



Design, with family in mind
(719) 641-2095
1760 S. Highway 24
Woodland Park, CO 80863
allegrodesignco.com

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WEHLAGE
ADDITION
11730 RED LODGE RD.,
PEYTON, CO 80831

ARCHITECTURAL

CS Cover Sheet & General Notes
C1 Site Plan
A1 Existing Plans
A2 Main Floor Plan
A4 Roof Plan
A5 Front Elevation
A6 Rear & Left Side Elevations
A7 Building Sections
A8 Electrical Location Plans
A9 Plumbing Location Plan

FOUNDATION

F1 Foundation Plan
F2 Foundation Details

STRUCTURAL

S1 STR Framing Details
S2 STR Framing Details
S3 Main Floor & Deck Framing Plans
S4 Roof Framing Plans

AREA CALCULATIONS

(E) BASEMENT 837 SF
(E) GARAGE 428 SF
(E) MAIN FLOOR 861 SF
(N) MAIN FLOOR ADDITION 1318 SF
(E) UPPER FLOOR 732 SF
(N) UPPER FLOOR ADDITION 520 SF

Rev. #	Date	Description

PROJECT No. 26-0117
DATE 9-9-26
DRAWN BY BLD
CHECKED BY BLD

C1

Site Plan

DRAWN BY

Allegro Design Co. LLC
1760 S. Highway 24
Woodland Park, CO 80863
(719) 641-2095, info@allegrodesignco.com

Signature:

LEGAL DESCRIPTION

- ✓ LOT 82 WOODMEN HILLS FIL NO 4, in EL PASO County, State of Colorado.
- ✓ Site Address: 11730 RED LODGE RD PEYTON CO, 80831
- ✓ Plat Number: R09838
- ✓ Account Number: 5236005022
- ✓ Zone District: RR-0.5
- ✓ Acres: 1.18

ELECTRIC — E —
WATER — W —
SEPTIC — S —
GAS — G —
EXISTING TOPOGRAPHY —
PROPOSED GRADING —
T.O.S. = TOP OF SLAB
T.O.F. = TOP OF FLOOR

SITE PLAN LEGEND

SCALE 1" = 20'-0"

GENERAL SITE NOTES:

- The builder shall become familiar with the project site and all existing site conditions which might impact the proposed scope of work prior to beginning any construction related activities.
- The builder shall be responsible for verifying existing site grades and natural land formations, existing trees and shrubbery and proposed building location. The builder may obtain a licensed surveyor for the purpose of recording accurate site conditions.
- All easements, setbacks, building heights and footprint requirements shall be verified by the builder prior to construction.
- The builder shall confirm the location of any existing utility services and meters and coordinate any required extensions with the utility companies.
- The builder shall be responsible for coordinating final grading and paving of walks, driveways and patios. Finished grades shall slope away from the building a minimum of 10%, or one (1) foot per every ten (10) feet.
- The builder and/or owner shall determine and coordinate all required final landscaping.
- The builder shall keep the premises free from accumulation of waste materials and debris.
- All retaining walls greater than 4'-0" high, to be designed by a licensed Colorado engineer.
- All Concrete foundation walls, pads, piers, and concrete retaining walls shall be designed by a licensed Colorado Professional Engineer.
- Refer to applicable building code and the Local Home Owners Association requirements for specifications not stated in the plans.
- All native vegetation is to remain as practical.
- The Contractor and all Sub-Contractors shall take careful consideration to construction practices to help insure proper care of native landscape.

ADD26575

APPROVED Plan Review

09/22/2026 4:23:02 PM
by young

EPC Planning & Community
Development Department



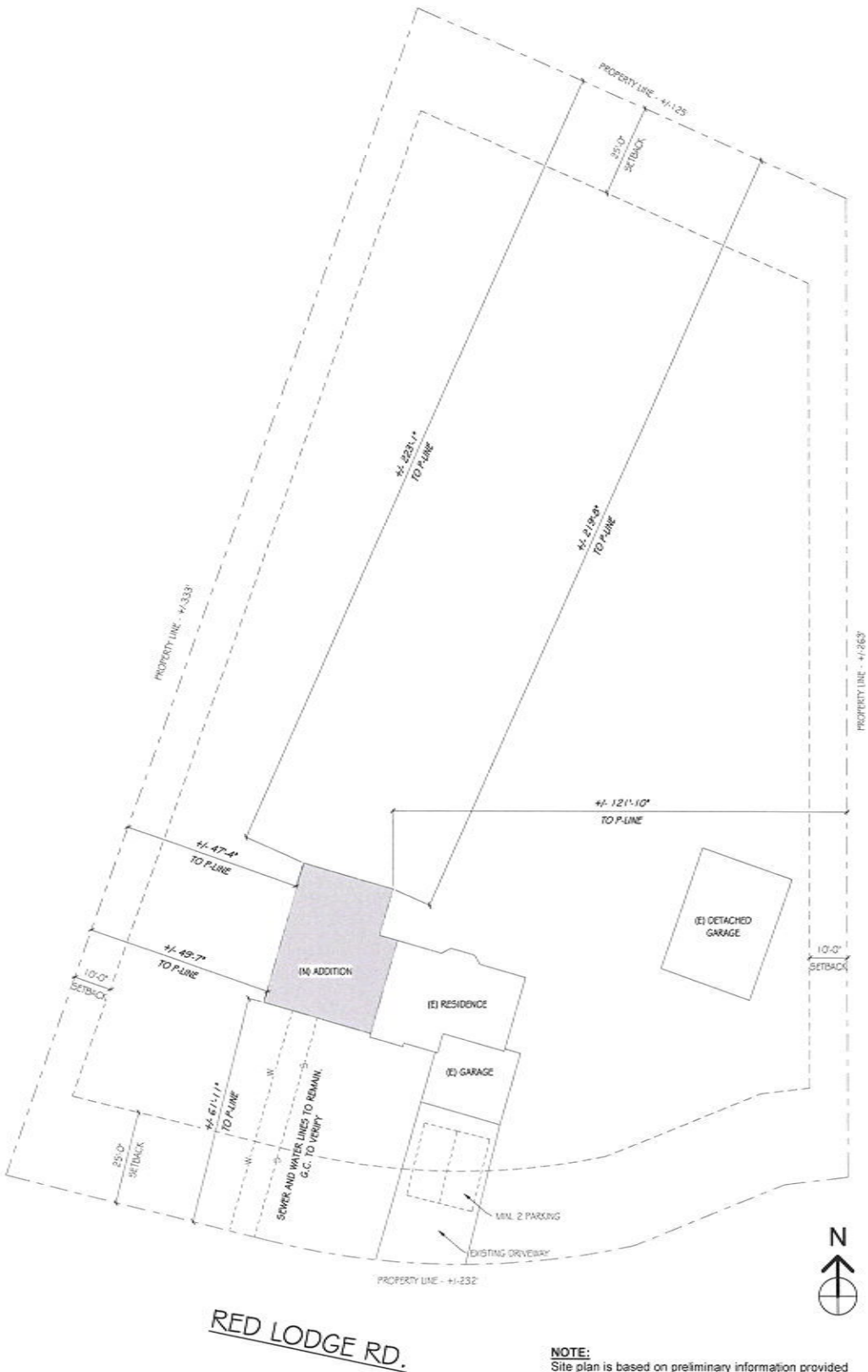
ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT CONSTITUTE THE NEED TO COMPLY WITH ANY FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION. Planning & Community Development Department reserves the right to require any and all additional information as needed. An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road. Division of Knowledge of any drainage way is not intended unless approved by the Planning & Community Development Department.



This parcel is in a low/moderate/high intensity fire risk area. Please reach out to the local fire district regarding recommendations for compliance with the WRC code.



It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.



NOTE:
Site plan is based on preliminary information provided by El Paso County. The intent of the Site Plan is to depict the approximate location of the proposed building and are shown for general reference only. This is not intended to illustrate grading, erosion control, site access, waste water treatment systems, or drainage conditions. This is not a surveyed document and should not be considered as such.

0 10' 20' 40'
SCALE 1" = 20'-0"

SITE PLAN

SCALE 1" = 20'-0"

RESIDENTIAL



2023 PPRBC
2021 IECC and CO MERSRC

Address: 11730 RED LODGE RD, PEYTON

Parcel: 5236005022

Plan Track #: 216909

Received: 16-Sep-2026 (TREYW)

Description:

ADDITION

Contractor: NOW CONTRACTING, LLC.

Type of Unit:

Required PPRBD Departments (5)

Floodplain

(N/A) RBD GIS

Construction

Electrical

Mechanical

Plumbing

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations.
This plan set must be present on the job site for every inspection.

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

09/23/2026 8:13:06 AM

dsdyounger

EPC Planning & Community
Development Department