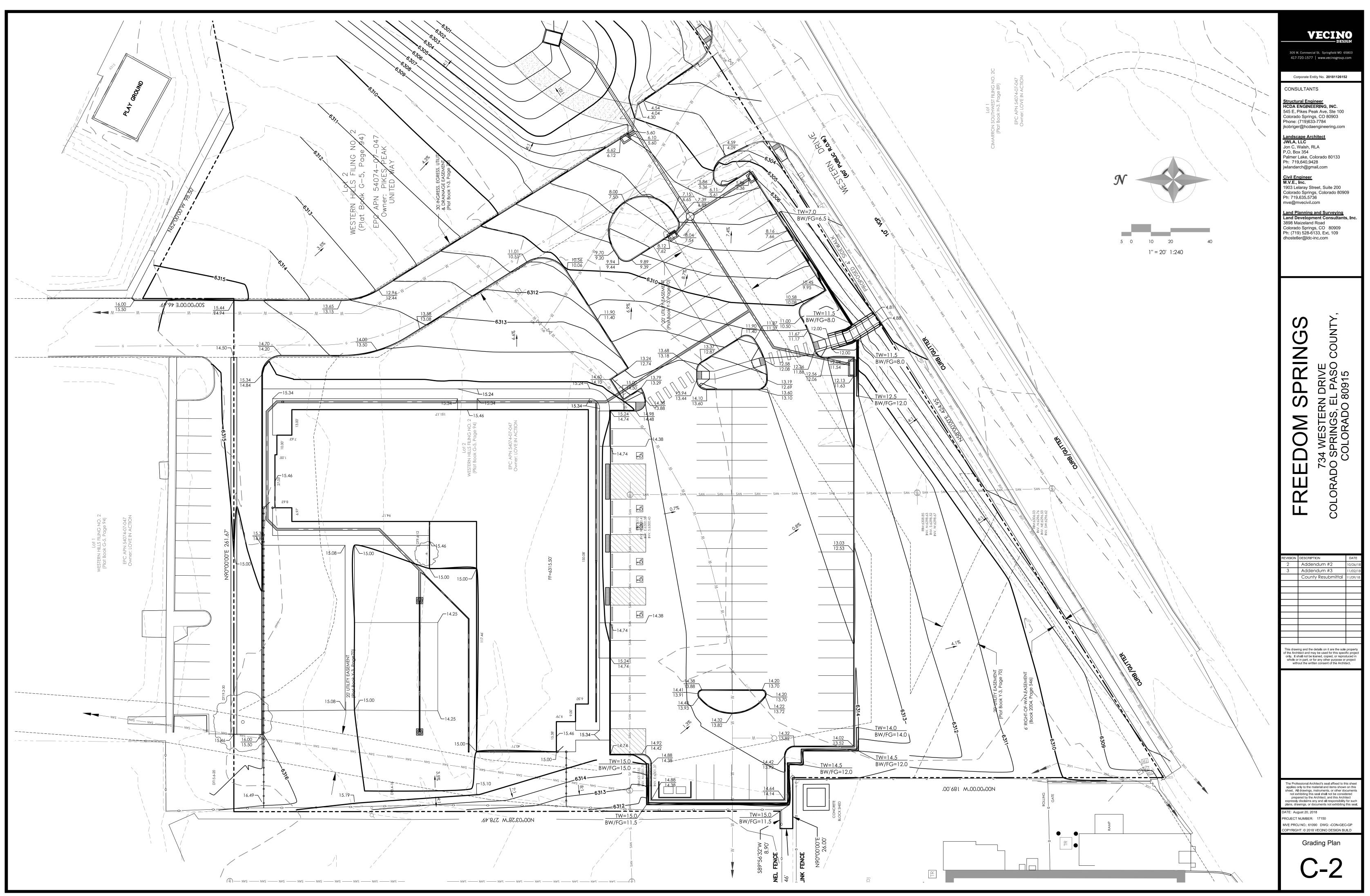
61090-GEC-EC

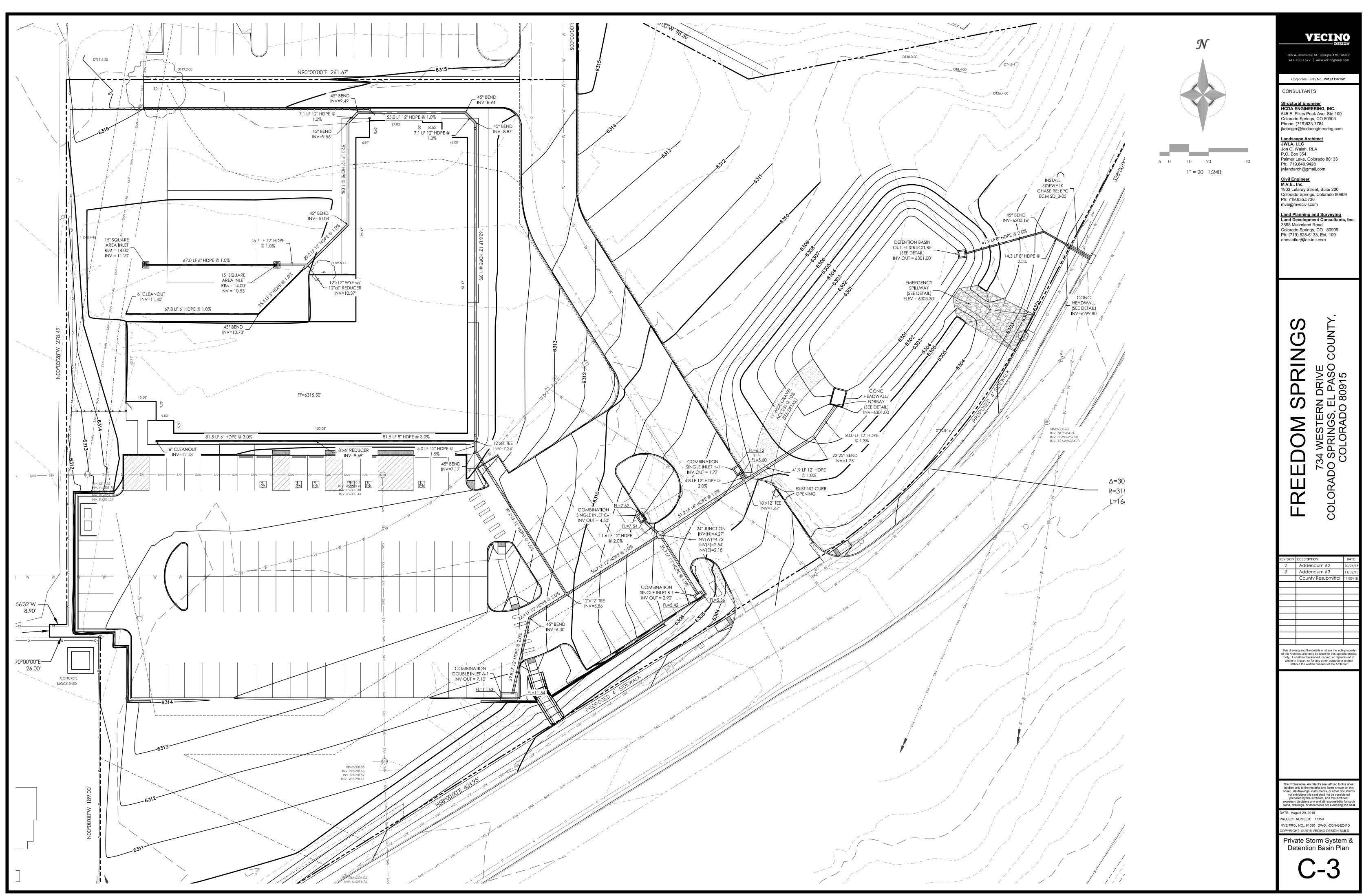
61090-GEC-ED

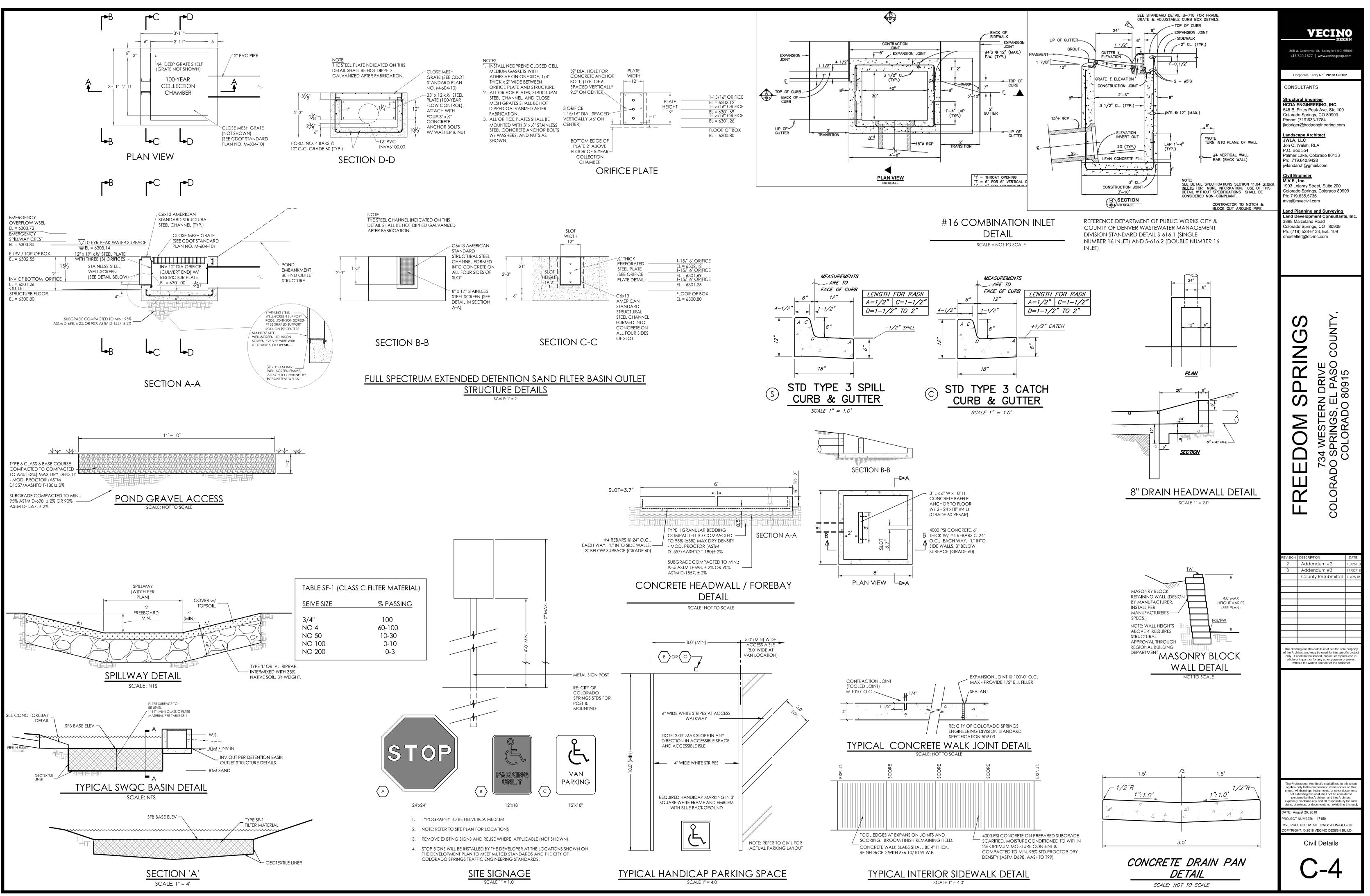
61090-GEC-UP

VE,	Comparison of the second secon	VICINITY NO SCALE		VECCINCO DESIGN 305 W. Commercial St. Springfield M0 65803 417-720-1577   www.vecinogroup.com Corporate Entity No. 20181126152 CONSULTANTS Structural Engineer HCDA ENGINEERING, INC. 545 E. Pikes Peak Ave. Ste 100 Colorado Springs, CO 80903 Phone: (719)633-7784 jkobriger@hcdaengineering.com Landscape Architect JWLA, LLC Jon C. Walsh, RLA P.O. Box 354 Palmer Lake, Colorado 80133 Ph: 719.640.9428 jwlandarch@gmail.com Civil Engineer M.V.E., Inc. 1903 Lelaray Street, Suite 200 Colorado Springs, Colorado 80909
	<ul> <li>PROPERTY LINE</li> <li>EASEMENT LINE</li> <li>LOT LINE</li> <li>BUILDING SETBACK LINE</li> <li>ADJACENT PROPERTY LINE</li> </ul>	<u>:ND</u>		Ph: 719.635.5736 mve@mvecivil.com Land Planning and Surveying Land Development Consultants, Inc. 3898 Maizeland Road Colorado Springs, CO 80909 Ph: (719) 528-6133, Ext. 109 dhostetler@ldc-inc.com
	<ul> <li>INDEX CONTOUR</li> <li>INTERMEDIATE CONTOUR</li> <li>CONCRETE AREA</li> <li>ASPHALT AREA</li> <li>CURB AND GUTTER</li> <li>BUILDING/ BUILDING OVERHANG</li> <li>DECK</li> <li>RETAINING WALL - SOLID/ ROCK</li> <li>SIGN</li> <li>BOLLARD</li> <li>WOOD FENCE</li> <li>CHAIN LINK FENCE</li> <li>BARBED WIRE FENCE</li> <li>TREE (EVERGREEN/DECIDUOUS) SHRUB</li> <li>ROCK</li> </ul>	PROPOSED 	<ul> <li>INDEX CONTOUR</li> <li>INTERMEDIATE CONTOUR</li> <li>CONCRETE AREA</li> <li>ASPHALT AREA</li> <li>CURB AND GUTTER</li> <li>BUILDING/</li> <li>BUILDING/</li> <li>BUILDING OVERHANG</li> <li>DECK</li> <li>RETAINING WALL - SOLID ROCK</li> <li>SIGN</li> <li>BOLLARD</li> <li>TOP OF WALL/GRADE AT BOTTOM OF WALL TOP OF CURB/FLOWLINE</li> <li>SPOT ELEVATION FL = FLOWLINE TSW = TOP OF</li> <li>SIDEWALK</li> <li>FINISHED FLOOR ELEVATION</li> </ul>	FREEDOM SPRINGS 734 WESTERN DRIVE COLORADO SPRINGS, EL PASO COUNTY, COLORADO 80915
I, THE OWNER/I IN THESE DETAIL PRINTED NAME TITLE: FREEDOM SPRI <b>ENGINE</b> THESE DETAILEE SUPERVISION. THE CRITERIA E DETAILED PLAN DRAINAGE BAS WHICH THE PA LIABILITY CAUS THE DETAILED E	NGS, LP ER'S STATEMENT D PLANS AND SPECIFICATIONS W SAID DETAILED PLANS AND SPEC STABLISHED BY THE COUNTY FOR IS AND SPECIFICATIONS ARE IN G SIN. SAID DETAILED DRAINAGE P RTICULAR DRAINAGE FACILITY IS ED BY ANY NEGLIGENT ACTS, ER DRAINAGE PLANS AND SPECIFIC	S. VERE PREPARED UNDER CIFICATIONS HAVE BEEN R DETAILED PLANS AND CONFORMITY WITH THE PLANS AND SPECIFICATIONS DESIGNED. I ACCEPT F PRORS OR OMISSIONS O	DATE MY DIRECTION AND N PREPARED ACCORDING TO SPECIFICATIONS, AND SAID MASTER PLAN OF THE ONS MEET THE PURPOSES FOR RESPONSIBILITY FOR ANY	3       Addendum #3       11/02/         County Resubmittal       11/09/
COUNTY PLAN CRITERIA. THE DIMENSIONS, A THROUGH THE	DCOUNTY REVIEW IS PROVIDED ONLY FOR COUNTY IS NOT RESPONSIBLE FO AND/OR ELEVATIONS WHICH SHA APPROVAL OF THIS DOCUMENT URACY OF THIS DOCUMENT.	DR THE ACCURACY ANE ALL BE CONFIRMED AT T	D ADEQUACY OF THE DESIGN, THE JOB SITE. THE COUNTY	The Professional Architect's seal affixed to this shee applies only to the material and items shown on this sheet. All drawings, instruments, or other document not exhibiting this seal shall not be considered prepared by the Architect, and this Architect expressly disclaims any and all responsibility for sucl plans, drawings, or documents not exhibiting this sea DATE: August 20, 2018
	DRDANCE WITH THE REQUIREMEN AGE CRITERIA MANUAL, VOLUMI			DATE: August 20, 2018 PROJECT NUMBER: 17150 MVE PROJ NO.: 61090 DWG: -CON-GEC-CS COPYRIGHT: © 2018 VECINO DESIGN BUILD Grading and Erosion Control Plan Cover Shee
JENNIFER IRVIN COUNTY ENGI	IE, P.E. NEER / ECM ADMINISTRATOR		DATE	

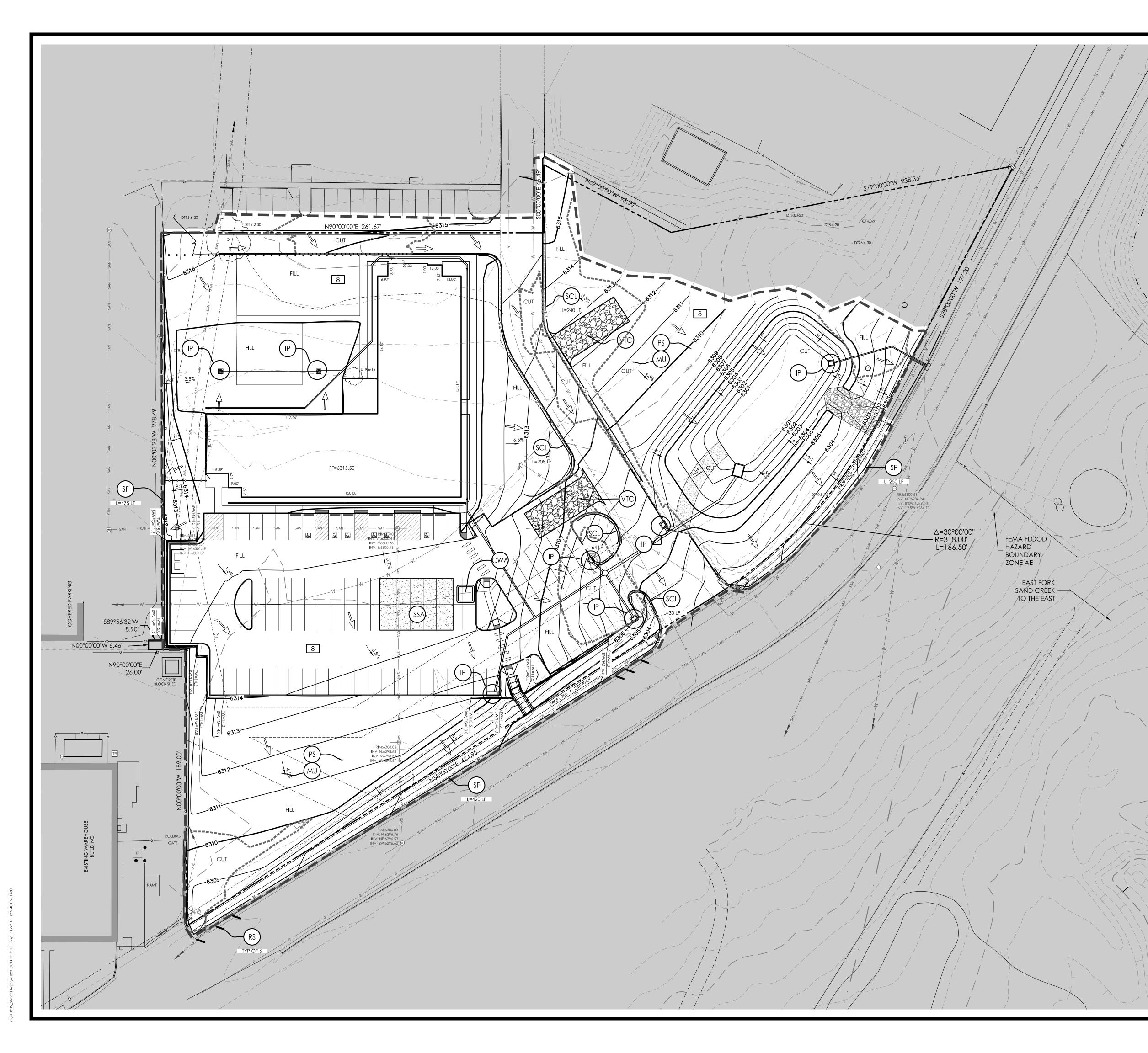
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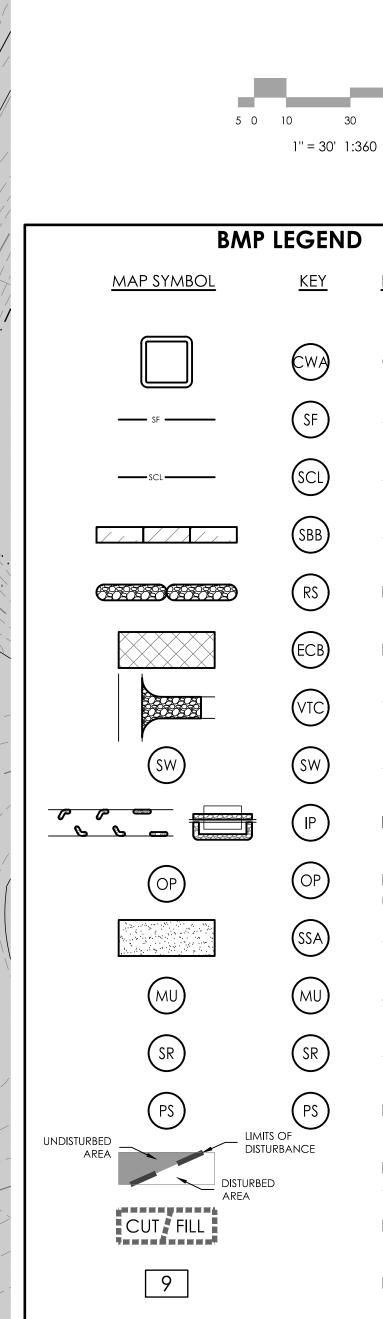






SHEET 9 OF 18





)	DESCRIPTION
	CONCRETE WASHOUT AREA
	SILT FENCE
	SEDIMENT CONTROL LOG
	STRAW BALE BARRIER
	ROCK SOCK
	EROSION CONTROL BLANKET
	VEHICLE TRACKING CONTROL
	STREET SWEEPING
	INLET PROTECTION
	PERMENANT OUTLET PROTECTIO (SEE CONSTRUCTION PLANS)
	STABILIZED STAGING AREA
	MULCHING
	SURFACE ROUGHENING
	PERMANENT SEEDING
	LIMITS OF CONSTRUCTION SITE BOUNDARIES
	LIMITS OF CUT/FILL
	LIMITS OF SOIL TYPE
	FLOW DIRECTION ARROW

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### VECINO

305 W. Commercial St. Springfield MO 65803 417-720-1577 | www.vecinogroup.com

Corporate Entity No. 20181126152 CONSULTANTS

<u>Structural Engineer</u> HCDA ENGINEERING, INC. 545 E. Pikes Peak Ave. Ste 100 Colorado Springs, CO 80903 Phone: (719)633-7784

jkobriger@hcdaengineering.com

Landscape Architect JWLA, LLC Jon C. Walsh, RLA P.O. Box 354 Palmer Lake, Colorado 80133 Ph: 719.640.9428 jwlandarch@gmail.com

**Civil Engineer M.V.E., Inc.** 1903 Lelaray Street, Suite 200 Colorado Springs, Colorado 80909 Ph: 719.635.5736 mve@mvecivil.com

Land Planning and Surveying Land Development Consultants, Inc 3898 Maizeland Road Colorado Springs, CO 80909 Ph: (719) 528-6133, Ext. 109 dhostetler@ldc-inc.com



S	OIL TYPE
MAP UNIT NUMBER	DESCRIPTION
8	BLAKELAND LOAMY SAND

 $\rightarrow$ 

### OTHER DATA

LAT/LONG COORDS: 38°50'31" / 104°42'23"

<u>VEGETATION:</u> EXISTING: NATIVE PRAIRIE GRASSES & WEEDS, 60% COVERAGE PROPOSED: PLANTINGS & RESEEDING PER LANDSCAPE PLAN

APPROX. EARTHWORK QUANTITIES: 2600 CY CUT, 9600 CY FILL

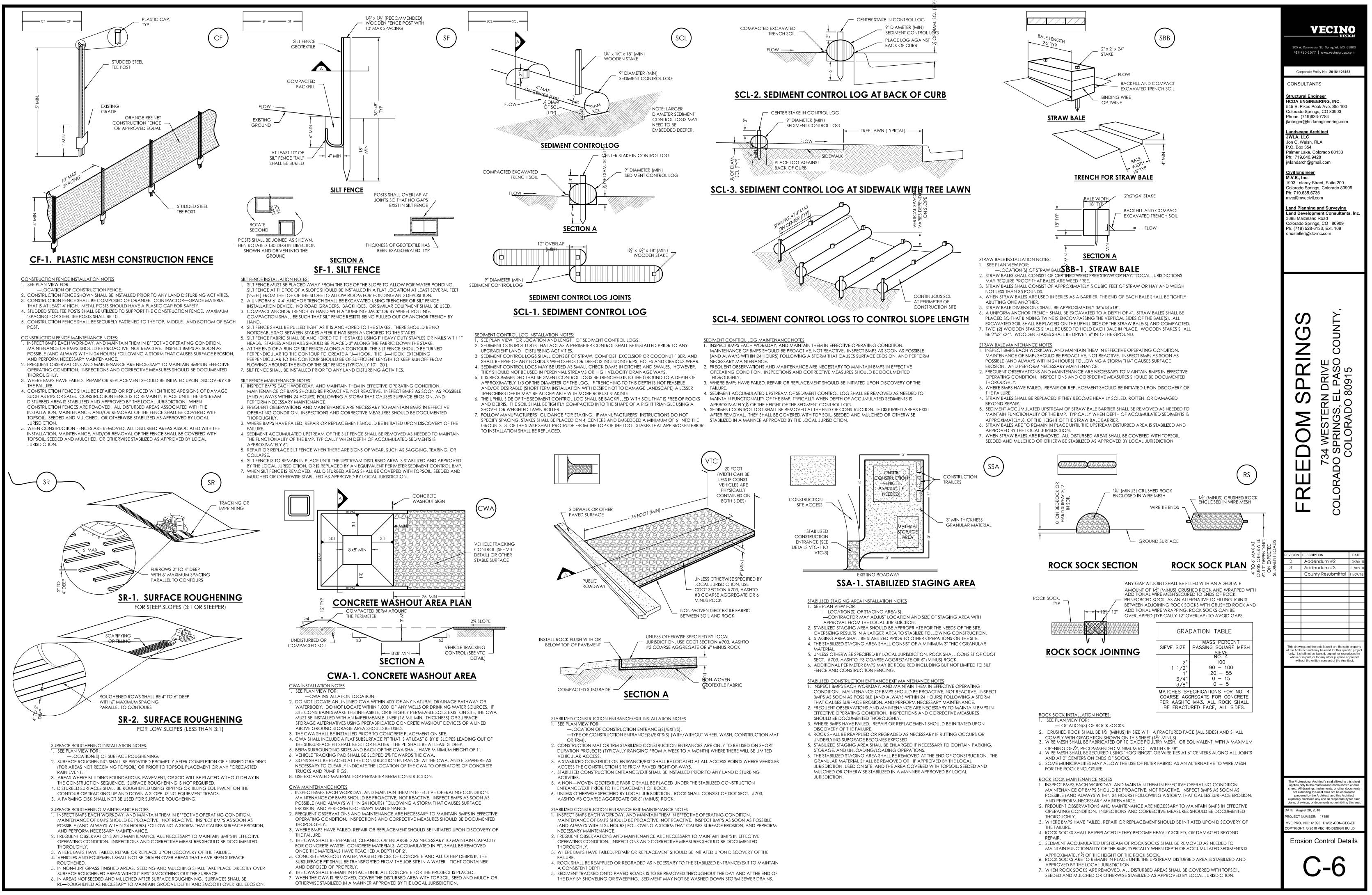
**BATCH PLANTS:** NONE

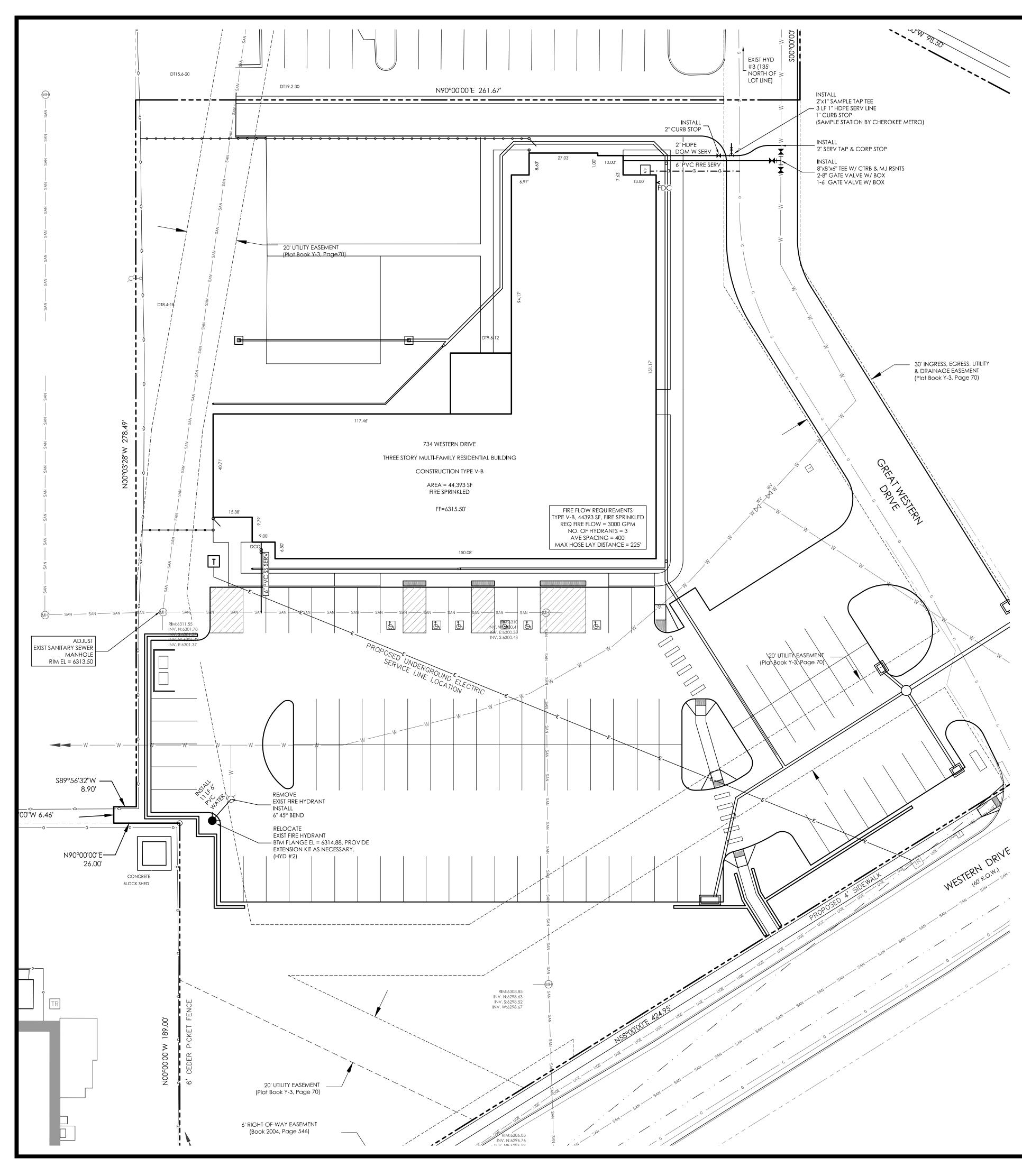
<u>DEWATERING:</u> NONE

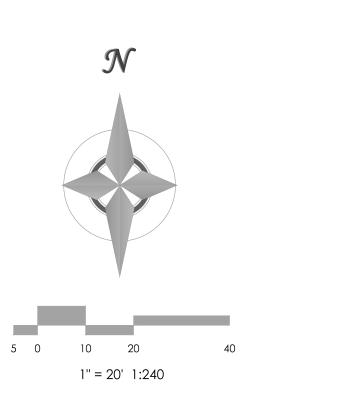
<u>RETAINING WALLS:</u> 0.5' - 3.5' AS SHOWN

EROSION CONTROL I	DATA
ANTICIPATED START & COMPLETION TIME PERIOD OF SITE GRADING	DEC 2018 TO AUG 2019
EXPTECTED DATE ON WHICH FINAL STABILIZATION WILL BE COMPLETED	OCT 2019
AREAS	
SITE AREA	3.87 ACRES
TOTAL AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED	3.68 ACRES
RECEIVING WATERS EAST FORK SAND CREEK	
SOIL DATA	
PRIMARY SOIL DESCRIPTION	LOAMY SAND
PERMEABILITY	HIGH
SURFACE RUNOFF	LOW
HAZARD OF EROSION	LOW
HYDROLOGIC SOIL GROUP	А
EXISTING PERCENT	8%
IMPERVIOUS DEVELOPED PERCENT IMPERVIOUS	58%

		734 WES		
	DESCENT			DATE
REVISION	DESCRIP		40	DATE
2		endum #		10/26/18
3		ndum #		11/02/18
	Coun	ity Resul	omittal	11/09/18
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PROJECT NUMBER: 17150 MVE PROJ NO.: 61090 DWG: -CON-GEC-EC				
			: -CON-GEC DESIGN BL	
Er	osion	Cont	rol Pla	an







### SANITARY SEWER CONSTRUCTION NOTES:

- EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN. 2. SANITARY SEWER PIPE SHALL CONFORM TO ASTM D3034 SDR35 PVC.
- 4. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 AT LEAST
- TWO WORKING DAYS PRIOR TO DIGGING
- COLORADO SPRINGS CONSTRUCTION STANDARDS.
- REQUIRED ON THESE PLANS, WATER TIGHT MANHOLES, LIDS AND CONNECTIONS SHALL BE PROVIDED IAW COLORADO SPRINGS STANDARDS. 7. WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE 3 DEGREE BENDS ON ALL CURVILINEAR SANITARY SEWER PIPE
- 9. OVERLOT GRADING AND STREET SUBGRADE MUST BE WITHIN ± ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION.
- SEWER SYSTEM. 11.CONTRACTOR TO CONSTRUCT ALL MANHOLES AND STRUCTURES TO FINISHED GRADE.
- DISTRICT FOR RECORD.
- REPRESENTS ACTUAL CONSTRUCTED CONDITIONS. B. THE TWO PLAN SETS SHALL BE SUBMITTED ON SHEETS THAT ARE 24" X 36" IN SIZE.
- C. THE PLAN SET SHALL BE ON A DURABLE MEDIA THAT CAN BE RUN THROUGH PHOTOCOPYING EQUIPMENT.
- MUST BE BOUND INTO THE DRAWING SET. THE SECOND SET OF ELECTRONIC DATA FILES SHALL BE IN ADOBE ACROBAT .PDF FORMAT.
- E. "AS-CONSTRUCTED" PLANS SHALL BE SUBMITTED WITHIN TWO WEEKS OF COMPLETION OF THE WATER AND/OR SANITARY SEWER UTILITIES.
- AND SPECIFICATIONS SHALL BEAR THE SEAL AND SIGNATURE OF SAID LICENSED PROFESSIONAL ENGINEER.

13. TRACER WIRE IS TO BE INSTALLED WITH ALL SANITARY SEWER MAIN LINES AND SERVICES (FROM MAIN LINE TO THE BUILDING STRUCTURE). ALL NONMETALLIC PIPES SHALL HAVE A TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 TYPE COPPER CONNECTORS AND SHALL BE PERMANENTLY AFFIXED TO THE TOP OF THE PIPE USING TAPE AT 4' INTERVALS. ALL POINTS OF CONNECTION SHALL BE PROTECTED FROM CORROSION BY AN EPOXY OR SILICON COATING, ROUTE TRACER WIRE TO SURFACE AT ALL MANHOLES AND CLEANOUT LOCATIONS

### WATER SYSTEM CONSTRUCTION NOTES:

- EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN.
- CROSS UNDER MAJOR DRAINAGE WAYS (SAND CREEK) R MAJOR THOROUGHFARES SHALL BE DUCTILE IRON PIPE.
- THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD C105.
- 4. ALL WATER PIPES SHALL BE INSTALLED AT A MINIMUM DEPTH OF FIVE (5) FEET BELOW FINISHED GRADE.
- 5. ALL BENDS, TEE, FIRE HYDRANTS, BLOW-OFFS, AND PLUGS AT DEAD END MAINS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
- BE ONE OF THE FOLLOWING TYPES:
- A. MUELLER CENTURION, MODEL A-473 B. KENNEDY VALVE
- C. AMERICAN AVK D. OR ENGINEER/DISTRICT APPROVED EQUAL.
- 8. CONTRACTOR SHALL PRESSURE TEST AND DISINFECT THE SYSTEM PRIOR TO CONNECTING TO EXISTING MAINS.
- THE SYSTEM HAS BEEN FLUSHED. A CLEAN BACTERIOLOGICAL SAMPLE MUST BE OBTAINED PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE.
- EACH SECTION OF PIPE BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING: \*10 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY.
- PER THE SERVICE DETAIL ON THE UTILITY SERVICE PLAN. ALL OTHER VALVES SHALL BE LOCATED PER THESE PLANS.
- 12. WHEN IT IS NECESSARY TO RAISE OR LOWER WATER MAINS AT OTHER UTILITY CROSSINGS THE CONTRACTOR SHALL INSURE A MINIMUM CLEARANCE OF 18" WHERE POSSIBLE BETWEEN THE OUTSIDE DIAMETER OF PIPES.

- 16.PVC PIPE MUST BE PRESSURIZED PRIOR TO TAPPING.
- 17.THE WATER SYSTEM CONTRACTOR SHALL INSTALL ALL IRRIGATION TAPS AND METERS PER THESE PLANS.
- 20. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.
- FOOT WHERE POSSIBLE.
- 22. HIGH DEFLECTION COUPLINGS ARE NOT TO BE USED IN THE INSTALLATION OF CURVILINEAR WATER PIPE.
- 23. TAPS WILL NOT BE RELEASE UNTIL THE FOLLOWING CONDITIONS ARE MET:
- THE LENGTH DEPTH AND LOCATION OF WATER SERVICES. C. ALL ELECTRIC AND GAS UTILITIES ARE INSTALLED.
- D. THE FIRST LIFT OF HOT MIX ASPHALT MUST BE INSTALLED.
- OIL BASE EXTERIOR DEVOE-BAROX. CAN BE PURCHASED AT THE PAINT SPOT 5849 PALMER PARK BLVD COLORADO SPRINGS, CO 80915, OR EQUAL BRAND.

CURVILINEAR PIPELINE : THERE IS NO DEFLECTION ALLOWED AT THE JOINTS ON 12-INCH AND SMALLER PIPE. NOTICE: MECHANICAL MEANS SHOULD NOT BE EMPLOYED TO ACCOMPLISH THESE RADII. IT IS THE INTENT THAT THE WORKER SHOULD ACCOMPLISH THIS MANUALLY IN THE TRENCH. ON 4-INCH TO 12-INCH PIPE, THE CURVE SHOULD BE ACCOMPLISHED BY BENDING THE PIPE RATHER THAN DEFLECTING JOINTS. THERE SHALL BE NO DEFLECTION IN THE JOINTS UPON COMPLETION TO AVOID OVER-STRESSING THE BELL AND PREVENT POSSIBLE BREAKAGE AND/OR LEAKS.

	<u>LEGEND</u>		
EXISTING		PROPOSED	
	PROPERTY LINE		WATER SERVICE
	EASEMENT LINE	—— <del>— ×</del> ——	WATER VALVE
W 8" W CIPW	WATER LINE	s	SANITARY SEWER SERVICE
	WATER VALVE	DCO ee	Sanitary sewer cleanout
€	FIRE HYDRANT	GG	GAS SERVICE LINE
- san san san	SANITARY SEWER LINE	— E — E —	ELECTRIC SERVICE LINE
	SANITARY SEWER MANHOLE	G	GAS METER
GG	GAS LINE	Т	ELECTRIC TRANSFORMER PAD

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH CHEROKEE METROPOLITAN DISTRICT STANDARD AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS NOTED OTHERWISE. IN THE

3. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM.

5. INFILTRATION AND EXFILTRATION TESTS CONDUCTED BY AND AT THE EXPENSE OF THE CONTRACTOR SHALL BE PERFORMED ON A REPRESENTATIVE PORTION OF THE PROJECT IN ACCORDANCE WITH SECTION 7.04 OF THE CITY OF 6. ALL SANITARY SEWER MANHOLES, LIDS, BASES AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH (IAW) COLORADO SPRINGS DETAILS STANDARD MANHOLE DETAIL 1. EXCEPT AS NOTED ON THESE PLANS. WHERE

8. SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL ON THE UTILITY SERVICE PLAN, OR AT THE DIRECTION OF THE CONSTRUCTION MANAGER.

10. WHILE CONSTRUCTING THE SANITARY SEWER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION" SET OF UPDATED PLANS AT ALL TIMES. APPROVED FILED MODIFICATIONS TO PLAN SETS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE SANITARY

12. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE BY THE DISTRICT, TWO (2) COPIES OF "AS-CONSTRUCTED" PLANS AND TWO (2) SETS OF ELECTRONIC DATA FILES OF THE PLANS SHALL BE SUBMITTED TO THE

A. THE TWO (2) COPIES SHALL BE COMPLETE WITH ALL "AS-CONSTRUCTED" INFORMATION TOGETHER WITH A CERTIFICATION BY THE PARTY RESPONSIBLE FOR CONSTRUCTION THAT ALL DATA THEREON IS ACCURATE AND

D. THE TWO ELECTRONIC DATA FORMATS SHALL BE SUBMITTED. THE FIRST ELECTRONIC DATA FILE SET SHALL BE IN AUTOCAD 2006 OR NEWER FORMAT WITH NO EXTERNAL REFERENCE DRAWINGS. ALL EXTERNAL REFERENCES

F. NO AUTHORIZATION TO CONNECT TO THE SYSTEM OR DISCHARGE TO THE SYSTEM WILL BE ALLOWED UNTIL THE "AS-CONSTRUCTED" DOCUMENTS HAVE BEEN RECEIVED AND ACCEPTED BY THE DISTRICT. G. ALL PLANS, SPECIFICATIONS AND SUPPORTING DOCUMENTS SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF COLORADO. ALL PLANS

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH CHEROKEE METROPOLITAN DISTRICT STANDARDS AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS NOTED OTHERWISE. IN THE

2. ALL WATER SYSTEM MAINS PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 200 (DR-14) PER AWWA C-900 AND ASTM D241 SPECIFICATIONS, EXCEPT WHERE NOTED. SPECIFICALLY, SECTIONS OF WATER PIPE THAT

3. All fittings shall be constructed of gray-iron material and furnished with mechanical joint ends. All fittings shall have a minimum pressure rating of 250 psi and shall be wrapped with a 9-mil

6. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE ALL PIPES, FITTINGS, VALVES, APPURTENANCES, MATERIALS AND LABOR THAT ARE NECESSARY TO INSTALL A COMPLETE AND USEABLE FIRE HYDRANT. FIRE HYDRANT ASSEMBLIES SHALL

7. VALVE BOXES SHALL BE TYLER SLIP; TYPE "C" CAST IRON VALVE BOX ASSEMBLY SERIES 6860 WITH NO. 160 OVAL BASE OR APPROVED EQUAL.

9. ALL WATER SYSTEM COMPONENTS SHALL BE FLUSHED AND CHLORINATED PER AWWA C-601, "DISINFECTING WATER MAINS" PRIOR TO ACCEPTANCE. THE CONTRACTOR SHALL PRODUCE A 25 MG/L SOLUTION BY ADHERING CHLORINE TABLETS TO THE PIPE SECTION WITH PERMATEX CLEAR TRV INSIDE THE SYSTEM. CHLORINATION SHALL OCCUR PRIOR TO HYDROSTATIC TESTING. THE CONTRACTOR SHALL OBTAIN A BACTERIOLOGICAL SAMPLE AFTER

10. HYDROSTATIC TESTING: ALL WATER SYSTEM MAINS SHALL BE FIELD PRESSURE TESTED TO A MINIMUM OF 150 PSI OR 11/2 TIMES THE STATIC OPERATING PRESSURE, WHICH EVER IS GREATER. MAXIMUM ALLOWABLE LEAKAGE FOR

11. ALL VALVES SHALL CONFORM TO OPEN LEFT CONVENTION PER CHEROKEE METROPOLITAN DISTRICT STANDARDS. SERVICE LINE STOP VALVES/BOXES SHALL BE LOCATED A MINIMUM OF 7 FEET BEYOND THE PROPERTY LINE OR

13. WHILE CONTRUCTING THE WATER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION: SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO PLAN Sets shall be clearly identified in red ink on the plans by the contractor per field construction. These as-built changes shall be dated and submitted to the engineer of record. The engineer of RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE WATER SYSTEM.

14. COMPACTION TESTING RESULTS OF ALL TRENCHES AND BEDDING MATERIAL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO ACCEPTANCE OF THE WATER SYSTEM.

15.PRIOR TO TAPPING ANY EXISTING WATER MAIN THE CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL FOR SAID TAP IN ACCORDANCE WITH THE CHEROKEE METROPOLITAN DISTRICT STANDARDS.

18.FIRE FLOW DEMAND IS 1500 GPM FOR A 3 HOUR DURATION AT A 20-PSI MINIMUM RESIDUAL MAIN LINE PRESSURE.

19. ALL NONMETALLIC PIPES SHALL HAVE A TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 TYPE COPPER CONNECTORS AND SHALL BE PERMANENTLY AFFIXED TO THE TOP OF THE PIPE USING TAPE AT 4' INTERVALS. THE TRACER WIRE SHALL ALSO BE PERMANENTLY CONNECTED TO ALL FIRE HYDRANT TEE, METALLIC PIPE BENDS, MAIN VALVE AND OTHER METALLIC FITTINGS AND APPURTENANCES. ALL POINTS OF CONNECTION SHALL BE PROTECTED FROM CORROSION BY AN EPOXY OR SILICON COATING. GROUND TRACER WIRES TO SURFACE AT ALL VALVE BOXES.

21. ALL VALVES SHALL BE INSTALLED IN ACCORDANCE WITH COLORADO SPRINGS STANDARDS EXCEPT FOR NOTE 11 ABOVE. SPACING SHALL BE EQUIDISTANT FROM TEES, ELBOWS, BENDS AND OTHER APPURTENANCES AT 3

A. WATER AND SEWER LINES ARE INSTALLED AND PRESSURE TESTED TO THE DISTRICT STANDARDS. ALL 2X4 MARKERS ARE INTACT AND PAINTED FOR SERVICES. B. AS CONSTRUCTED DRAWINGS HAVE BEEN SUBMITTED TO THE DISTRICT. DRAWINGS TO INCLUDE ANY CHANGES FROM CONSTRUCTION DRAWINGS. THE LENGTH, DEPTH, GRADE AND LOCATION OF ALL SEWER SERVICES.

24. CONTRACTOR IS TO NOTIFY CHEROKEE METROPOLITAN DISTRICTS' INSPECTOR 24 HOURS PRIOR TO ALL STORM SEWER CRITICAL CROSSING OVER WATER AND SEWER LINES, TO VERIFY CLEARANCE.

25. FIRE HYDRANTS MUST BE PAINTED, BLUE CAPS AND BONNETS; WHITE BARREL SECTIONS. COLOR CODES ARE AS FOLLOWS: CHEROKEE BLUE, PRODUCT NUMBER 58155; CHEROKEE WHITE, PRODUCT NUMBER 58101, BOTH GLOSS

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> Addendum #2 Addendum #3

County Resubmittal

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### VECINO

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Corporate Entity No. 20181126152

CONSULTANTS

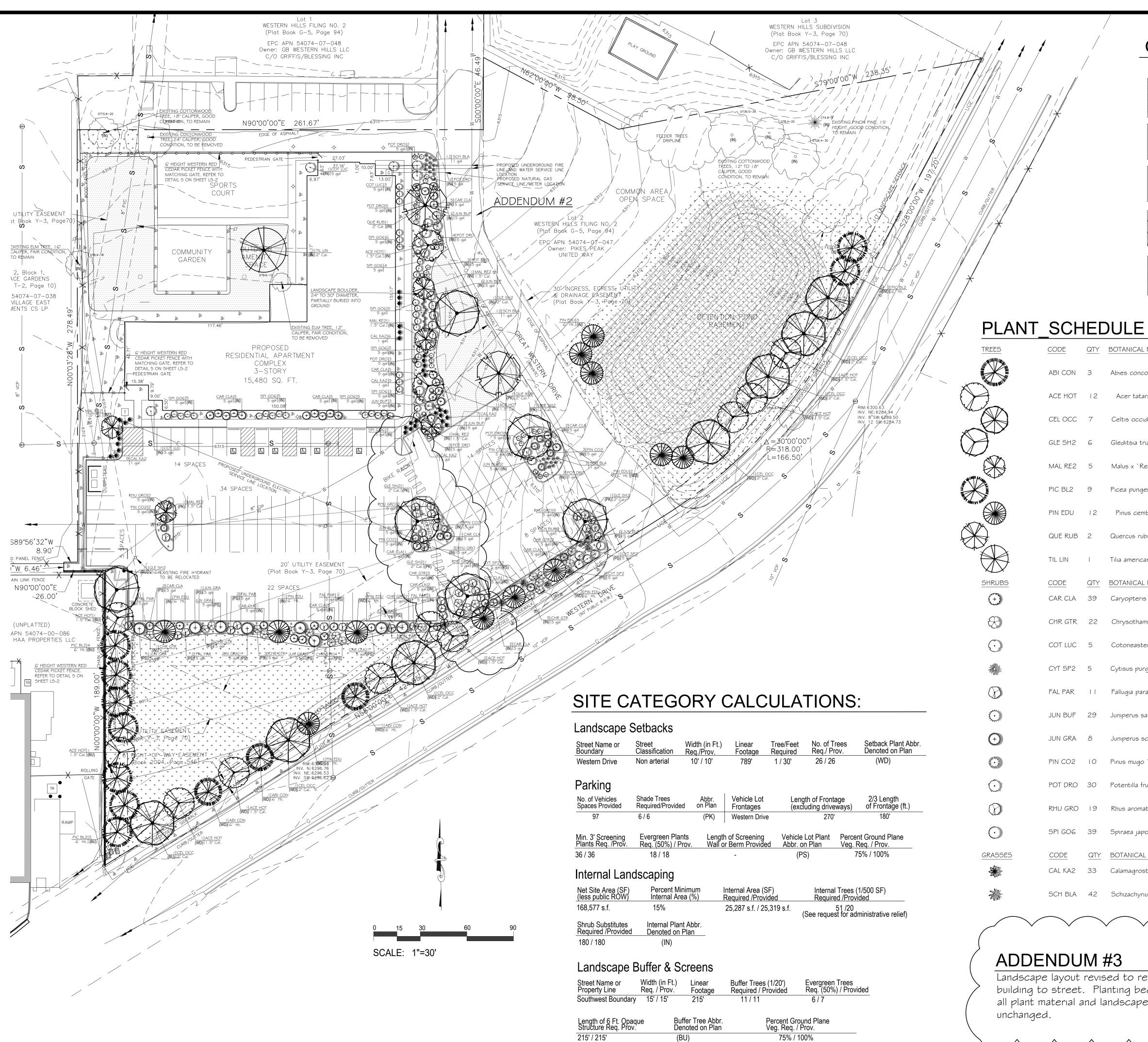
<u>Structural Engineer</u> HCDA ENGINEERING, INC. 545 E. Pikes Peak Ave. Ste 100 Colorado Springs, CO 80903 Phone: (719)633-7784 kobriger@hcdaengineering.com

Landscape Architect JWLA, LLC Jon C. Walsh, RLA P.O. Box 354 Palmer Lake, Colorado 80133 Ph: 719.640.9428 jwlandarch@gmail.com

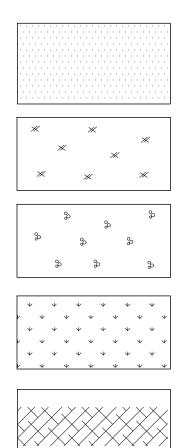
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Land Planning and Surveying Land Development Consultants, I 898 Maizeland Road Colorado Springs, CO 80909 Ph: (719) 528-6133, Ext. 109 hostetler@ldc-inc.com

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### **GROUND PLANE TREATMENT**



IRRIGATED BLUEGRASS SOD

GORILLA HAIR WOOD MULCH, 3" DEPTH

1.5" ROYAL GRANITE CRUSHED ROCK, 3" DEPTH OVER LANDSCAPE FABRIC

NON-IRRIGATED NATIVE GRASS

EROSION CONTROL BLANKET

BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
Abies concolor / White Fir	6`Ht.	B¢B
Acer tatarıcum `Hot Wings` / Hot Wings Tatarıan Maple	1.5" Ca	al. B≰B
Celtis occidentalis / Common Hackberry	2" Cal.	B¢B
Gleditsia triacanthos inermis `Shademaster` TM / Shademaster Locust	2" Cal.	B¢B
Malus x `Red Jewel` / Red Jewel Crab Apple	1.5" Cal.	B¢B
Picea pungens glauca / Colorado Blue Spruce	G`Ht.	B¢B
Pinus cembroides edulis / Pinyon Pine	G`Ht.	B¢B
Quercus rubra / Red Oak	2" Cal.	B¢B
Tilia americana / American Linden	2" Cal.	B¢B
BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
Caryopteris x clandonensis `Blue Mist` / Blue Mist Spirea	5 gal	
Chrysothamnus nauseosus graveolens / Tall Green Rabbitbrush	5 gal	
Cotoneaster lucidus / Peking Cotoneaster	5 gal	
Cytisus purgans `Spanish Gold` / Spanish Gold Broom	5 gal	
Fallugia paradoxa / Apache Plume	5 gal	
Juniperus sabina `Buffalo` / Buffalo Juniper	5 gal	
Juniperus scopulorum `Gray Gleam` / Gray Gleam Juniper	5 gal	
Pinus mugo `Compacta` / Dwarf Mugo Pine	5 gal	
Potentilla fruticosa `Gold Drop` / Gold Drop Potentilla	5 gal	
Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	5 gal	
Spiraea japonica `Goldflame` / Goldflame Spirea	5 gal	
BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
Calamagrostis x acutiflora `Karl Foerster` / Feather Reed Grass	l gal	
Schızachyrıum scoparıum `Blaze` / Blaze Little Bluestem	l gal	

# Colorado Springs, CO 80909 Ph: (719) 528-6133, Ext. 109 dhostetler@ldc-inc.com **ഗ** OUNT C **NN**

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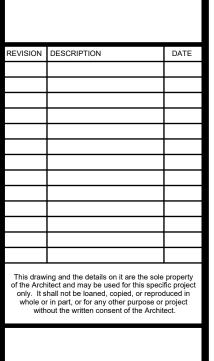
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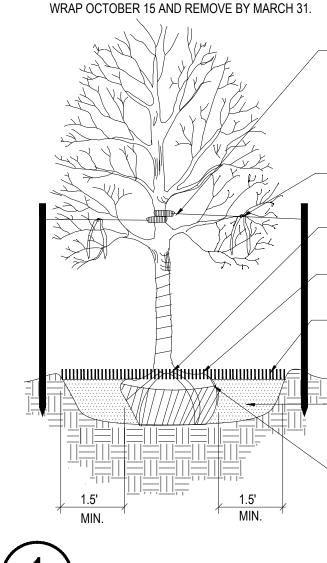
The Professional Architect's seal affixed to this sl applies only to the material and items shown on the applies only to the material and items shown on ti sheet. All drawings, instruments, or other docume not exhibiting this seal shall not be considered prepared by the Architect, and this Architect expressly disclaims any and all responsibility for si plans, drawings, or documents not exhibiting this si ATE: November 1, 2018 ROJECT NUMBER: AWN BY PYRIGHT: © 2018 VECINO DESIGN BUILD Landscape Plan

# LS¹

Landscape layout revised to reflect addition of public sidewalk from building to street. Planting bed configurations have been revised, but all plant material and landscape boulder quantities have remained

### PLANTING DETAILS

- NOTES: 1. DO NOT REMOVE OR CUT LEADER.
- 2. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
- 3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS. 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
- 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- 6. WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE.



1.5'

**^** 

3

1.5'

MIN.

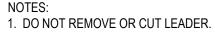
SET TREE PLUMB, STAKE UP TO 3" CALIPER TREES WITH 2 POSTS ON THE LEEWARD AND WINDWARD SIDES; STAKE TREES OVER 3" CALIPER WITH 3 EVENLY SPACED POSTS. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 6" HANG. SET STAKES IN MINIMUM 18" FIRM SOIL.

PROVIDE 12" LENGTH ORANGE FLUORESCENT FLAGGING ON ALL WIRES FOR SAFETY.

- TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL. POSITION ROOT FLARE AT GRADE
- PLANT ROOTBALL 2" ABOVE FINISH GRADE IN CLAY SOIL, AND AT GRADE IN SANDY SOIL.
- 4" DEPTH SPECIFIED MULCH. PROVIDE 3" HT. PLANTING RIM FOR TREES IN PLANTING BEDS. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR TREES IN IRRIGATED TURF GRASS. DEEP WATER AT PLANTING.
- SCARIFY SIDES OF PLANTING PIT. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL. BACKFILL MIXTURE SHALL CONSIST OF THE FOLLOWING: 25% NATIVE TOPSOIL, 25% IMPORTED TOPSOIL, 50% BIOCOMP COMPOST.
- CUT AND REMOVE ALL BURLAP AND WIRE BASKETS FROM TOP 1/2 OF ROOTBALL. REMOVE ALL TREATED, GREEN BURLAP. AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, AND RUBBER.

### **Deciduous Tree Planting Detail**

NOT TO SCALE



2. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES. 3. REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.

5. AVOID FALL PLANTING IF POSSIBLE

SET TREE PLUMB, STAKE 6' HT. TREES AND SMALLER

WITH 2 POSTS ON THE LEEWARD AND WINDWARD SIDES; STAKE TREES OVER 6' HEIGHT WITH 3 METAL ANGLE IRONS, PLACED 120 DEGREES APART. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 6" HANG. SET STAKES IN MINIMUM 18" FIRM SOIL. TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL. POSITION ROOT

FLARE AT GRADE PLANT ROOTBALL 2" ABOVE FINISH GRADE IN CLAY SOIL, AND AT GRADE IN SANDY SOIL.

PROVIDE 12" LENGTH ORANGE FLUORESCENT FLAGGING ON ALL WIRES FOR SAFETY.

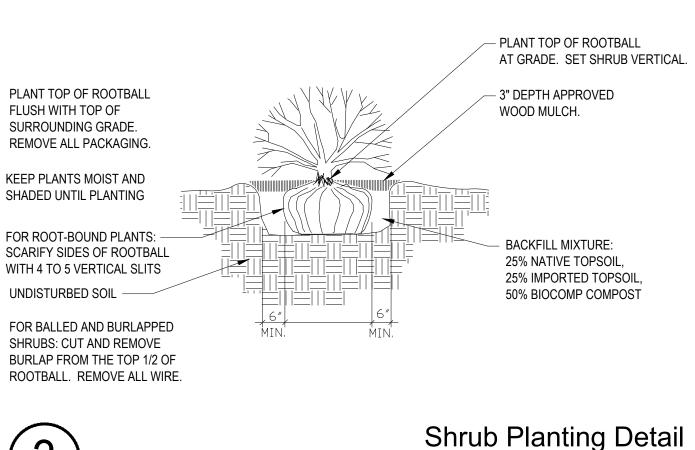
4" DEPTH SPECIFIED MULCH. PROVIDE 3" HT. PLANTING RIM FOR TREES IN PLANTING BEDS. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR TREES IN IRRIGATED TURF GRASS. DEEP WATER AT PLANTING.

SCARIFY SIDES OF PLANTING PIT. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL. BACKFILL MIXTURE SHALL CONSIST OF THE FOLLOWING: 25% NATIVE TOPSOIL, 25% IMPORTED TOPSOIL, 50% BIOCOMP COMPOST.

CUT AND REMOVE ALL BURLAP AND WIRE BASKETS FROM TOP 1/2 OF ROOTBALL. REMOVE ALL TREATED, GREEN BURLAP. AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, AND RUBBER

**Coniferous Tree Planting Detail** 

NOT TO SCALE





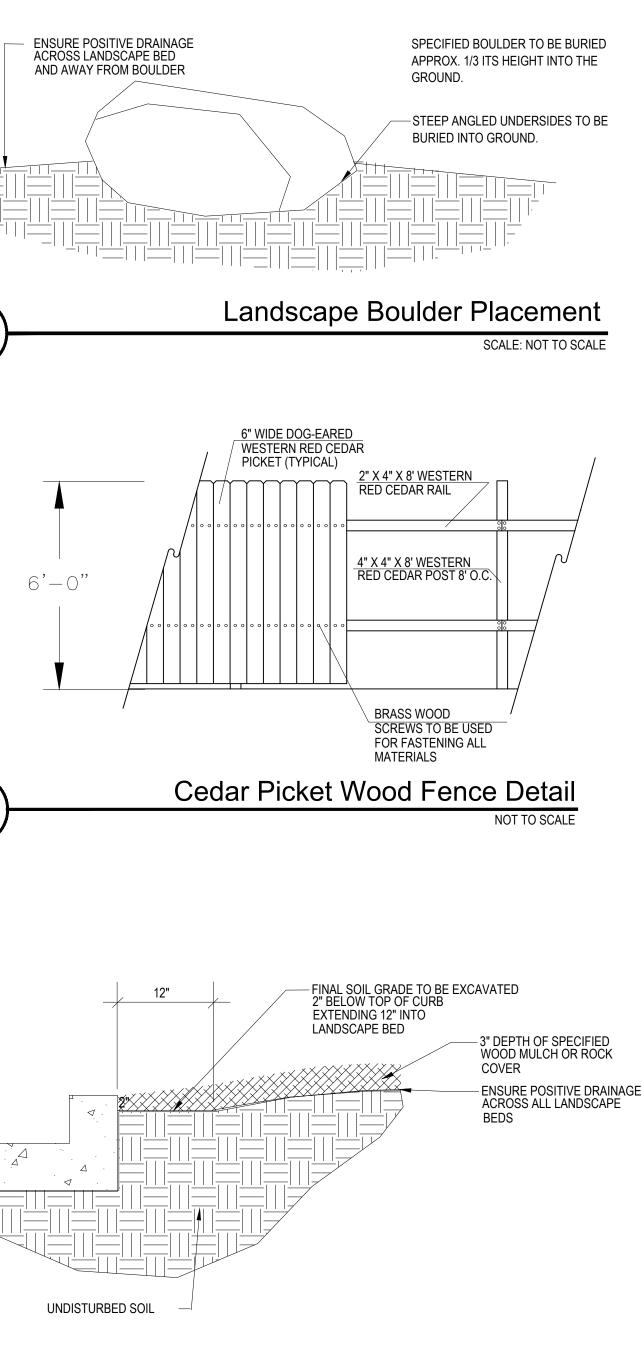


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5

INITIAL PLANTING EXCEED 6" X 6".

**OVER SEEDING** SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL. INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.



### Rock Cover / Mulch Bed Excavation

SCALE: NOT TO SCALE

## NATIVE SEED ESTABLISHMENT

STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT

### GENERAL NOTES

- ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
- RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION.
- PLANNING DEPARTMENT AND MAY DELAY COMPLETION OF PROJECT.
- LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE CONDITIONS.
- SHOULD CONTACT OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT FOR CLARIFICATIONS OR QUESTIONS.
- IRRIGATION MAINTENANCE OF THIS SITE.

## **PROJECT NOTES**

- ROCKS GREATER THAN ONE INCH.
- 2. CONTRACTOR IS TO PROVIDE FINAL GRADES ADJACENT TO HARDSCAPE SURFACES AT THE FOLLOWING SPECIFICATIONS: 2" BELOW TOP OF CONCRETE OR RETAINING WALLS FOR ALL MULCH AND ROCK COVER BEDS. 1" BELOW TOP OF CONCRETE OR RETAINING WALLS FOR IRRIGATED TURF AND NATIVE SEED AREAS. GRADES IN ALL LANDSCAPE AREAS ARE TO BE ESTABLISHED USING ON-SITE STOCKPILED TOPSOIL
- CONTROL BLANKET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- STEEL ANCHOR PINS TO BE INSTALLED 6' O.C. MAX.
- ROCKS GREATER THAN ONE HALF INCH. SOD IS TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION.
- PRE-EMERGENT FROM FOLIAGE AND ACTIVATE HERBICIDE.
- SPREADING TO HELP MAT IT DOWN AND PREVENT MULCH FROM BLOWING AWAY.
- OVERLAPPED ENDS.

## SOIL PREPARATION NOTES

- INCORPORATED INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- INTO EXISTING SOIL AND ROTO-TILLED TO A 6" DEPTH.
- TOPSOIL (C&C SAND). REFER TO PLANTING DETAILS.

## **IRRIGATION NOTES**

- SYSTEM.
- COVERAGE.
- AREAS WITH PORTABLE SPRINKLERS UNTIL ESTABLISHED.
- 4. PROVIDE IRRIGATION TO COMMUNITY GARDEN AS DIRECTED BY ARCHITECTURAL DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES 1-800-922-1987 PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES

3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE EL PASO COUNTY

CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL

5. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO SPECIFICATIONS HANDBOOK, 1996 (OR MORE RECENT) REVISED EDITION FOR SPECIFICATIONS RELATING TO LANDSCAPE AND IRRIGATION CONSTRUCTION ON THIS SITE. REFER TO SECTIONS 02810, 02930, 02940, AND 02950. CONTRACTOR

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT. ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR

1. FINE GRADING TO BE PERFORMED BY LANDSCAPE CONTRACTOR TO REFLECT FINISHED GRADES SHOWN ON THE PROJECT GRADING PLANS. ALL FINISHED GRADES ARE TO HAVE A MINIMUM 2% SLOPE. CONTRACTOR IS TO REPORT POOR DRAINAGE CONDITIONS OR ANY GRADES IN LANDSCAPE AREAS LESS THAN 2% TO GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT PRIOR TO LANDSCAPE CONSTRUCTION WORK. FINISHED GRADES SHALL BE FREE OF WEEDS AND FREE OF DEBRIS AND

CONTRACTOR IS TO COORDINATE THESE GRADING SPECIFICATIONS WITH GENERAL CONTRACTOR AND/OR WHOEVER IS PROVIDING ROUGH GRADING. FINAL

3. ALL AREAS SHOWN AS 'NON-IRRIGATED NATIVE SEED' TO BE SEEDED WITH 'LOW GROW NATIVE SEED MIX' (PAWNEE BUTTE SEED, INC.) BY DRILL SEEDING AND HYDRO-MULCH SEEDING AT A RATE OF 2 LBS. PER 1,000 SQ. FT. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION FOR MORE DETAILED INSTRUCTIONS. ALL SEEDED AREAS WITH EROSION CONTROL BLANKET TO RECEIVE EROSION CONTROL BLANKET- 'R1 EXCEL' WESTERN EXCELSIOR PHOTO-DEGRADABLE EROSION

4. ROCK COVER AREAS TO CONSIST OF 1.5" DIAMETER 'ROYAL GRANITE' CRUSHED ROCK (C&C SAND), SPREAD 3" DEPTH OVER LANDSCAPE FABRIC. LANDSCAPE FABRIC TO CONSIST OF 'DEWITT' WEED BARRIER PRO, 3 OZ BLACK WOVEN POLYPROPYLENE FABRIC. FABRIC TO OVERLAP 6" MINIMUM AT ALL SEAMS. 6"

5. PROPOSED SOD IS TO CONSIST OF A BLUEGRASS BLEND. SOD IS TO HAVE LOW CLAY CONTENT. SOD BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS AND

6. ALL PROPOSED PLANTING BEDS ARE TO BE ROTO-TILLED TO A 6" DEPTH. PLANTING BEDS ARE TO BE RAKED SMOOTH AND FINISHED GRADES ARE TO BE ESTABLISHED AND VERIFIED TO THE TOLERANCES LISTED ABOVE PRIOR TO PLANTING. PARKING LOT ISLANDS WHERE TREES ARE PROPOSED ARE TO BE EXCAVATED TO A 30" DEPTH, 8' DIAMETER AT PROPOSED TREE LOCATIONS AND HALF OF EXCAVATED SOIL IS TO BE MIXED WITH IMPORTED TOPSOIL AND REPLACED INTO ISLANDS.

7. AFTER PLANTING, BUT BEFORE MULCH IS INSTALLED, ALL PLANTING BEDS ARE TO RECEIVE A GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR SNAPSHOT). APPLY PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO SPRAY ALL PLANTING BEDS WITH WATER IMMEDIATELY AFTER MULCH IS INSTALLED TO REMOVE

8. LANDSCAPE BOULDERS TO CONSIST OF 24" TO 30" DIAMETER 'COTTONWOOD' BOULDERS (C & C SAND), PARTIALLY BURIED INTO GROUND. REFER TO DETAIL.

9. GORILLA HAIR WOOD MULCH IS TO BE PROVIDED IN ALL PLANTING BEDS SHOWN AT SPECIFIED DEPTHS SHOWN ON LANDSCAPE PLAN. MULCH TO BE INSTALLED AT A UNIFORM 3" TO 4" DEPTH. NO LANDSCAPE FABRIC TO BE INSTALLED BENEATH MULCH. CONTRACTOR IS TO SPRAY MULCH WITH WATER IMMEDIATELY AFTER

10. STEEL EDGING IS TO CONSIST OF 16 GAUGE PERFORATED GALVANIZED ROLLED-TOP STEEL EDGING. EDGING IS TO BE USED TO SEPARATE TURF, WOOD MULCH. AND ROCK COVER AREAS, UNLESS OTHERWISE NOTED ON PLAN. EDGING IS TO BE PARTIALLY BURIED SO THAT HALF OF EDGING HEIGHT IS BELOW FINISHED SOIL GRADE. 12" STEEL EDGING PINS TO BE INSTALLED EVERY 4' O.C. MAX.. ENDS OF STEEL EDGING TO OVERLAP 6" MINIMUM WITH AND HAVE TWO PINS SECURING

PROPOSED BLUEGRASS SOD AREAS: ALL SODDED AREAS TO RECEIVE 4 CU. YDS. PER 1,000 SQ. FT. OF 'BIOCOMP' SOIL AMENDMENTS (C&C SAND)

PROPOSED NATIVE GRASS AREAS: ALL SEEDED AREAS TO RECEIVE 3 CU. YDS. PER 1,000 SQ. FT. OF IMPORTED GRADE A TOPSOIL (C&C SAND) INCORPORATED

PROPOSED TREES AND SHRUBS: ALL PROPOSED TREES ARE TO BE BACKFILLED WITH A MIXTURE OF 'BIOCOMP' SOIL AMENDMENT AND IMPORTED GRADE A

1. ALL PROPOSED TREES AND SHRUBS ARE TO BE WATERED BY A PROPOSED DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC CONTROLLER, RAIN SENSOR, BACKFLOW PREVENTER (INSTALLED PER LOCAL CODES), AND TWO QUICK COUPLERS EVENLY SPACED ALONG MAINLINE. TREES TO HAVE (4) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL, SHRUBS TO HAVE (2) 1 GPH EMITTERS EACH EVENLY SPACED AT EDGE OF ROOT BALL ALL DRIP PIPE SHALL BE SECURED WITH 6" METAL STAKES AND BURIED. REFER TO SPECIFICATIONS FOR STANDARDS TO MEET WITH DESIGN/BUILD IRRIGATION

2. ALL BLUEGRASS SOD AREAS TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND/OR ROTARY HEADS. IRRIGATION HEADS TO BE SPACED FOR HEAD TO HEAD

3. ALL DISTURBED NATIVE SEED AREAS TO RECEIVE TEMPORARY IRRIGATION UNTIL NATIVE GRASS IS ESTABLISHED. REFER TO NATIVE SEED ESTABLISHMENT SPECIFICATION. HOSES ARE TO BE CONNECTED TO BUILDING HOSE BIBS AND IRRIGATION QUICK COUPLERS TO MANUALLY WATER PROPOSED NATIVE SEED

Corporate Entity No. 20181126152

### CONSULTANTS

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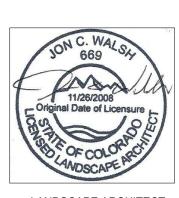
Land Planning and Surveying Land Development Consultants, I . 8898 Maizeland Road Colorado Springs, CO 80909 Ph: (719) 528-6133, Ext. 109 hostetler@ldc-inc.com

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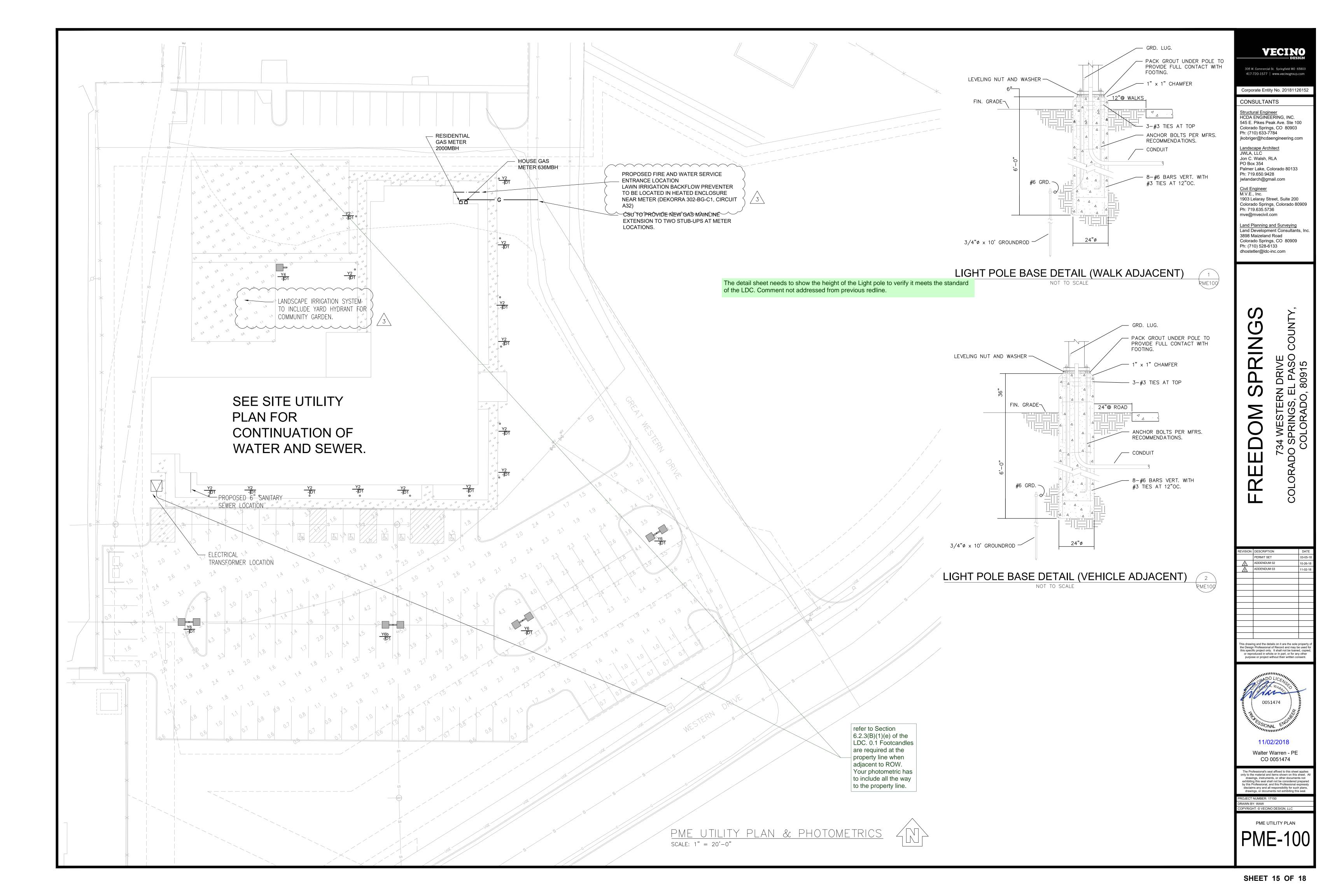
he Professional Architect's seal affixed to this sh applies only to the material and items shown on the heet. All drawings, instruments, or other docum not exhibiting this seal shall not be consider prepared by the Architect, and this Architect expressly disclaims any and all responsibility for plans, drawings, or documents not exhibiting this DATE: November 1, 2018

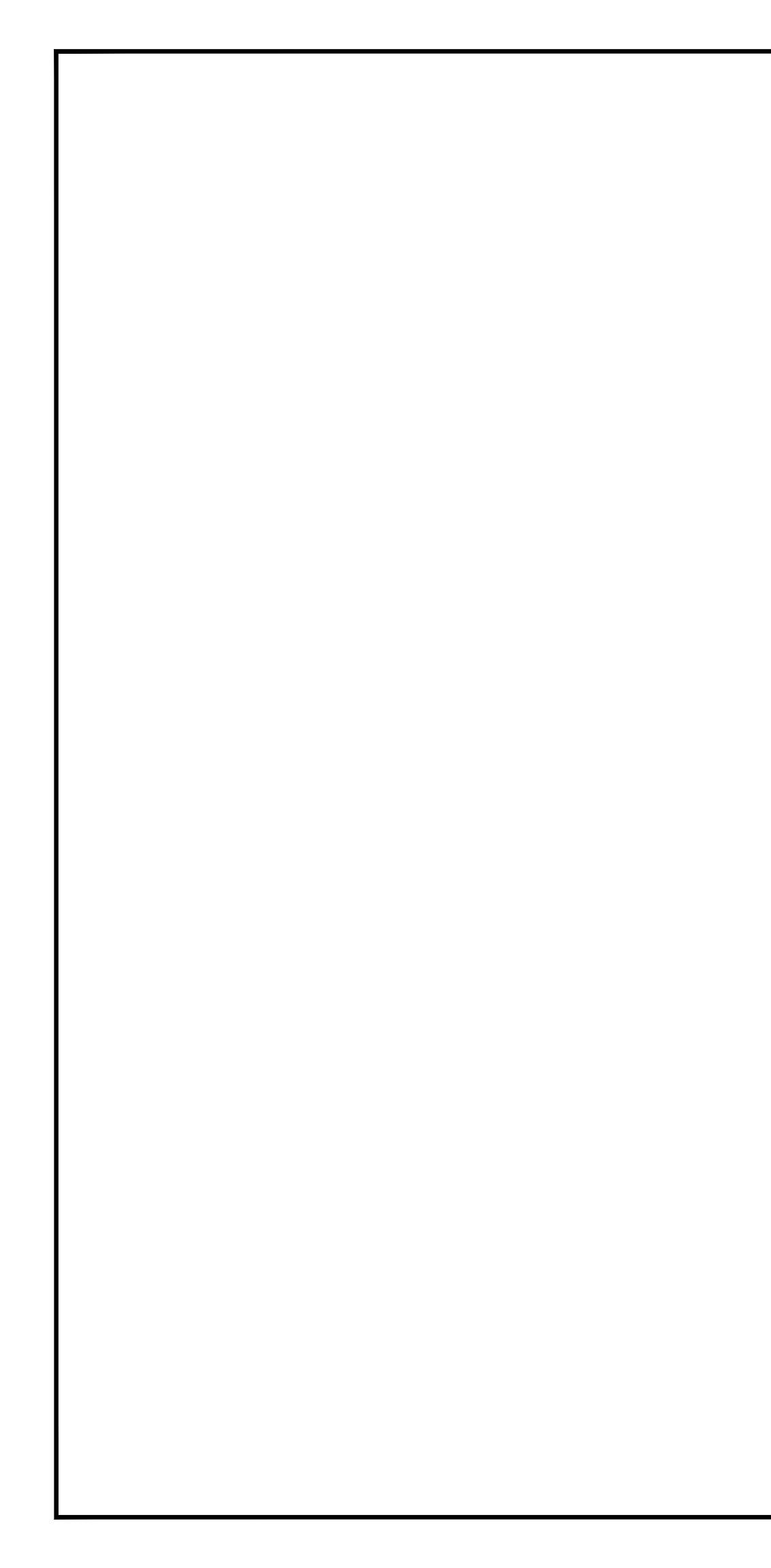
JECT NUMBER:

Landscape Details

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PLEMENTAL SPECIFICATIONS:	$\sim$	LIGHT FIXTURE SCHEDULE								
e specifications manual.										
ECURITY SYSTEMS:	TAG	LOCATION	MODEL #	FINISH	WATTS	LUMENS	MOUNTING	NOTES		
General:	>   A	APARTMENTS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING			
1. Furnish and install a complete operating access building security system as described herein and as		CEILING FAN	PROGRESS P2574-2030K	BZ			CEILING	WET RATED		
shown on drawings. The system shall be complete with all necessary materials and controls required for operation whether or not such materials and controls are specified or shown. Shop drawings shall be	> <u>C1</u>	CEILING FAN	PROGRESS P2574-2050K	DZ			CEILING			
provided to the Architect for confirmation of location of all cameras.	( D1	LIVING ROOM	PROGRESS P3612-0930K9	WH	44.5W	3745	CEILING	22"DIA, 2700K		
2. CCTV devices: CCTV cameras shall be located where shown to monitor entry and exit of the building, and building		BEDROOM	PROGRESS P3611-093069	WH	29.5W	2330	CEILING	15"DIA, 2700K		
		BEDITOOIM	FROORESS F3011-035003	VVII	29.500	2330	CLILING			
exterior. Monitors, recorder and other gear shall be located in Room 113 near the MDF. Coordinate location with fire alarm, HVAC, and other nearby trades.								KEYLESS LAMP		
2.1. IP camera (1.3MP minimum resolution, color),	$\geq$							HOLDER W/ LED		
2.2. Monitor, 24" 16:9 LED monitor, 1920x1080 resolution		MECHANICAL CLOSET	LEVITON 8829-CW4		8.5W	, 	WALL	BULB OVER DOOR.		
2.3. Network Video Recorder, 30 days storage	>   L	MICHANICAL CLOSET	LLVII ON 8829-CW4		0.5 W		VVALL	PROTECTIVE CAGE		
2.4. Network switch	(							REQ'D AT ELEVATOR		
2.5. Battery backup 3. Power for security systems shall be provided through the specified house panel circuit for security. See	$\geq$							PIT.		
electrical panel diagrams.		CLOSETS		14/11	4 5 14/	1000				
4. Security systems shall be provided with stand-alone standby battery or circuit with inverter to provide	> F	CLOSETS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING			
sufficient power for 24 hours of operation.	<b>G2</b>	BATH VANITY	PROGRESS P2094-0930K9	РС	35W	3000LM	WALL	38" LENGTH		
CESS AND DOOR CONTROL SYSTEMS:	( Н	BATH	PROGRESS P8022-82-30K	BN	15W	1000LM	CEILING			
. General: 1. Furnish and install a complete operating access control system as described herein and as shown on		KITCHEN PENDANT	PROGRESS P5092-09	BN	9.5W	915LM	PENDANT	FROSTED GLASS		
drawings. The system shall be complete with all necessary materials and controls required for operation										
whether or not such materials and controls are specified or shown. Shop drawings shall be provided to $\langle$	/ к	CORRIDORS	PROGRESS P8022-28-30K	WH	15W	1000LM	CEILING	3000K		
the Architect for confirmation of location of all access and door control systems.		NOT USED								
2. Access control shall be located at all building entrances as indicated on the drawings. Controls at		NOT 03LD								
exterior pedestrian locations shall include proximity sensor. Call box shall be located at main entry without remote unlock capability.								BUTTON STRIKE SID AT 48",		
3. Magnetic hold opens shall be as specified with door hardware. Power for magnetic hold-opens shall be		HEARING IMPAIRED	NUTONE LA11WH, C907 XFORM, HARRIS				14/411	,		
provided from the nearest public unswitched, non-GFCI, non-AFCI, receptacle circuit. 4. Power for access control systems shall be provided through the specified house panel circuit for Access	> M	APARTMENTS	DOORBELL STROBE, SPORE TDB-N-AL	WH	_	_	WALL	CHIME/STROBE		
Control. See electrical panel diagrams.			BUTTON					VISIBLE TO LIVING		
5. Access control systems shall be provided with stand-alone standby battery or circuit with inverter to	>							ROOM.		
provide sufficient power for 24 hours of operation.				14/11	40144	4100114	SURFACE	2X2 LED PANEL W/		
$\langle \cdot \rangle$	> N1	OFFICE	LUMENOPTIX LUZ-22-40-EA8-35K-DU1-KS	WH	40W	4100LM	CEILING	SURFACE MT KIT		
BLIC WIFI SYSTEM:	$\rangle$ Q	CLOSETS	LEVITON 9864-LED		8.5W		CEILING	MOTION, NO SWITC		
nish and install a complete operating public WIFI system providing wireless access points, powered by POE, ere shown and as required to provide service to specified areas on drawings.										
					2014	4000114		48" STRIP LIGHT W/		
	( R	UTILITY	COLUMBIA CSL4-4035	WH	36W	4000LM	SURFACE	HANGER FOR 9' MA		
	/							MOUNTING HEIGHT		
	\	CLASSROOM	FINELITE	WH	26W	26001 M	PENDANT	48" LINEAR		
$\wedge$	> S	CLASSKUUIVI	HP2-D-4-H-830-F-120V-FA50-SC-C*	VVП	2000	2600LM	PENDANI	40 LINEAR		
2	Y1	EXTERIOR CANOPY	HINKLEY 2302KZ-LED ARIA	BZ	15W		PENDANT			
	(		H.E.WILLIAMS							
		EXTERIOR BOLLARD	OSA6R-L20/840-AC-FT-DBZ-AB-DRV-UNV	ВК	18W	2000LM	GROUND			

The detail sheet needs to show the height of the Light pole to verify it meets the standard of the LDC. Comment not addressed from previous redline.

		LIGHT FIXTUR	E SCHEDUL	.E				
TAG	LOCATION	MODEL #	FINISH	WATTS	LUMENS	MOUNTING	NOTES	
Α	APARTMENTS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING		
C1	CEILING FAN	PROGRESS P2574-2030K	BZ			CEILING	WET RATED	
D1	LIVING ROOM	PROGRESS P3612-0930K9	WH	44.5W	3745	CEILING	22"DIA, 2700K	
D2	BEDROOM	PROGRESS P3611-093069	WH	29.5W	2330	CEILING	15"DIA, 2700K	
E	MECHANICAL CLOSET	LEVITON 8829-CW4		8.5W		WALL	KEYLESS LAMP HOLDER W/ LED BULB OVER DOOR. PROTECTIVE CAGE REQ'D AT ELEVATOF PIT.	
F	CLOSETS	PROGRESS P8022-28-30K	WH	15W	1000	CEILING		
G2	BATH VANITY	PROGRESS P2094-0930K9	PC	35W	3000LM	WALL	38" LENGTH	
Н	BATH	PROGRESS P8022-82-30K	BN	15W	1000LM	CEILING		
J	KITCHEN PENDANT	PROGRESS P5092-09	BN	9.5W	915LM	PENDANT	FROSTED GLASS	
К	CORRIDORS	PROGRESS P8022-28-30K	WH	15W	1000LM	CEILING	3000К	
L	NOT USED							
М	HEARING IMPAIRED APARTMENTS	NUTONE LA11WH, C907 XFORM, HARRIS DOORBELL STROBE, SPORE TDB-N-AL BUTTON	WH	_	_	WALL	BUTTON STRIKE SIDE AT 48", CHIME/STROBE VISIBLE TO LIVING ROOM.	
N1	OFFICE	LUMENOPTIX LUZ-22-40-EA8-35K-DU1-KS	WH	40W	4100LM	SURFACE CEILING	2X2 LED PANEL W/ SURFACE MT KIT	
Q	CLOSETS	LEVITON 9864-LED		8.5W		CEILING	MOTION, NO SWITC	
R	UTILITY	COLUMBIA CSL4-4035	WH	36W	4000LM	SURFACE	48" STRIP LIGHT W/ HANGER FOR 9' MAX MOUNTING HEIGHT	
S	CLASSROOM	FINELITE HP2-D-4-H-830-F-120V-FA50-SC-C*	WH	26W	2600LM	PENDANT	48" LINEAR	
Y1	EXTERIOR CANOPY	HINKLEY 2302KZ-LED ARIA	BZ	15W		PENDANT		
Y2	EXTERIOR BOLLARD	H.E.WILLIAMS OSA6R-L20/840-AC-FT-DBZ-AB-DRV-UNV	ВК	18W	2000LM	GROUND		
Y3	EXTERIOR WALL	WAC WS-W5318	BZ	15W	1218LM	WALL	VERIFY MT HEIGHT	
Y4	YARD LITE	KENALL TPDPT26-5R-5S-FTA-DB-160L30K-DV-DS34 0-500V250-OT-HH-FBCP-AB-DB-(VAL,KEN ALL)	ВК	150W	13860LM	POLE	3000K, 25' POLE	
Y5	PARKING	BEACON VP-S/30NB-70/3K/T2/UNV/RA/DBT, BEACON SSSB16-40A-1-1B4-DBT	ВК	54.7W	6530LM	POLE	3000K, 25' POLE	
Y6	PARKING	BEACON VP-L/96NB-280/3K/T3/UNV/RA/DBT, BEACON SSSB25-50B-2-S2-DB	ВК	215W	24084LM	POLE	DUAL HEAD, 3000K, 25' POLE	
Y6b	PARKING	BEACON VP-L/96NB-280/3K/T3/UNV/RA/DBT, BEACON SSSB22-50B-2-S2-DB	ВК	215W	24084LM	POLE	DUAL HEAD, 3000K CUSTOM 22' POLE HEIGHT.	
Y7	WALLPAK	BEACON TRV/D/24NB/27/3K/T2/UNV/BL	ВК	27W		WALL		
EX1	EMERGENCY	COMPASS CCG	WH			UNIVERSAL	EMERGENCY/EXIT	
EX2	EMERGENCY	COMPASS CEG + REMOTE	WH			UNIVERSAL	EMERGENCY/EXIT WITH REMOTE HEAD	
EX3	EMERGENCY	COMPASS CCGRC	WH	1.4W		WALL 7.5'	2 HEAD EMERG. LIGHT	
EM1	EMERGENCY	COMPASS CU2 + REMOTE	WH	1.4W		WALL 7.5'	2HEAD W/ REMOTE	
EM2	EMERGENCY	COMPASS CU2RC	WH	14W		WALL 7.5'	HIGH OUTPUT	
EM3	EMERGENCY	DUAL EVHC6						

ALL FIXTURES SHALL BE 3000K COLOR TEMP. 2700K TO 3500K IS ACCEPTED WHERE 3000K IS NOT AVAILABLE. EXHAUST FANS, HEATERS, AND OTHER MECHANICAL EQUIPMENT BY MC. CONNECTION BY EC. SEE M300 FOR SPECS. SMOKE & CO ALARM - SEE SPECIFICATIONS DWELLING UNIT FIXTURES REQUIRING SCREW-IN LAMPS SHALL USE CREE A19, 2700K, 9.5W, 915LM, OMNIDIRECTIONAL, 80CRI MIN.

## 305 W. Commercial St. Springfield MO 65803 417-720-1577 | www.vecinogroup.com

VECINO

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REVISION	DESCRIPTION	DATE
	PERMIT SET	03-05-18
	ADDENDUM 02	10-26-18
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SONAL ENGLI 10/25/2018

Walter Warren - PE CO 0051474

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SCHEDULES

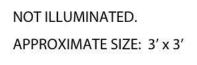
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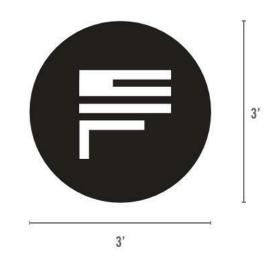
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SHEET 16 OF 18

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### CUTOUT METAL WALL SIGN ON EAST ELEVATION, AND FLAGPOLE IN EAST COURTYARD.





**BUILDING PLACEMENT - EAST FACE** 



### ILLUMINATED WALL SIGN ON SOUTH ELEVATION "CHIMNEY"

LED BOX/CHANNEL LETTERS WITH DARK SIDES. FRONT GLOW ONLY. APPROXIMATE SIZE: 6'6" x 4'6"

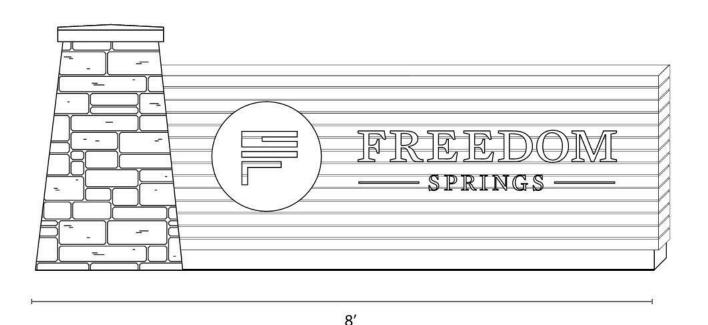


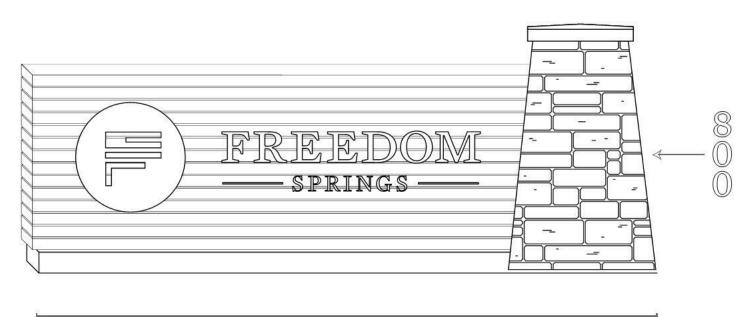
4′6″

6'6"

### MONUMENT SIGN ON SE CORNER OF PROPERTY NEAR CORNER AT WESTERN DRIVE.

DOUBLE SIDED. WOODEN SLATS ON CONCRETE BASE. METAL CUTOUT LETTERING AND LOGO. APPROXIMATE SIZE: 8' x 3' x 4.5' STREET NUMBER ON OUTSIDE STONE AREA OF SIGN, FACING STREET. SOLAR GROUND LIGHTING





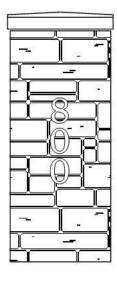
8'

### **BUILDING PLACEMENT - SOUTH FACE**

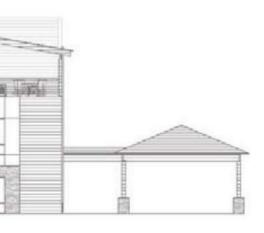
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	В	88	В			
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1 SOUTH ELEVATION Copy





SIDE VIEW



### VECINO

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Corporate Entity No. 20181126152 CONSULTANTS

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Landscape Architect JWLA, LLC Jon C. Walsh, RLA P.O. Box 354 Palmer Lake, Colorado 80133 Ph: 719.640.9428 jwlandarch@gmail.com

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