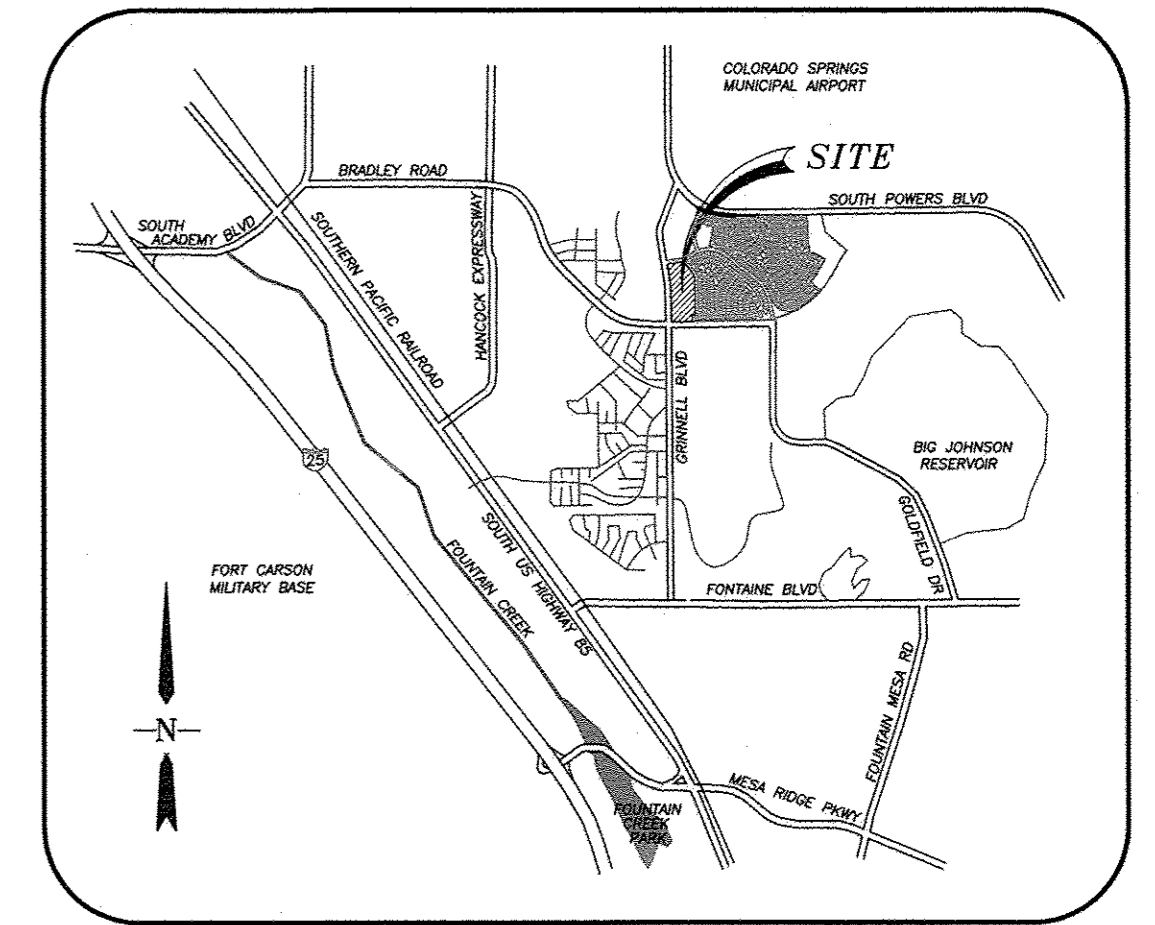


SPRINGS AT WATERVIEW FILING NO. 1

A SUBDIVISION OF A PORTION OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M. EL PASO COUNTY, COLORADO SHEET 1 OF 2

14485



VICINITY MAP N.T.S.

LEGAL DESCRIPTION:

KNOW ALL MEN BY THESE PRESENTS:

THAT SWV 85 LLC, BEING THE OWNER OF THE FOLLOWING DESCRIBED PARCEL OF LAND:

THAT INCLUDES:

PARCEL A, "WATERVIEW PUMP STATION SUBDIVISION EXEMPTION" (AN EXEMPTION PLAT OF TRACT D, PAINTED SKY AT WATERVIEW FILING NO. 1), RECORDED JUNE 22, 2015 UNDER RECEPTION NO. 215713634, COUNTY OF EL PASO, STATE OF COLORADO.

TOTAL AREA CONTAINS 15.682 ACRES, MORE OR LESS.

DEDICATION:

THE UNDERSIGNED OWNER HAS CAUSED SAID TRACT OF LAND TO BE PLATTED INTO LOTS, TRACTS, AND EASEMENTS, AS SHOWN. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO EL PASO COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO EL PASO COUNTY AND/OR ITS ASSIGNS; PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN EL PASO COUNTY. THIS TRACT OF LAND AS PLATTED HEREIN SHALL BE KNOWN AS "SPRINGS AT WATERVIEW FILING NO.1", IN EL PASO COUNTY, COLORADO.

OWNER:

THE AFOREMENTIONED, SWV 85, LLC, HAS EXECUTED THIS INSTRUMENT

THIS 28th DAY OF January, 2020 A.D.

By: Raymond O'Sullivan

BY: RAYMOND O'SULLIVAN TITLE: MANAGER SWV 85, LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO)) SS.

COUNTY OF EL PASO)) ACKNOWLEDGED BEFORE ME THIS 28th DAY OF January, 2020 BY: Raymond O'Sullivan AS (TITLE) Manager SWV 85, LLC, A COLORADO LIMITED LIABILITY COMPANY

MY COMMISSION EXPIRES 11/26/2022 WITNESS MY HAND AND OFFICIAL SEAL

LIEN HOLDER:

THE AFOREMENTIONED, NEW PROVIDENCE CAPITAL LENDING, LLC, HAS EXECUTED THIS INSTRUMENT

THIS 28th DAY OF January, 2020 A.D.

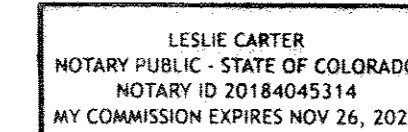
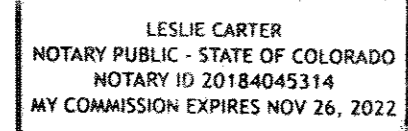
By: Mark Pitzer

BY: MARK PITZER TITLE: MANAGING PARTNER NEW PROVIDENCE CAPITAL LENDING, LLC, A TEXAS LIMITED LIABILITY COMPANY

STATE OF COLORADO)) SS.

COUNTY OF EL PASO)) ACKNOWLEDGED BEFORE ME THIS 28th DAY OF January, 2020 BY: Mark Pitzer AS (TITLE) Managing Partner NEW PROVIDENCE CAPITAL LENDING, LLC, A TEXAS LIMITED LIABILITY COMPANY

MY COMMISSION EXPIRES 11/26/2022 WITNESS MY HAND AND OFFICIAL SEAL



NOTES:

- 1. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY DAKOTA SPRINGS ENGINEERING LLC... 2. BY RECORDING OF THIS PLAT, PRIOR PLAT OF THIS PARCEL IS VACATED. 3. PRIOR TO THE ESTABLISHMENT OF ANY DRIVEWAY ONTO A COUNTY ROAD, AN ACCESS PERMIT MUST BE GRANTED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT... 4. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED AND ARE ON FILE AT THE COUNTY LAND USE DEPARTMENT: SOILS AND GEOLOGICAL STUDY; WATER AVAILABILITY STUDY; DRAINAGE REPORT; WILDFIRE HAZARD REPORT; NATURAL FEATURES REPORT; EROSION CONTROL REPORT. 5. NO LOT, OR INTEREST THEREIN, SHALL BE SOLD, CONVEYED OR TRANSFERRED WHETHER BY DEED OR BY CONTRACT, NOR SHALL BUILDING PERMITS BE ISSUED UNTIL AND UNLESS THE REQUIRED PUBLIC IMPROVEMENTS HAVE BEEN CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE SUBDIVISION IMPROVEMENTS AGREEMENT BETWEEN THE APPLICANT AND EL PASO COUNTY AS RECORDED AT RECEPTION NO. 215713634... 6. ALL STRUCTURAL FOUNDATIONS SHALL BE LOCATED AND DESIGNED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN THE STATE OF COLORADO. 7. SECURITY WATER DISTRICT WILL PROVIDE POTABLE WATER SERVICE AND SECURITY SANITATION DISTRICT WILL PROVIDE WASTEWATER SERVICES. 8. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS, U.S. FISH AND WILDLIFE SERVICE AND/OR COLORADO DEPARTMENT OF WILDLIFE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE PREBLE'S MEADOW JUMPING MOUSE AS A LISTED THREATENED SPECIES. 9. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO CODES, COVENANTS AND RESTRICTIONS OF WATERVIEW AS RECORDED AT RECEPTION NO. 207068036 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER. 10. THE ADDRESSES EXHIBITED ON THIS PLAT ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT THE LEGAL DESCRIPTION AND ARE SUBJECT TO CHANGE. 11. REGARDING AN UNDERSTANDING BETWEEN THE APPLICANT AND WIDEFIELD SCHOOL DISTRICT 3, THE APPLICANT IS REQUIRED BY SCHOOL DISTRICT 3 TO DISCLOSE THE SCHOOL DISTRICT'S LACK OF SCHOOLS AND CHANGING ATTENDANCE BOUNDARIES IN THE PAINTED SKY AREA. 12. THE FUTURE OWNERS/BUILDERS SHALL VOLUNTARILY MAKE A 30-DB REDUCTION IN EXTERIOR NOISE PENETRATION BY SOUNDPROOFING (UTILIZING FAA-RECOMMENDATIONS) CONSTRUCTION TECHNIQUES AND PERFORMED BY A CERTIFIED ACOUSTICAL ENGINEER. 13. BURROWING OWLS INHABIT PRAIRIE DOG TOWNS FROM APRIL THRU OCTOBER. AS SUCH, A SURVEY SHOULD BE CONDUCTED PRIOR TO CONSTRUCTION. NOTE: THIS SPECIES IS PROTECTED BY THE FEDERAL MIGRATORY BIRD TREATY. 14. THERE WILL BE NO DIRECT LOT ACCESS TO BRADLEY ROAD, GRINNELL BLVD, GOLDFIELD DRIVE, AND ESCANABA DRIVE. FROM ANY LOT OR TRACT, THERE SHALL BE NO VEHICLE ACCESS FROM TRACT A TO LOT 1 AND NO VEHICLE ACCESS FROM TRACT B TO LOT 14 OR LOT 15. 15. THE CURRENT NOISE STUDY, "WATERVIEW PHASE II IMPACT STUDY", PERFORMED BY LLC, DATED OCTOBER 2011, AND THE NOISE STUDY ADDENDUM, DATED DECEMBER 19, 2012, INDICATES THAT A NOISE WALL IS NOT REQUIRED ALONG POWERS BOULEVARD AT THIS TIME. IN THE EVENT THAT A NOISE WALL BE REQUIRED IN THE FUTURE, COOT WILL NOT BE RESPONSIBLE FOR CONSTRUCTING THE NOISE WALL. 16. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO ROAD IMPACT FEES PRIOR TO THE ISSUANCE OF BUILDING PERMITS IN ACCORDANCE WITH EL PASO COUNTY RESOLUTION NO. 12-382 AND RESOLUTION NO. 16-454. RECEPTION NO 216145945. IN ADDITION, ALL PROPERTY WITHIN THIS SUBDIVISION IS INCLUDED WITHIN THE BOUNDARIES OF EL PASO COUNTY PUBLIC IMPROVEMENT DISTRICT NO.2, EL PASO COUNTY, COLORADO (PID 2) PURSUANT TO RESOLUTION NO 12-416 OF THE PID2 BOARD OF DIRECTORS, RECORDED IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER AT RECEPTION NO. 21213024. 17. THE 20 FOOT UTILITY EASEMENT RECORDED IN BOOK 6710 PAGE 137 AND BY RECEPTION NO. 207712585 REFERENCED IN THE AFOREMENTIONED TITLE COMMITMENT UNDER SCHEDULE B EXCEPTIONS NO. 20 HAS BEEN VACATED BY INSTRUMENT RECORDED WITH RECEPTION NO. 217018960. 18. ALL DIMENSIONS SHOWN HEREON ARE EXPRESSED IN TERMS OF U.S. SURVEY FOOT. 19. LOT 15 HAS BEEN GRANTED A 10 FOOT BUILDING SET BACK FROM THE LOT LINE ADJACENT TO ESCANABA DRIVE PER EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT. 20. LOTS 1-85 ACREAGE: 12.269 TRACTS A-D ACREAGE: 0.207 STREETS ACREAGE: 3.206 TOTAL ACREAGE: 15.682 21. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND UNITED STATES POSTAL SERVICE REGULATIONS. 22. CONCERNING LOTS 39 THROUGH 61; NO IMPROVEMENTS (INCLUDING STRUCTURES, FENCING, OR OTHER SIMILAR IMPROVEMENTS) ARE ALLOWED WITHIN THE 25 FT. UTILITY AND DRAINAGE EASEMENT LOCATED ON THE WESTERLY 25 FEET OF THESE LOTS ADJACENT TO GRINNELL BOULEVARD.

EASEMENTS:

UNLESS OTHERWISE INDICATED, ALL FRONT LOT LINES ARE HEREBY PLATTED WITH A TEN FOOT (10') PUBLIC UTILITY AND DRAINAGE EASEMENT AND SIDE LOT LINES ARE HEREBY PLATTED WITH A FIVE FOOT (5') PUBLIC UTILITY AND DRAINAGE EASEMENT AND ALL REAR LOT LINES ARE HEREBY PLATTED WITH A FIVE FOOT (5') PUBLIC UTILITY AND DRAINAGE EASEMENT, WITH THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THEIR EASEMENTS VESTED WITH THE INDIVIDUAL PROPERTY OWNERS. PUBLIC UTILITY EASEMENTS FOR ELECTRIC AND GAS SHALL BE DEDICATED TO COLORADO SPRINGS UTILITIES.

NO OBSTRUCTIONS ARE ALLOWED TO PENETRATE THE 40:1 APPROACH SURFACE.

ALL EXTERIOR LIGHTING PLANS ARE APPROVED BY THE DIRECTOR OF AVIATION TO PREVENT A HAZARD TO AIRCRAFT.

NO ELECTROMAGNETIC, LIGHT, OR ANY PHYSICAL EMISSIONS, WHICH MIGHT INTERFERE WITH AIRCRAFT, AVIATION, COMMUNICATIONS, OR NAVIGATIONAL AIDS ARE ALLOWED.

NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE CAUSED BY AIRCRAFT OPERATING INTO AND OUT OF THE COLORADO SPRINGS MUNICIPAL AIRPORT. THE BUYER SHOULD FAMILIARIZE HIMSELF/HERSELF WITH THIS POTENTIALITY AND THE RAMIFICATIONS THEREOF.

ALL EASEMENTS THAT ARE DEDICATED HEREON FOR PUBLIC UTILITY PURPOSES SHALL BE SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT (AVIGATION EASEMENT) RECORDED AT RECEPTION NUMBER 213006737 OF THE RECORDS OF EL PASO COUNTY, COLORADO.

ALL EASEMENTS THAT ARE DEDICATED HEREON FOR PUBLIC UTILITY PURPOSES RELATED TO ELECTRICITY AND GAS SHALL BE SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED AT RECEPTION NUMBER 212112548 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.

TRACTS:

TRACTS A, AND B, ARE TO BE OWNED AND MAINTAINED BY THE WATERVIEW 1 METROPOLITAN DISTRICT FOR THE PURPOSES OF OPEN SPACE, DRAINAGE AND PUBLIC UTILITIES. TRACT C IS HEREBY DEDICATED TO EL PASO COUNTY FOR ROAD RIGHT-OF-WAY.

AN OPAQUE DOUBLE-SIDED FENCE (6' CEDAR OR OTHER APPROPRIATE MATERIALS AS TO BE DETERMINED BY THE APPLICANT AT THE TIME OF THE FINAL PLAT), WILL BE INSTALLED AND WILL ADD ADDITIONAL NOISE REDUCTION BENEFITS FOR HOMES THAT BACK GRINNELL ROAD.

BASIS OF BEARINGS:

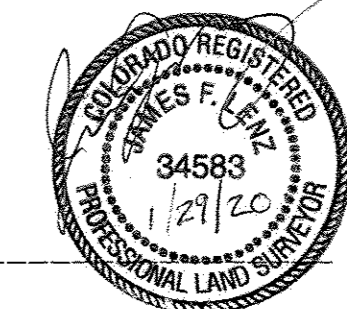
BASIS OF BEARINGS IS THE EAST LINE OF PARCEL A, "WATERVIEW PUMP STATION SUBDIVISION EXEMPTION" (AN EXEMPTION PLAT OF TRACT D, PAINTED SKY AT WATERVIEW FILING NO. 1), RECORDED JUNE 22, 2015 UNDER RECEPTION NO. 215713634 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, EL PASO COUNTY, COLORADO. SAID LINE ALSO THE WEST LINE OF ESCANABA RIGHT-OF-WAY, SAID LINE IS ASSUMED TO BEAR N00°58'31"W FROM THE MONUMENTS SHOWN.

FLOODPLAIN CERTIFICATION

THIS SITE IS LOCATED IN ZONE X, PER FLOOD INSURANCE RATE MAPS NO. 08041C0764G AND NO. 08041C0763G. EFFECTIVE DATE 12/7/18.

SURVEYOR'S CERTIFICATION:

THE UNDERSIGNED REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO HEREBY STATES THAT THE ACCOMPANYING PLAT WAS SURVEYED AND DRAWN TO NORMAL STANDARDS AND CARE OF A PROFESSIONAL LAND SURVEYOR PRACTICING IN THE STATE OF COLORADO. THE SURVEY WAS PERFORMED AND PLAT PREPARED UNDER HIS SUPERVISION AND ACCURATELY SHOWS THE DESCRIBED TRACT OF LAND AND SUBDIVISION THEREOF, AND THE REQUIREMENTS OF TITLE 38 OF THE COLORADO REVISED STATUTES, 1973, AS AMENDED, HAVE BEEN MET TO THE BEST OF HIS KNOWLEDGE, INFORMATION AND BELIEF, AND MONUMENTS EXIST AS SHOWN HEREON.



JAMES F. LENZ PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, NO 34583 FOR AND ON BEHALF OF DAKOTA SPRINGS ENGINEERING, LLC.

COUNTY CERTIFICATION:

THIS PLAT REQUEST HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH THE BOARD RESOLUTION NO. DATED APPROVING THE PLAT, AND ALL APPLICABLE EL PASO COUNTY REGULATIONS.

By: Mark Wall

CHAIR, BOARD OF COUNTY COMMISSIONERS

By: Steve Schleiker

DIRECTOR, DEVELOPMENT SERVICES

By: Steve Schleiker

STEVE SCHLEIKER, COUNTY ASSESSOR

DATE

3/9/2020

DATE

3-10-2020

DATE

CLERK AND RECORDER CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS 11th DAY OF March, 2020, AT 11:35 O'CLOCK A.M./P.M. AND WAS RECORDED AT RECEPTION NUMBER 220714485 OF THE RECORDS OF EL PASO COUNTY.

EL PASO COUNTY CLERK AND RECORDER

By: Kelly Hinkley

DEPUTY

FEE: \$20

SC. & B

OWNER/DEVELOPER

SWV 85, LLC 31 N TEJON STREET, SUITE 500 COLORADO SPRINGS, CO 80903 (719) 491-1590

ENGINEER/SURVEYOR

DAKOTA SPRINGS ENGINEERING 31 N. TEJON STREET, SUITE 500 COLORADO SPRINGS, CO 80903 (719) 227-7388

LIEN HOLDER

NEW PROVIDENCE CAPITAL LENDING, LLC 4809 COLE AVENUE, SUITE 335 DALLAS, TEXAS 75205 (214) 444-9070

DATE OF PREPARATION

SEPTEMBER 2017 REV JANUARY 2020

CHECKED BY

JFL

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

FEES:

DRAINAGE \$124,791.00 (Urban Area Bridge)

SCHOOL \$17,595.00 (Colorado)

\$1971.00 (William Gulch)

\$2320.00 (Urban Area)

\$24,530.00 (Regional)

DSE Dakota Springs Engineering

31 N. TEJON SUITE 500 COLORADO SPRINGS, CO. 80903 PHONE: (719) 227-7388

DATE: 1/22/2020

SHEET 1 OF 2

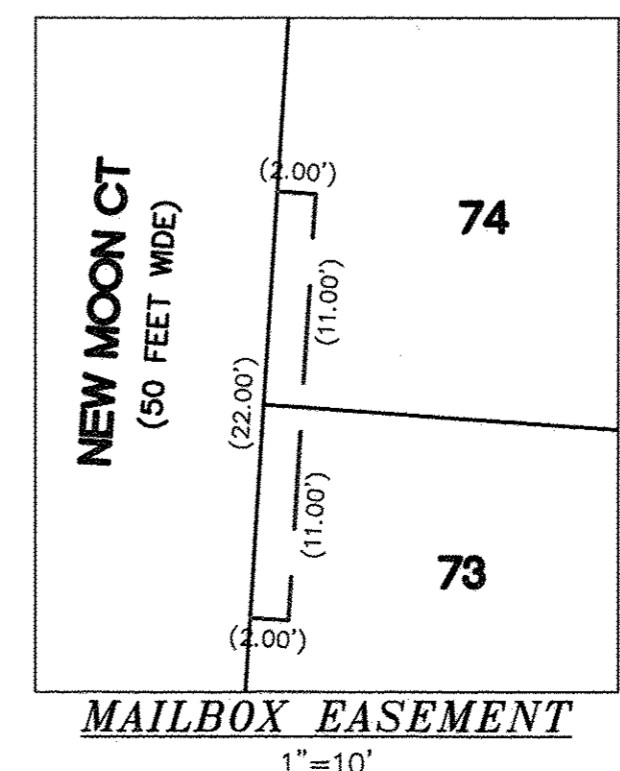
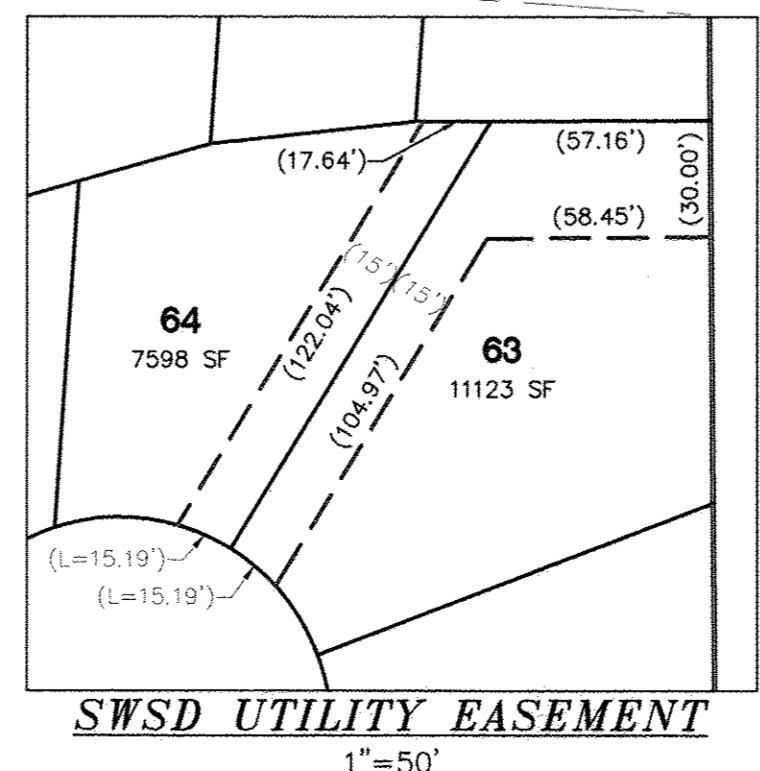
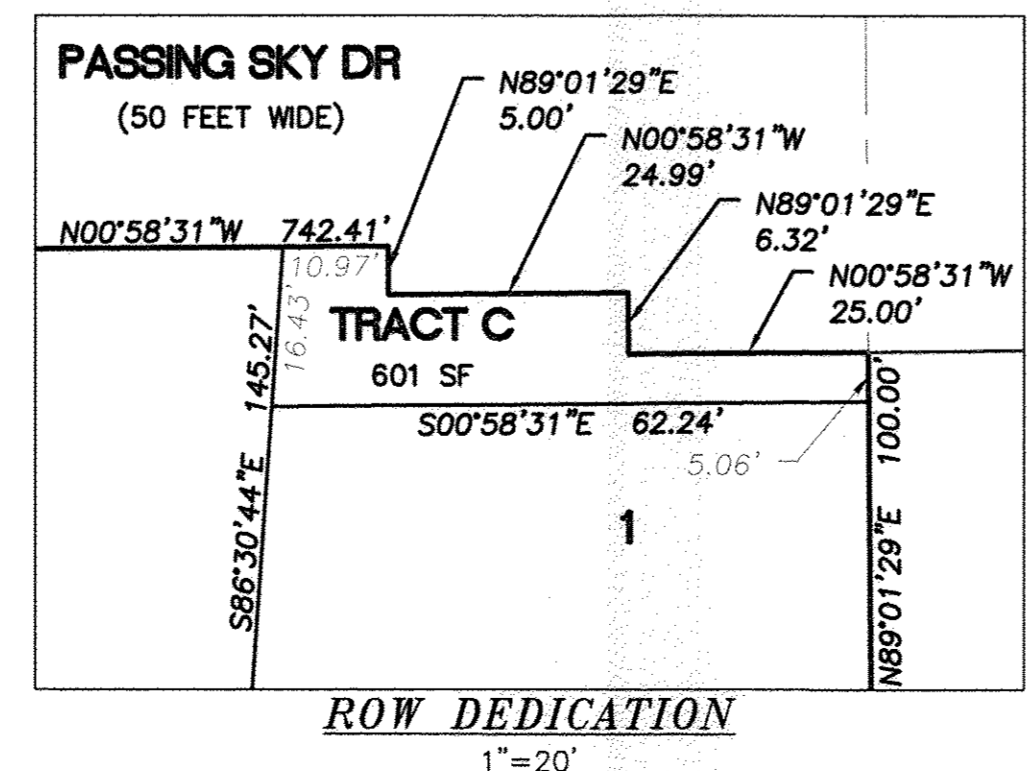
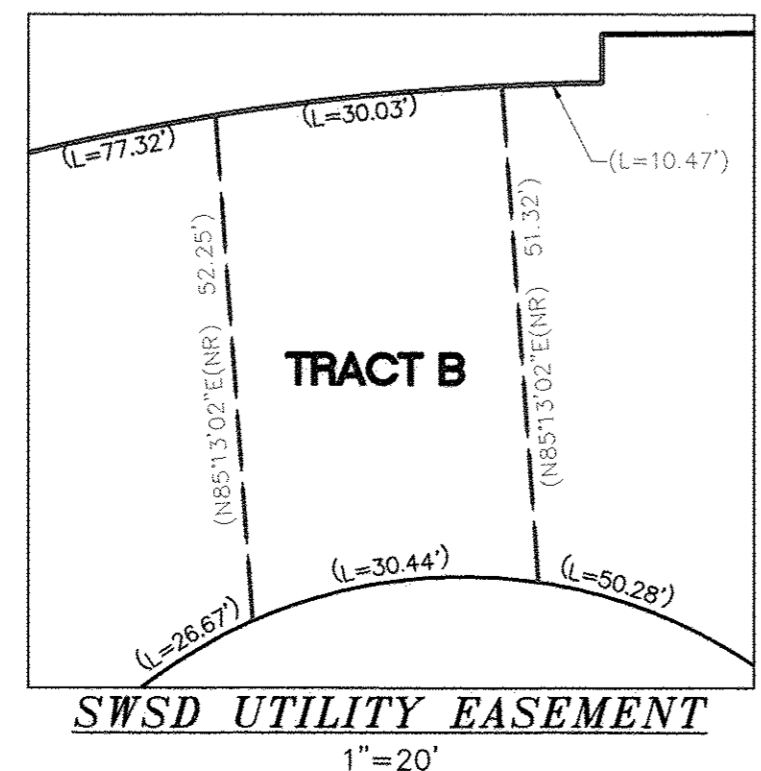
SPRINGS AT WATERVIEW FILING NO. 1

A SUBDIVISION OF A PORTION OF THE NORTHWEST 1/4 OF SECTION 7,
TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
SHEET 2 OF 2

14485



- LEGEND**
- ◆ PLSS CORNER
 - FOUND NO.5 REBAR WITH CAP PLS 30083 AT GRADE
 - FOUND NO.4 REBAR AND CAP PLS 34583 (UNLESS SHOWN OTHERWISE)
 - (1145) ADDRESS FROM ENUMERATIONS
 - (100.00') EASEMENT DIMENSION
 - (NR) NON-RADIAL BEARING
 - SWSD SECURITY WATER & SANITATION DISTRICT
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SWSD EASEMENT
 - EXISTING ROW



OWNER/DEVELOPER
SWV 85, LLC
31 N TEJON STREET, SUITE 500
COLORADO SPRINGS, CO 80903
(719) 491-1590

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DALLAS, TEXAS 75205
(214) 444-9070

ENGINEER/SURVEYOR
DAKOTA SPRINGS ENGINEERING
31 N. TEJON STREET, SUITE 500
COLORADO SPRINGS, CO 80903
(719) 227-7388

DATE OF PREPARATION
SEPTEMBER 2017
REV JANUARY 2020

CHECKED BY
JFL

DSE Dakota Springs Engineering
31 N. TEJON SUITE 500
COLORADO SPRINGS, CO. 80903
PHONE: (719) 227-7388
DATE: 1/22/2020
SHEET 2 OF 2

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