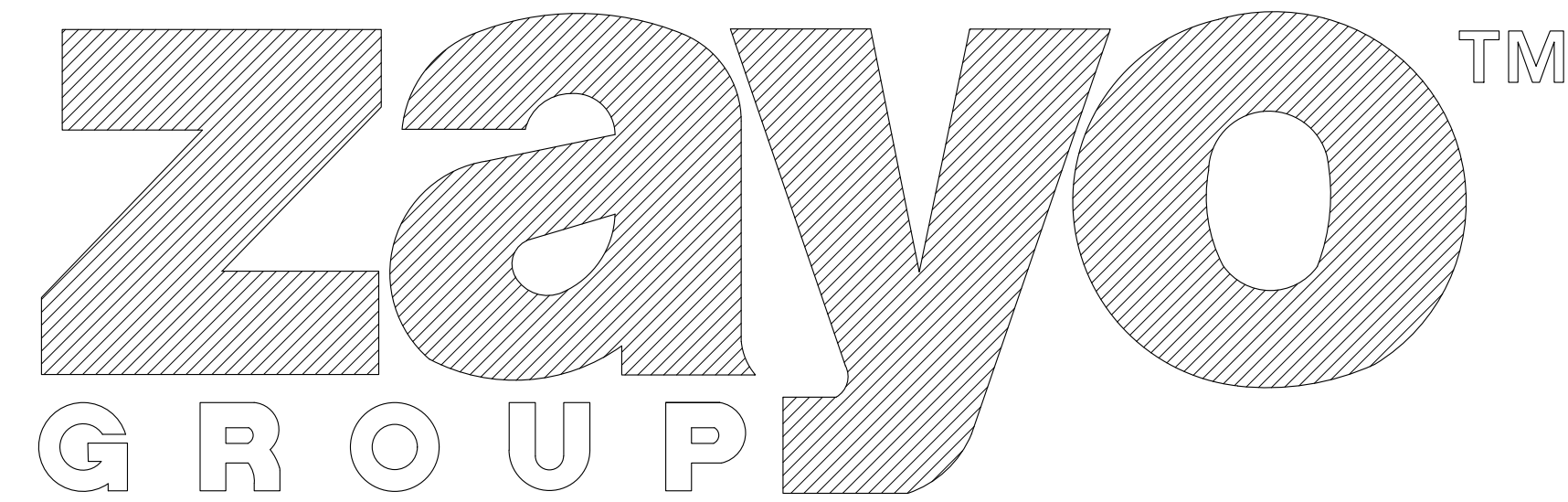
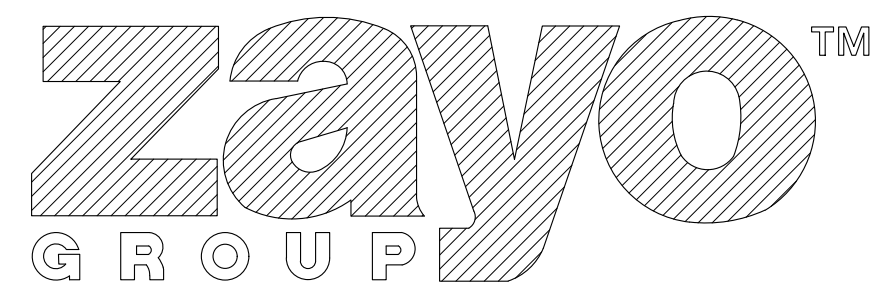




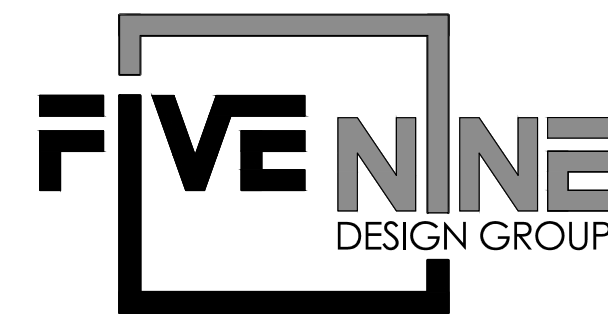
18308 HIGHWAY 94
COLORADO SPRINGS, CO 80930

OWNER



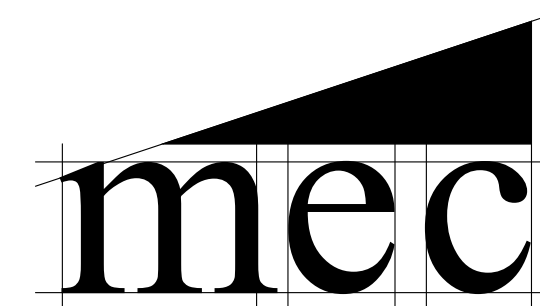
DAVE SNYDER
1401 WYNKOOP STREET
SUITE 500
DENVER, CO 80202
TEL. (720) 495-4600
WWW.ZAYO.COM
dave.snyder@zayo.com

ARCHITECT /
PROJECT MANAGER



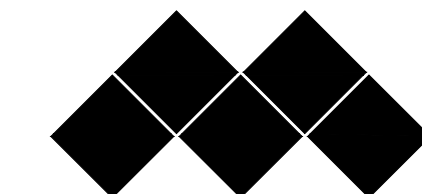
15925 HARGRAY DRIVE
NOBLESVILLE, IN 46062
CONTACT: REX ATKINSON
(833) 348-3934
REX@FIVE9DG.COM
WWW.FIVE9DG.COM

STRUCTURAL
CONSULTING ENGINEERS



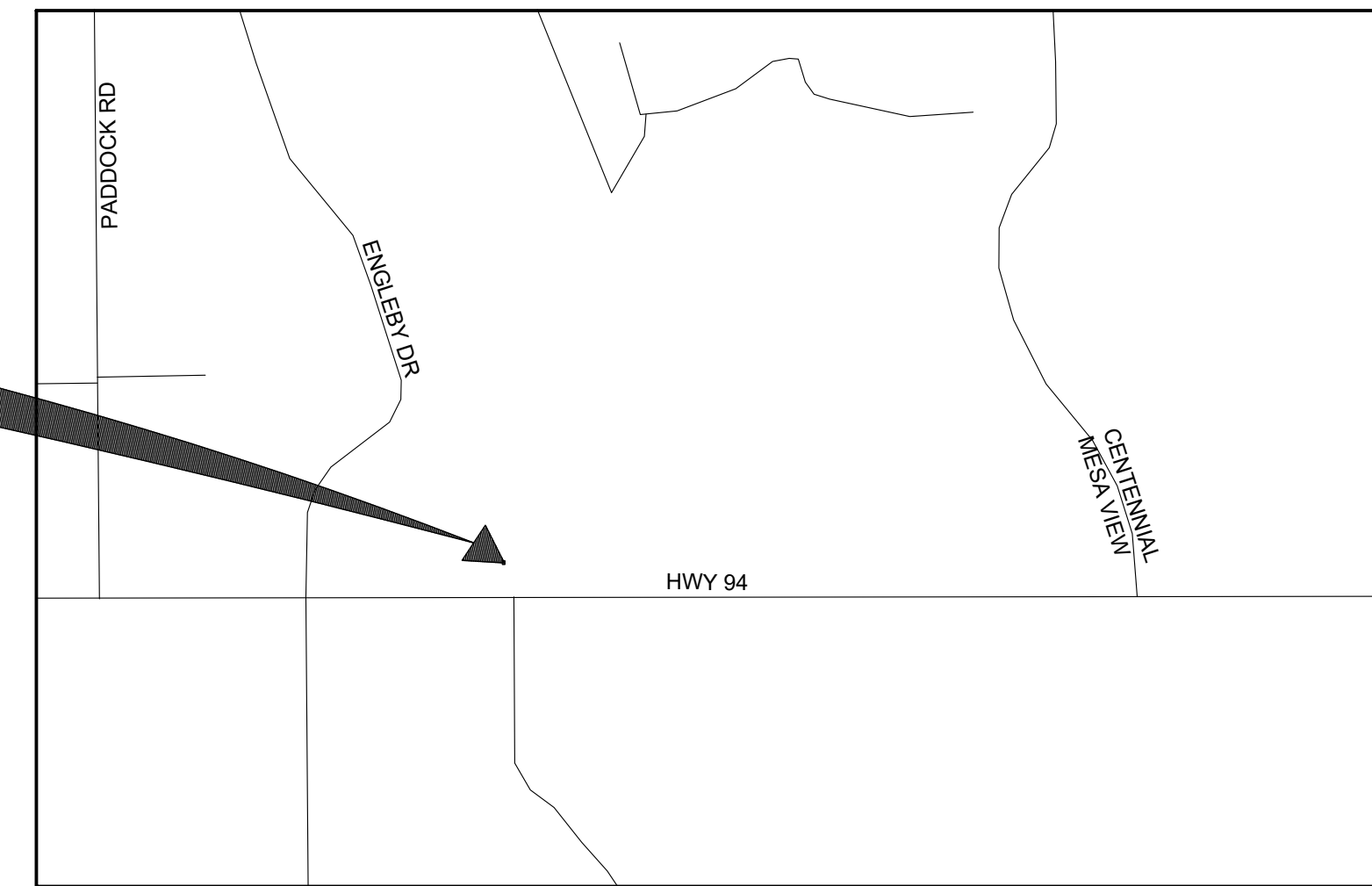
STRUCTURAL ENGINEERS
McCLUSKEY ENGINEERING
CORPORATION
1887 HIGH GROVE LANE
NAPERVILLE, ILLINOIS 60540
630-717-5335 ■ FAX: 630-717-5397

ELECTRICAL
CONSULTING ENGINEERS



MILLIES
ENGINEERING GROUP

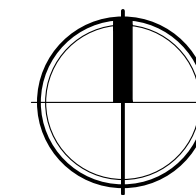
9711 VALPARAISO DRIVE
SUITE A
MUNSTER, IN 46321
PHONE: (219) 924-8400
WWW.MILLIESENGINEERINGGROUP.COM



PROJECT
LOCATION
38.839288,
-104.489184

PROJECT LOCATION

SCALE: NONE



15925 HARGRAY DRIVE
NOBLESVILLE, INDIANA 46062
P: 833-348-3934
www.five9dg.com

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WRITTEN PERMISSION OF FIVE NINE DESIGN GROUP. WRITTEN
DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE
DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR
ALL DIMENSIONS AND CONDITIONS ON THE JOB AND FIVE NINE DESIGN
GROUP MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS
AND CONDITIONS SHOWN ON THESE DRAWINGS.



02-06-2026 ISSUED FOR PLANNING REV3

SHEET INDEX:		06-06-2023 ISSUED FOR PLANNING	12-12-2023 ISSUED FOR PLANNING REV1	01-15-2024 ISSUED FOR PLANNING REV2	02-06-2026 ISSUED FOR PLANNING REV3
T001	TITLE SHEET	●	●	●	●
C000	SURVEY	○	○	○	●
C100	OVERALL SITE PLAN	●	●	●	●
C101	ENLARGED SITE PLAN AND DETAILS	●	●	●	●
C102	GRADING PLAN	●	●	●	○
C103	LANDSCAPE PLAN	●	●	●	○
C200	FENCE DETAILS	●	●	●	●
S000	GENERAL NOTES AND SPECIAL INSPECTIONS	○	○	○	○
S100	FOUNDATION PLAN	○	○	○	○
A101	FLOOR AND CEILING PLAN	●	○	○	○
A201	EXTERIOR ELEVATIONS	●	○	○	○
E101	ELECTRICAL LIGHTING AND POWER	○	○	○	○
E102	ELECTRICAL POWER AND GROUNDING	○	○	○	○
E103	PHOTOMETRIC - SITE PLAN	●	○	○	○
E201	ELECTRICAL ONE-LINE AND SCHEDULES	○	○	○	○
E202	ELECTRICAL DETAILS	○	○	○	○
ZAYO 2436	BUILDING MANUFACTURER SHOP DRAWINGS (UNDER SEPARATE COVER)	○	○	○	○

LEGEND:	
	ELEVATION TAG
	GRID / COLUMN LINE REF.
	DETAIL NO.
	SHEET NO.
	ELEV. NO.
	SHEET NO.
	SECT. NO.
	SHEET NO.
	BREAK ROOM
	ROOM REFERENCE
	DOOR REFERENCE
	ELEV. NO.
	INTERIOR ELEVATION REFERENCE
	WINDOW REFERENCE
	REVISION REFERENCE

GENERAL INFORMATION:	
GENERAL NOTES: 1. GENERAL CONTRACTOR TO VERIFY ALL ITEMS IN BUILDING UPON DELIVERY. NOTIFY OWNER AND ARCHITECT IMMEDIATELY OF MISSING ITEMS AND COMPONENTS. 2. GENERAL CONTRACTOR TO DO A VISUAL INSPECTION OF THE ROOF UPON DELIVERY AND NOTIFY OWNER AND ARCHITECT OF ANY DEFICIENCIES. 3. ALL LOCATIONS OF EQUIPMENT PENETRATIONS ARE BASED ON BUILDING SUPPLIER SHOP DRAWINGS.	
BUILDING NOTES: 1. THIS BUILDING IS PRIMARILY USED AS A TELECOMMUNICATIONS ENCLOSURE. 2. BUILDING CAPACITY: 864 SQUARE FEET.	
DESIGN CODES: 2021 IBC, 2023 NEC, 2021 IECC	
SUMMARY: PARCEL NUMBER: 3407000001 PROJECT NUMBER: PPR2534 ZONE DISTRICT: RR-5 PARCEL SIZE - 38.21 ACRES LEASE ONE - 0.512 ACRES, LEASE TWO - 5.625 SQ FT EXISTING LAND USE GRASSING -35 ACRES PER ANIMAL UNIT PROPOSED LAND USE FIBER OPTIC FACILITY PROPOSED GROSS BUILDING SQUARE FOOTAGE-864SF EXISTING GROSS BUILDING SQUARE FOOTAGE-1,416SF TOTAL GROSS BUILDING SQUARE FOOTAGE -2,280SF	

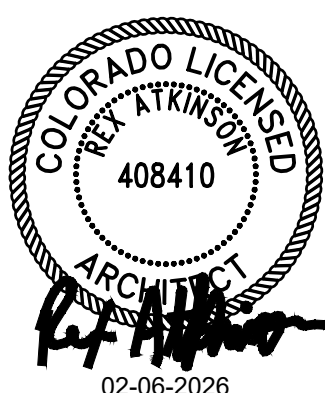
CODE INFORMATION:		CODE REFERENCE
OCCUPANCY	GROUP U (TELECOMMUNICATIONS EQUIPMENT BUILDING) BUILDING IS UNOCCUPIED, ACCESSED ONLY BY TRAINED SERVICE PERSONELL AND MONITORED REMOTELY	I.B.C. 304 & NFPA 101
TYPE OF CONSTRUCTION	V-B	I.B.C. 602.5
BASIC ALLOWABLE HEIGHT	MAX 1 STORY, 40'-0" ACTUAL 1 STORY, 12'-3-3/4"	I.B.C. TABLE 503
BASIC ALLOWABLE AREA	5,500 S.F. ALLOW. 864 SF ACTUAL AREA PER BUILDING	I.B.C. TABLE 503
ALLOWABLE AREA INCREASE	NOT REQUIRED	I.B.C. 506
OCCUPANT LOAD	TELECOMMUNICATIONS EQUIPMENT BUILDINGS - 864 SF @ 1/300 - OCCUPANT LOAD = 3	I.B.C. TABLE 1003.2.2.2 & NFPA 101
EXIT REQUIREMENTS	1 REQUIRED, 2 PROVIDED *OCCUPANT LOAD < 50, TRAVEL DISTANCE > 100'-0"	I.B.C. 1004
FIRE RESISTANCE OF EXTERIOR WALLS FOR TYPE V-B UNPROTECTED (BEARING)	REQMTS 0N 3'-8" 0S 5'-7" 0E 25'-2" 0W 339'-6"	I.B.C. - TABLE 601 I.B.C. - TABLE 602
EXTERIOR WALL OPENINGS TYPE V-B (PROTECTED)	ALLOWED 0N 0 0S 0 0E N/A 0W N/A	I.B.C. - TABLE 705.8
SEISMIC CLASSIFICATION	D	ASCE 7-10
SPECIAL OCCUPANCY REQUIREMENTS	NONE	---
FIRE SUPPRESSION SYSTEM	NONE	---
ADA COMPLIANCE	N/A, BUILDING IS UNOCCUPIED, LOCKED AND ACCESS IS PERMITTED ONLY BY AUTHORIZED SERVICE PERSONNEL.	ADAAG/UFAS

NOTES :	
THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT OWNER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 24-377), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTAL. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.	
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.	



	02-06-26	ISSUED FOR PLANNING REV3
	01-15-26	ISSUED FOR PLANNING REV2
	12-11-25	ISSUED FOR PLANNING REV1
	06-06-25	ISSUED FOR PLANNING

NUMBER	DATE	DESCRIPTION
1	02-06-2026	ISSUES



SHEET TITLE:

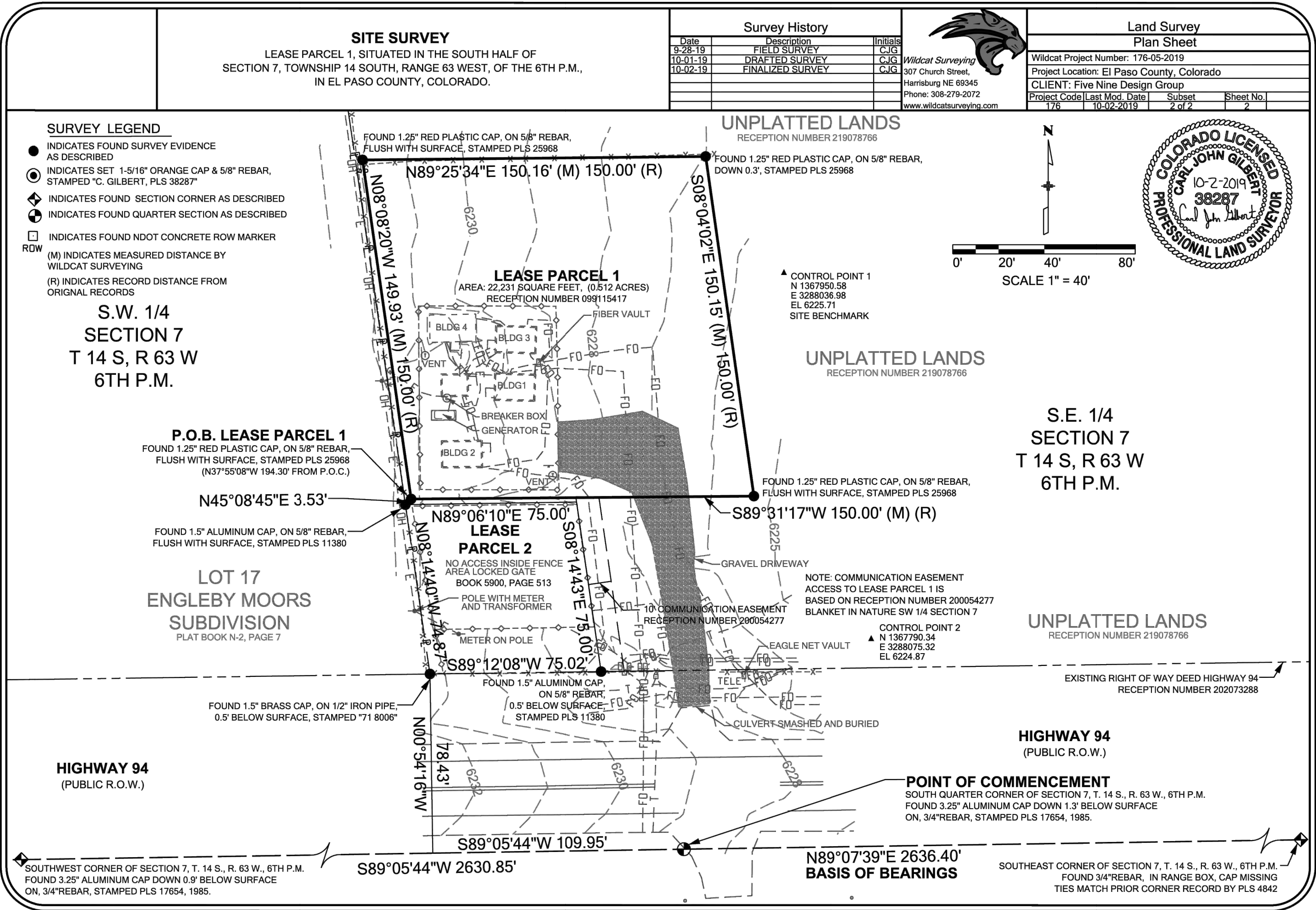
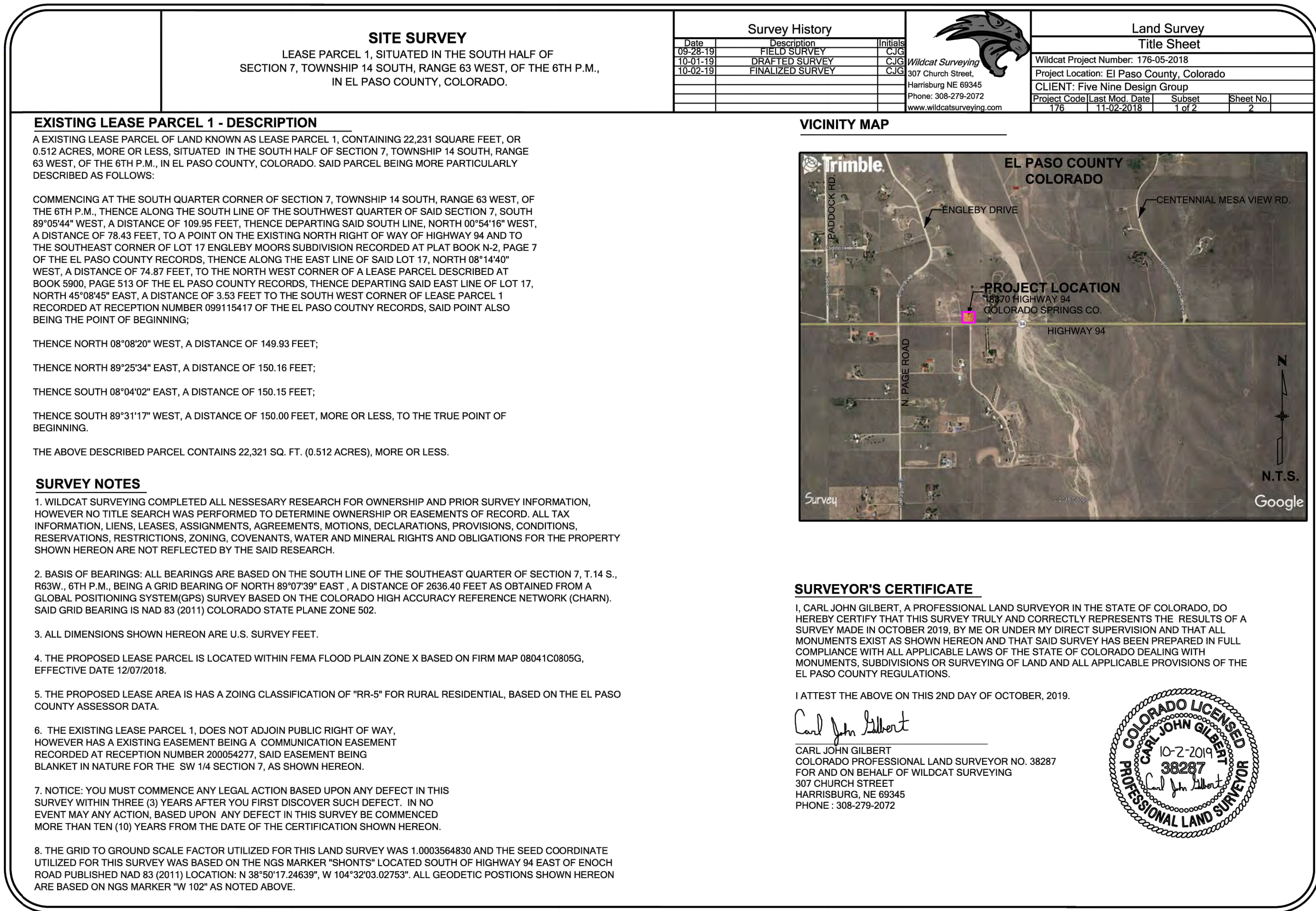
TITLE SHEET

PROJECT NUMBER	25072
CAD FILE:	721001.DWG
DRAWN BY:	ALC
CHECKED BY:	REA

SHEET NUMBER: T001

ENTIRE PARCEL
LEGAL DESCRIPTION:

ALL OF SECTION 7 IN TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M., EXCEPT THOSE PORTIONS AS DESCRIBED IN DEED RECORDED OCTOBER 17, 1969 IN BOOK 2315 AT PAGE 62 AND DEED RECORDED JUNE 7, 1984 IN BOOK 3880 AT PAGE 409 AS CORRECTED BY DEED RECORDED JUNE 17, 1985 IN BOOK 5023 AT PAGE 247 AND DEED RECORDED MAY 19, 2000 AT RECEPTION NO. 200056315, ALSO EXCEPTING ANY PORTION LYING IN HIGHWAY 94, AND EXCEPTING THAT PORTION CONVEYED BY DEED RECORDED MAY 3, 2002 AT RECEPTION NO. 202073288, COUNTY OF EL PASO, STATE OF COLORADO.



15925 HARGRAY DRIVE
NOBLESVILLE, INDIANA 46062
P: 833-348-3934
www.fiveninegdc.com

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Five Nine
DESIGN GROUP

PROJECT: KIOWA, CO

18308 HIGHWAY 94

COLORADO SPRINGS, CO 80930

02-06-26 ISSUED FOR PLANNING REV3

NUMBER DATE DESCRIPTION
ISSUES

CERTIFICATION:

SHEET TITLE:

SURVEY

PROJECT NUMBER 25072
CAD FILE: 72C000.DWG
DRAWN BY: ALG
CHECKED BY: REA

SHEET NUMBER:

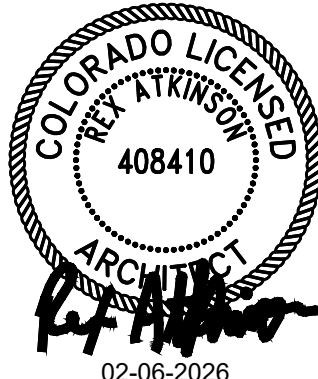
C000

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zayo
GROUP

PROJECT: KIOWA, CO
18308 HIGHWAY 94
COLORADO SPRINGS, CO 80930

	02-06-26	ISSUED FOR PLANNING REV3
	01-15-26	ISSUED FOR PLANNING REV2
	12-12-25	ISSUED FOR PLANNING REV1
	06-06-25	ISSUED FOR PLANNING
	5-28-25	ISSUED FOR REVIEW
NUMBER	DATE	DESCRIPTION
ISSUES		



SHEET TITLE:

OVERALL SITE PLAN

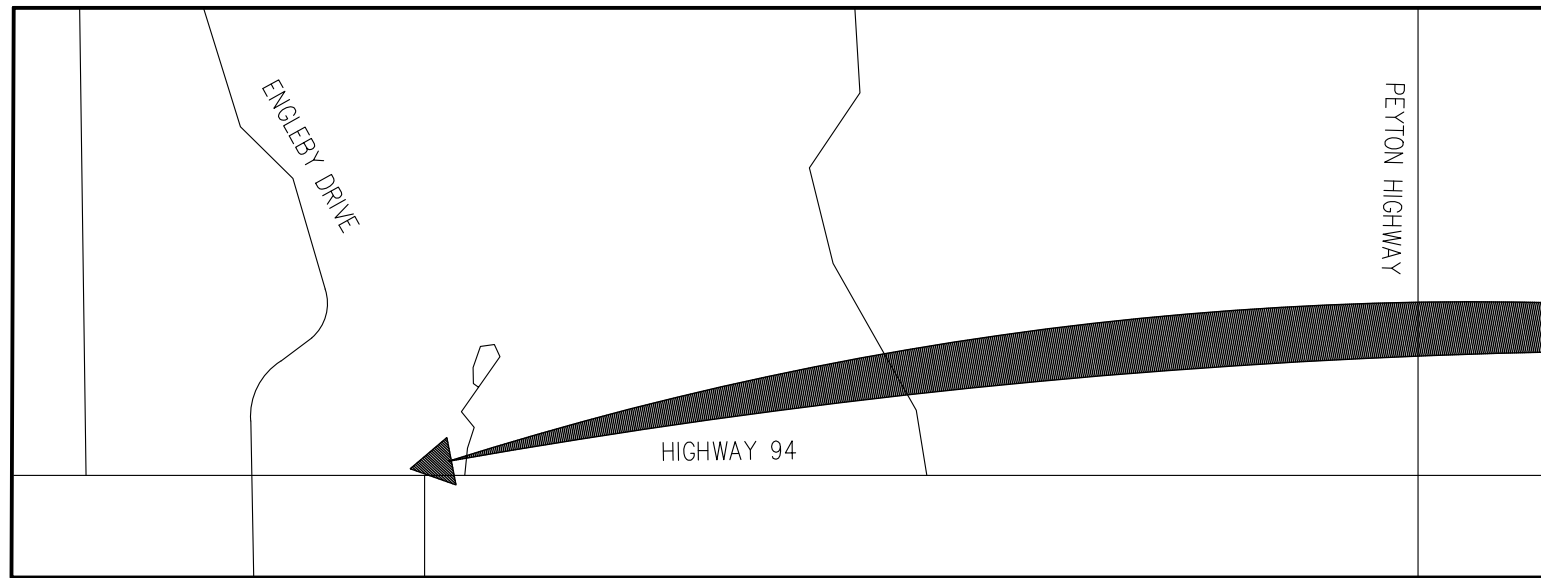
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CAD FILE: 72C100.DWG
DRAWN BY: ALG
CHECKED BY: REA

SHEET NUMBER:

C100

LEGEND

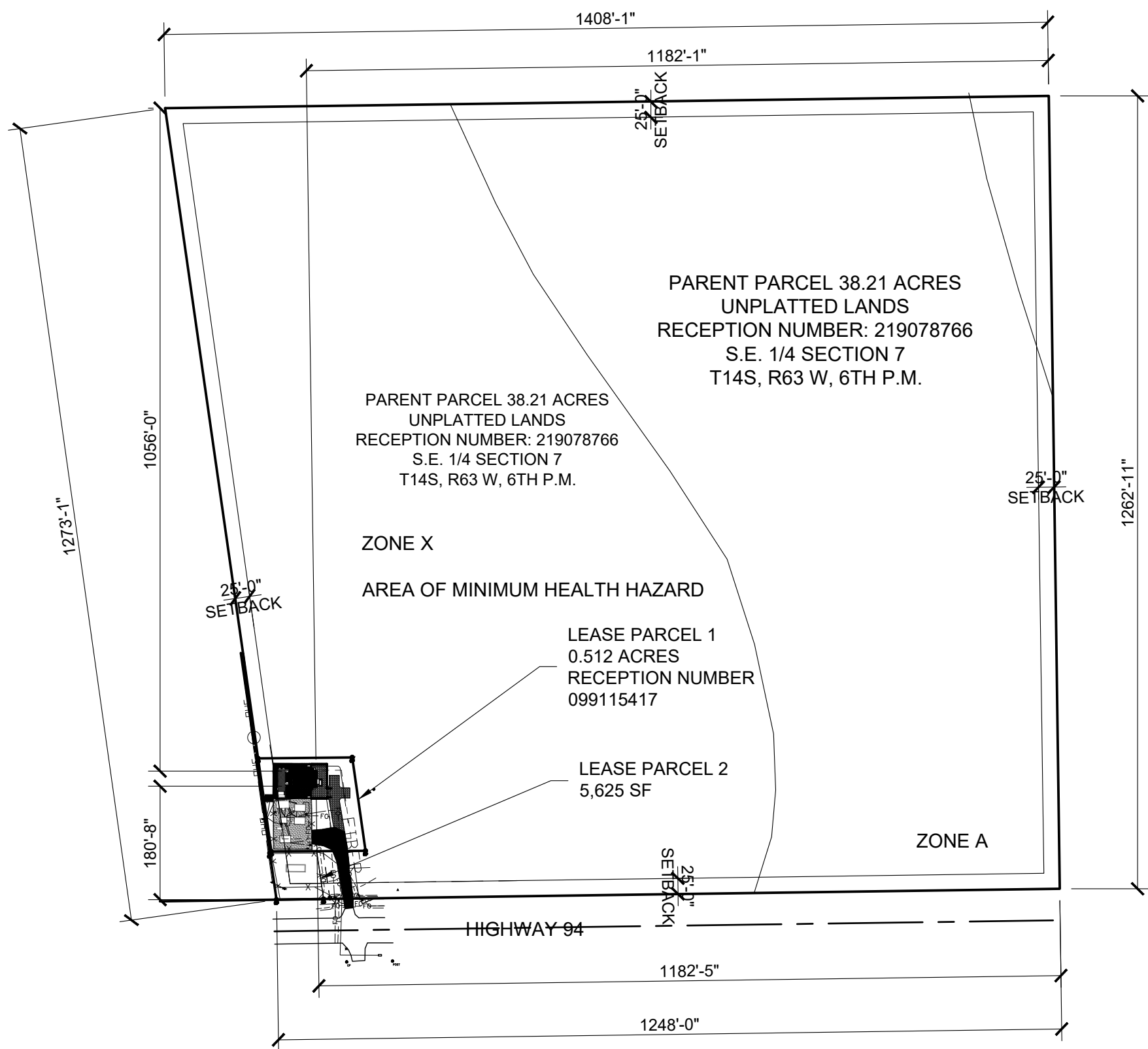
— OHE —	EXISTING OVERHEAD ELECTRIC LINE	⊕	SITE BENCHMARK
— T — T —	EXISTING UNDERGROUND TELEPHONE	▨	EXISTING GRAVEL
— FO — — FO —	EXISTING UNDERGROUND FIBER	▨	NEW GRAVEL DRIVE
— FIBER —	NEW UNDERGROUND FIBER	▨	NEW GRAVEL
— UGE —	NEW UNDERGROUND ELECTRIC	▲	CONTROL POINT
— UGE —	EXISTING UNDERGROUND ELECTRIC	○	PROPERTY POINT
— X — X — X —	EXISTING CHAINLINK FENCE	PP	
— O — O —	EXISTING BARBED WIRE FENCE		
— □ — □ —	EXISTING WOOD FENCE		
— □ — □ —	NEW 100% OPAQUE WOOD FENCE		
●	EXISTING UTILITY POLE		
— — —	SETBACK LINE		



PROJECT LOCATION
38.839288,
-104.489184

PROJECT LOCATION

SCALE: NONE



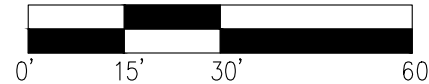
1 PARCEL MAP

C100 SCALE: 3/4" = 1'-0"



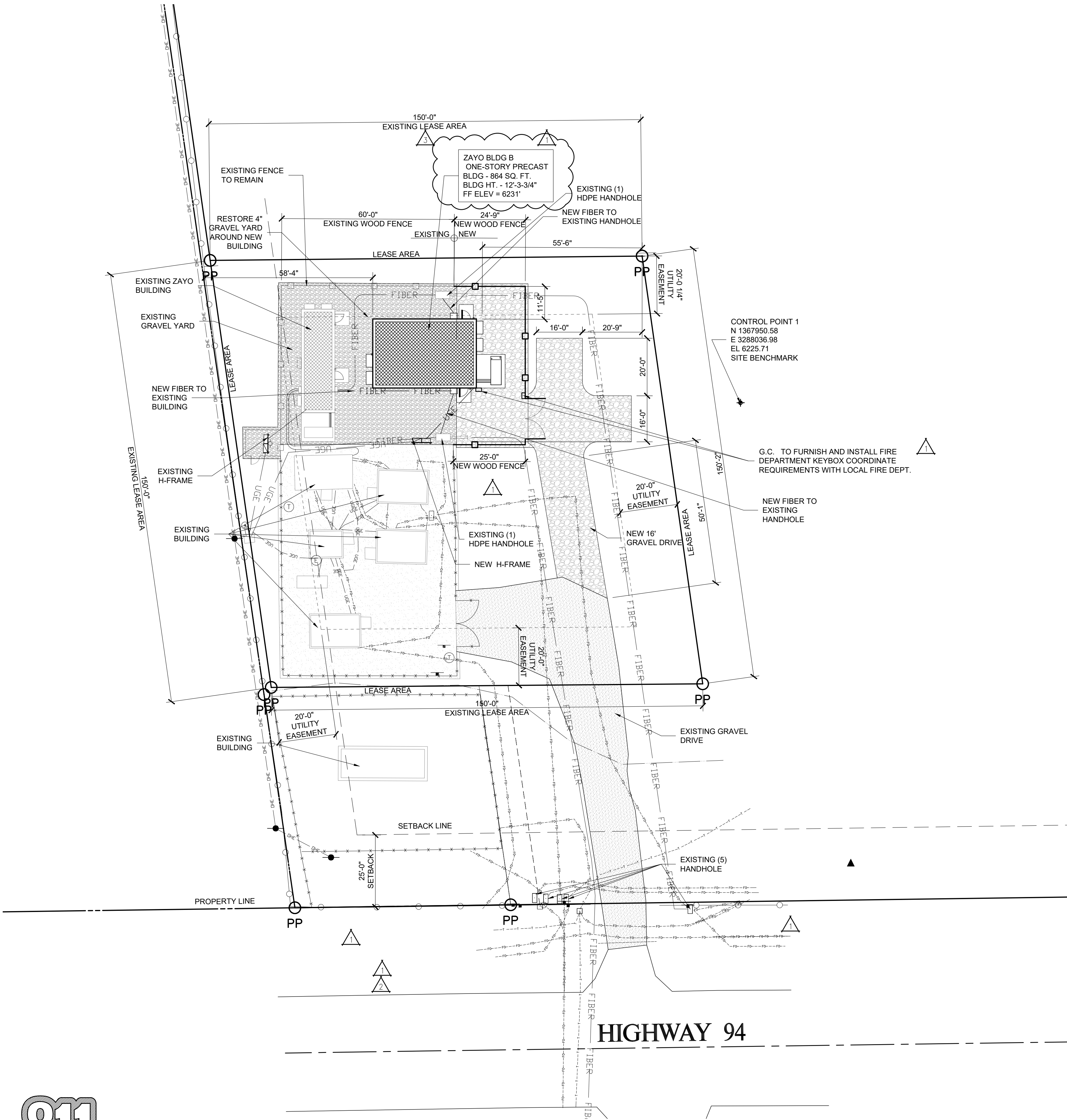
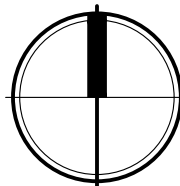
Know what's below.
Call before you dig.

NOTE: ARCHITECTURAL, ELECTRICAL, AND MECHANICAL PLANS ARE ORIENTED DIFFERENTLY THAN SITE PLAN. PLEASE NOTE NORTH ARROW ON EACH PLAN SHEET FOR PROPER ORIENTATION.



OVERALL SITE PLAN

SCALE: 1" = 20'-0"



SITE LAYOUT GENERAL NOTES:

1. DIMENSIONS ARE TO THE EDGE OF CONCRETE, PAVING, OR FACE OF BLDG. UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.

2. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

3. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.

4. ALL DAMAGE TO EXISTING GRASS AREAS AS A RESULT OF NEW CONSTRUCTION SHALL BE RESEDED AT THE CONTRACTOR'S EXPENSE.

5. SITE DEVELOPMENT PLAN IS BASED ON A PRE-CONSTRUCTION BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY WILDCAT SURVEYING 308/279-2072. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND VERIFY THE SURVEY PRIOR TO BIDDING AND BEGINNING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SURVEY INFORMATION PRESENTED, DEPICTED, OR DEFINED ON THE ARCHITECTURAL /SITE DOCUMENTS WITH THE CERTIFIED SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY THE CERTIFIED SURVEY SHOULD ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

6. FINISH FLOOR ELEVATION OF NEW BUILDING EQUALS 6231.00'. 6231.00' = 100'-0" IN CONSTRUCTION DOCUMENTS.

7. COORDINATE SUBGRADE PREPARATION WITH GEOTECHNICAL INFORMATION. GEOTECHNICAL REPORT BY TERRACON JOB #23195112, PHONE NUMBER 719-597-2116.

8. ALL ITEMS BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

9. GENERAL CONTRACTOR TO LOCATE ALL EXISTING INFRASTRUCTURE UTILITIES (PRIVATE AND PUBLIC) PRIOR TO ANY DIGGING. CONTRACTOR IS RESPONSIBLE FOR ALL DISRUPTIONS TO EXISTING SERVICES, UTILITIES ETC. AND TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE SAME.

10. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR & SUBCONTRACTOR TO COORDINATE THIS INSTALLATION OF ALL WORK WITHIN THE RIGHT OF WAY WITH COUNTY, STATE, AND LOCAL APPROVAL AND REVIEW AGENCIES. ALL DETAILS, MATERIALS AND PRODUCTS UTILIZED, SPECIFICATIONS, GRADES/CONTOURS, ETC. DEPICTED BY THE CONSTRUCTION DOCUMENTS SHALL BE REVIEWED WITH THE APPROVAL AGENCIES HAVING JURISDICTION BY THE CONTRACTOR(S) RESPONSIBLE FOR THE WORK PRIOR TO THE INSTALLATION OF ANY PORTION OF THE WORK. IF ANY DISCREPANCIES ARISE FROM THE FINAL CONTRACTOR REVIEW WITH THE APPROVAL AGENCY HAVING JURISDICTION OCCURS,
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY INFORM THE PROJECT MANAGER AND THE OWNER OF ANY OBSTRUCTIONS, ROCK FORMATIONS, OUTCROPPINGS ETC. THAT MAY IMPACT STRUCTURAL STABILITY OF THE BUILDING, FOUNDATIONS AND SITE INFRASTRUCTURE. THE PROJECT MANAGER/OWNER IS RESPONSIBLE TO CONTACT THE ARCHITECT AND STRUCTURAL ENGINEER UPON NOTIFICATIONS FORM THE CONTRACTOR.

13. CONTRACTOR SHALL ENSURE THE REMOVAL OF ALL DEBRIS, FOUNDATION SYSTEMS AND REMAINS FROM THE DEMOLITION PROCESSES FROM ALL SOILS TO ACHIEVE MAXIMUM BEARING PRESSURES OF EXISTING SOILS. CONTRACTOR SHALL EMPLOY LICENSED GEOTECHNICAL PROFESSIONAL ENGINEER TO REVIEW SOILS PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.

14. ALL FILL MATERIAL SHALL BE APPROVED QUALITY AND REVIEWED BY GEOTECHNICAL ENGINEER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MEET AND EXCEED ALL COMPACTION STANDARDS PER THE GEOTECHNICAL AND ENGINEERS REPORT AND REQUIREMENTS. IN THE ABSENCE OF A GEOTECHNICAL REPORT THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK WHAT SO EVER.

15. IN THE EVENT A CULVERT IS REQUIRED FOR THE PROJECT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING CONSIDERATIONS:
UPON THE NEED TO PROVIDE A LARGER DIAMETER CULVERT PIPE BEYOND THAT SPECIFIED IN THE DRAWINGS THE CONTRACTOR SHALL IMMEDIATELY CONTACT BOTH 5/9 DESIGN AND THE ARCHITECT PRIOR TO PURCHASE AND PLACEMENT OF THE CULVERT PIPE. BASED ON THE REQUIRED CULVERT PIPE SIZE, ABOVE THAT WHICH IS SPECIFIED, THE CONTRACTOR SHALL SUBMIT AND PROVIDE TO 5/9 DESIGN AND THE ARCHITECT THE PROPOSED METHOD OF GRADING TO COMPENSATE FOR ADEQUATE COVERAGE OF THE CULVERT PIPE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH THE LOCAL JURISDICTION, BOARD OF WORKS, PLANNING COMMISSIONS, DRAINAGE BOARDS ETC. AND ANY/ALL AGENCIES HAVING JURISDICTION TO DETERMINE AND VERIFY THE REQUIRED SIZE, MATERIAL, METHOD OF PLACEMENT AND THE DESIGN STANDARDS REQUIRED FOR PLACEMENT OF THE STORM WATER CULVERT PIPE. ALL PRIOR TO BIDDING, PURCHASE OF THE MATERIAL AND PLACEMENT OF THE WORK.

16. ANY GRADING TO OCCUR OUTSIDE OF THE LEASE AREA NEEDS TO HAVE THE APPROVAL OF THE LAND OWNER AND LOCAL JURISDICTION.

17. LEASE AREA OF THE SITE HAS BEEN NEGOTIATED BY ZAYO. ALL QUESTIONS AND VERIFICATION TO BE COORDINATED WITH DAVE SNYDER OF ZAYO 720-495-4600.

18. CONTRACTOR SHALL RECEIVE WRITTEN APPROVAL FROM ADJACENT LANDOWNERS TO ERECT SILT FENCE AND OR PROVISION OF ANY IMPROVEMENTS PROTECTIONS OR CONSTRUCTIONS ON ADJACENT PROPERTIES BEYOND THE LEASE LIMITS OF THE SITE.

LEGEND

- DHE

EXISTING OVERHEAD ELECTRIC LINE

TTT

EXISTING UNDERGROUND TELEPHONE

FOFO

EXISTING UNDERGROUND FIBER

FIBER

NEW UNDERGROUND FIBER

UGE

NEW UNDERGROUND ELECTRIC

UGE

EXISTING UNDERGROUND ELECTRIC

XXXXX

EXISTING CHAINLINK FENCE

OO

EXISTING BARBED WIRE FENCE

FF

EXISTING WOOD FENCE

FF

NEW 100% OPAQUE WOOD FENCE

●

EXISTING UTILITY POLE

PP

SITE BENCHMARK

EXISTING GRAVEL

EXISTING GRAVEL

NEW GRAVEL DRIVE

NEW GRAVEL

▲

CONTROL POINT

PP

PROPERTY POINT

PP

SETBACK LINE
- 12" CRUSHED STONE MEETING ODOT CONSTRUCTION MATERIALS SPECIFICATIONS COMPACTED TO 98%

12" SUBGRADE TO BE PROOF-ROLLED AND SHOWN TO BE IN COMPLIANCE WITH THE REQUIRED RANGE OF MOISTURE OR DENSITY
- GRAVEL DRIVE DETAIL
- SCALE: 3/4" = 1'-0"
- 4" WELL GRADED CRUSHED STONE

WEED BARRIER: 5oz NEEDLE PUNCHED WOVEN POLYPROPYLENE, BLACK IN COLOR, WITH SEAMS LAPPED 3" MINIMUM AND SEAMS PER MANUFACTURER RECOMMENDATIONS

EXISTING SOIL AT GRADE

95% COMPACTED SUB-GRADE
- GRAVEL YARD DETAIL
- SCALE: 3/4" = 1'-0"
-
- Know what's below.
Call before you dig.
-
- NOTE: ARCHITECTURAL, ELECTRICAL, AND MECHANICAL PLANS ARE ORIENTED DIFFERENTLY THAN SITE PLAN. PLEASE NOTE NORTH ARROW ON EACH PLAN SHEET FOR PROPER ORIENTATION.
-
- ENLARGED SITE PLAN
- SCALE: 1" = 10'-0"
-
-
- 15925 HARGRAY DRIVE
NOBLESVILLE, INDIANA 46062
P: 833-348-3934
www.fivenine9dg.com
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-
- PROJECT: KIOWA, CO
18308 HIGHWAY 94
COLORADO SPRINGS, CO 80930
- 02-06-26

ISSUED FOR PLANNING REV3

01-15-26

ISSUED FOR PLANNING REV2

12-12-25

ISSUED FOR PLANNING REV1

06-06-25

ISSUED FOR PLANNING
- | NUMBER | DATE | DESCRIPTION |
|--------|------|-------------|
| | | ISSUES |
- CERTIFICATION:
-
- SHEET TITLE:
ENLARGED SITE PLAN
AND DETAILS
- PROJECT NUMBER 25072
CAD FILE: 72C101.DWG
DRAWN BY: ALG
CHECKED BY: REA
- SHEET NUMBER:
- C101

SITE LAYOUT GENERAL NOTES:

1. DIMENSIONS ARE TO THE EDGE OF CONCRETE, PAVING, OR FACE OF BLDG. UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.

2. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

3. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.

4. ALL DAMAGE TO EXISTING GRASS AREAS AS A RESULT OF NEW CONSTRUCTION SHALL BE RESEEDED AT THE CONTRACTOR'S EXPENSE.

5. SITE DEVELOPMENT PLAN IS BASED ON A PRE-CONSTRUCTION BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY WILDCAT SURVEYING 308/279-2072. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND VERIFY THE SURVEY PRIOR TO BIDDING AND BEGINNING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SURVEY INFORMATION PRESENTED, DEPICTED, OR DEFINED ON THE ARCHITECTURAL/SITE DOCUMENTS WITH THE CERTIFIED SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY THE CERTIFIED SURVEY SHOULD ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

6. FINISH FLOOR ELEVATION OF NEW BUILDING EQUALS 6231.00' 6231.00' = 100'-0" IN CONSTRUCTION DOCUMENTS.

7. COORDINATE SUBGRADE PREPARATION WITH GEOTECHNICAL INFORMATION. GEOTECHNICAL REPORT BY TERRACON JOB #23195112, PHONE NUMBER 719-597-2116.

8. ALL ITEMS BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

9. GENERAL CONTRACTOR TO LOCATE ALL EXISTING INFRASTRUCTURE UTILITIES (PRIVATE AND PUBLIC) PRIOR TO ANY DIGGING. CONTRACTOR IS RESPONSIBLE FOR ALL DISRUPTIONS TO EXISTING SERVICES, UTILITIES ETC. AND TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE SAME.

10. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR & SUBCONTRACTOR TO COORDINATE THIS INSTALLATION OF ALL WORK WITHIN THE RIGHT OF WAY WITH COUNTY, STATE, AND LOCAL APPROVAL AND REVIEW AGENCIES. ALL DETAILS, MATERIALS AND PRODUCTS UTILIZED, SPECIFICATIONS, GRADES/CONTOURS, ETC. DEPICTED BY THE CONSTRUCTION DOCUMENTS SHALL BE REVIEWED WITH THE APPROVAL AGENCIES HAVING JURISDICTION BY THE CONTRACTOR(S) RESPONSIBLE FOR THE WORK PRIOR TO THE INSTALLATION OF ANY PORTION OF THE WORK. IF ANY DISCREPANCIES ARISE FROM THE FINAL CONTRACTOR REVIEW WITH THE APPROVAL AGENCY HAVING JURISDICTION OCCURS,
- THE CONTRACTOR SHALL INFORM THE ARCHITECT AND ITS REPRESENTATIVE AS DEFINED ON THE TITLE BORDER.

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY INFORM THE PROJECT MANAGER AND THE OWNER OF ANY OBSTRUCTIONS, ROCK FORMATIONS, OUTCROPPINGS ETC. THAT MAY IMPACT STRUCTURAL STABILITY OF THE BUILDING, FOUNDATIONS AND SITE INFRASTRUCTURE. THE PROJECT MANAGER/OWNER IS RESPONSIBLE TO CONTACT THE ARCHITECT AND STRUCTURAL ENGINEER UPON NOTIFICATIONS FORM THE CONTRACTOR.

13. CONTRACTOR SHALL ENSURE THE REMOVAL OF ALL DEBRIS, FOUNDATION SYSTEMS AND REMAINS FROM THE DEMOLITION PROCESSES FROM ALL SOILS TO ACHIEVE MAXIMUM BEARING PRESSURES OF EXISTING SOILS CONTRACTOR SHALL EMPLOY LICENSED GEOTECHNICAL PROFESSIONAL ENGINEER TO REVIEW SOILS PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.

14. ALL FILL MATERIAL SHALL BE APPROVED QUALITY AND REVIEWED BY GEOTECHNICAL ENGINEER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MEET AND EXCEED ALL COMPACTION STANDARDS PER THE GEOTECHNICAL AND ENGINEERS REPORT AND REQUIREMENTS. IN THE ABSENCE OF A GEOTECHNICAL REPORT THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK WHAT SO EVER.

15. IN THE EVENT A CULVERT IS REQUIRED FOR THE PROJECT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING CONSIDERATIONS:
UPON THE NEED TO PROVIDE A LARGER DIAMETER CULVERT PIPE BEYOND THAT SPECIFIED IN THE DRAWINGS THE CONTRACTOR SHALL IMMEDIATELY CONTACT BOTH 5/9 DESIGN AND THE ARCHITECT PRIOR TO PURCHASE AND PLACEMENT OF THE CULVERT PIPE. BASED ON THE REQUIRED CULVERT PIPE SIZE, ABOVE THAT WHICH IS SPECIFIED, THE CONTRACTOR SHALL SUBMIT AND PROVIDE TO 5/9 DESIGN AND THE ARCHITECT THE PROPOSED METHOD OF GRADING TO COMPENSATE FOR ADEQUATE COVERAGE OF THE CULVERT PIPE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH THE LOCAL JURISDICTION, BOARD OF WORKS, PLANNING COMMISSIONS, DRAINAGE BOARDS ETC. AND ANYIALL AGENCIES HAVING JURISDICTION TO DETERMINE AND VERIFY THE REQUIRED SIZE, MATERIAL, METHOD OF PLACEMENT AND THE DESIGN STANDARDS REQUIRED FOR PLACEMENT OF THE STORM WATER CULVERT PIPE, ALL PRIOR TO BIDDING, PURCHASE OF THE MATERIAL AND PLACEMENT OF THE WORK.

16. ANY GRADING TO OCCUR OUTSIDE OF THE LEASE AREA NEEDS TO HAVE THE APPROVAL OF THE LAND OWNER AND LOCAL JURISDICTION.

17. LEASE AREA OF THE SITE HAS BEEN NEGOTIATED BY ZAYO. ALL QUESTIONS AND VERIFICATION TO BE COORDINATED WITH DAVE SNYDER OF ZAYO 720-495-4600.

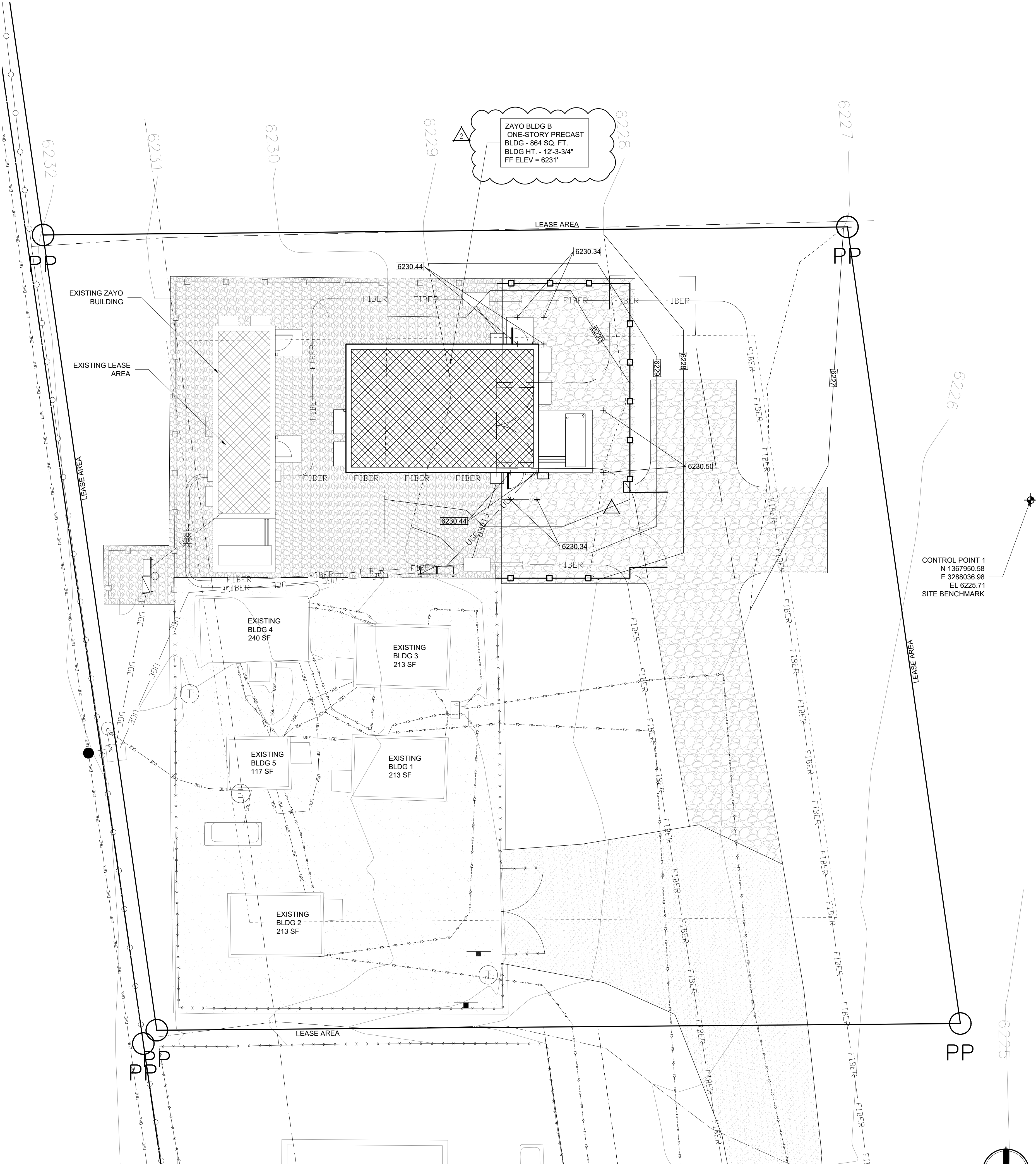
18. CONTRACTOR SHALL RECEIVE WRITTEN APPROVAL FROM ADJACENT LANDOWNERS TO ERECT SILT FENCE AND OR PROVISION OF ANY IMPROVEMENTS PROTECTIONS OR CONSTRUCTIONS ON ADJACENT PROPERTIES BEYOND THE LEASE LIMITS OF THE SITE.

LEGEND

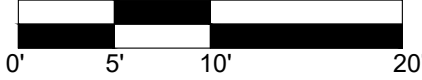
	EXISTING OVERHEAD ELECTRIC LINE		SITE BENCHMARK
	EXISTING UNDERGROUND TELEPHONE		EXISTING GRAVEL
	EXISTING UNDERGROUND FIBER		NEW GRAVEL DRIVE
	NEW UNDERGROUND FIBER		NEW GRAVEL
	NEW UNDERGROUND ELECTRIC		
	EXISTING UNDERGROUND ELECTRIC		
	EXISTING CHAINLINK FENCE		CONTROL POINT
	EXISTING BARBED WIRE FENCE		PROPERTY POINT
	EXISTING WOOD FENCE		
	NEW 100% OPAQUE WOOD FENCE		
	EXISTING UTILITY POLE		EXISTING GRADE
	TOPO LINE TO BE REGRADED		NEW TOPO LINE
			SETBACK LINE



Know what's below.
Call before you dig.

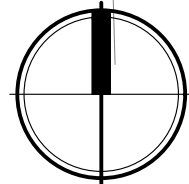


NOTE: ARCHITECTURAL, ELECTRICAL, AND MECHANICAL PLANS ARE ORIENTED DIFFERENTLY THAN SITE PLAN. PLEASE NOTE NORTH ARROW ON EACH PLAN SHEET FOR PROPER ORIENTATION.



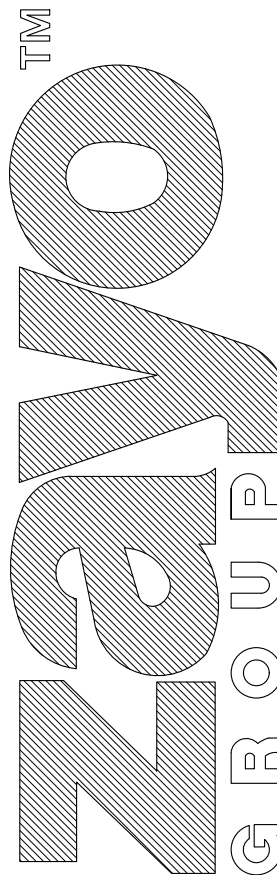
SITE GRADING PLAN

SCALE: 1" = 10'-0"



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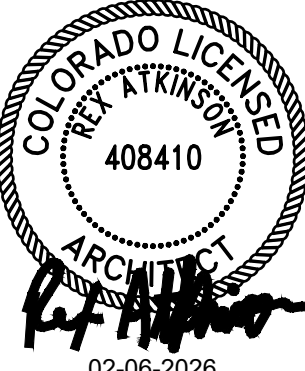
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PROJECT: KIOWA, CO
18308 HIGHWAY 94
COLORADO SPRINGS, CO 80930

	02-06-26	ISSUED FOR PLANNING REV3
	01-15-26	ISSUED FOR PLANNING REV2
	12-12-25	ISSUED FOR PLANNING REV1
	06-06-25	ISSUED FOR PLANNING
NUMBER	DATE	DESCRIPTION
		ISSUES

CERTIFICATION:

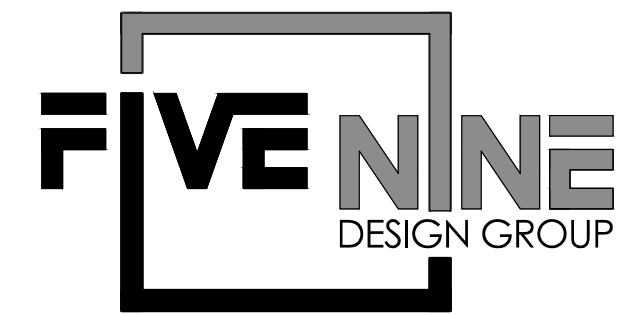


SHEET TITLE:
SITE GRADING PLAN

PROJECT NUMBER 25072
CAD FILE: 72C102.DWG
DRAWN BY: ALG
CHECKED BY: REA

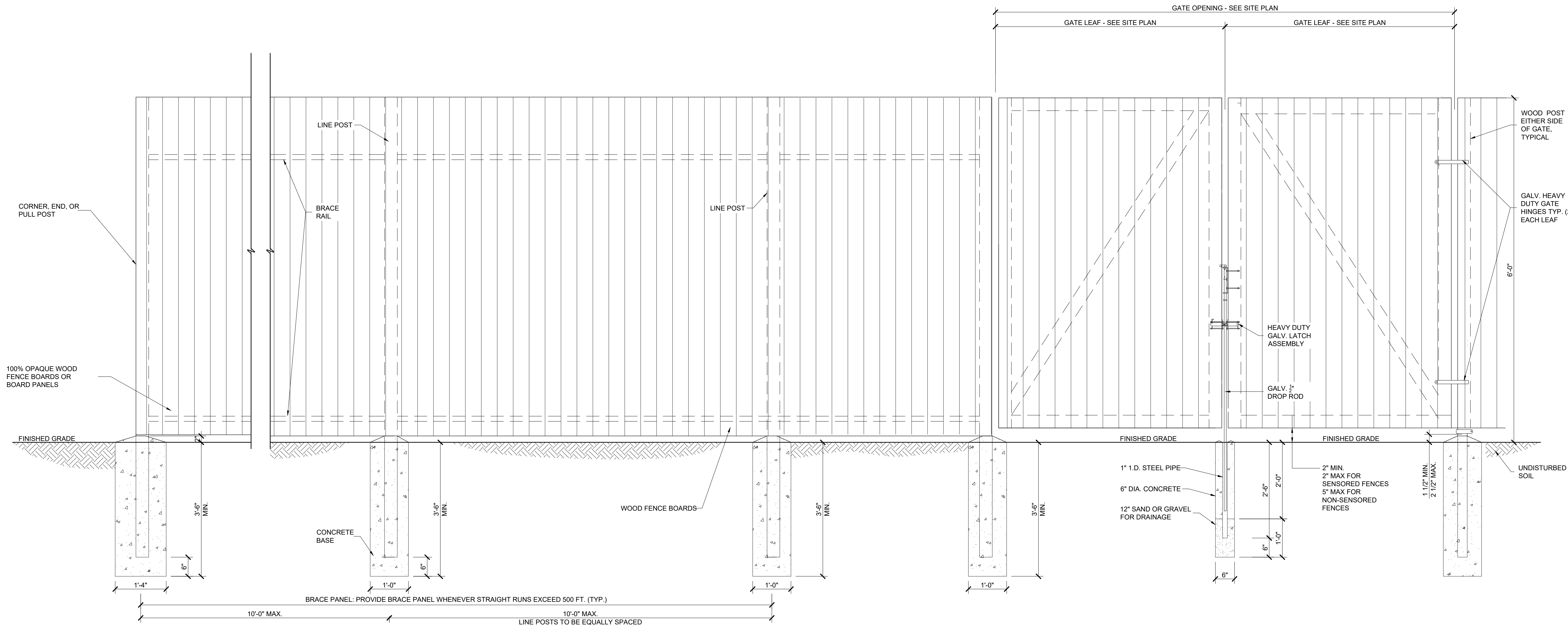
SHEET NUMBER:

C102



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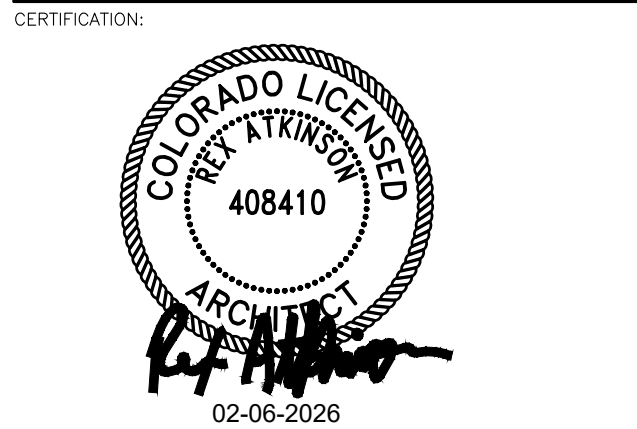
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1 WOOD FENCE DETAIL
SCALE: 3/4" = 1'-0"

PROJECT: KIOWA, CO
18308 HIGHWAY 94
COLORADO SPRINGS, CO 80930

02-06-26	ISSUED FOR PLANNING REV3
01-15-26	ISSUED FOR PLANNING REV2
12-12-25	ISSUED FOR PLANNING REV1
06-06-25	ISSUED FOR PLANNING



FENCE DETAILS

PROJECT NUMBER	25072
CAD FILE:	72C200.DWG
DRAWN BY:	ALC
CHECKED BY:	REA

SHEET NUMBER: **C200**

CODE REQUIREMENTS

LANDSCAPE SETBACKS (LS)

STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ/PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ/PROVIDED
HIGHWAY 94	EXPRESSWAY PRINCIPAL ARTERIAL	WIDTH (FT.) 25/18	150'	7.5	8/0

ALTERNATIVE LANDSCAPE PLAN:
THE INTENT OF THE LANDSCAPE REQUIREMENTS ARE TO BLOCK THE VIEW OF THE BUILDING FROM THE ROAD. THE LANDSCAPE BUFFER DOES AN ADEQUATE JOB OF MEETING INTENTION OF THE REQUIREMENT.

INTERNAL LANDSCAPING (IL)

INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREA NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS. INTERNAL LANDSCAPE AREA IS CALCULATED USING THE ENTIRE LOT MAXIMUM OF 50% OF REQUIRED TREES MAY BE SUBSTITUTED WITH 1 SHRUB.

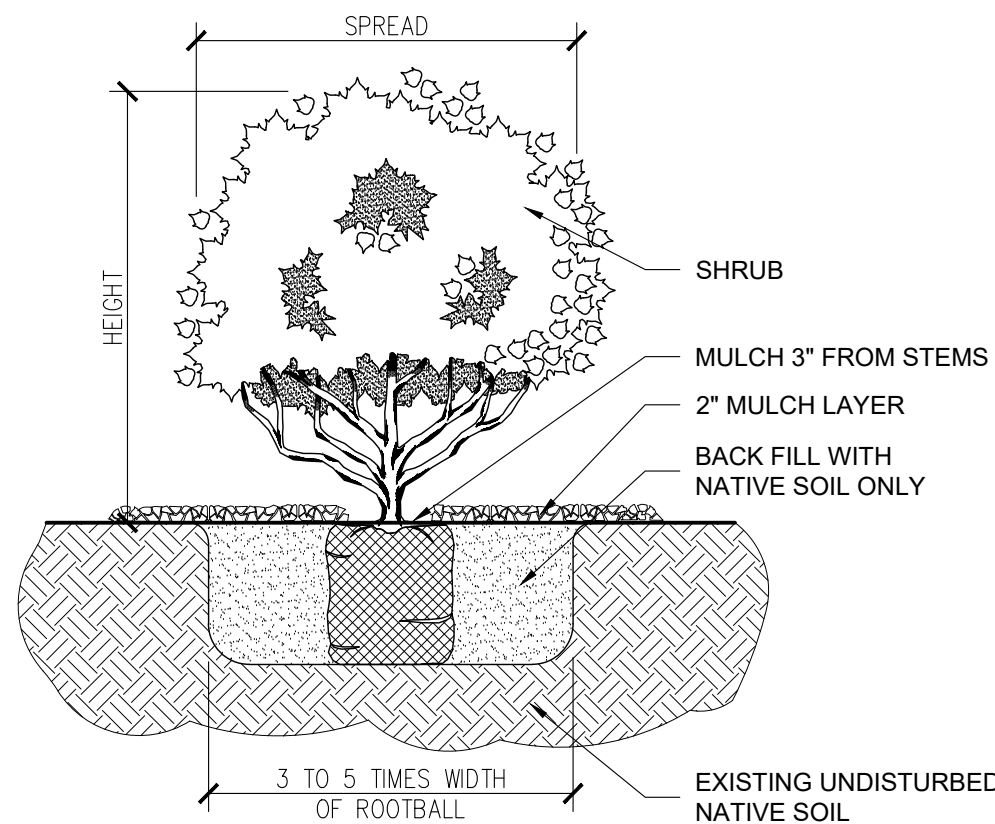
SITE AREA (SF)	PERCENT MINIMUM INTERNAL AREA 5%	INTERNAL AREA (SF) REAW/PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)
22,500 SF	NON-RESIDENTIAL	1,125/749	2/0

ALTERNATIVE LANDSCAPE PLAN:
WE CANNOT HAVE INTERNAL LANDSCAPING INSIDE THE TELECOM COMPOUND. THE LANDSCAPE BUFFER DOES AN ADEQUATE JOB OF MEETING INTENTION OF THE REQUIREMENT.

LANDSCAPE BUFFERS AND SCREENS (LB)

STREET NAME OR ZONE BOUNDARY (ELEV.)	LINEAR FOOTAGE	SETBACK BUFFER (15') REQ./PROV.	BUFFER TREES (1/25') REQ./PROV.	EVERGREEN 50% MIN. REQ./PROV.
HIGHWAY 94	150'N	7'/15'	6/9	3/9
HIGHWAY 94	150'E	18'/15'	6/10	3/10
HIGHWAY 94	150'S	15'/15'	6/6	3/6
HIGHWAY 94	150'W	0'/15'	6/0	3/0

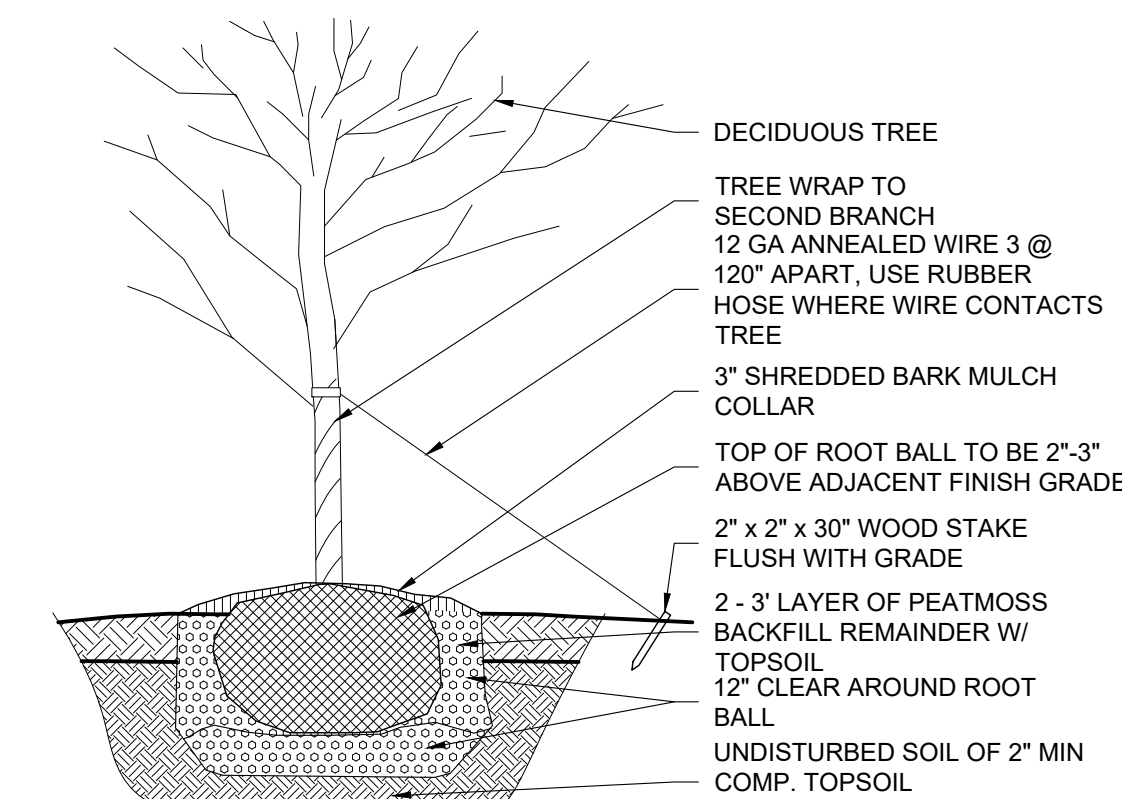
ALTERNATIVE LANDSCAPE PLAN:
A BUFFER IS REQUIRED BETWEEN OUR PROPERTY AND THE RESIDENTIAL PROPERTY. WE ARE ABLE TO PROVIDE AS MUCH AS POSSIBLE IN ALL AVAILABLE AREAS. THERE IS NO ROOM TO THE SOUTH TO PROVIDE TREES BUT THE N AND E SIDES HAVE EXTRA TREES TO MAKE UP FOR THIS.



NOTES:
ALL PLANTS SHALL COMPLY WITH A.N. STANDARD
REMOVE TOP THIRD OF BURLAP ON ROOT BALL SHRUB BEDS
SHALL HAVE 1/2" PEATMOSS P.S.F. TILLED INTO BED

2 SHRUB PLANTING DETAIL

SCALE: 3/4" = 1'-0"



NOTES:
TREES OVER 30" SHALL BE GUYED. REMOVE TOP THIRD OF BURLAP ON ROOT BALL. PROVIDE PLASTIC OR METAL FLAG ON GUY WIRES NEAR SIDEWALKS

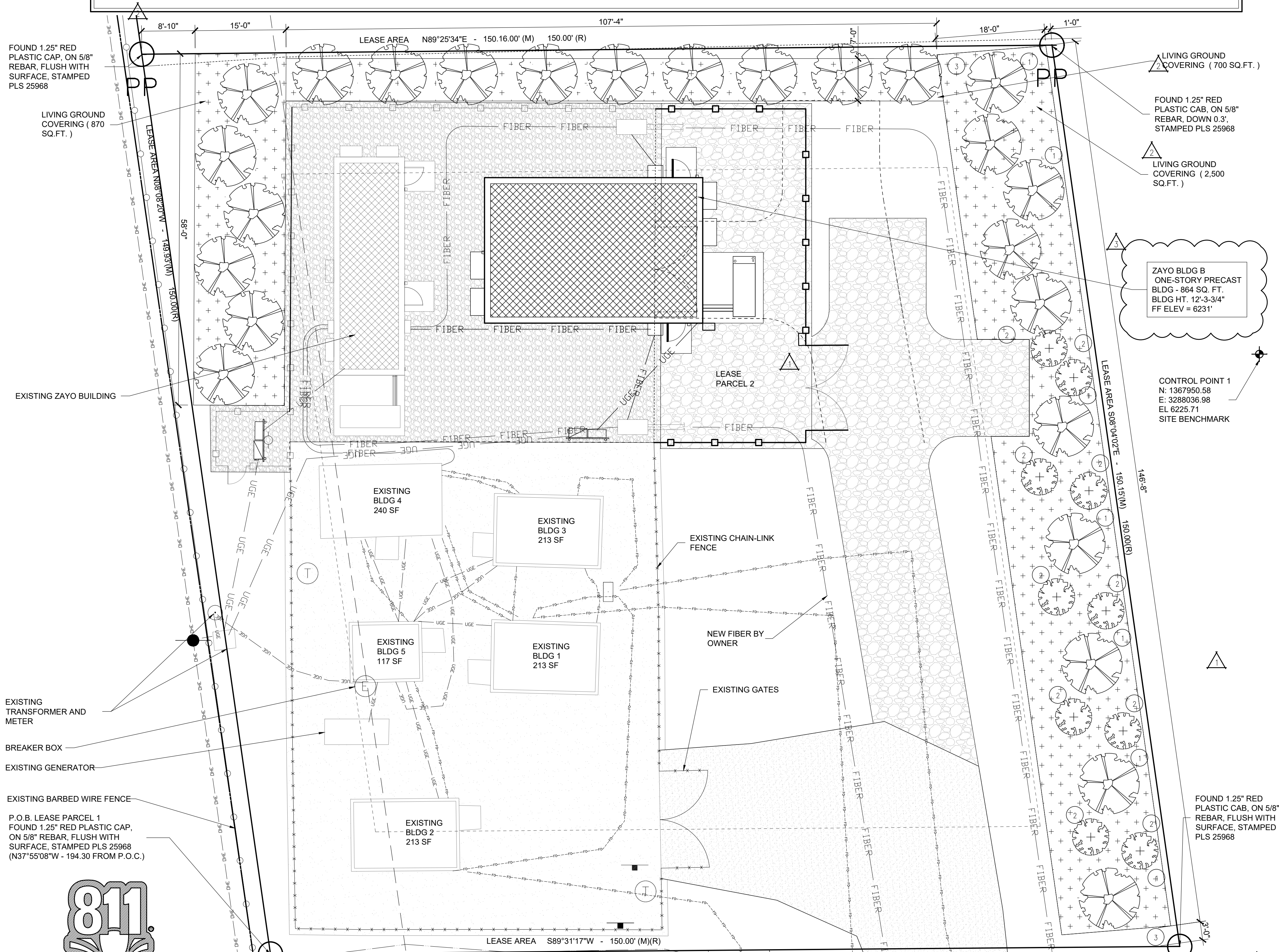
1 TREE PLANTING DETAIL

SCALE: 3/4" = 1'-0"

P L A N T S C H E D U L E									
SYMBOL	MARK	BOTANICAL NAME	COMMON NAME	EXPOSURE	WATER NEEDS	MATURE WIDTH	SIZE	QUANTITY	REMARKS
	1	PINUS LEUCODERMIS	BOSNIAN PINE	SW/W	LOW	10'-0"	24-INCH BOX	10	SEE DTL
	2	CERCOCARPUS	MOUNTAIN MAHOGANY	SW/W	LOW	6'-0"	5 GALLON	25	SEE DTL
	3	THYMUS SERPYLLUM	CREEPING THYME	--	LOW	--	--	4,200 SQ.FT.	SEE DTL

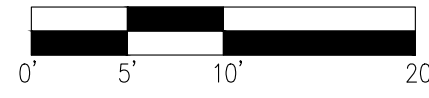
PLANTING GENERAL NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES AND LINE RUNS.
- TOPSOIL REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED ON-SITE AND REUSED IN ON-SITE LANDSCAPE AREAS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN SIX (6) FEET OF ANY EXISTING TREE TRUNK.
- EXCEPT WHILE ENGAGED IN TREE REMOVAL, NO MECHANICAL EQUIPMENT WEIGHING IN EXCESS OF TWO (2) TONS, INCLUDING BUT NOT LIMITED TO BULLDOZERS, EARTH MOVERS, OR OTHER HEAVY CONSTRUCTION EQUIPMENT, SHALL BE OPERATED WITHIN SIX (6) FEET OF ANY PROTECTED TREE. NO SUCH EQUIPMENT SHALL BE OPERATED AT ANY TIME IN SUCH A MANNER AS TO BREAK, TEAR, BRUISE, OR OTHERWISE INJURE ANY LIVING OR DORMANT TREE.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSE TRUNK FROM BALL. TREE TRUNKS ARE TO BE INSTALLED PLUMB.
- ALL TREE WELLS SHALL RECEIVE A 3" TOP DRESS LAYER OF SHREDDED HARDWOOD MULCH.
- ALL CONTAINER-GROWN MATERIAL MUST BE OF NURSERY STOCK CONDITIONS WITH A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER SO AS TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT NOT SHALL HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
- ALL PLANT VARIETIES MUST COME FROM A SAME SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
- CONTRACTOR'S OPTION TO USE READILY AVAILABLE SIMILAR MATERIAL AT LAWN AREAS.
- PROVIDE NECESSARY HUMUS AND STARTER FERTILIZERS TO ALL AREAS AS REQUIRED FOR NEW SEEDING.
- OWNER TO MAINTAIN LANDSCAPE IN GOOD CONDITION, REPLACE DEAD TREES WITH LIKE PLANTS, AND WATER LANDSCAPE AS NECESSARY TO PRESERVE PLANTINGS.



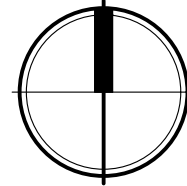
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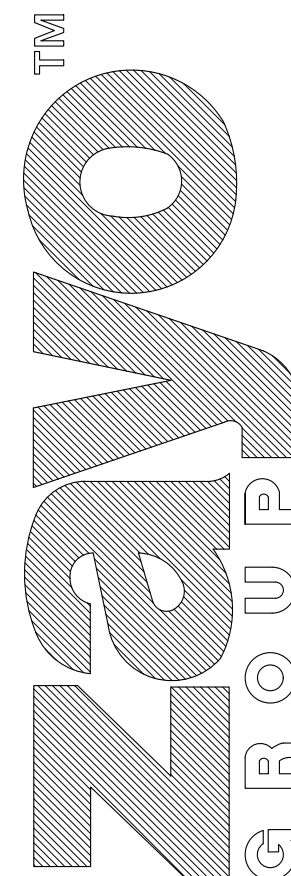
LANDSCAPE PLAN

SCALE: 1" = 10'-0"



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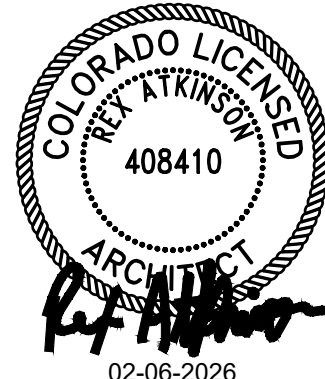
PROJECT: KIOWA, CO
18308 HIGHWAY 94
COLORADO SPRINGS, CO 80930

02-06-26	ISSUED FOR PLANNING REV3
01-15-26	ISSUED FOR PLANNING REV2
12-12-25	ISSUED FOR PLANNING REV1
06-06-25	ISSUED FOR PLANNING

NUMBER DATE DESCRIPTION

ISSUES

CERTIFICATION:



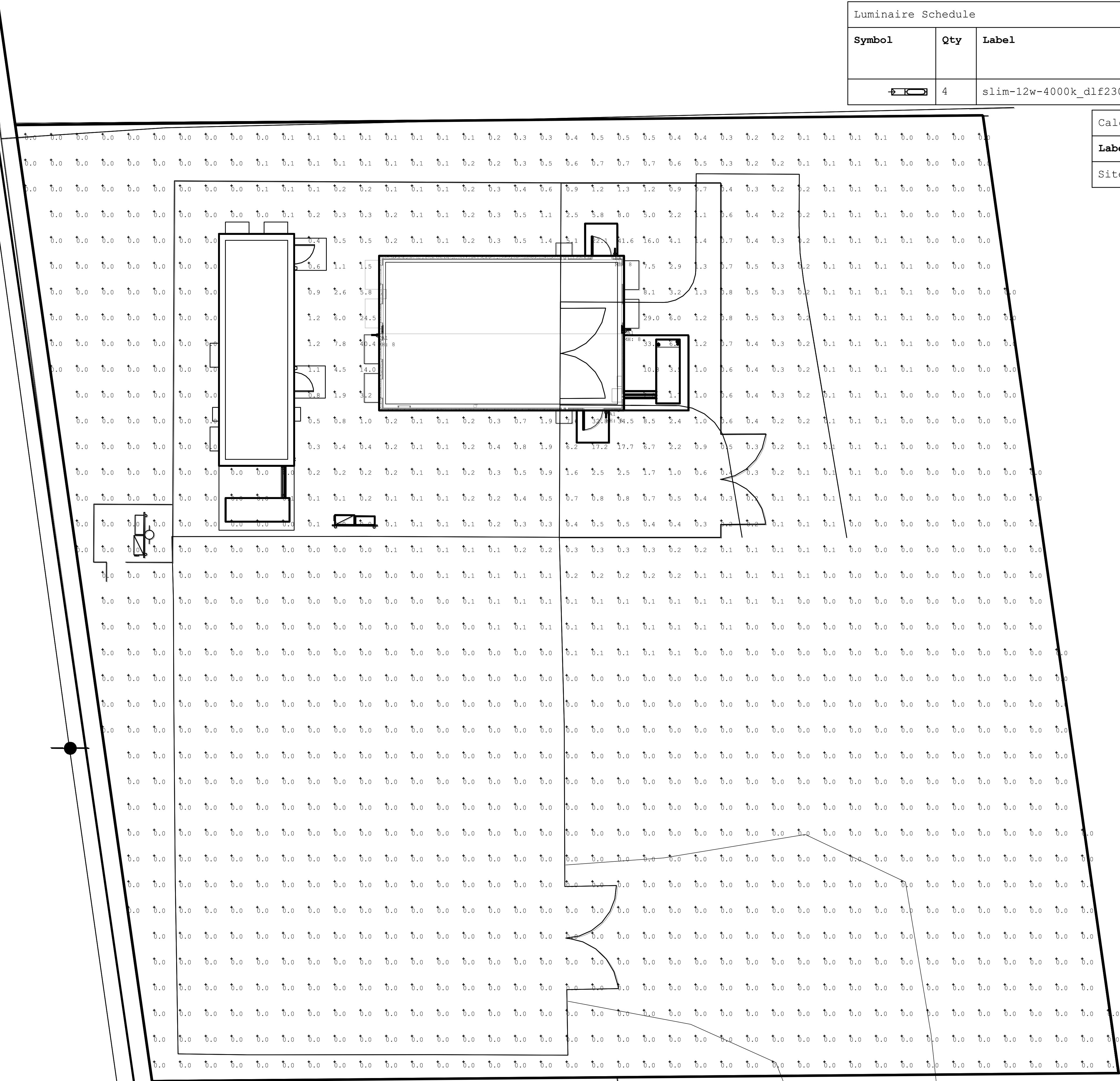
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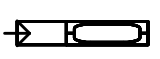
LANDSCAPE PLAN

PROJECT NUMBER 25072
CAD FILE: 72C103.DWG
DRAWN BY: ALG
CHECKED BY: REA

SHEET NUMBER:

C103



Luminaire Schedule						
Symbol	Qty	Label	Description	Tag	LLF	Luminaire Lumens
	4	slim-12w-4000k_dlf2308108-2a	SLIM_12W_4000K	EA1	1.000	2260

Calculation Summary				
Label	Avg	Max	Min	Max/Min
Site_Workplane	0.45	41.6	0.0	N.A.

PHOTOMETRIC - SITE PLAN
SCALE: 1/8" = 1'-0"



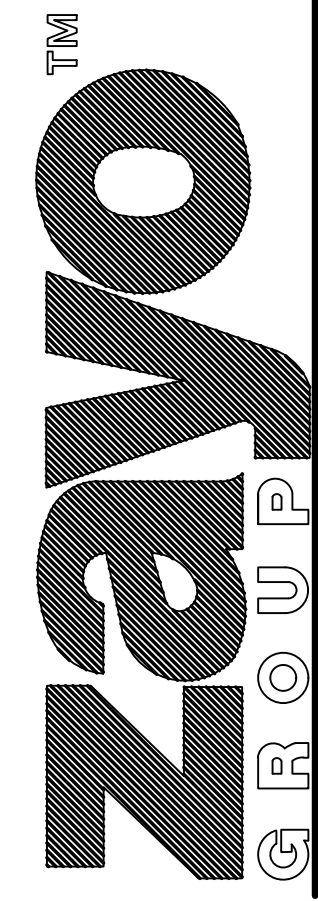
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P: 833-348-3934
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CONSULTANT:



www.milliesengineeringgroup.com
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Munster, Indiana 46321
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PROJECT: KIOWA, CO
18306 HIGHWAY 94
COLORADO SPRINGS, CO 80930

NUMBER	DATE	DESCRIPTION

CERTIFICATION:



06/10/2025

SHEET TITLE:
PHOTOMETRIC - SITE PLAN

PROJECT NUMBER	25063
CAD FILE:	E103.DWG
DRAWN BY:	CJ
CHECKED BY:	SM

SHEET NUMBER:

E103