

CHEROKEE METROPOLITAN DISTRICT

LIFT STATION NO. 1 ADDITIONS

6657 E PLATTE AVE, PARCEL NO. 5418000080

COLORADO SPRINGS, COLORADO

SITE DEVELOPMENT PERMIT: PPR-2254

FILE NO.: PPR-2254

CONTACTS

OWNER: CHEROKEE METROPOLITAN DISTRICT
6250 PALMER BARK BOULEVARD
COLORADO SPRINGS, CO 80915

JEFF MUNGER
(719) 597-7411
JMUNGER@CHEROKEEMETRO.ORG

CIVIL ENGINEER (PLAN PREPARER): JVA, INC
1319 SPRUCE STREET
BOULDER, CO 80302

NATHAN SKALAK, P.E.
(303) 565-4930
NSKALAK@JVAJVA.COM

ENVIRONMENTAL ENGINEER: JVA, INC
1319 SPRUCE STREET
BOULDER, CO 80302

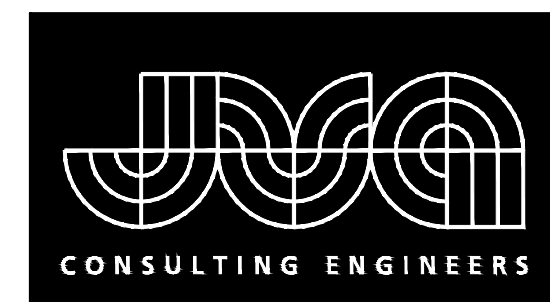
MICHAEL KATALINICH, P.E.
(303) 565-4952
MKATALINICH@JVAJVA.COM

CONTRACTOR: STANEK CONSTRUCTORS, INC.
651 CORPORATE CIRCLE SUITE 108
GOLDEN, CO 80401

DUSTIN FOSS
(303) 339-2442
DFOSS@STANEKCONSTRUCTORS.COM

SURVEYOR: EDWARD-JAMES SURVEYING, INC.
926 ELKTON DRIVE
COLORADO SPRINGS, CO 80907

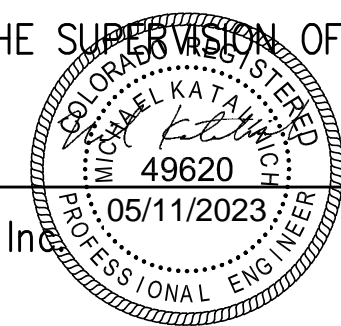
THOMAS SHAUGHNESSY, PLS
(719) 304-4480
TOMS@EJSURVEYING.COM



JVA, Inc. 1319 Spruce Street
Boulder, CO 80302 303.444.1951
www.jvajva.com
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APRIL 2023

PREPARED UNDER THE SUPERVISION OF



JVA, Inc.

LEGAL DESCRIPTION:

THAT PT W2NE2 SEC 18-14-65 DESC AS FOLS: COM AT N4 COR SD SEC 18, TH S 00<46'48" W 1315.50 FT TO NW COR OF TR DESC BY BK (5309-530) & POB, TH S 89<45'21" E 331.20 FT TO SWLY COR OF TR DESC BY REC 212137112, TH N 00<46'59" E 129.52 FT, N 26<10'54" E 873.59 FT, TH ALG ARC OF CUR TO THE R HAVING A RAD OF 3452.20 FT A C/A OF 6<33'34" AN ARC DIST OF 395.22 FT, TH N 32<44'28" E 9.33 FT TO A PT ON THE SLY R/W LN O US HWY 24, TH S 89<55'03" E 296.95 FT TO NW COR OF TR DESC BY BK (3156-91), TH CONT S 89<55'03" E 127.67 FT TO A PT ON E LN W2NE4 SD SEC 18 & NE COR OF TR DESC BY BK (3156-91), TH S 00<47'32" W 2317.14 FT TO A PT ON N LN OF TR C DESC BY REC 206167022, TH 88<51'08" W 1259.94 FT, S 39<23'57" W 103.54 FT, TH N 00<46'48" E 1108.57 TO POB

ZONING:

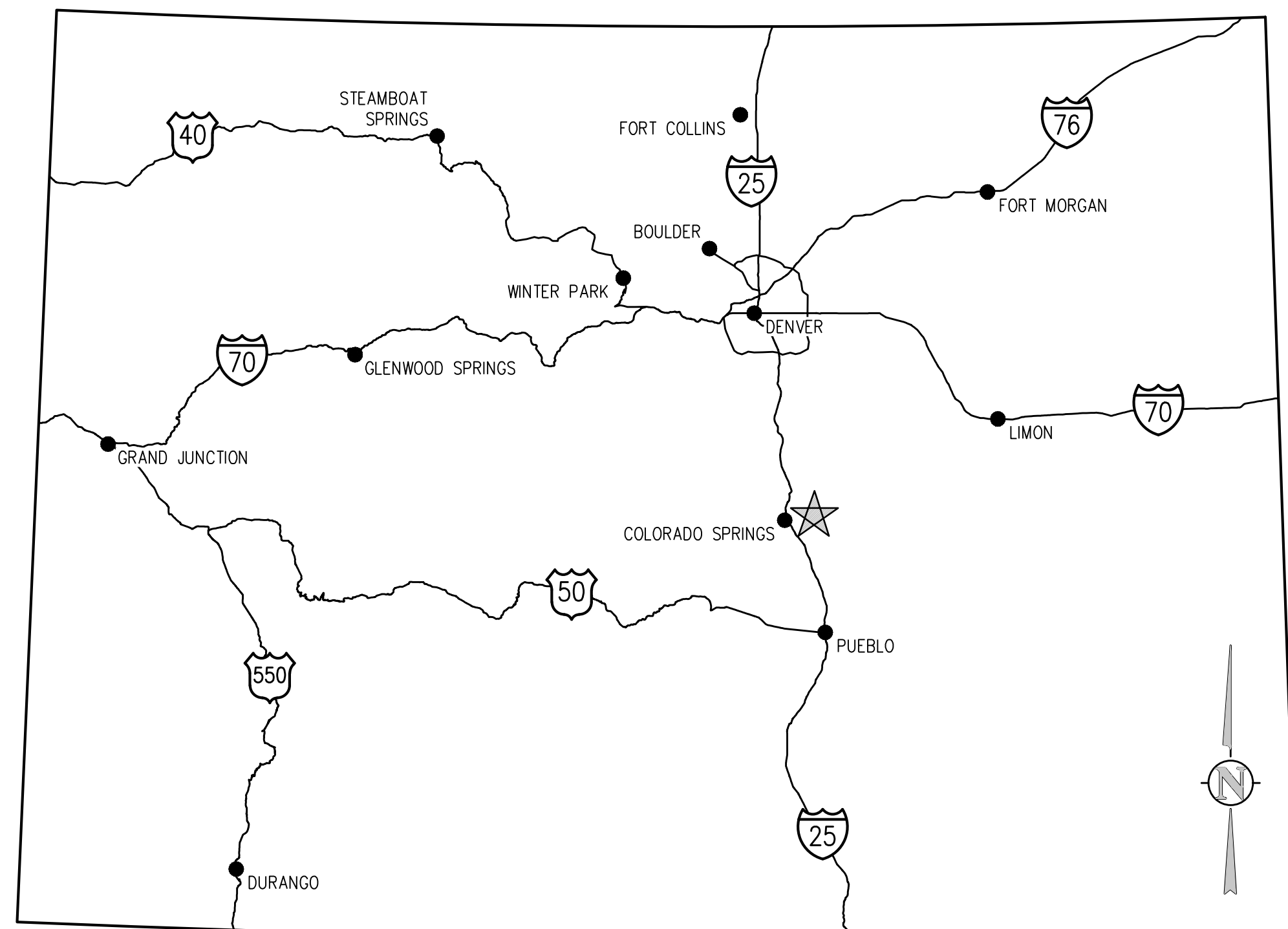
THE PROPERTY IS ZONED AS RR-5 (RESIDENTIAL RURAL DISTRICT) AND CAD-0 (COMMERCIAL AIRPORT OVERLAY DISTRICT). THE PROPOSED PROJECT WILL NOT CHANGE THE ZONING DESIGNATION.

DRAWING INDEX

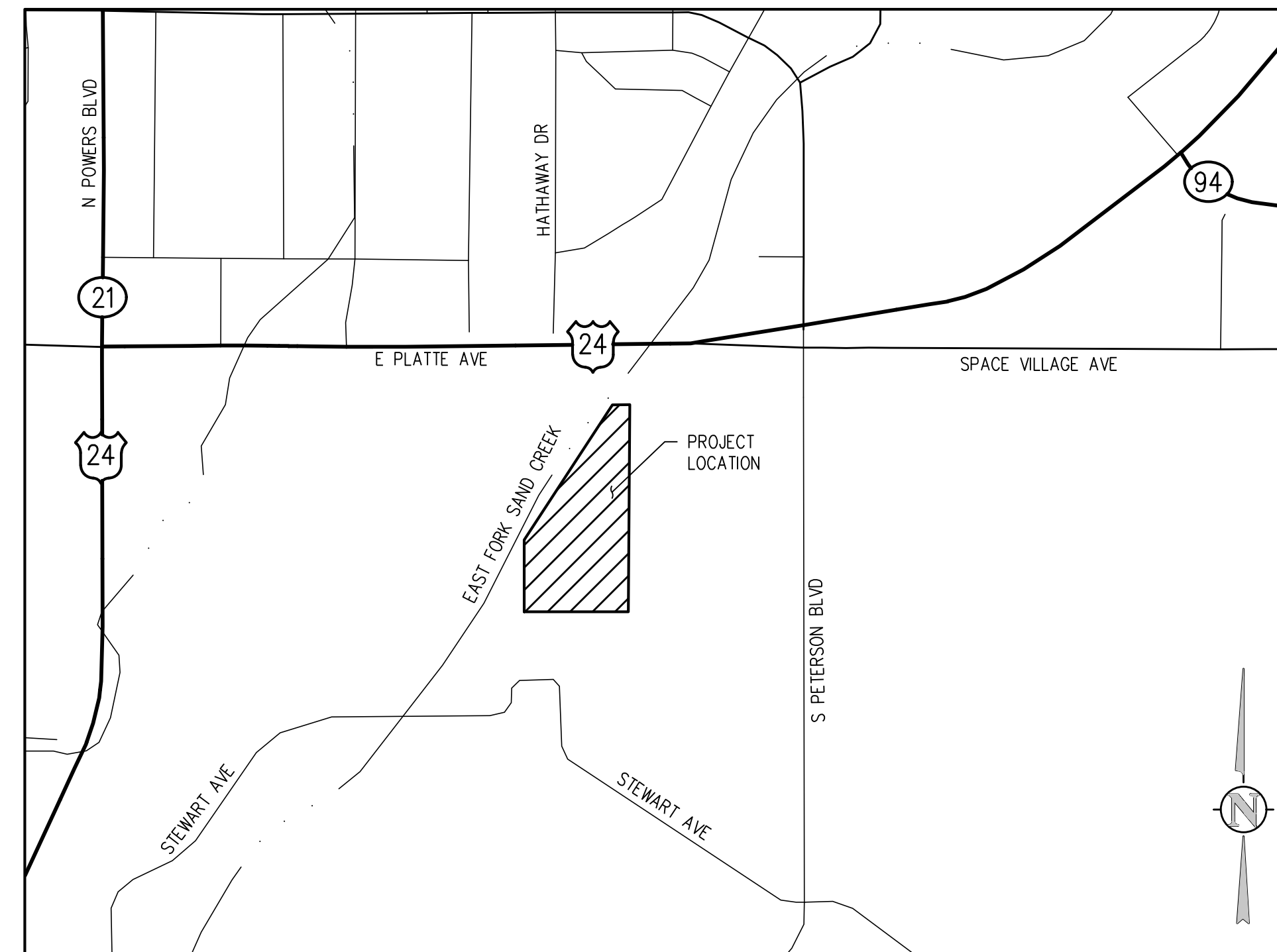
SHEET NO.	TITLE
CO.0	COVER SHEET
CO.1	LEGEND, NOTES, AND ABBREVIATIONS
C2.0	SITE DEVELOPMENT PLAN
C2.1	SITE DEVELOPMENT PLAN
CD2.0	CIVIL DETAILS

SITE DATA:

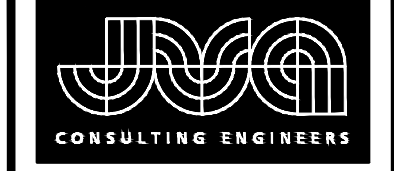
LOT/PARCEL SIZE:	53.38 ACRES
EXISTING/PROPOSED LAND USE:	POLITICAL SUBDIVISION
BUILDING FOOTPRINT:	782 SF
WET WELL FOOTPRINT:	5,387 SF
EXISTING BUILDINGS TOTAL AREA:	20,000 SF
LAGOON COVERAGE:	272,000 SF
OPEN/LANDSCAPED AREA COVERAGE:	46.44 ACRES
IMPERMEABLE SURFACE COVERAGE:	4,000 SF



VICINITY MAP
NTS



PROJECT LOCATION MAP
NTS

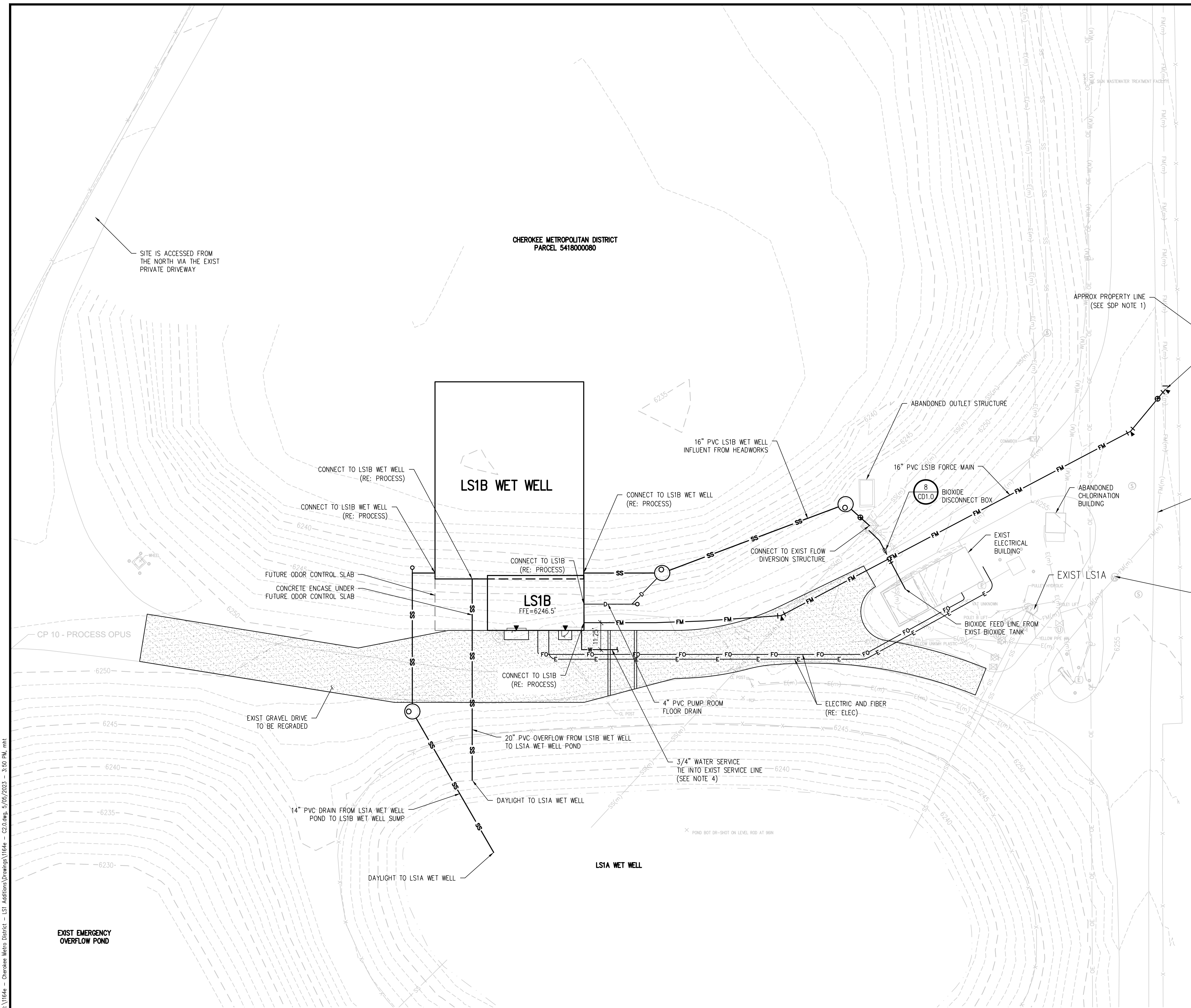


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 Boulder, CO 80302 303.444.1951
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FILE NO.: PPR-2254

- UTILITY NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
 - ALL DRY UTILITY AND ELECTRIC DESIGNS ARE PROVIDED BY OTHERS AND SHOWN FOR REFERENCE ONLY. SEE MEP PLANS AND SPECIFICATIONS AND COORDINATE WITH ALL UTILITY OWNERS AS NEEDED.
 - CONTRACTOR TO MARK ALL UTILITY STUBS WITH MARKERS.
 - LOCATION OF EXIST WATER SERVICE LINE IS UNKNOWN. CONTRACTOR TO LOCATE, VERIFY DEPTH, AND NOTIFY OWNER AND ENGINEER PRIOR TO TIE IN.
 - CONTRACTOR TO REPAIR POND LINER AS REQUIRED TO ACCOMMODATE PROPOSED GRADING AND PIPE PENETRATIONS WITHIN THE LS1A WET WELL. REPAIR POND LINER PER MANUFACTURER RECOMMENDATIONS.

- SITE DEVELOPMENT PLAN NOTES:**
- PROPERTY LINE SHOWN FOR REFERENCE ONLY. PROPERTY LINES WERE NOT SURVEYED FOR THIS PROJECT, BUT BUILDING SETBACK DISTANCES ARE IN ACCORDANCE WITH THE COUNTY LAND DEVELOPMENT CODE. SEE THE ATTACHED VICINITY MAP AND COUNTY ASSESSOR MAP FOR ADDITIONAL PARCEL LOCATION DATA.
 - NO REGULATORY FLOODPLAIN OR DRAINAGE FACILITY EXISTS WITHIN THE PROJECT AREA.



CONNECT TO EXIST FORCE MAIN WITH 16" WYE

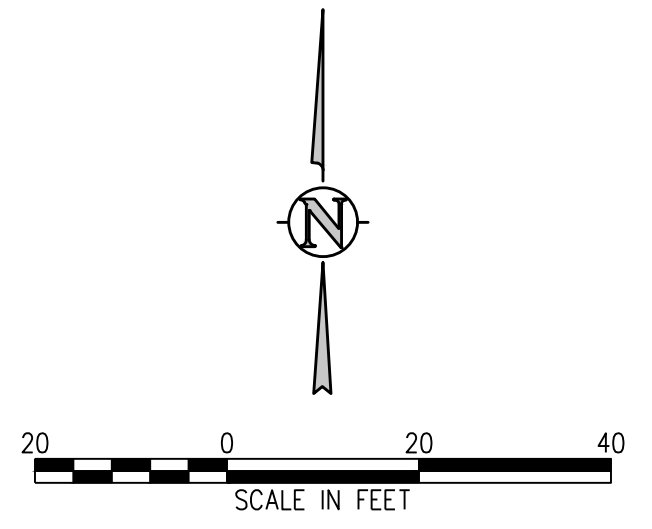
PETERSON SPACE FORCE BASE
 PARCEL 5400000141

NO.	DATE	DES'D	DWN	REVISION DESCRIPTION

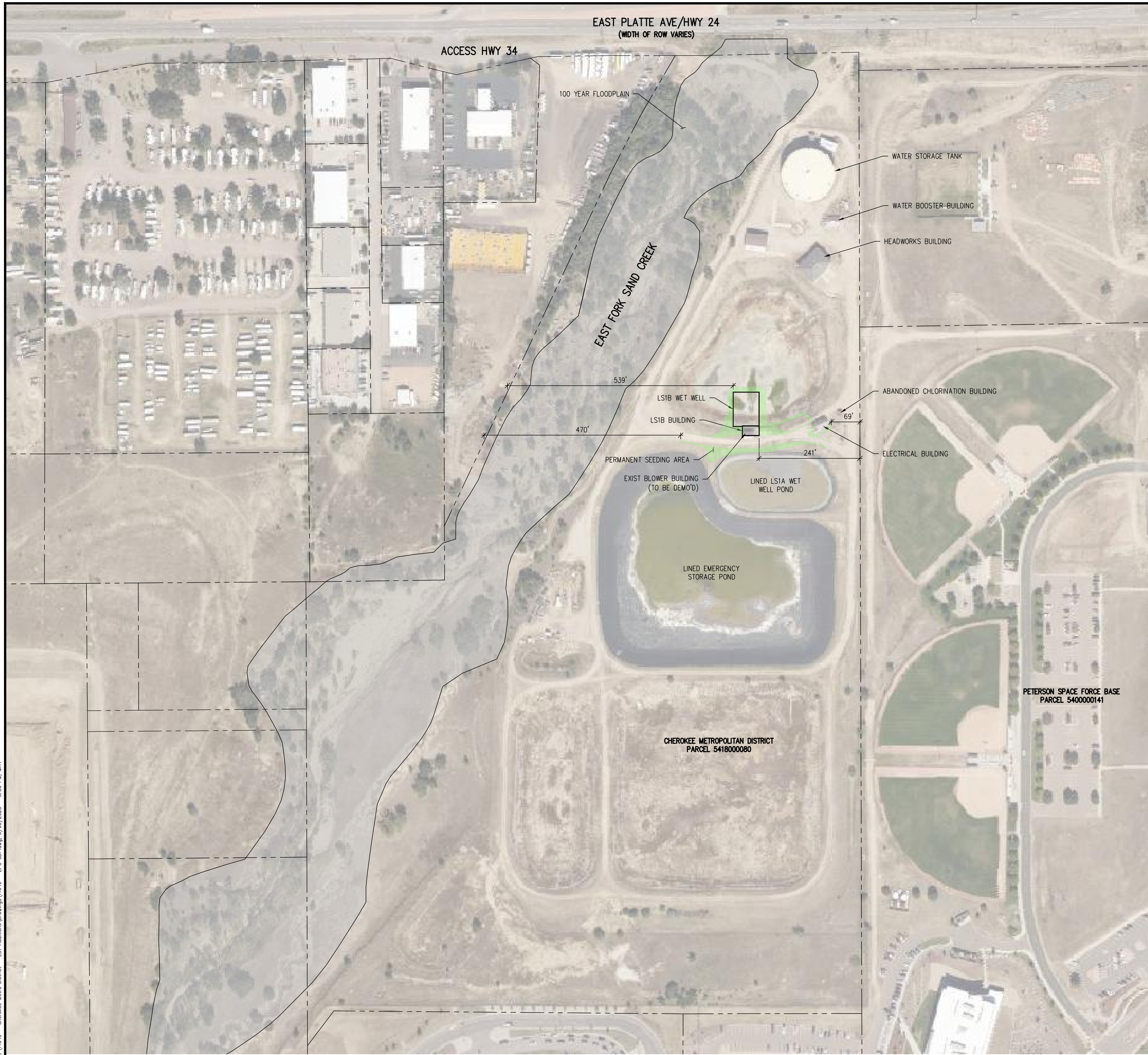
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 DRAWN BY: MHT
 CHECKED BY: JJM
 JOB #: 1164e
 DATE: APRIL 2023
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CHEROKEE METROPOLITAN DISTRICT
 LIFT STATION NO. 1B
 EL PASO COUNTY, COLORADO
 SITE DEVELOPMENT PLAN

SHEET NO.
C2.0



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FILE NO.: PPR-2254

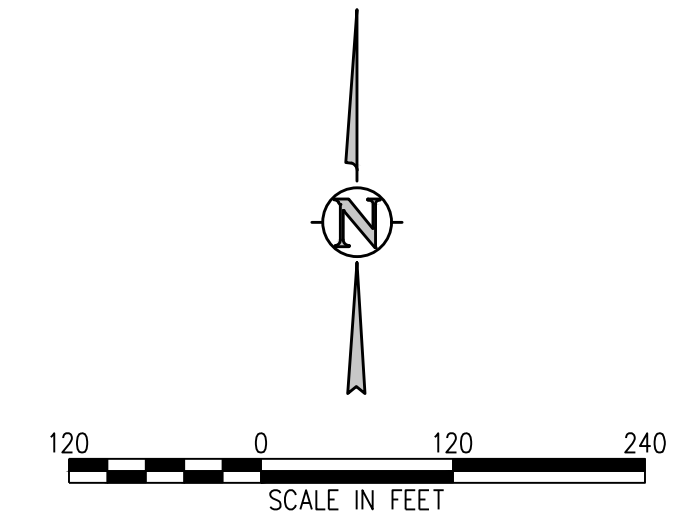
- SITE DEVELOPMENT PLAN NOTES:**
1. PROPERTY LINE SHOWN FOR REFERENCE ONLY. PROPERTY LINES WERE NOT SURVEYED FOR THIS PROJECT, BUT BUILDING SETBACK DISTANCES ARE IN ACCORDANCE WITH THE COUNTY LAND DEVELOPMENT CODE. SEE THE ATTACHED VICINITY MAP AND COUNTY ASSESSOR MAP FOR ADDITIONAL PARCEL LOCATION AND SIZE DATA.
 2. VEHICLES WILL ENTER THE SITE NEAR THE NORTHWEST PROPERTY CORNER VIA ACCESS HWY 34.
 3. PERMANENT SEEDING AREA IS SHOWN IN GREEN. SEE LANDSCAPE PLAN FOR DETAILED LANDSCAPING INFORMATION.
 4. THE PROPOSED DEVELOPMENT DOES NOT NEED TO BE CONTAINED WITHIN UTILITY EASEMENTS BECAUSE THE PROPERTY IS DISTRICT-OWNED. NO KNOWN EASEMENTS ARE LOCATED WITHIN THE PROPERTY.

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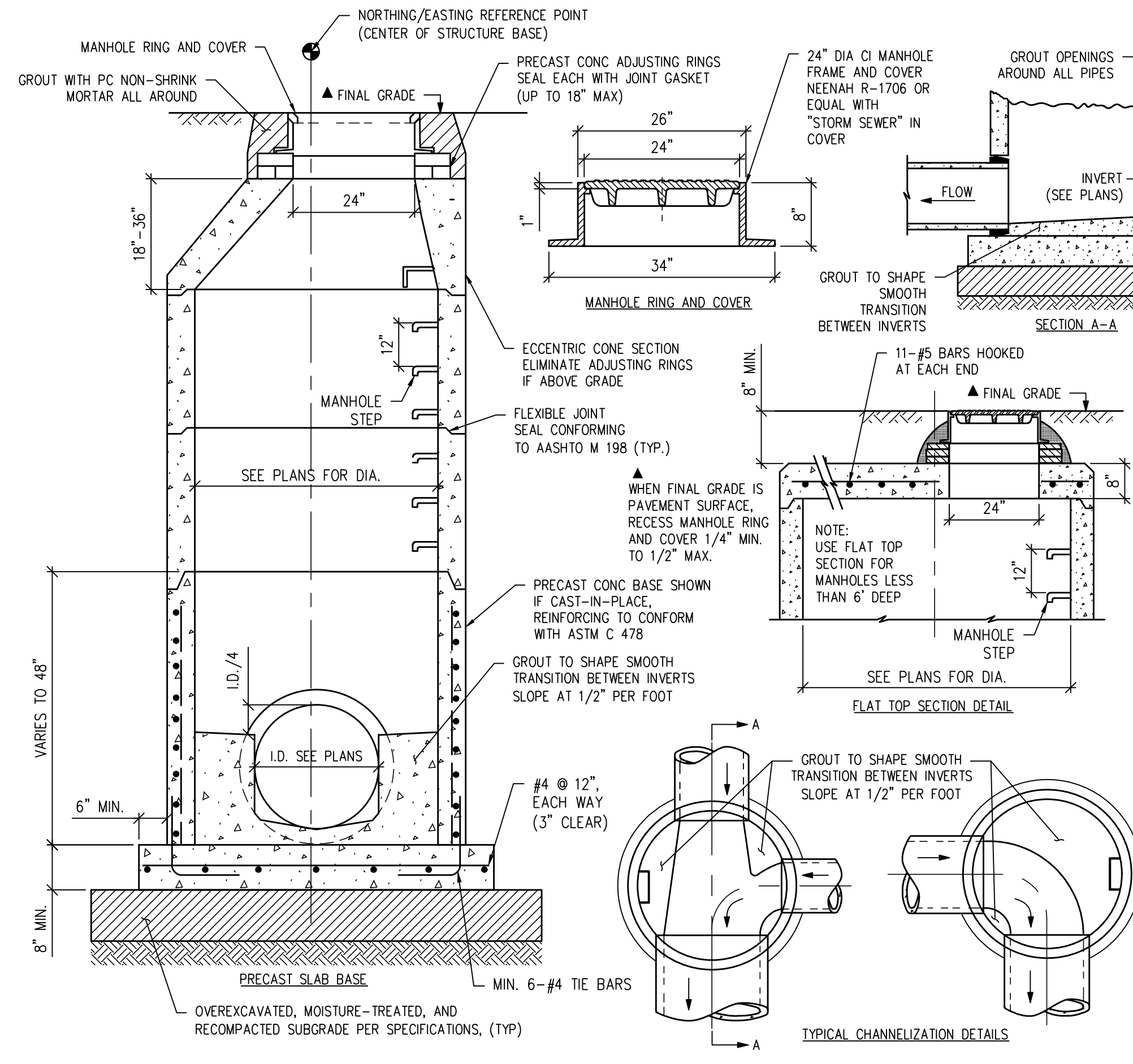
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 CHECKED BY: JJM
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CHEROKEE METROPOLITAN DISTRICT
 LIFT STATION NO. 1B
 EL PASO COUNTY, COLORADO
 SITE DEVELOPMENT PLAN



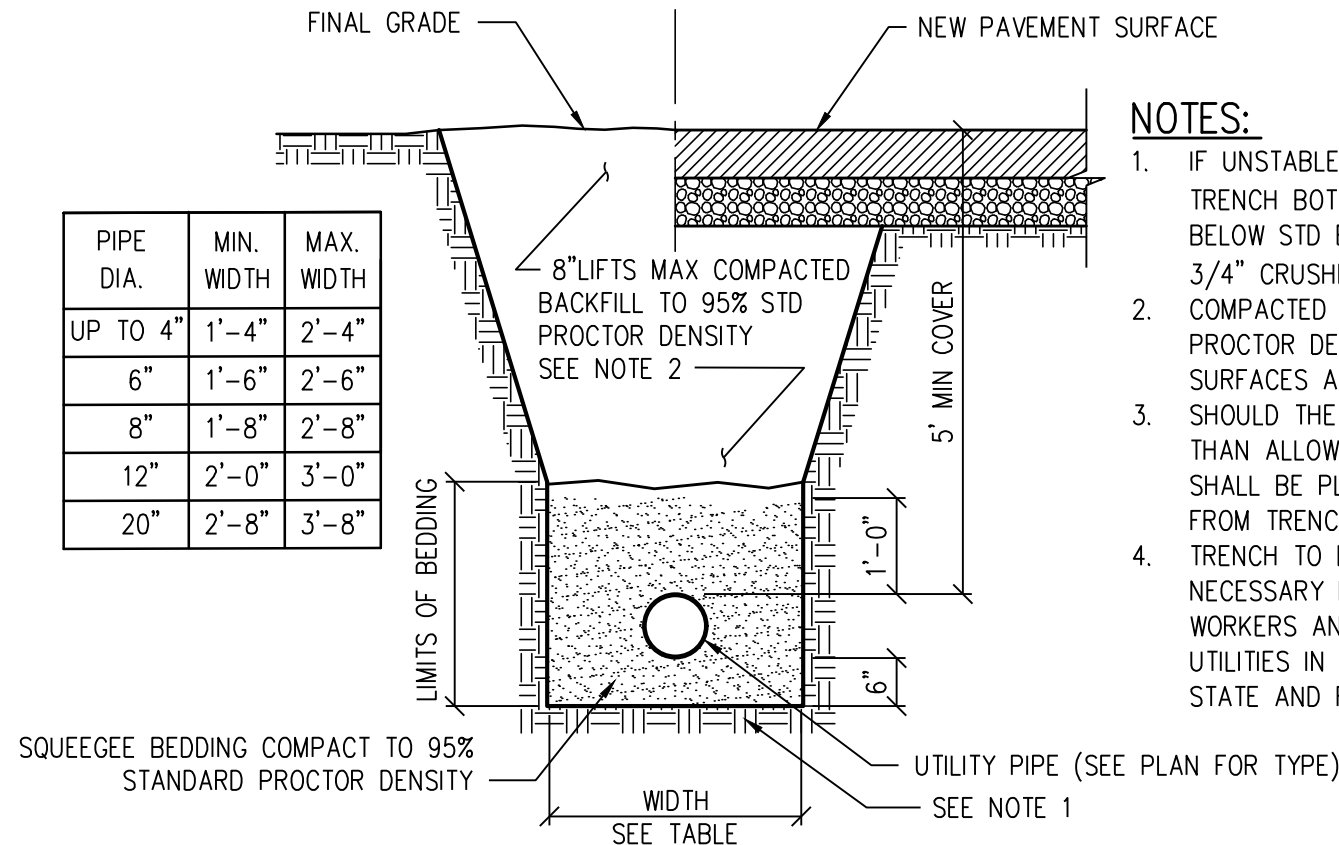
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SHEET NO.
C2.1

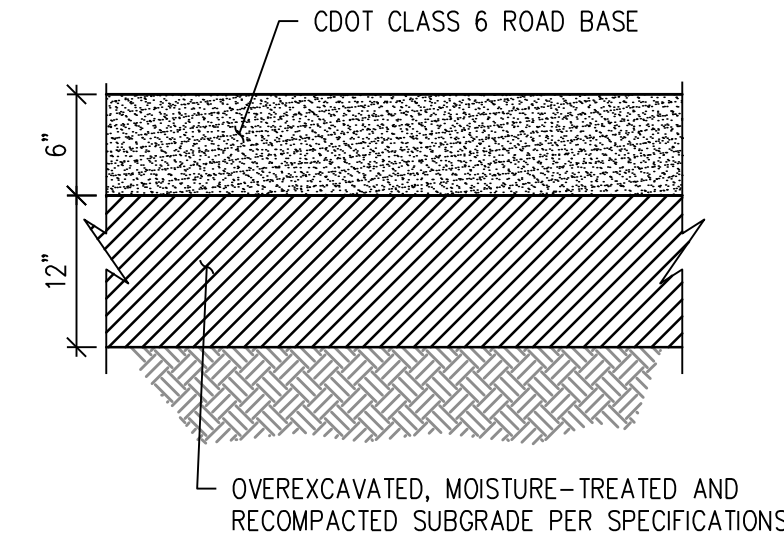


SANITARY MANHOLE DETAIL 1
 NTS C2.1

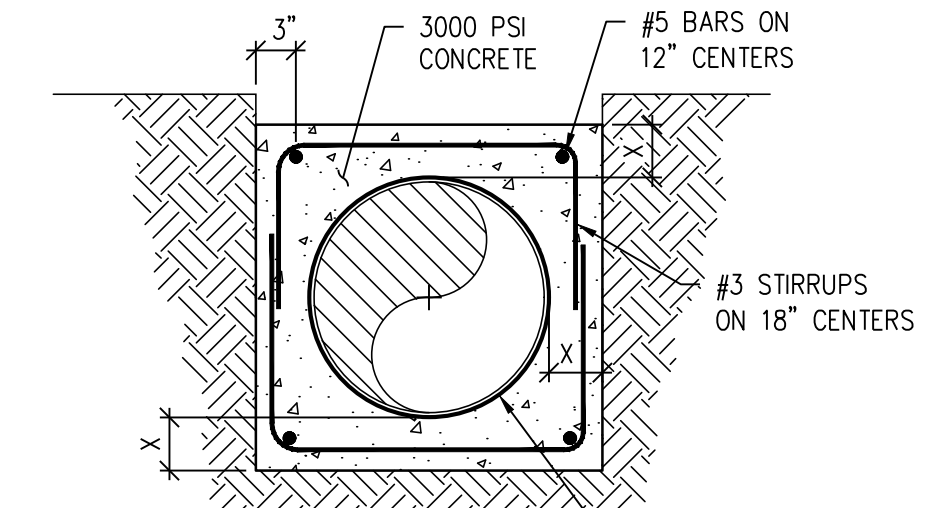
- NOTES:**
- SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL. ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
 - THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE.
 - THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SURROUNDED WITH A CEMENT GROUT IN UNPAVED AREA, OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
 - DESIGN OF BOX BASE IS BASED ON STRAIGHT RUNS OF PIPE OR CHANGE IN DIRECTION OF LESS THAN 45°. SPECIAL DESIGN IS REQUIRED FOR 45° OR GREATER.
 - PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 199 (ASTM C 478).
 - CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
 - STEPS SHALL BE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT.-6 IN. AND SHALL CONFORM TO AASHTO M 199.
 - ALL REINFORCING STEEL SHALL BE GRADE 60 AND EPOXY COATED. VERTICAL STEEL SHALL BE PLACED AT CENTERLINE OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
 - ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONNECTED BY OPEN CHANNELIZATION ADJUSTED FOR PIPE SIZE, SHAPE, AND DIRECTION OF FLOW. DETAILS SHOWN ARE TYPICAL FOR INSTALLATIONS WITH ALL INVERTS OF SAME RELATIVE ELEVATION. FOR EXCESSIVE ELEVATION DIFFERENCE BETWEEN INVERTS, SPECIAL BASE/CHANNEL DETAILS WILL BE SHOWN ON THE PLANS.
 - FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
 - STUB-OUTS SHALL EXTEND 2 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
 - THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.
 - BASE SLABS SHALL BE POURED MONOLITHICALLY WITH BOTTOM RISER SECTION.
 - PRECAST MANHOLE BASES SHALL FIT THE CONDITIONS AND LOCATIONS FOR WHICH THEY ARE INTENDED WITHOUT ANY FIELD MODIFICATIONS. ANY MANHOLE BASE WHICH REQUIRES FIELD CUTTING OR MODIFICATION IN ORDER TO FIT THE LOCATIONS INTENDED WILL BE REJECTED BY THE ENGINEER AND REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
 - FOR FULL DETAIL, SEE CDOT DETAIL M-604-20.



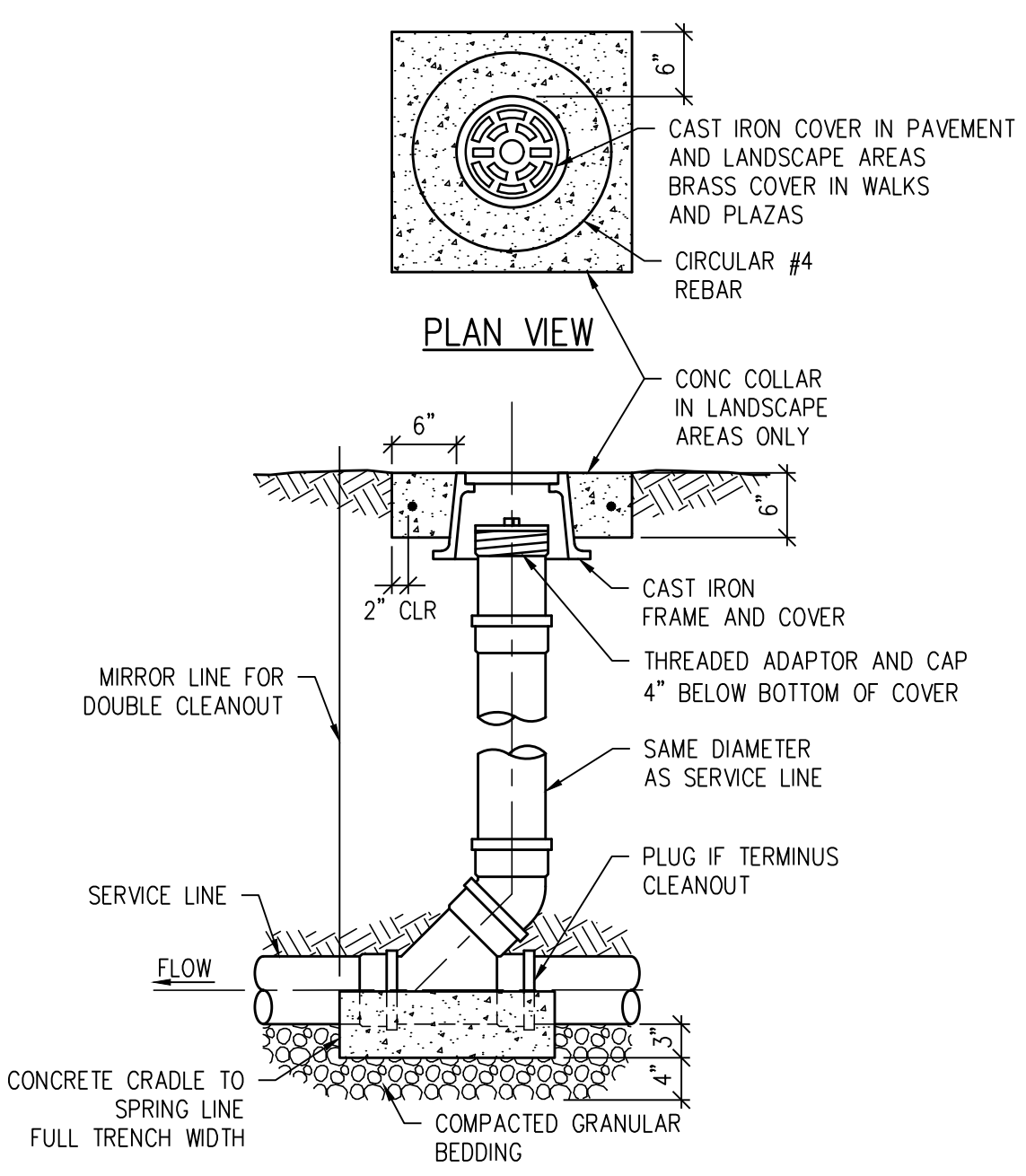
SANITARY SEWER & WATER PIPE BEDDING DETAIL 2
 NTS C2.1



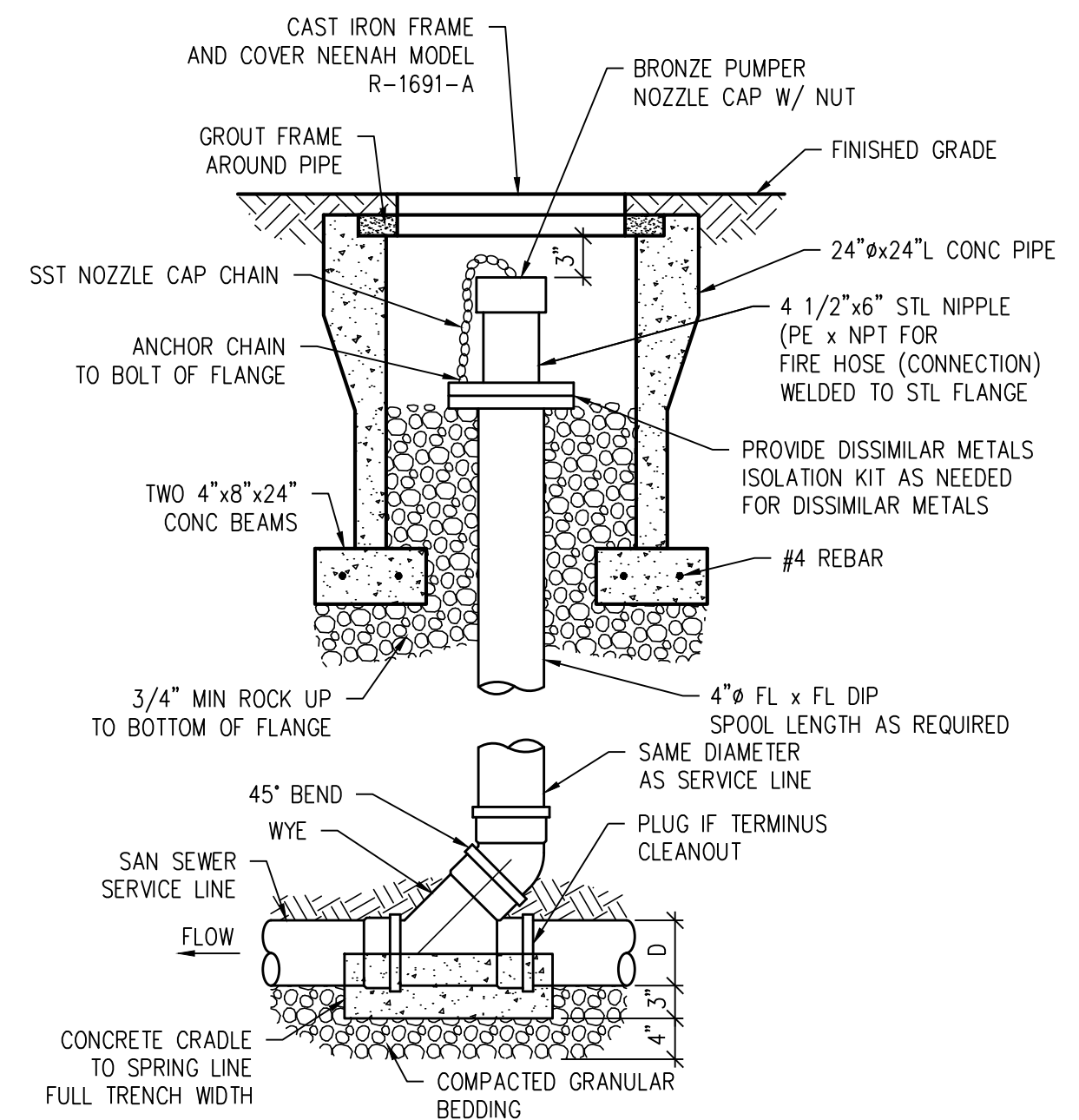
GRAVEL SECTION DETAIL 3
 NTS C1.0



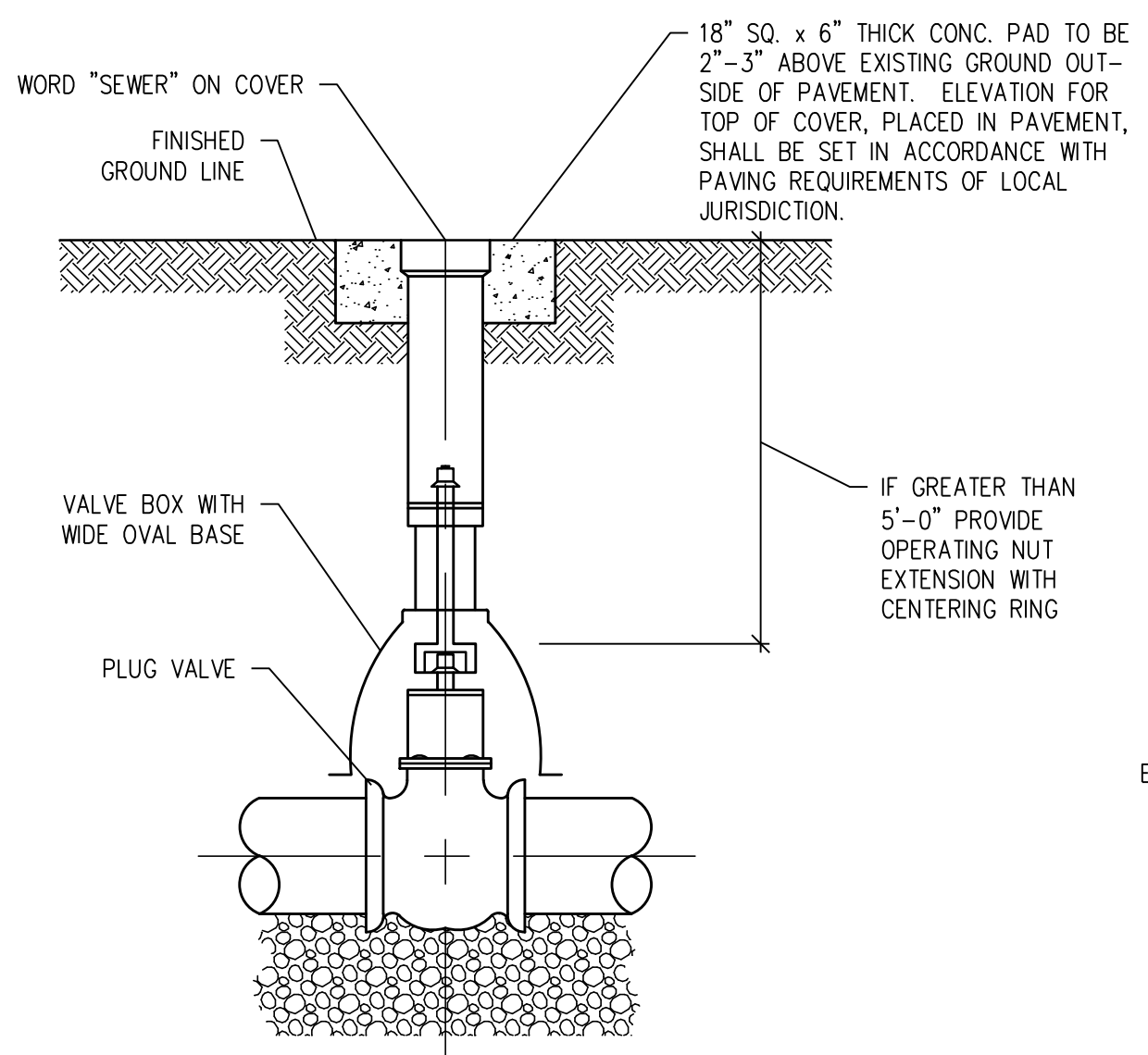
CONCRETE ENCASEMENT DETAIL 4
 NTS C2.1



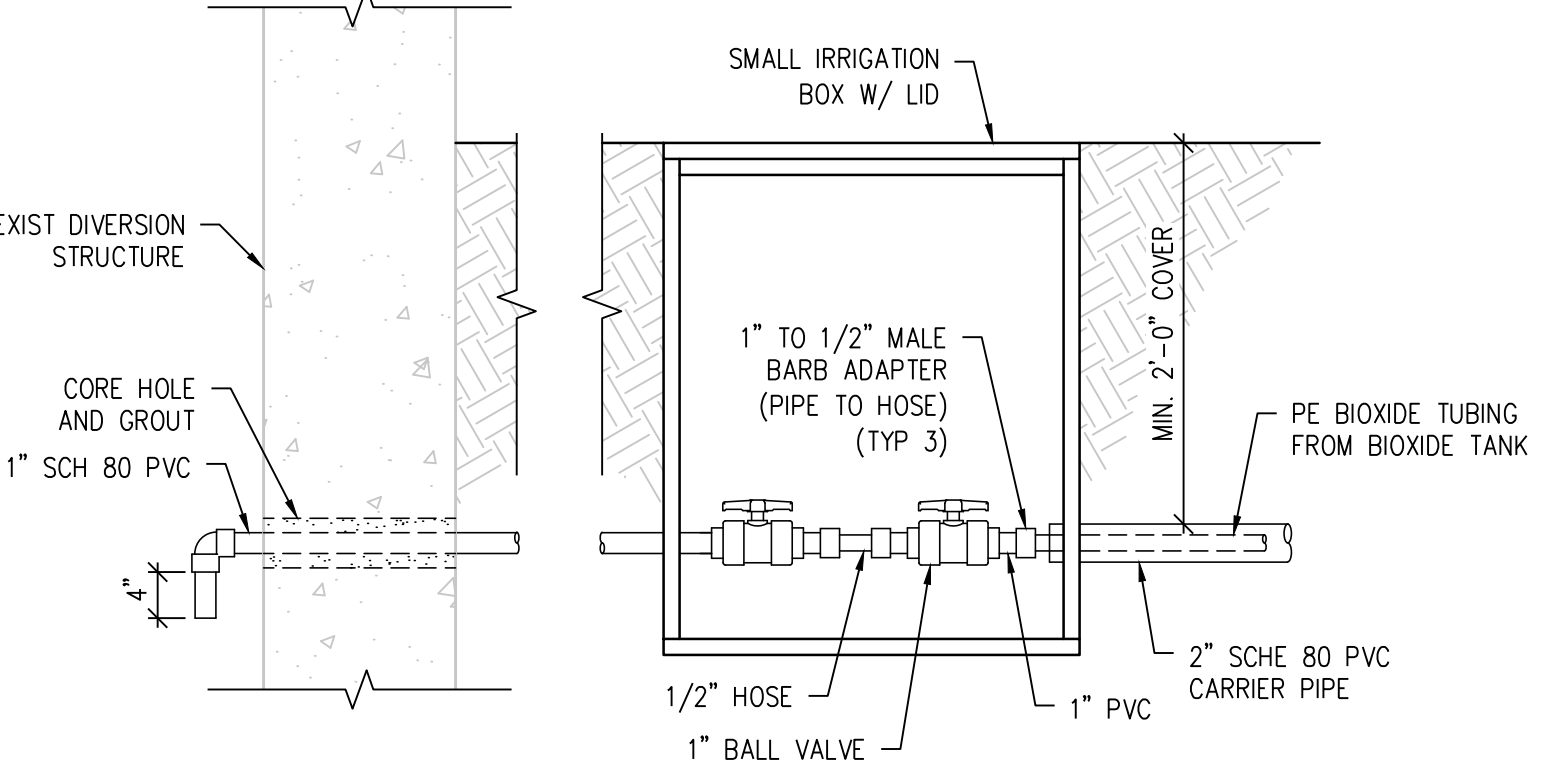
SANITARY SEWER CLEANOUT DETAIL 5
 NTS C2.1



SANITARY SEWER PRESSURE CLEANOUT DETAIL 6
 NTS C2.1



PLUG VALVE DETAIL 7
 NTS C2.1



BIOXIDE DISCONNECT BOX DETAIL 8
 NTS C2.0

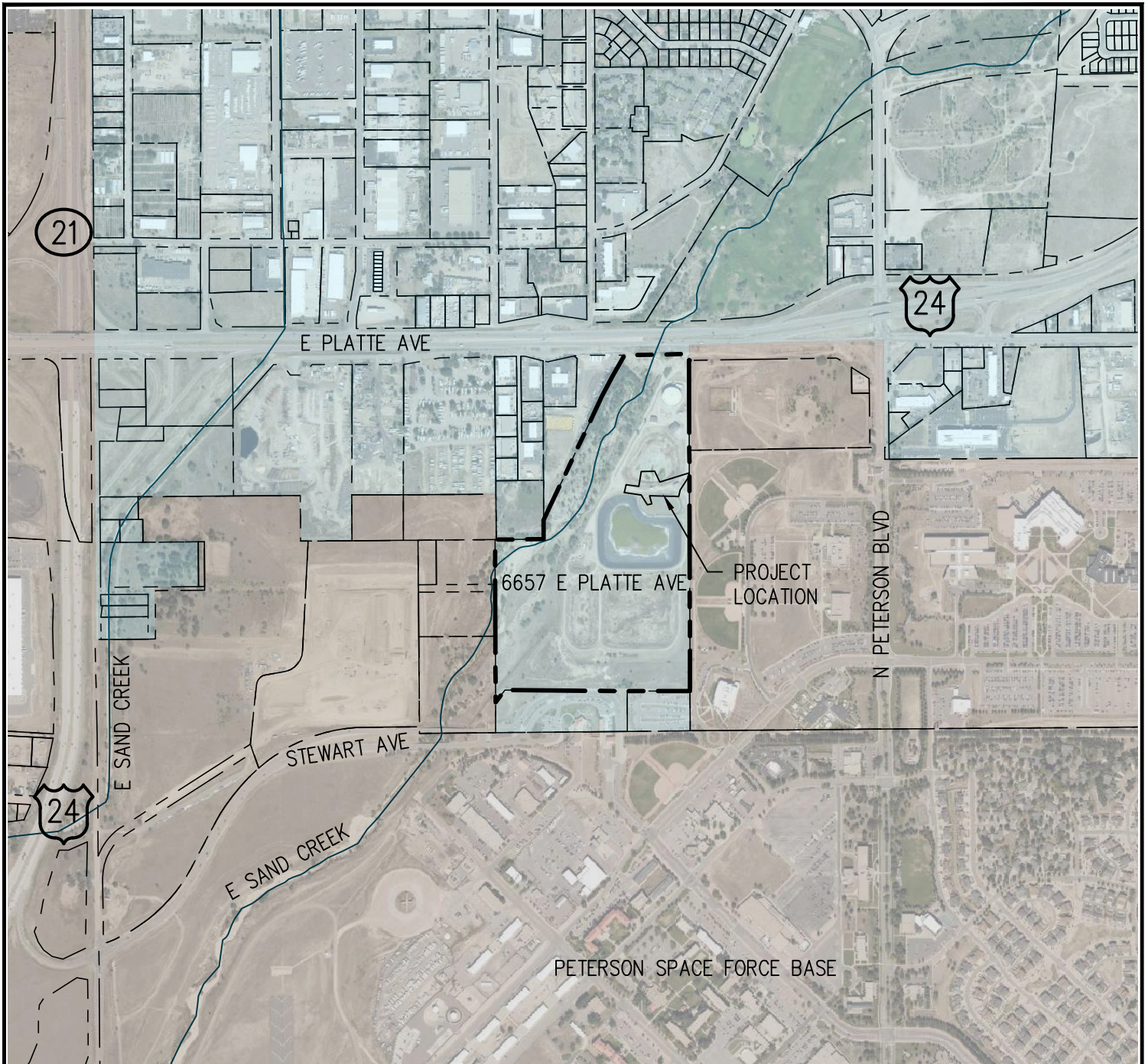
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JOB #:	1164e
DATE:	APRIL 2023

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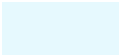

CHEROKEE METROPOLITAN DISTRICT
 LIFT STATION NO. 1B
 EL PASO COUNTY, COLORADO

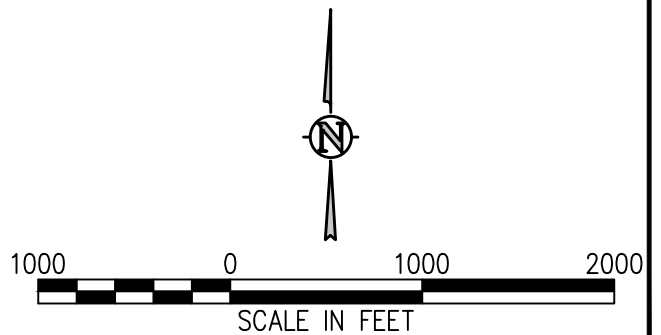
SHEET NO.

CD2.0

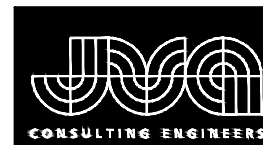


LEGEND

-  UNINCORPORATED EL PASO COUNTY
-  CITY OF COLORADO SPRINGS



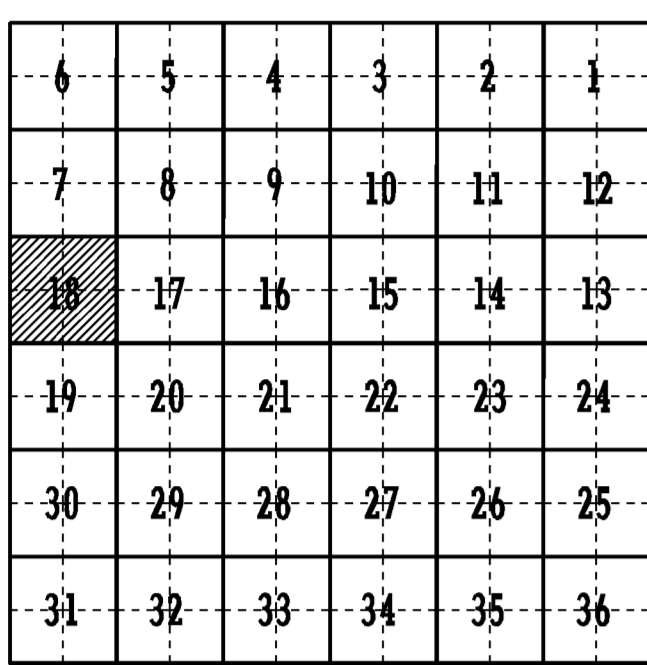
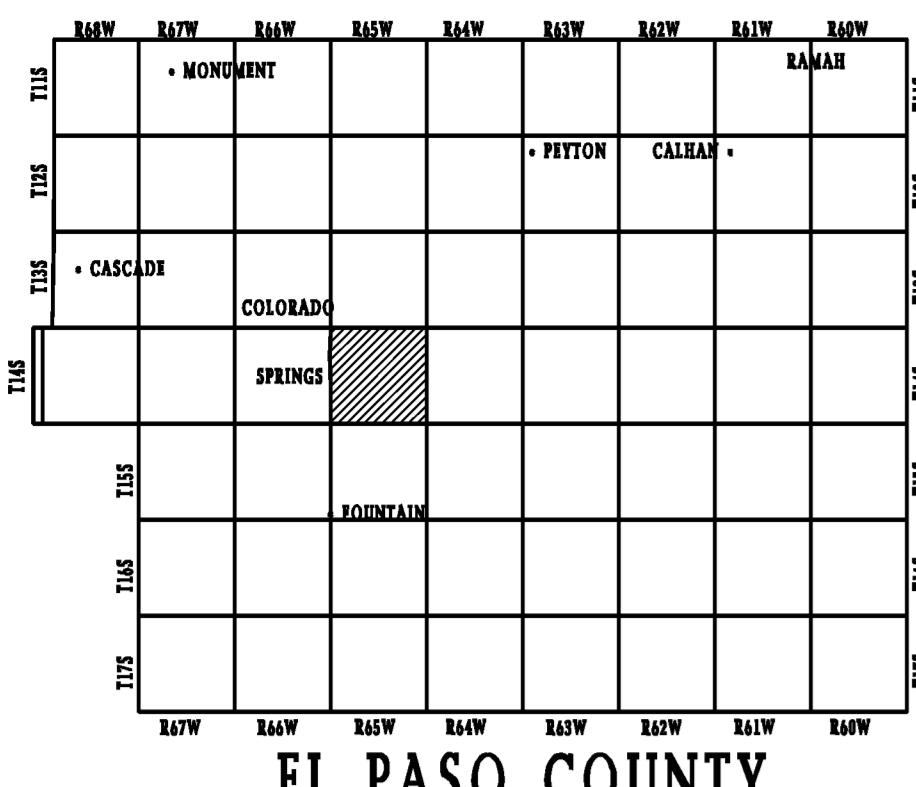
CMD VICINITY MAP
PARCEL NO. 5418000080
OCTOBER 2022



JVA, Inc.
 1319 Spruce Street
 Boulder, CO 80302
 303.444.1951
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ADJOINING 54073-74

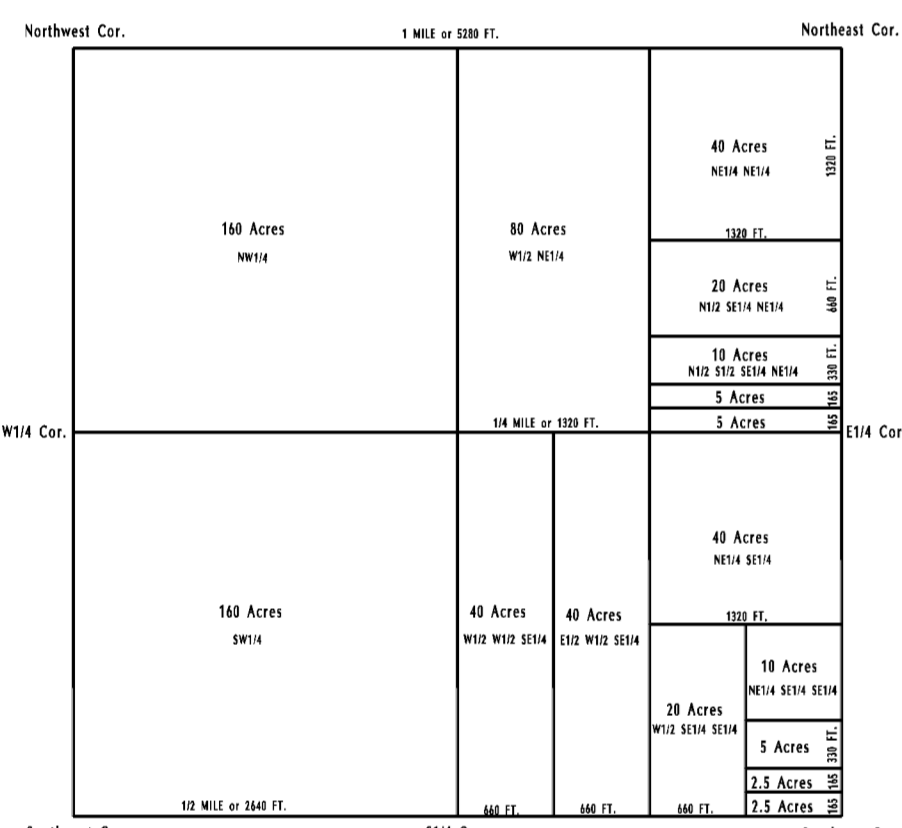
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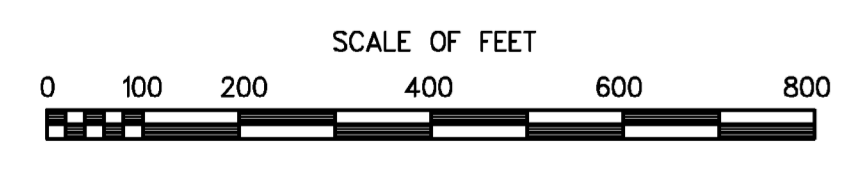
ASSESSOR



Geographic Information System
El Paso County Colorado



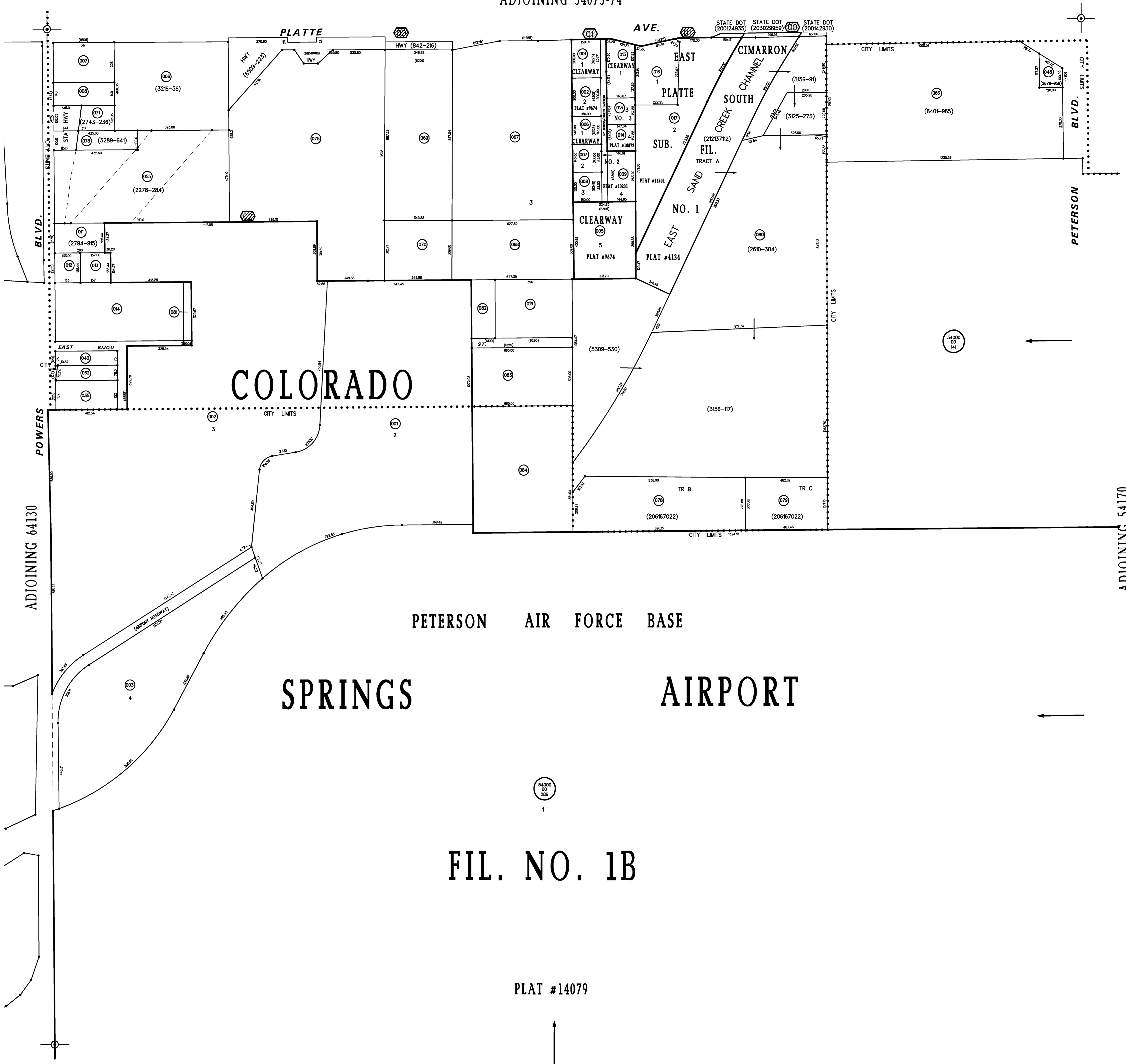
June 29, 2022



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