

SFD25593
PLAT 15013
PUD



LOT 74

SCHEDULE NUMBER 5509302052

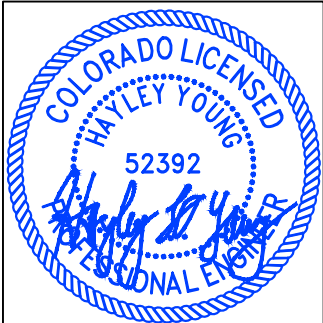
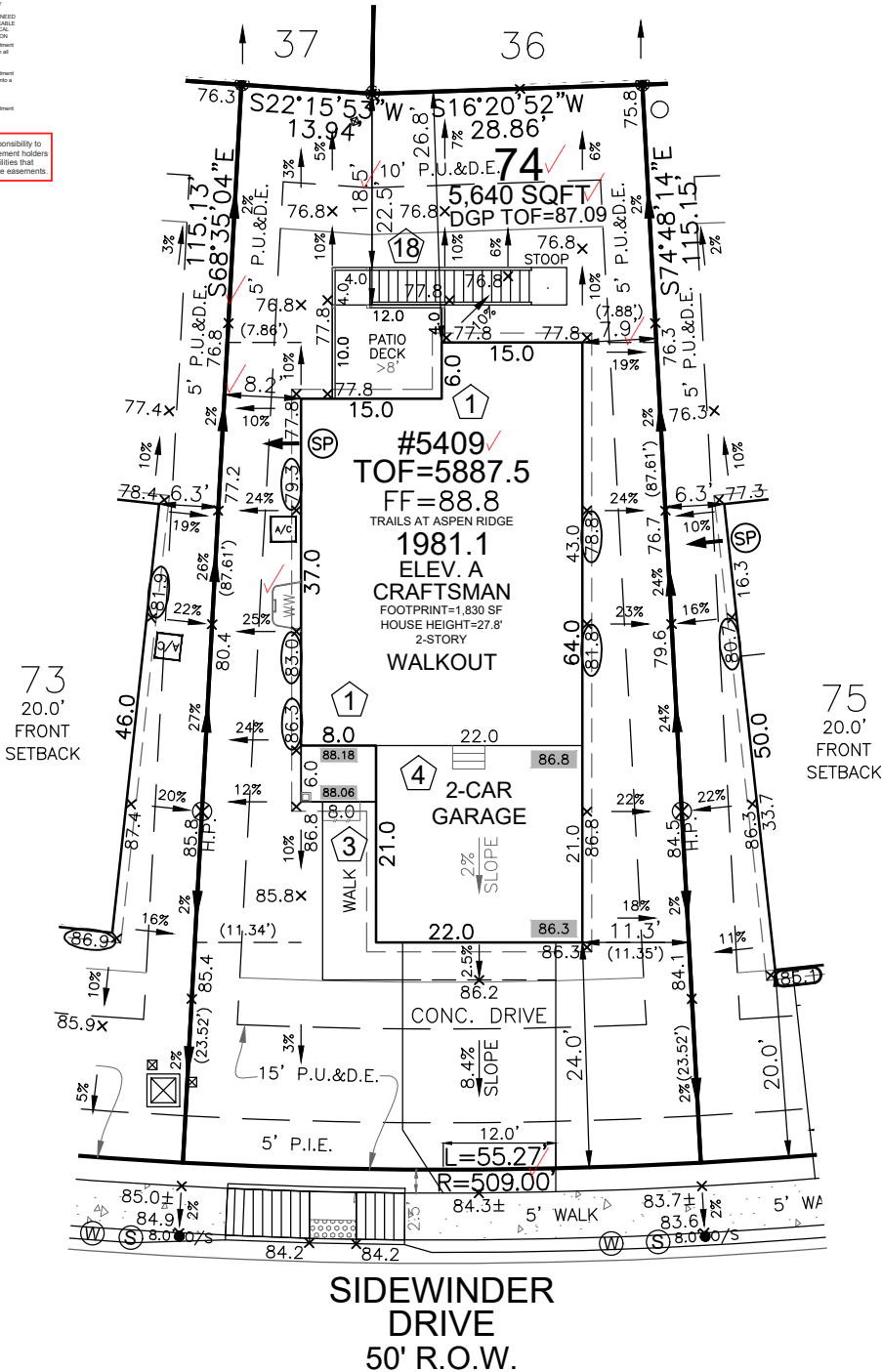
APPROVED
Plan Review
06/17/2025 2:43:49 PM
(Initials)
EPC Planning & Community
Development Department

APPROVED
BESQCP
06/17/2025 2:44:03 PM
(Initials)
EPC Planning & Community
Development Department

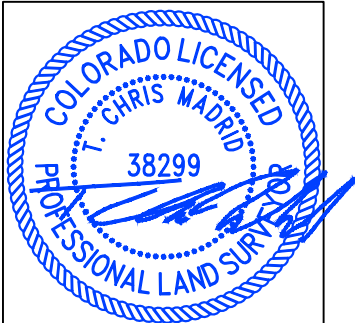
ANY APPROVAL GIVEN BY
EL PASO COUNTY
DOES NOT CONSTITUTE THE NEED
FOR COUNTY WITH APPLICABLE
FEDERAL, STATE, OR LOCAL
LAWS AND/OR REGULATIONS.
Planning & Community Development Department
approval is required for any proposed use with all
applicable rules in the recorded plat.
No zoning permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.
Division of knowledge of any drainage way
is not permitted without approval of the
Planning & Community Development Department.

It is the owner's responsibility to
coordinate with easement holders
to avoid impact to utilities that
may be located in the easements.

PLOT PLAN



HAYLEY YOUNG, P.E.
DATE: 06.13.25
I HEREBY CERTIFY ONLY THE ELEMENTS
OF THIS DOCUMENT THAT FALL WITHIN
THE SCOPE OF MY DUTIES AS A P.E.



T. CHRIS MADRID, P.L.S.
DATE: 06.13.25
I HEREBY CERTIFY ONLY THE ELEMENTS
OF THIS DOCUMENT THAT FALL WITHIN
THE SCOPE OF MY DUTIES AS A P.L.S.

SITE SPECIFIC PLOT PLAN NOTES:

TOF = 87.5
GARAGE SLAB = 86.3
GRADE BEAM = 18"
(87.5 - 86.3 = 01.2 * 12 = 14" + 4" = 18")
*FROST DEPTH MUST BE MAINTAINED
LOWERED FINISH GRADE ALONG HOUSE

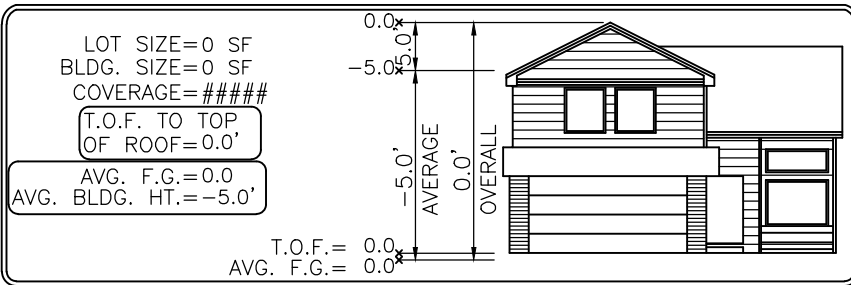
LEGEND

LOWERED FINISH GRADE:	
(XX.X)	HOUSE
(XX.X)	PORCH
(XX.X)	GARAGE/CRAWL SPACE
(XX.X)	FOUNDATION STEP
(XX.X)	CONCRETE
(X)	RISER COUNT
XX.XX	CONCRETE ELEVATION

Released for Permit
06/17/2025 11:19:45 AM
REGIONAL
Building Department
Becky A
ENUMERATION



0 20 40
SCALE: 1"=20'



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

MODEL OPTIONS: 1981.1-A/CRAFTSMAN/2-CAR/WALKOUT/8' BSMT

SUBDIVISION: THE TRAILS AT ASPEN RIDGE FILING NO. 3 ✓

COUNTY: EL PASO

06.13.25 / RIGHT / NAIL TO NAIL=84.00'
Front 10': N=5882.9593 E=12390.1268
Rear 10': N=5856.5831 E=12469.8783

ADDRESS: 5409 SIDEWINDER DRIVE

MINIMUM SETBACKS:

FRONT: 15' SIDE: 5'
GARAGE: 20' SEP.: 10'
REAR: 15'
CORNER: 10'

DRAWN BY: MH

DATE: 06.13.25



6841 South Yosemite Street #100
Centennial, CO 80112 USA
Phone: (303) 850-0559
Fax: (303) 850-0711
E-mail: info@bjsurvey.net

GENERAL NOTES:

- PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
- PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
- EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
- PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT.
- LOT CORNER ELEVATION CHECK: 06.26.24

SITE



2023 PPRBC
2021 IECC Amended

Address: 5409 SEWINDER DR, COLORADO SPRINGS

Parcel: 5509302052

Plan Track #: 202789 

Received: 17-Jun-2025 (BECKYA)

Description:

RESIDENCE

Type of Unit:

Garage	462	
Lower Level 2	2068	
Main Level	1200	
Upper Level 1	781	
	4511	Total Square Feet

Required PPRBD Departments (2)

Enumeration

APPROVED

BECKYA

6/17/2025 11:19:59 AM

Floodplain

(N/A) RBD GIS

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

06/17/2025 2:47:06 PM

dsdhillis

**EPC Planning & Community
Development Department**

**Release of this plan does not preclude compliance with all
applicable codes, ordinances and other pertinent regulations.
This plan set must be present on the job site for every inspection.**