

CHEROKEE METROPOLITAN DISTRICT

LIFT STATION NO. 1 ADDITIONS

6657 E PLATTE AVE, PARCEL NO. 5418000080

COLORADO SPRINGS, COLORADO

SITE DEVELOPMENT PERMIT: PPR-2254

FILE NO.: PPR-2254

CONTACTS

OWNER: CHEROKEE METROPOLITAN DISTRICT
6250 PALMER BARK BOULEVARD
COLORADO SPRINGS, CO 80915

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CIVIL ENGINEER (PLAN PREPARER): JVA, INC
1319 SPRUCE STREET
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ENVIRONMENTAL ENGINEER: JVA, INC
1319 SPRUCE STREET
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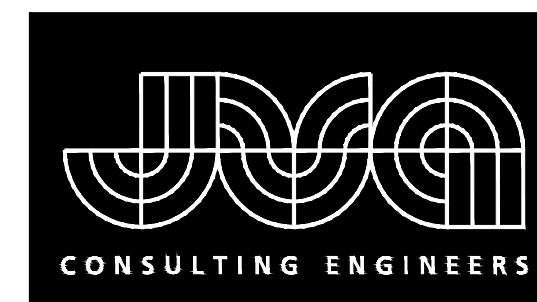
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CONTRACTOR: STANEK CONSTRUCTORS, INC.
651 CORPORATE CIRCLE SUITE 108
GOLDEN, CO 80401

DUSTIN FOSS
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SURVEYOR: EDWARD-JAMES SURVEYING, INC.
926 ELKTON DRIVE
COLORADO SPRINGS, CO 80907

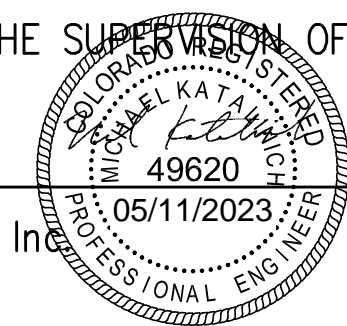
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Boulder • Fort Collins • Winter Park
Glenwood Springs • Denver

APRIL 2023

PREPARED UNDER THE SUPERVISION OF



JVA, Inc.

LEGAL DESCRIPTION:

THAT PT W2NE2 SEC 18-14-65 DESC AS FOLS: COM AT N4 COR SD SEC 18, TH S 00<46'48" W 1315.50 FT TO NW COR OF TR DESC BY BK (5309-530) & POB, TH S 89<45'21" E 331.20 FT TO SWLY COR OF TR DESC BY REC 212137112, TH N 00<46'59" E 129.52 FT, N 26<10'54" E 873.59 FT, TH ALG ARC OF CUR TO THE R HAVING A RAD OF 3452.20 FT A C/A OF 6<33'34" AN ARC DIST OF 395.22 FT, TH N 32<44'28" E 9.33 FT TO A PT ON THE SLY R/W LN O US HWY 24, TH S 89<55'03" E 296.95 FT TO NW COR OF TR DESC BY BK (3156-91), TH CONT S 89<55'03" E 127.67 FT TO A PT ON E LN W2NE4 SD SEC 18 & NE COR OF TR DESC BY BK (3156-91), TH S 00<47'32" W 2317.14 FT TO A PT ON N LN OF TR C DESC BY REC 206167022, TH 88<51'08" W 1259.94 FT, S 39<23'57" W 103.54 FT, TH N 00<46'48" E 1108.57 TO POB

ZONING:

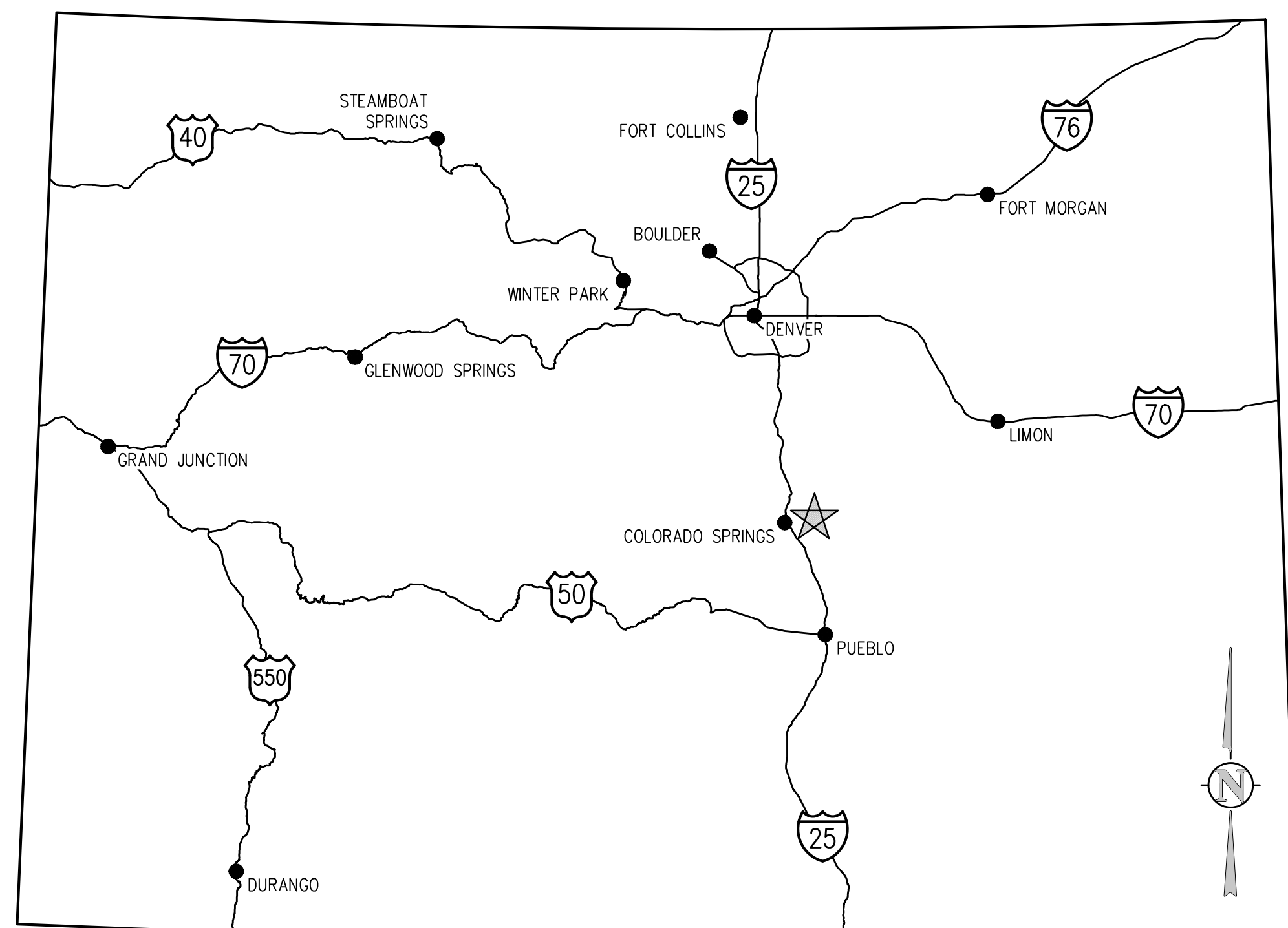
THE PROPERTY IS ZONED AS RR-5 (RESIDENTIAL RURAL DISTRICT) AND CAD-0 (COMMERCIAL AIRPORT OVERLAY DISTRICT). THE PROPOSED PROJECT WILL NOT CHANGE THE ZONING DESIGNATION.

DRAWING INDEX

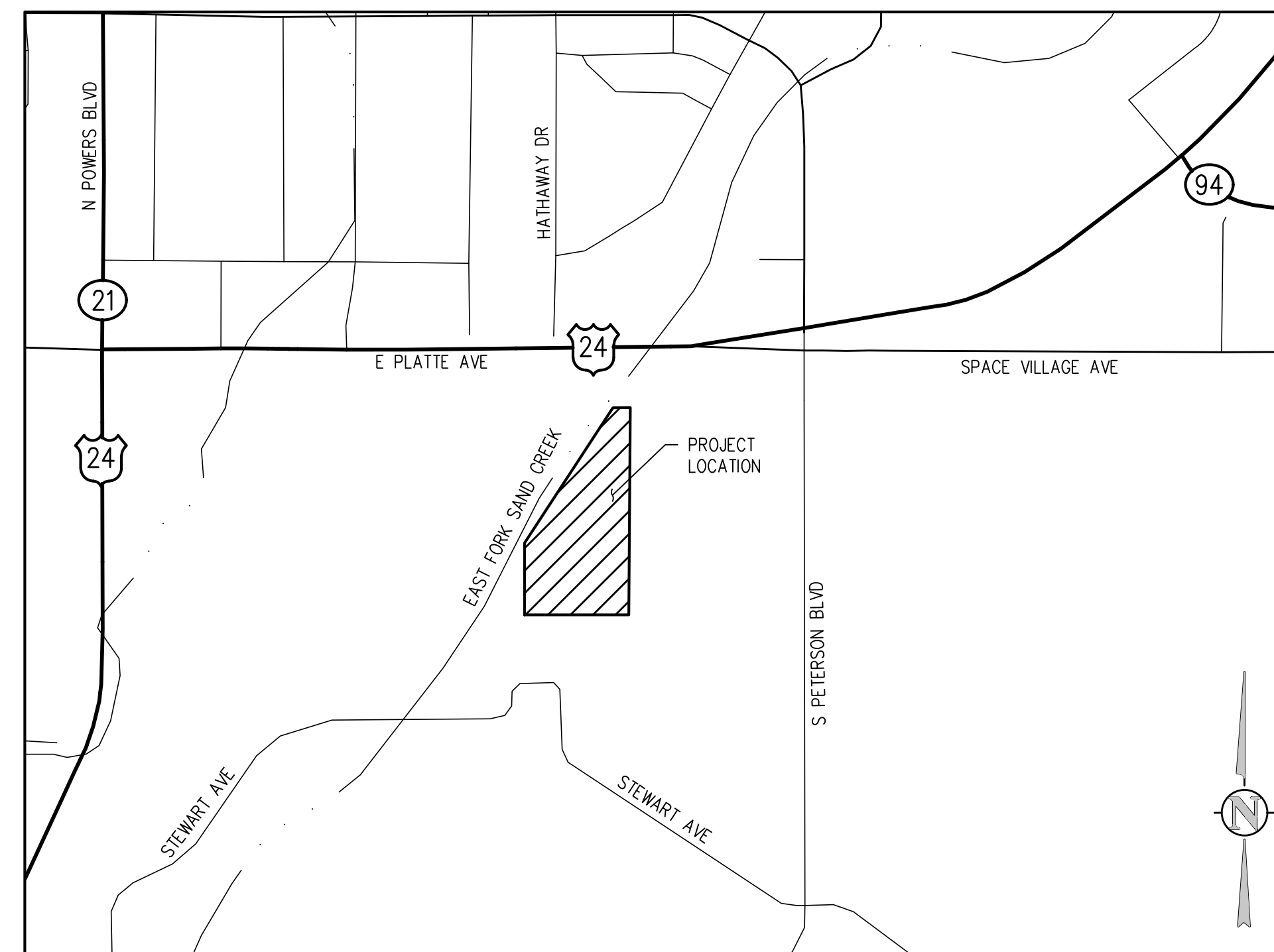
SHEET NO.	TITLE
CO.0	COVER SHEET
CO.1	LEGEND, NOTES, AND ABBREVIATIONS
C2.0	SITE DEVELOPMENT PLAN
C2.1	SITE DEVELOPMENT PLAN
CD2.0	CIVIL DETAILS

SITE DATA:

LOT/PARCEL SIZE:	53.38 ACRES
EXISTING/PROPOSED LAND USE:	POLITICAL SUBDIVISION
BUILDING FOOTPRINT:	782 SF
WET WELL FOOTPRINT:	5,387 SF
EXISTING BUILDINGS TOTAL AREA:	20,000 SF
LAGOON COVERAGE:	272,000 SF
OPEN/LANDSCAPED AREA COVERAGE:	46.44 ACRES
IMPERMEABLE SURFACE COVERAGE:	4,000 SF



VICINITY MAP
NTS



PROJECT LOCATION MAP
NTS

Approved
By: *Justin Kilgore*
Planning Manager
Date: 07/11/2023
El Paso County Planning & Community Development



ABBREVIATIONS

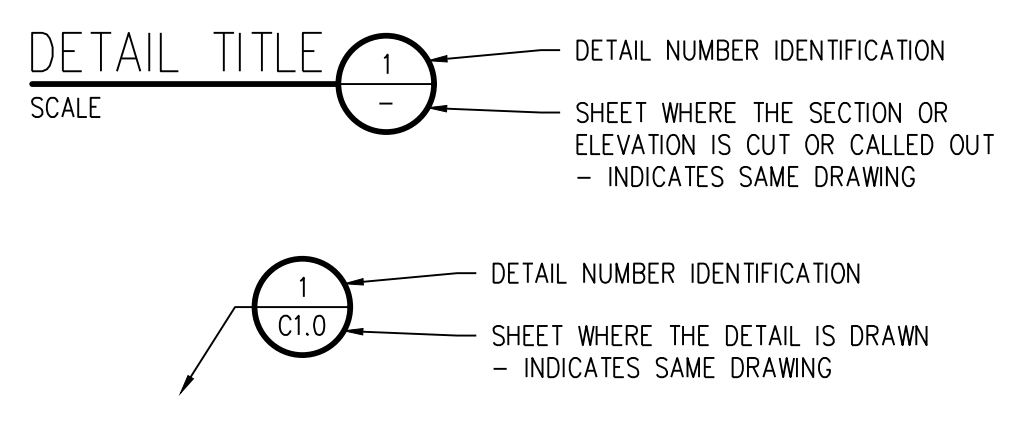
AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL	INCLUDED
ABAN	ABANDON	ID	INSIDE DIAMETER
AC	ASPHALTIC CONCRETE PAVING	INSUL	INSULATION
ADDL	ADDITIONAL	INV	INVERT
ADDM	ADDENDUM	IRR	IRRIGATION
ADJ	ADJUSTABLE	JTS	JOINTS
AL	ALUMINIUM	KO	KNOCKOUT
ALT	ALTERNATE	KPL	KICK PLATE
AMT	AMOUNT	KWY	KEYWAY
APPROX	APPROXIMATE	L	LEFT OR LITER
ARCH	ARCHITECT(URAL)	LSCAPE	LANDSCAPE(ING)
ARV	AIR RELIEF VALVE	LF	LINEAR FOOT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	LP	LOW POINT
ASPH	ASPHALT	LT	LIGHT
ASSY	ASSEMBLY	LWL	LOW WATER LEVEL
ASYM	ASYMMETRICAL	MAINT	MAINTENANCE
AUTO	AUTOMATIC	MAN	MANUAL
AVG	AVERAGE	MATL	MATERIAL
AWWA	AMERICAN WATER WORKS ASSOC.	MAX	MAXIMUM
		ME	MATCH EXISTING
		MECH	MECHANICAL
		MFR	MANUFACTURER
		MH	MANHOLE
		MIN	MINIMUM
		MISC	MISCELLANEOUS
		MJ	MECHANICAL JOINT
		N	NORTH
		NA	NOT APPLICABLE
		NIC	NOT IN CONTRACT
		NPT	NATIONAL PIPE THREAD
		NTS	NOT TO SCALE
		OC	ON CENTER
		OD	OUTSIDE DIAMETER
		OPP	OPPOSITE
		OPT	OPTIONAL
		PC	POINT OF CURVATURE
		PCO	PRESSURE CLEAN OUT
		PCR	POINT OF CURVE RETURN
		PI	POINT OF INTERSECTION
		PVI	POINT OF VERTICAL INTERSECTION
		PL	PROPERTY LINE
		PE	POLYETHYLENE
		PF	PREFABRICATED
		PRELIM	PRELIMINARY
		PREP	PREPARATION
		PROP	PROPOSED
		PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
		PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
		PT	POINT OF TANGENCY
		PV	PLUG VALVE
		PVC	POLYVINYL CHLORIDE OR POLYVINYL CHLORIDE
		PVMT	POINT OF VERTICAL CURVATURE PAVEMENT
		QTY	QUANTITY
		R	RIGHT
		RAD	RADIUS
		RCP	REINFORCED CONCRETE PIPE
		RD	ROOF DRAIN
		RE	REFERENCE
		RECT	RECTANGULAR
		REINF	REINFORCE (D) (NG) (MENT)
		REQD	REQUIRED
		ROW	RIGHT OF WAY
		SAN	SANITARY
		SD	STORM DRAIN
		SECT	SECTION
		SPD	STANDARD PROCTOR DENSITY
		SPEC	SPECIFICATION
		SO	SQUARE
		SO IN	SQUARE INCH
		SO FT	SQUARE FOOT
		SO YD	SQUARE YARD
		SS	SANITARY SEWER
		SST	STAINLESS STEEL
		STA	STATION
		STD	STANDARD
		STL	STEEL
		STRUCT	STRUCTURAL
		SVS	SERVICE
		SWMP	STORMWATER MANAGEMENT PLAN
		SYM	SYMMETRICAL
		TB	THRUST BLOCK
		TBC	TOP BACK OF CURB
		TBM	TEMPORARY BENCH MARK
		TEMP	TEMPORARY
		TG	FINISHED GRADE ADJACENT TO TOP OF WALL
		THK	THICK
		TOB	TOP OF BANK
		TOC	TOP OF CONCRETE OR TOP OF CURB
		TOS	TOP OF STEP
		TOT	TOTAL
		TW	TOP OF WALL OR CAP OF WALL
		TYP	TYPICAL
		UBC	UNIFORM BUILDING CODE
		UGE	UNDERGROUND ELECTRIC
		UTIL	UTILITY
		VERT	VERTICAL
		VC	POINT OF VERTICAL CURVATURE
		VCP	VERTICAL CLAY PIPE
		W	WIDE OR WIDTH
		W/O	WITHOUT
		WOCE	WATER QUALITY CONTROL ELEVATION
		WSE	WATER SURFACE ELEVATION
		WW	WASTEWATER
		X SECT	CROSS SECTION
		XFMR	ELECTRONIC TRANSFORMER
		YH	YARD HYDRANT

DESIGN LEGEND

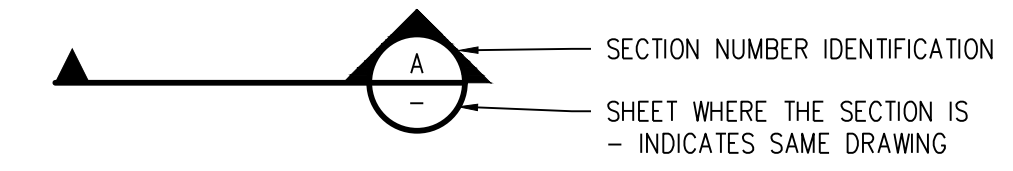
	BENCHMARK		FENCE
	MANHOLE		FLOW LINE OF DITCH OR WASH
	AREA DRAIN		SLOPE ARROW
	COMBINATION INLET		PROPOSED SPOT ELEVATION
	TYPE R INLET		EXIST SPOT ELEVATION
	TYPE 13 FIELD INLET		EXIST INDEX CONTOUR
	FLARED END SECTION W/ RIPRAP		EXIST INTERMEDIATE CONTOUR
	TEE W/ THRUST BLOCK		PROPOSED INDEX CONTOUR
	BEND W/ THRUST BLOCK		PROPOSED INTERMEDIATE CONTOUR
	END CAP W/ THRUST BLOCK		SPILL/CATCH CURB TRANSITION
	GATE VALVE		SIGN W/ POST
	REDUCER/INCREASER		CONCRETE PAVING
	WATER METER		HEAVY DUTY ASPHALT PAVING
	FIRE HYDRANT		LIGHT DUTY ASPHALT PAVING
	STORM - 12" AND SMALLER		GRAVEL
	STORM - LARGER THAN 12"		PROPOSED BUILDING
	ROOF DRAIN		BUILDING ACCESS
	TRENCH DRAIN		RETAINING WALL
	UNDERDRAIN		BOULDER/ROCK WALL
	SANITARY SEWER		LIMITS OF SAWCUT
	FORCE MAIN		LIMITS OF WORK
	WATER		EASEMENT LINE
	NON POTABLE WATER		PROPERTY LINE
	POTABLE WATER		ADJACENT PROPERTY LINE/ROW
	IRRIGATION		MATCHLINE
	IRRIGATION - LARGER THAN 12"		MAPPED ELECTRIC*
	CABLE TV		MAPPED FORCE MAIN*
	DRAIN		MAPPED SANITARY SEWER*
	ELECTRIC		
	UNDERGROUND ELECTRIC		
	OVERHEAD ELECTRIC		
	TELEPHONE		
	FIBER OPTIC		
	FUEL		
	GAS		
	PVC PIPE (MISC)		



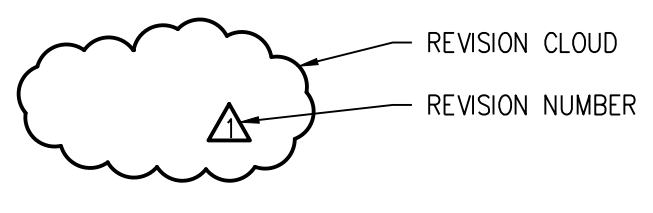
DETAIL TITLE



SECTION CALLOUT



DETAIL MARKER



SURVEY LEGEND

	WATER LINE		BENCHMARK AS DESCRIBED
	FIRE HYDRANT		FOUND MONUMENT
	WATER METER		FOUND MONUMENT
	VALVE		TEST CP
	SANITARY SEWER LINE		UTILITY LOCATED FROM MAP
	SANITARY SEWER MANHOLE		AS MEASURED AT TIME OF SURVEY
	STORM DRAINAGE LINE		CALCULATED FROM RECORD AND AS MEASURED INFORMATION
	STORM DRAINAGE MANHOLE		PLAT
	CURB INLET		RECORDED
	UNDERGROUND ELECTRICAL LINE		MAILBOX
	OVERHEAD ELECTRICAL LINE		CONCRETE
	ELECTRICAL POLE		EDGE OF ASPHALT
	GUY WIRE		GRAVEL
	ELECTRICAL TRANSFORMER		FENCE
	ELECTRICAL RISER		GUARDRAIL
	ELECTRIC VAULT		BOLLARD
	ELECTRIC METER		SIGN
	UNKNOWN MANHOLE		CONIFEROUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	VENT PIPE		DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	LIGHT POLE		BOULDER
	FIBEROPTIC LINE		
	TELEPHONE LINE		
	TELEPHONE RISER		
	GAS LINE		
	INDICATION OF ACCESS		
	BUILDING		

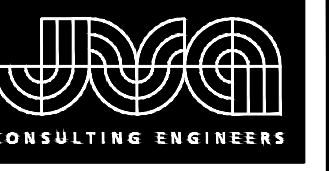
NOTE: SHADED ITEMS REPRESENT EXIST FEATURES

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF CHEROKEE METROPOLITAN DISTRICT, COLORADO DEPARTMENT OF TRANSPORTATION, CIMARRON HILLS FIRE PROTECTION REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE CIMARRON HILLS FIRE PROTECTION DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER AND ENGINEER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UCCO.ORG). SEE SURVEY UTILITY LOCATION INFORMATION BELOW.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES,* PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
- RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
- FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
- OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, MILE HIGH FLOOD DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
- PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES.
- SURVEY INFORMATION:
 - TOPOGRAPHIC INFORMATION WAS PROVIDED BY EDWARD-JAMES SURVEYING, INC. SEE "2365-00 LS1 TOPO JUNE 2022 VS4.DWG" DATED 6/22/2022, UPDATED 8/5/2022. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 - BASIS OF ELEVATIONS: PROJECT ELEVATIONS ARE BASED ON A NGS SURVEY CONTROL MONUMENT POINT T 76 RESET, CONTROL POINT T 76 RESET IS A BENCHMARK BRASS MONUMENT SET IN CONCRETE ON THE SOUTH SIDE OF U.S. HIGHWAY 24 EAST OF COLORADO SPRINGS, HAVING A NAVD88 ELEVATION OF 6141.49 FT.
 - COORDINATE DATUM: PROJECT COORDINATES ARE COLORADO STATE PLANE CENTRAL ZONE NAD 83 (2011) COORDINATES
 - HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:

CP-10	N1366229.22	E3225659.69	ELEV 6250.36	CP-40	N1367602.72	E3267269.52	ELEV 6501.14
CP-201	N1366666.87	E3225967.84	ELEV 6259.69	CP-70	N1367475.49	E3269906.26	ELEV 6487.64
CP-202	N1366434.26	E3226145.13	ELEV 6257.38	CP-80	N1355301.14	E3272427.81	ELEV 6353.97
CP-60	N1368003.96	E3233649.52	ELEV 6314.30	CP-50	N1351673.15	E3279000.96	ELEV 6215.87
CP-20	N1367210.75	E3258999.73	ELEV 6226.87	CP-51	N1351707.87	E3279076.41	ELEV 6214.70
CP-30	N1367113.69	E3263718.81	ELEV 6511.30				
- SURVEY UTILITY LOCATION INFORMATION PER THE SURVEYOR: SUBSURFACE UTILITIES ARE SHOWN IN APPROXIMATE HORIZONTAL AND VERTICAL LOCATIONS CONSISTENT WITH ASCE 38-02 QUALITY LEVEL "C" (INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D; INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS), AND BASED ON FIELD MEASUREMENTS PROVIDED BY THE OWNER AND THE CONTRACTOR. SUBSURFACE UTILITIES ARE NOT DEPICTED TO THE EXTENT SET FORTH IN ASCE 38-02 QUALITY LEVELS "A" (INFORMATION OBTAINED THROUGH THE NONDESTRUCTIVE EXPOSURE OF UNDERGROUND UTILITIES, AND ALSO PROVIDES THE TYPE, SIZE, CONDITION, MATERIAL AND OTHER CHARACTERISTICS OF UNDERGROUND FEATURES) OR "B" (INFORMATION OBTAINED BY THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND HORIZONTAL POSITION OF VIRTUALLY ALL UTILITIES WITHIN THE PROJECT LIMITS. THE INFORMATION OBTAINED IN THIS MANNER IS SURVEYED TO PROJECT CONTROL). TO THE EXTENT DEEMED NECESSARY FOR THE PROTECTION OF PERSONS AND PROPERTY, POT-HOLING OR OTHER PRECISE MAPPING SHOULD BE COMPLETED TO CONFIRM THE EXACT LOCATION OF ANY SUBSURFACE UTILITIES. NOTIFY OWNER AND ENGINEER WITH ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION. VISIT [HTTPS://WWW.FHWA.DOT.GOV/PROGRAMADMIN/SUEINDEX.CFM](https://www.fhwa.dot.gov/programadmin/suindex.cfm) FOR MORE INFORMATION.
- THE CONTRACTOR AT THE CONTRACTORS EXPENSE SHALL FURNISH THE OWNER AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS") FOR THE CONSTRUCTED IMPROVEMENTS. THE AS-BUILT SET SHALL SHOW SUFFICIENT DIMENSION LINES TO DIMENSION SURFACE FEATURES OR NORTHING/EASTING POINTS FOR ALL BURRED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE AS-BUILT SET SHALL SHOW AS-BUILT SET SHALL SHOW AS-BUILT SURFACE FEATURES AND ELEVATIONS OF ASPHALT AND CONCRETE FLATWORK, FLOWLINES, GRADE BREAKS, STAIRS, CROSS-SLOPES, HIGH AND LOW POINTS, AND ADDITIONAL ELEVATIONS TO DEMONSTRATE IMPROVEMENTS WERE CONSTRUCTED PER PLANS. THE AS-BUILT SET SHALL SHOW ELEVATIONS OF ALL DETENTION/WATER QUALITY FACILITIES, INCLUDING BUT NOT LIMITED TO BERMS, SPILLWAYS, BASIN BOTTOM, PIPE INVERTS, AND CONTROL STRUCTURE FEATURES (AS SURVEYED AND STAMPED BY A CERTIFIED P.L.S.). THE AS-BUILT SET SHALL ALSO INCLUDE ELEVATIONS OF MANHOLES, PIPES, INLETS, GRATES, AND SIZES OF ALL UTILITIES. THE AS-BUILT SET SHALL SHOW ANY AND ALL VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.

DESIGNED BY:	NAS		
DRAWN BY:	MHT		
CHECKED BY:	JJM		
JOB #:	1164e		
DATE:	APRIL 2023		
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NO.	DATE	DESIGNED BY	DESCRIPTION

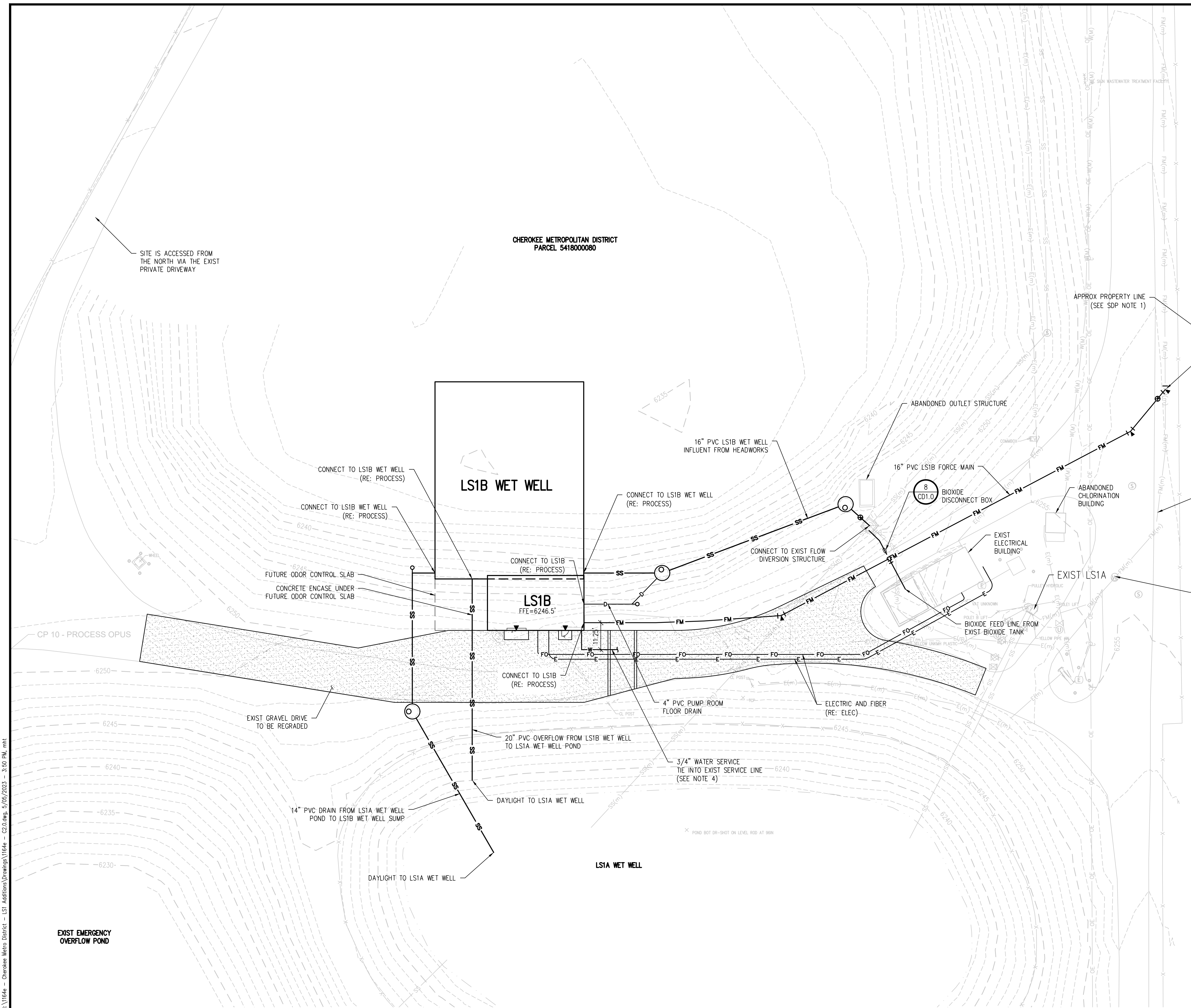


UTILITY NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
- ALL DRY UTILITY AND ELECTRIC DESIGNS ARE PROVIDED BY OTHERS AND SHOWN FOR REFERENCE ONLY. SEE MEP PLANS AND SPECIFICATIONS AND COORDINATE WITH ALL UTILITY OWNERS AS NEEDED.
- CONTRACTOR TO MARK ALL UTILITY STUBS WITH MARKERS.
- LOCATION OF EXIST WATER SERVICE LINE IS UNKNOWN. CONTRACTOR TO LOCATE, VERIFY DEPTH, AND NOTIFY OWNER AND ENGINEER PRIOR TO TIE IN.
- CONTRACTOR TO REPAIR POND LINER AS REQUIRED TO ACCOMMODATE PROPOSED GRADING AND PIPE PENETRATIONS WITHIN THE LS1A WET WELL. REPAIR POND LINER PER MANUFACTURER RECOMMENDATIONS.

SITE DEVELOPMENT PLAN NOTES:

- PROPERTY LINE SHOWN FOR REFERENCE ONLY. PROPERTY LINES WERE NOT SURVEYED FOR THIS PROJECT, BUT BUILDING SETBACK DISTANCES ARE IN ACCORDANCE WITH THE COUNTY LAND DEVELOPMENT CODE. SEE THE ATTACHED VICINITY MAP AND COUNTY ASSESSOR MAP FOR ADDITIONAL PARCEL LOCATION DATA.
- NO REGULATORY FLOODPLAIN OR DRAINAGE FACILITY EXISTS WITHIN THE PROJECT AREA.



CONNECT TO EXIST FORCE MAIN WITH 16" WYE

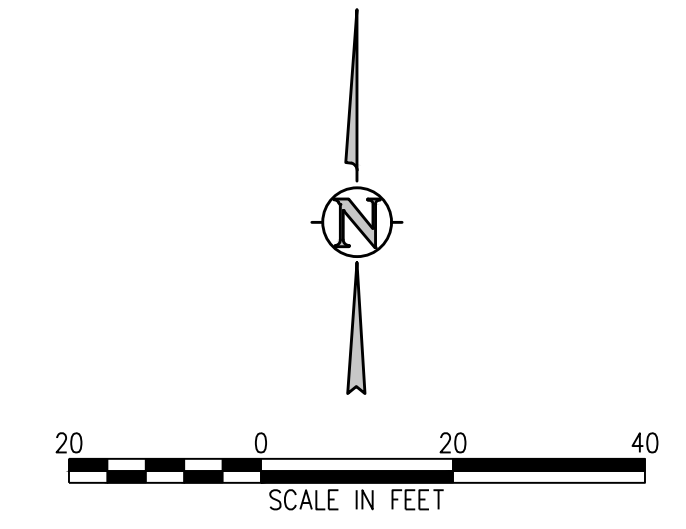
APPROX PROPERTY LINE (SEE SDP NOTE 1)

PETERSON SPACE FORCE BASE PARCEL 540000141

APPROX LOCATION OF EXIST FORCE MAIN

EXIST METERING MANHOLE

DESIGNED BY: NAS
 DRAWN BY: MHT
 CHECKED BY: JJM
 JOB #: 1164e
 DATE: APRIL 2023
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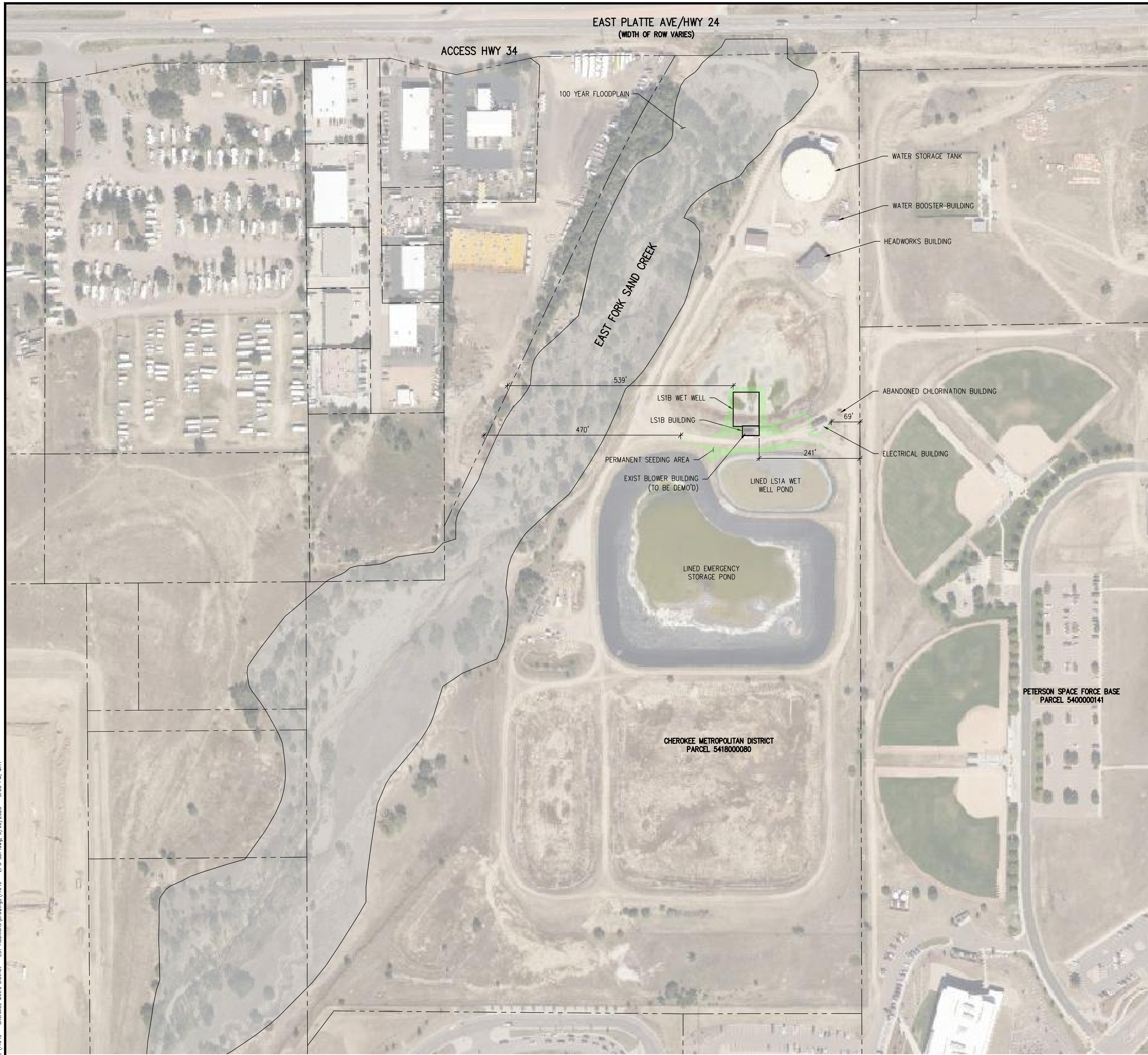


REVISION DESCRIPTION
 NO. DATE DESD DWN

CHEROKEE METROPOLITAN DISTRICT
 LIFT STATION NO. 1B
 EL PASO COUNTY, COLORADO
 SITE DEVELOPMENT PLAN

SHEET NO.
C2.0

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FILE NO.: PPR-2254

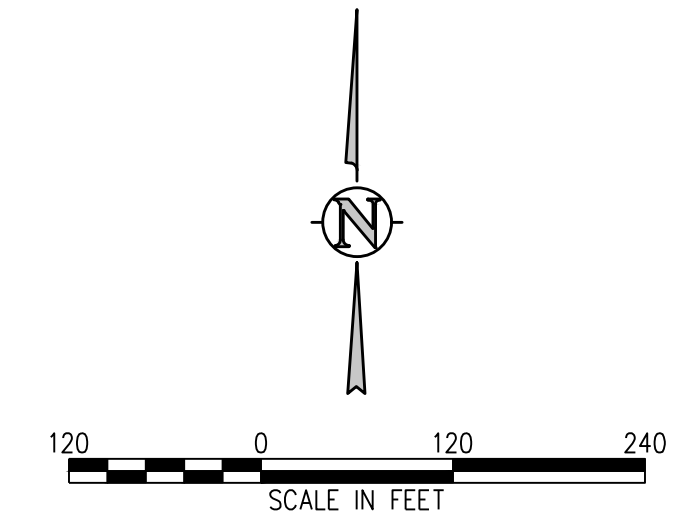
- SITE DEVELOPMENT PLAN NOTES:**
1. PROPERTY LINE SHOWN FOR REFERENCE ONLY. PROPERTY LINES WERE NOT SURVEYED FOR THIS PROJECT, BUT BUILDING SETBACK DISTANCES ARE IN ACCORDANCE WITH THE COUNTY LAND DEVELOPMENT CODE. SEE THE ATTACHED VICINITY MAP AND COUNTY ASSESSOR MAP FOR ADDITIONAL PARCEL LOCATION AND SIZE DATA.
 2. VEHICLES WILL ENTER THE SITE NEAR THE NORTHWEST PROPERTY CORNER VIA ACCESS HWY 34.
 3. PERMANENT SEEDING AREA IS SHOWN IN GREEN. SEE LANDSCAPE PLAN FOR DETAILED LANDSCAPING INFORMATION.
 4. THE PROPOSED DEVELOPMENT DOES NOT NEED TO BE CONTAINED WITHIN UTILITY EASEMENTS BECAUSE THE PROPERTY IS DISTRICT-OWNED. NO KNOWN EASEMENTS ARE LOCATED WITHIN THE PROPERTY.

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 Boulder, CO 80302 303.444.1951
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NO.	DATE	DES'D	DWN	REVISION DESCRIPTION

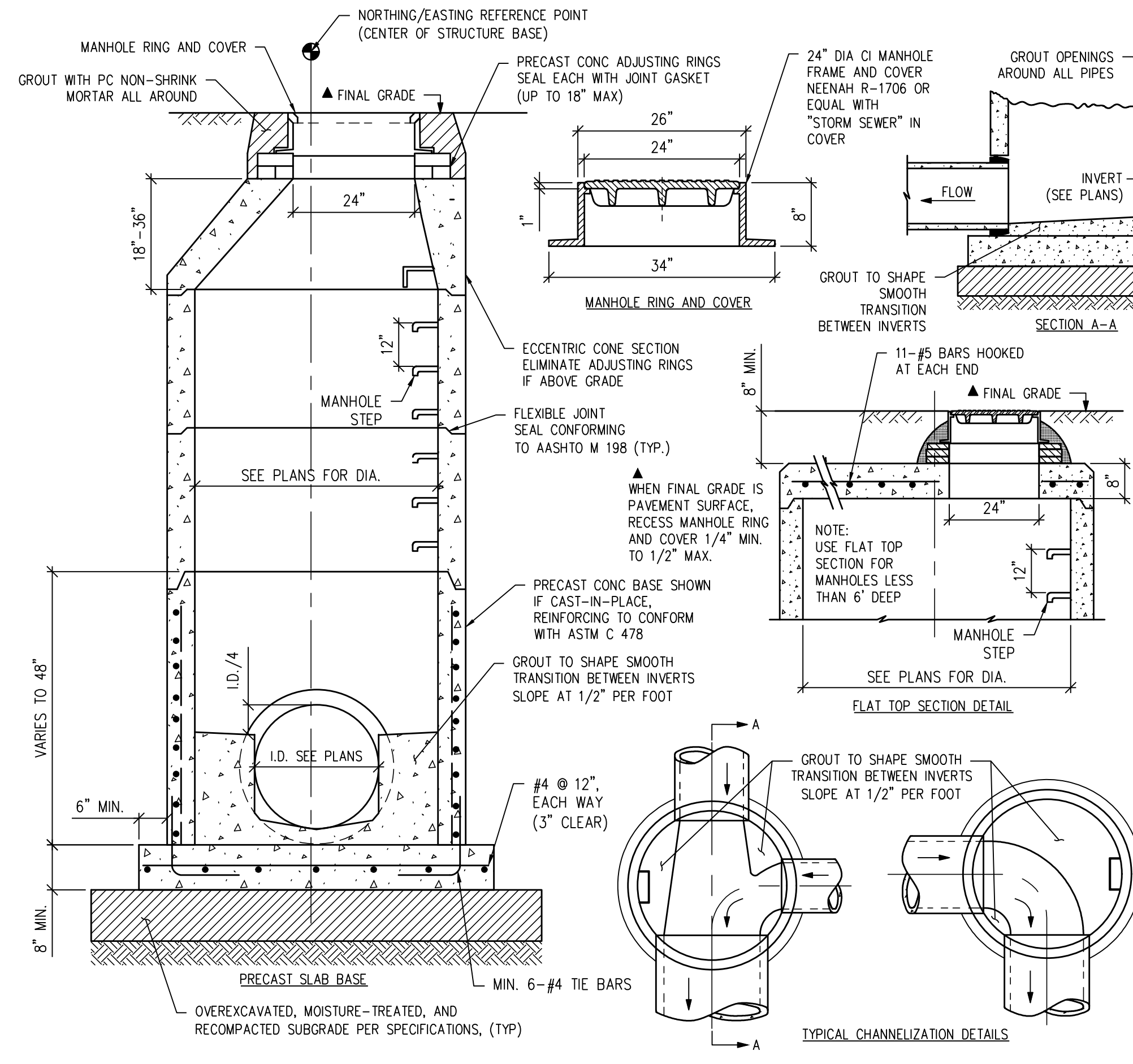
DESIGNED BY: NAS
 DRAWN BY: MHT
 CHECKED BY: JJM
 JOB #: 1164e
 DATE: APRIL 2023
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CHEROKEE METROPOLITAN DISTRICT
 LIFT STATION NO. 1B
 EL PASO COUNTY, COLORADO
 SITE DEVELOPMENT PLAN



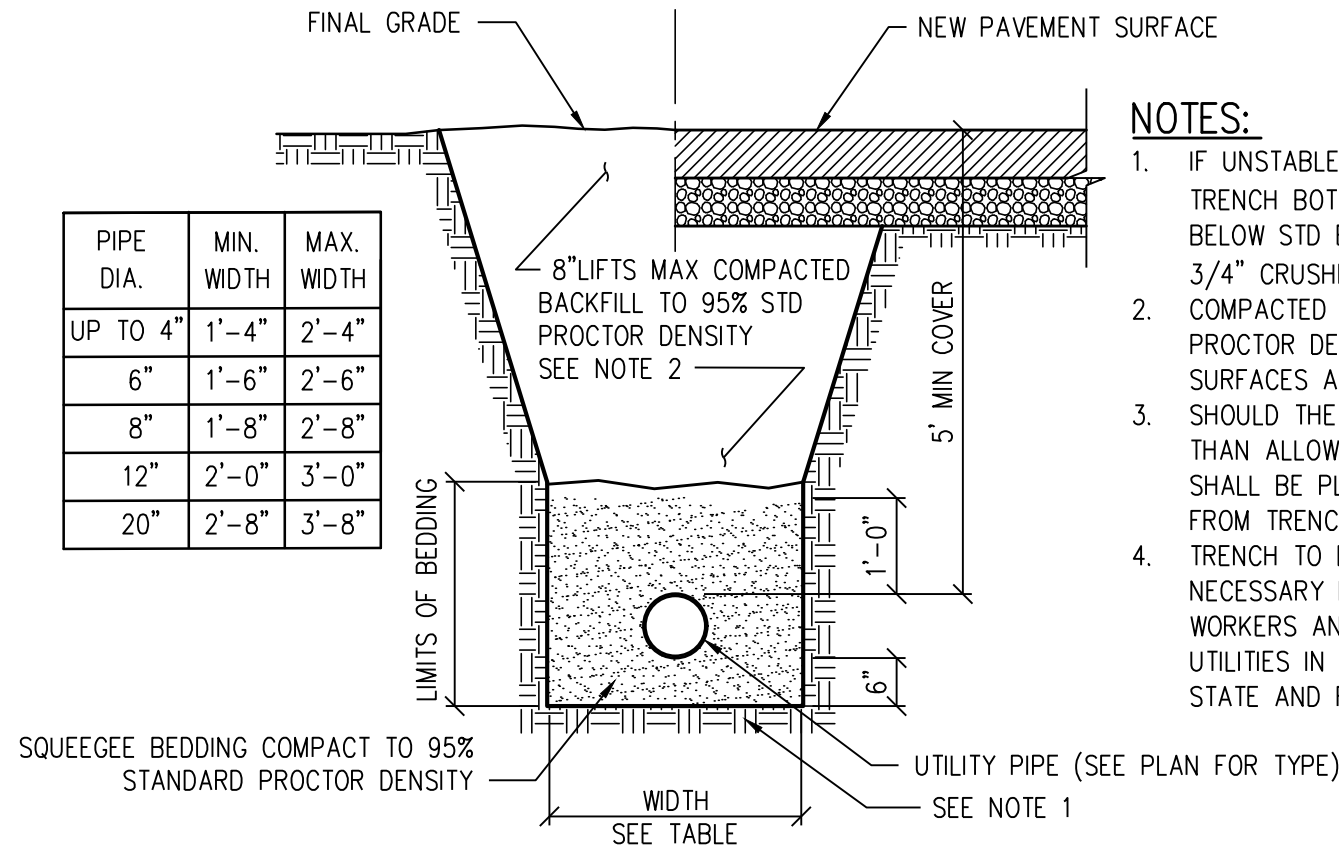
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SHEET NO.
C2.1

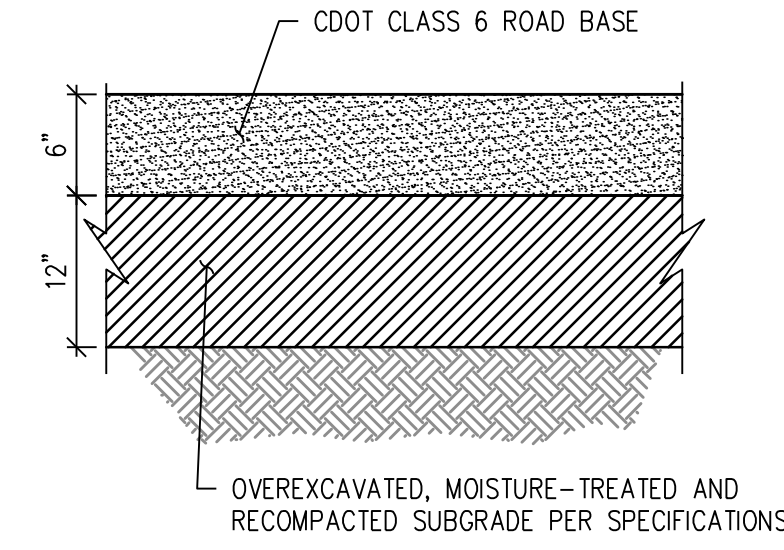


SANITARY MANHOLE DETAIL 1
 NTS C2.1

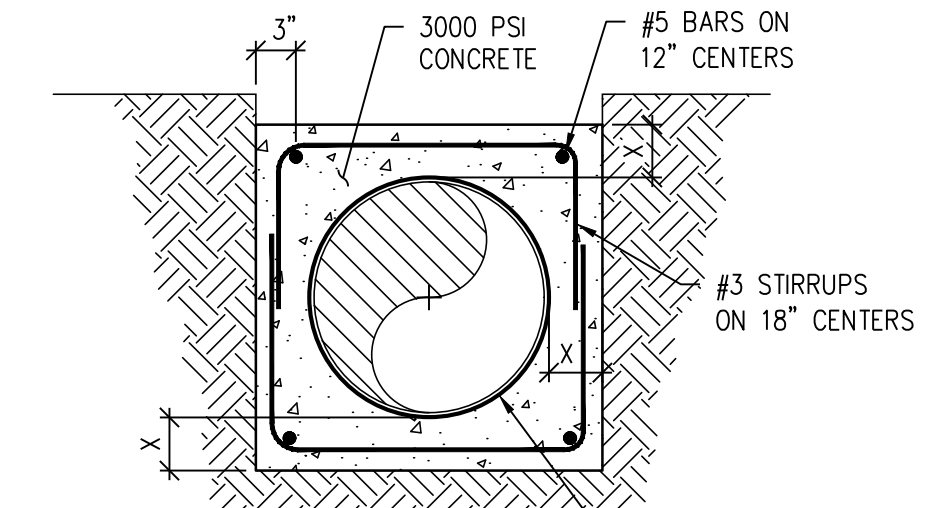
- NOTES:**
- SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL. ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
 - THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE.
 - THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SURROUNDED WITH A CEMENT GROUT IN UNPAVED AREA, OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
 - DESIGN OF BOX BASE IS BASED ON STRAIGHT RUNS OF PIPE OR CHANGE IN DIRECTION OF LESS THAN 45°. SPECIAL DESIGN IS REQUIRED FOR 45° OR GREATER.
 - PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 199 (ASTM C 478).
 - CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
 - STEPS SHALL BE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT.-6 IN. AND SHALL CONFORM TO AASHTO M 199.
 - ALL REINFORCING STEEL SHALL BE GRADE 60 AND EPOXY COATED. VERTICAL STEEL SHALL BE PLACED AT CENTERLINE OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
 - ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONNECTED BY OPEN CHANNELIZATION ADJUSTED FOR PIPE SIZE, SHAPE, AND DIRECTION OF FLOW. DETAILS SHOWN ARE TYPICAL FOR INSTALLATIONS WITH ALL INVERTS OF SAME RELATIVE ELEVATION. FOR EXCESSIVE ELEVATION DIFFERENCE BETWEEN INVERTS, SPECIAL BASE/CHANNEL DETAILS WILL BE SHOWN ON THE PLANS.
 - FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
 - STUB-OUTS SHALL EXTEND 2 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
 - THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.
 - BASE SLABS SHALL BE POURED MONOLITHICALLY WITH BOTTOM RISER SECTION.
 - PRECAST MANHOLE BASES SHALL FIT THE CONDITIONS AND LOCATIONS FOR WHICH THEY ARE INTENDED WITHOUT ANY FIELD MODIFICATIONS. ANY MANHOLE BASE WHICH REQUIRES FIELD CUTTING OR MODIFICATION IN ORDER TO FIT THE LOCATIONS INTENDED WILL BE REJECTED BY THE ENGINEER AND REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
 - FOR FULL DETAIL, SEE CDOT DETAIL M-604-20.



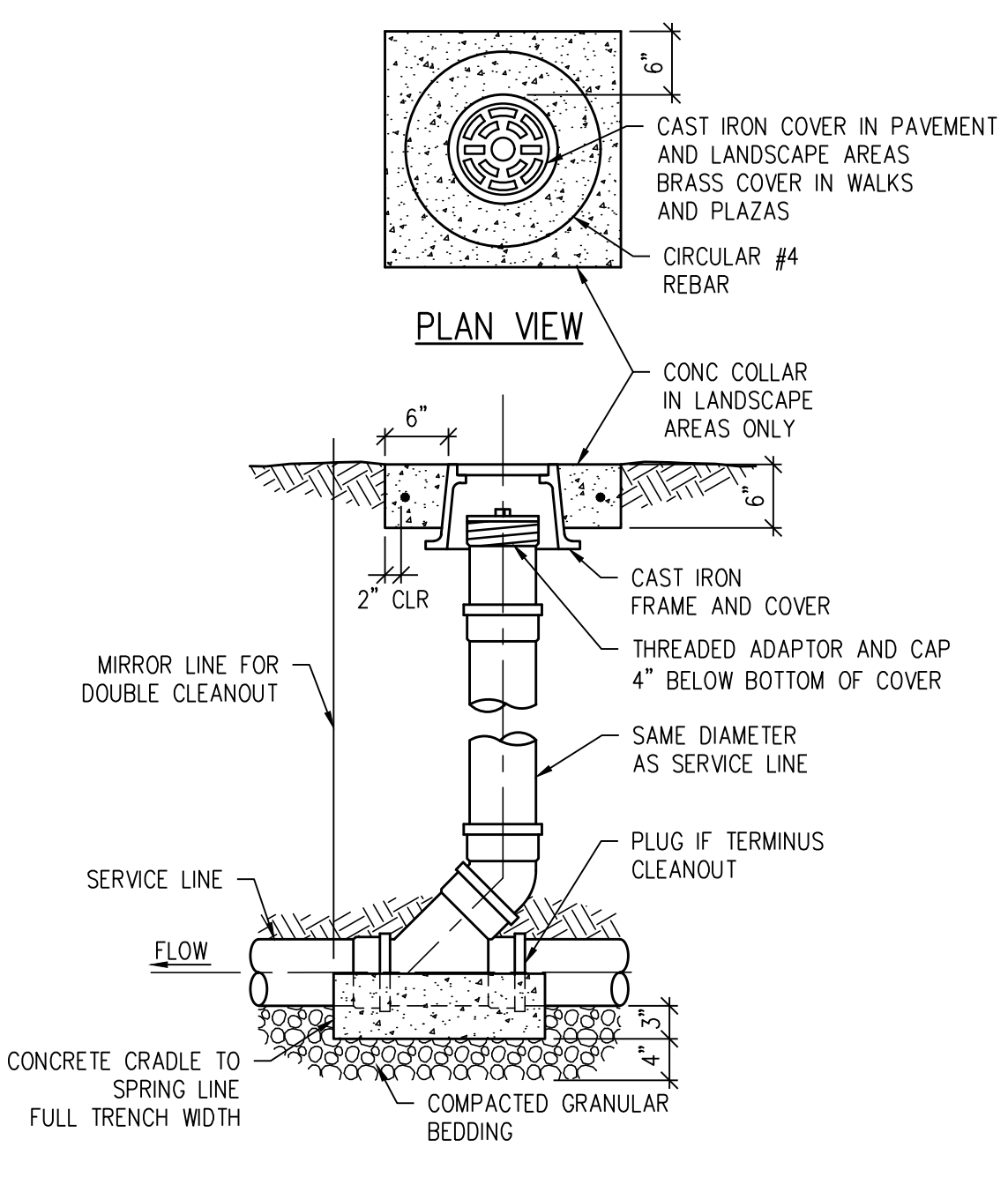
SANITARY SEWER & WATER PIPE BEDDING DETAIL 2
 NTS C2.1



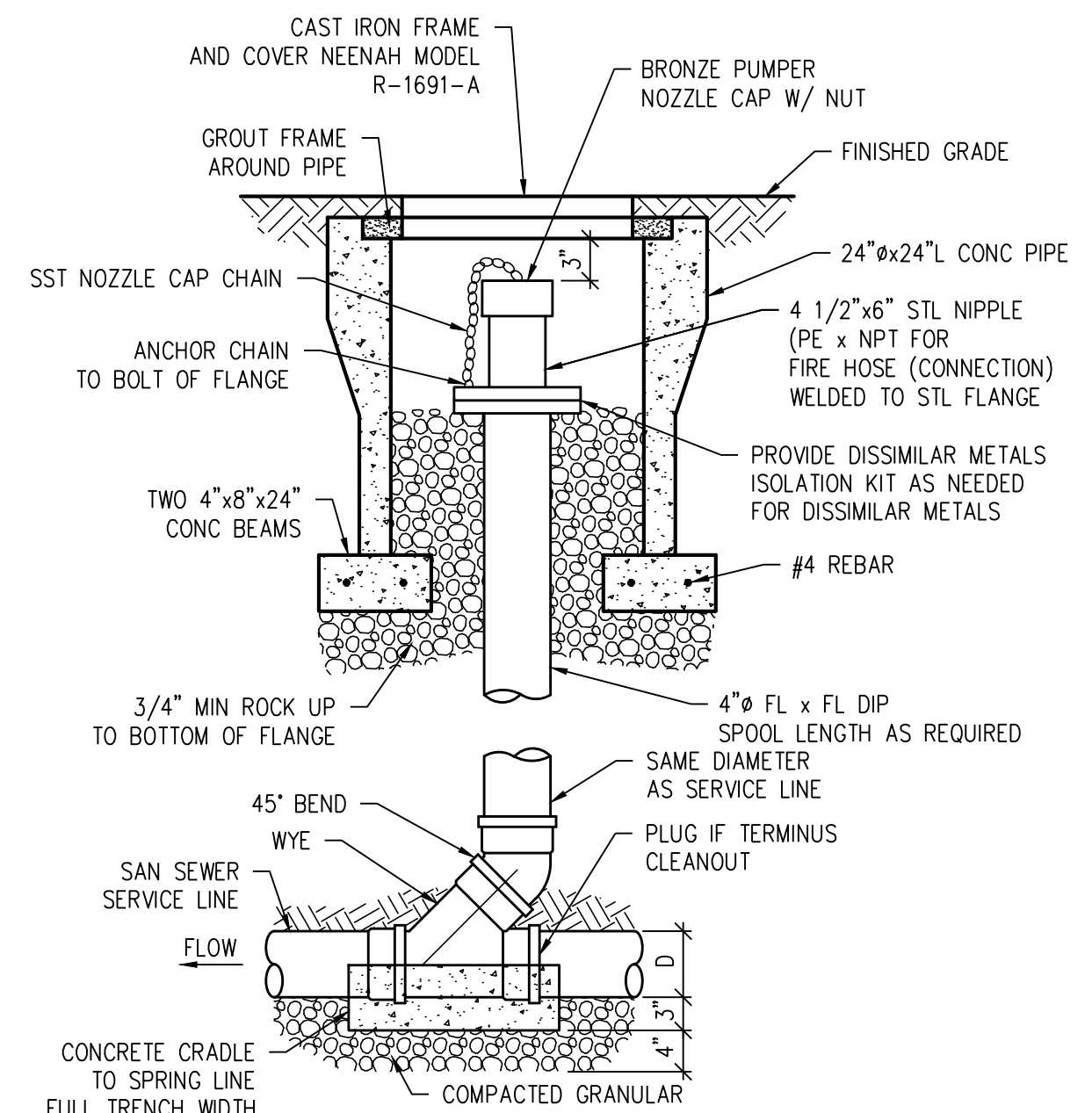
GRAVEL SECTION DETAIL 3
 NTS C1.0



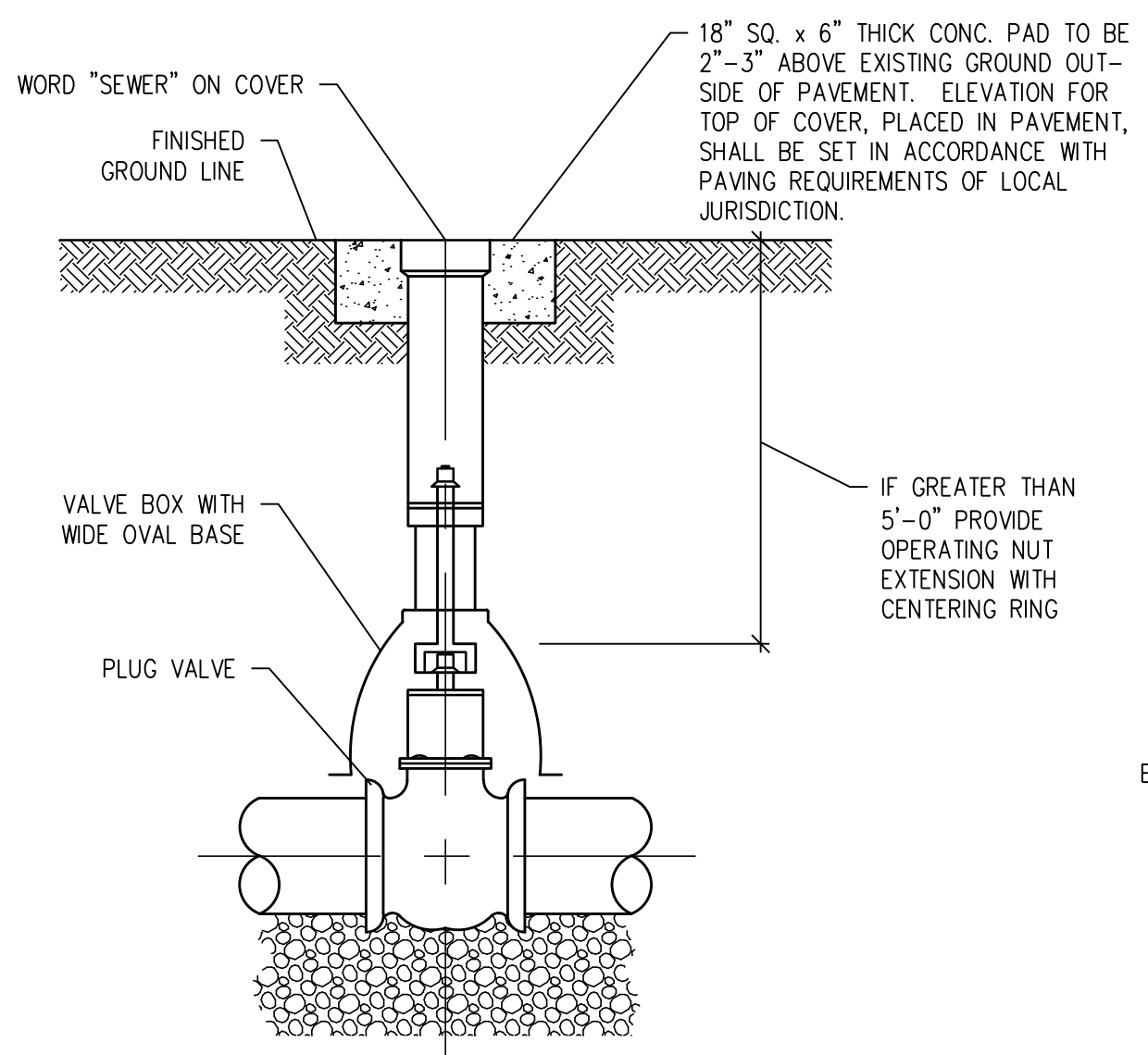
CONCRETE ENCASEMENT DETAIL 4
 NTS C2.1



SANITARY SEWER CLEANOUT DETAIL 5
 NTS C2.1

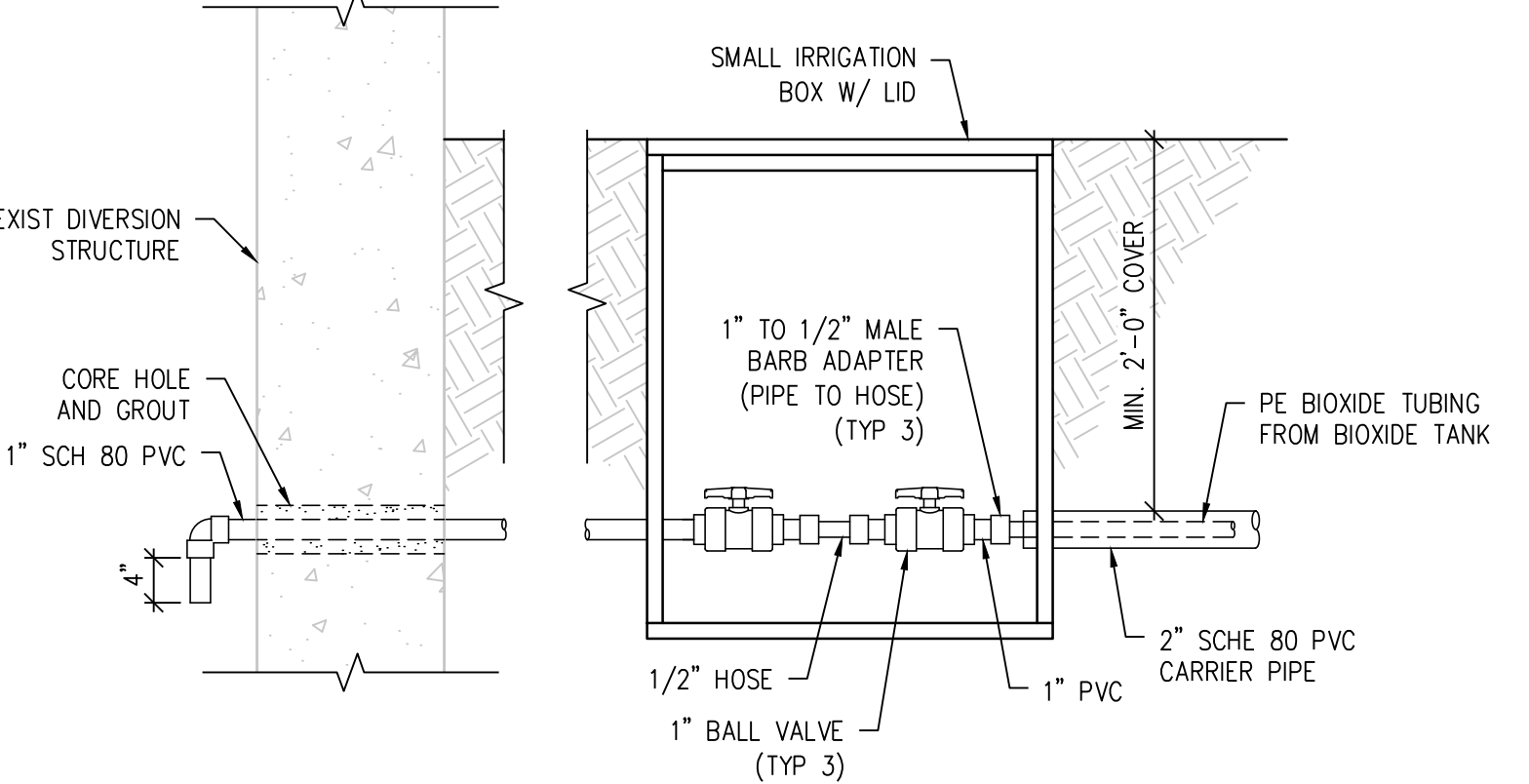


SANITARY SEWER PRESSURE CLEANOUT DETAIL 6
 NTS C2.1



- NOTE:**
- CARE SHALL BE TAKEN WHEN INSTALLING VALVES ON LINES TO ASSURE PROPER SUPPORT OF THE VALVES.
 - WOOD BLOCKS OR 3/4\"/>

PLUG VALVE DETAIL 7
 NTS C2.1



BIOXIDE DISCONNECT BOX DETAIL 8
 NTS C2.0

DESIGNED BY:	NAS
DRAWN BY:	MHT
CHECKED BY:	JJM
JOB #:	1164e
DATE:	APRIL 2023

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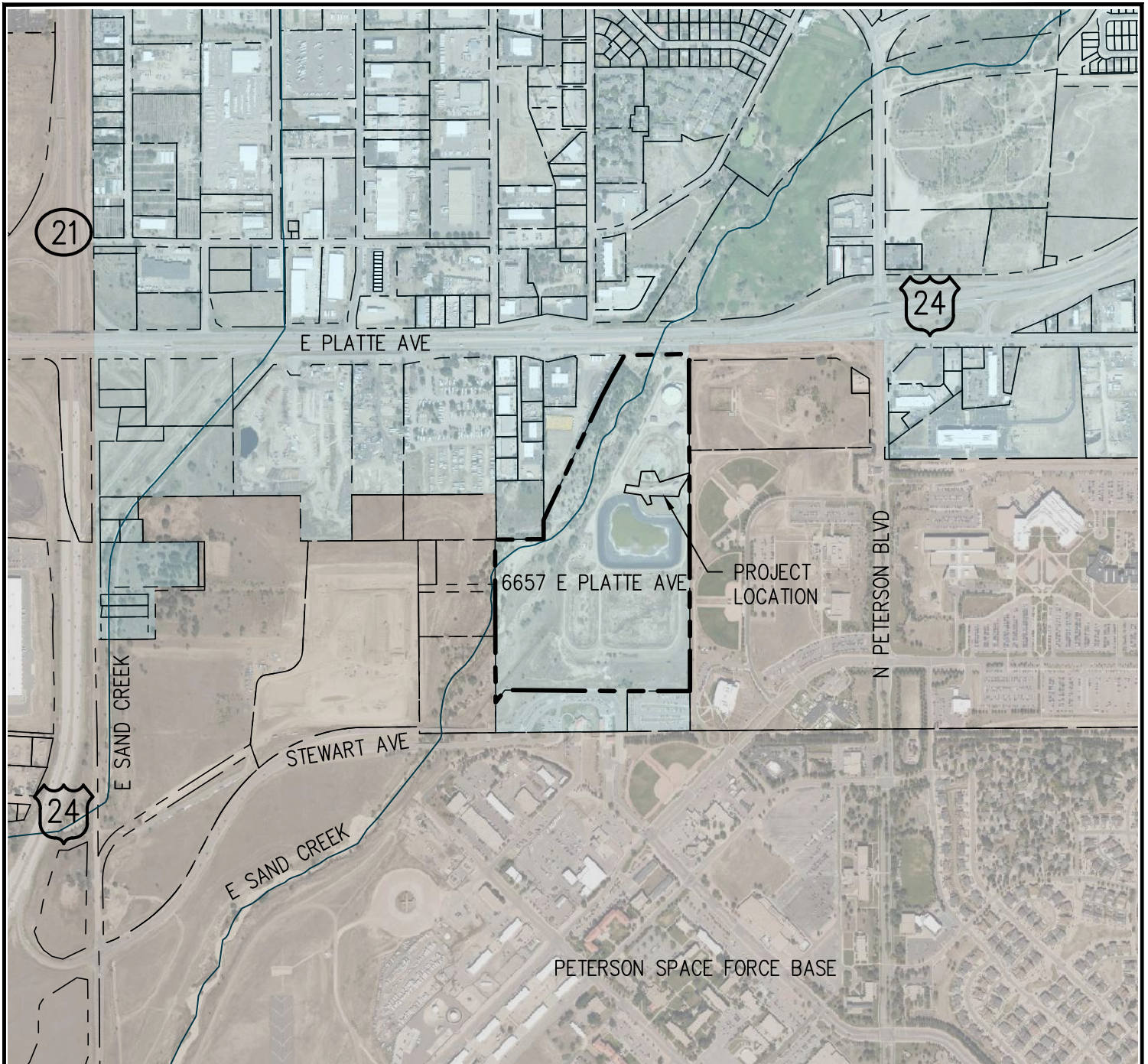
CHEROKEE METROPOLITAN DISTRICT
 LIFT STATION NO. 1B
 EL PASO COUNTY, COLORADO

SHEET NO.

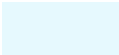

CD2.0

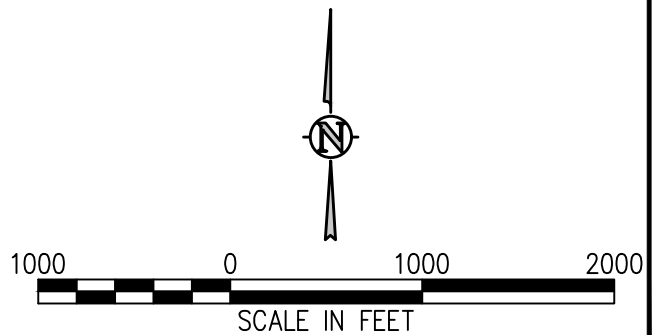
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NO. DATE DESD DWN REVISION DESCRIPTION

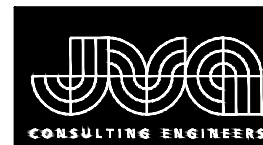


LEGEND

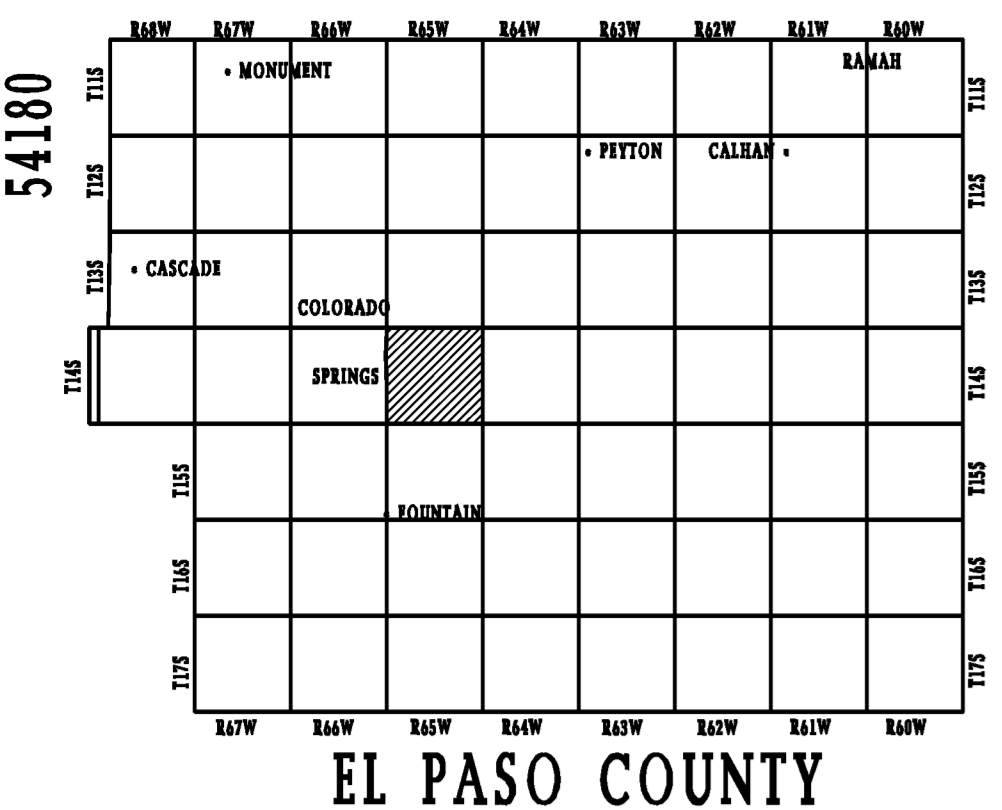
-  UNINCORPORATED EL PASO COUNTY
-  CITY OF COLORADO SPRINGS



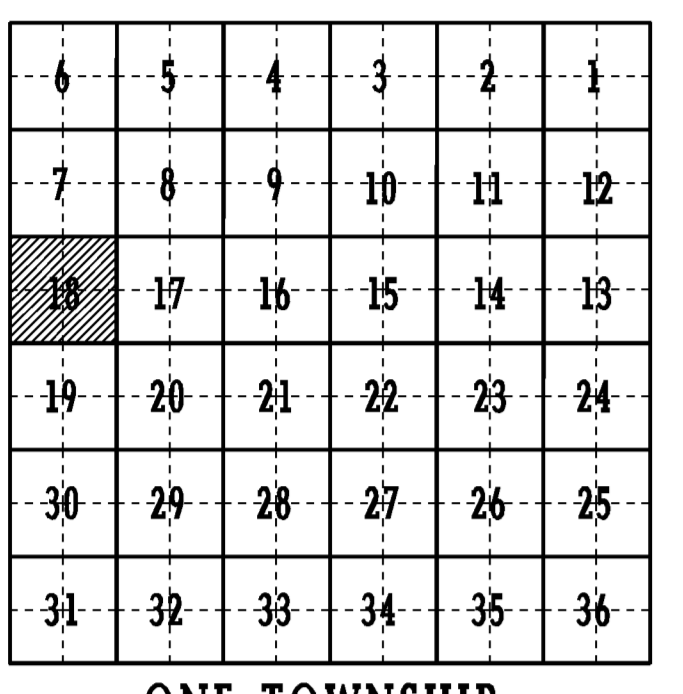
CMD VICINITY MAP
PARCEL NO. 5418000080
OCTOBER 2022



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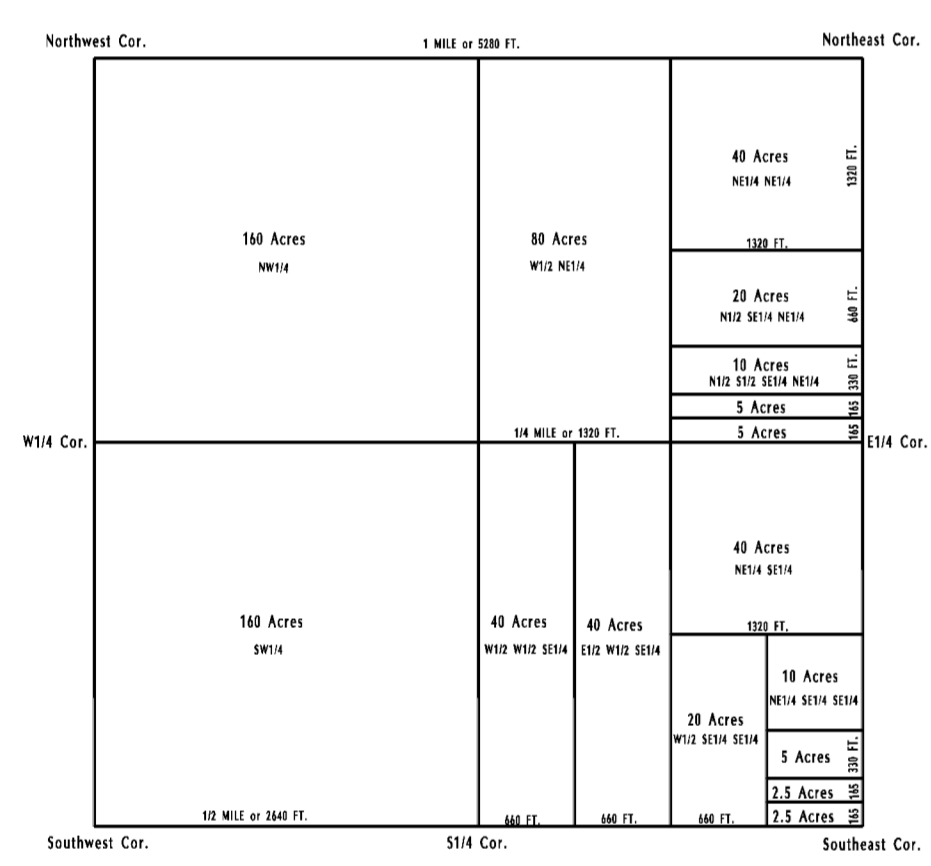
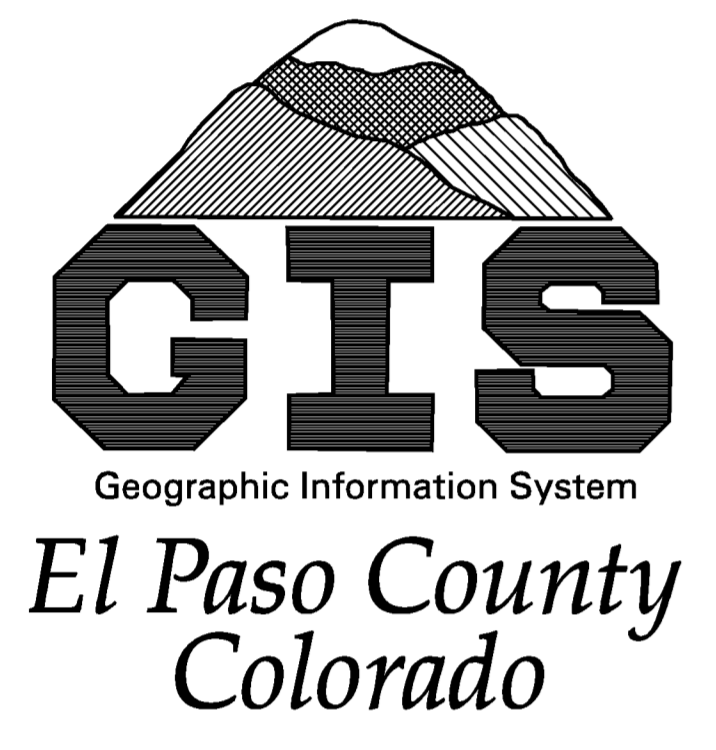


EL PASO COUNTY

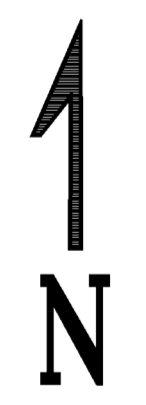


ONE TOWNSHIP

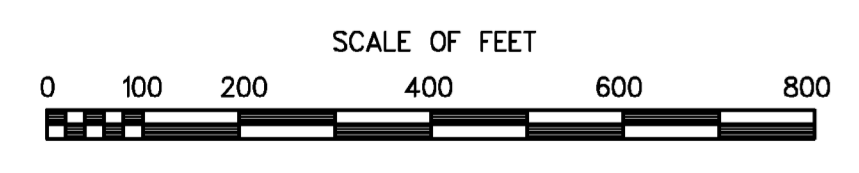
ASSESSOR



Rectangular Survey of One Section

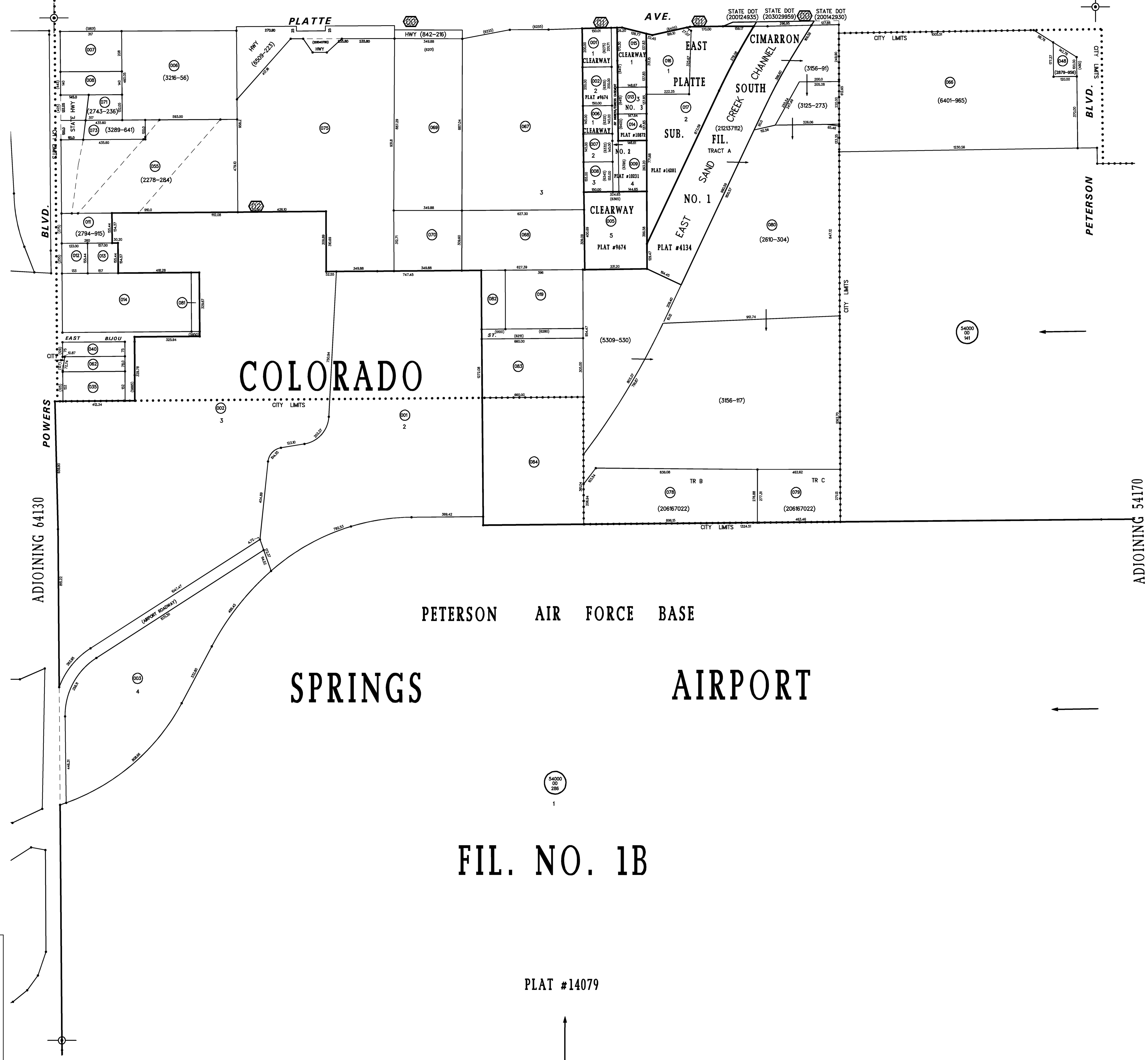


June 29, 2022



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ADJOINING 54073-74



ADJOINING 54170

FIL. NO. 1B

PLAT #14079

ADJOINING 54000

54180

54180



JVA, Incorporated
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info@jvajva.com

March 9, 2023

www.jvajva.com

El Paso County
Planning & Community Development
2880 International Circle, Suite 110
Colorado Springs, CO 80910-3127
Attn: Kari Parsons

RE: Cherokee Metropolitan District
Lift Station No. 1 Additions
Site Development Plan – Letter of Intent: PPR-2254

Dear Kari:

As a representative of the Applicant, Cherokee Metropolitan District (CMD, the District), we are preparing the submittal requirements for an administrative Site Development Plan to construct a lift station and wet well to replace the existing system located at CMD's Sand Creek Facility. The project is located on **Parcel No. 5418000080**.

The Consultant/Applicant and Owner information is as follows:

Consultant/Applicant:

JVA, Inc.
1319 Spruce Street
Boulder, CO 80302
Contact: Nathan Skalak, P.E.
Telephone: (303) 565-4930
Email: NSkalak@jvajva.com

Owner:

Cherokee Metropolitan District
6250 Palmer Bark Blvd
Colorado Springs, CO 80915
Contact: Amy Lathen
Telephone: (719) 597-7411
Email: ALathen@cherokeemetro.org

General Information

Cherokee Metropolitan District (CMD) provides water, sewer, parks, and street lighting services to an approximately 6,300-acre area of unincorporated El Paso County. CMD operates a wastewater collection system that terminates at the existing lift station (LS1A) headworks and pump station. This location was formerly the District's wastewater treatment lagoon and has several unlined and lined lagoons, as well as a headworks facility. From the headworks, the flow enters a 1.7-million-gallon equalization pond and wet well. Wastewater is pumped from this wet well by two lift stations in series: LS1A and LS1B approximately six miles east. LS1A and LS1B typically deliver 900 to 1,200 gpm through a force main to a manhole at the Schriever Space Force Base, where it then flows by gravity to a Water Reclamation Facility approximately 15-miles to the east.

The current equalization pond functions as the wet well for LS1A. It is open to the air and oversized, which results in a long retention time and odor issues. The existing LS1A is an underground vault-type lift station and is a confined space that is difficult to access and maintain. The District has decided to replace the existing LS1A with a new equalization wet well and lift station Lift Station 1B (LS1B).



Purpose

The proposed improvements are located at the District's Sand Creek Facility at 6657, 6677 East Platte Avenue in unincorporated El Paso County and at approximately 38°N 50' 10.5" latitude, 104°W 42' 24.7" longitude. The 53.38-acre property (parcel 5418000080) is immediately south of Platte Avenue on the east bank of East Sand Creek and is bordered by the Peterson Space Force Base on its south and west sides. The Sand Creek Facility property is a Political Subdivision with zoning designations of RR-5 (residential rural district) and CAD-0 (commercial airport overlay district).

The improvements consist of clearing and grubbing, construction of a new lift station building and covered wet well, utility connections, site grading, and demo of an accessory structure. No public right-of-way exists within the project limits.

This project falls under the classification of a minor site development and complies with the standards detailed in Chapter 6 – General Development Standards of the El Paso County Land Development Code (LDC). Utility design is in accordance with CMD standards as well as County standards. The County determined that a 1041 was not required for this project per County Administrative Determination No. 22-021.

Transportation & Access

Due to the nature of the project, the existing site access and circulation do not change. The proposed lift station does not change the function of the site. The existing internal access road will be restored post construction to account for site grading and site disturbance for construction efforts. The proposed facility is an unmanned facility requiring no additional personnel or changes to current site configuration. There are no other access points to the site which would require additional construction fencing, signage, or barricades. All site traffic enters from the north and will remain that way for the duration of construction.

Parking, Signage, and Trash Enclosures

The lift station (LS1B) will not be a maned facility, therefore, there are no planned parking spaces, signage, or a trash enclosure to support the facility. There is an existing facility on the property located just north of the lagoon where primary operations take place. This location will serve to support operations throughout the site.

Grading & Drainage

No impact to current drainage patterns is anticipated with this project. All drainage at the new lift station will be diverted into the pond, where runoff currently flows, to maintain the historic patterns. No permanent BMPs will be installed. Construction of the new lift station involves grading within the limits of the Sand Creek Facility.



Landscaping

Landscaping is intended to be minimal at the site except for preventing erosion. An Alternative Landscape Plan has been provided to show the intent. Due to the nature of the facility, trees and shrubs are known to interfere with operation. Roots and maintenance needs create issues for operations efforts, piping, and infrastructure, therefore, the District prefers keep all vegetation to a minimum. All disturbed areas will be reseeded and stabilized with an approved El Paso County seed mixtures to prevent erosion on the site.

Lighting Plan

A lighting plan is included as part of the site design. Lighting is limited to providing required lights at access points into the proposed lift station facility and several areas around the lift station to illuminate the area. It was noted during the initial submittal that the photometric values registered too high. This was a result of the electrical designer to use the maximum lumens (7000) to prepare drawings, which is not the case. Lighting will be set at a lower level (around 3000 lumens).

Structural Design and Geotechnical Considerations

Based on the geotechnical report prepared for the project, the facility will require over excavation and placement of structural fill to support the reinforced base slab and footings for the facility. Special inspections will be required during installation of concrete and rebar. All disturbed and final grading require temporary and permanent seeding and mulching throughout construction to minimize erosion around proposed facility.

Schedule

Construction of the new lift station and wet well is planned to start in Summer of 2023 and is expected to be completed in Spring of 2024.

Utility Information


The new wet well and pump station will be connected to the existing infrastructure already installed on site. Site piping is limited to the proposed improvements.

For additional information, please refer to the drawings and forms enclosed with this submitted as requested to satisfy the Site Development Plan requirements.

We respectfully request that the County approve this site development plan for said improvements. For questions specific to this project, please do not hesitate to contact one of the project team members.



Sincerely,
JVA, INCORPORATED

By: 
Nathan Skalak, P.E.
Project Manager

CC: Amy Lathen, Cherokee Metropolitan District
Jeff Munger, Cherokee Metropolitan District

CHEROKEE METROPOLITAN DISTRICT

LIFT STATION NO. 1 ADDITIONS

6657 E PLATTE AVE, PARCEL NO. 5418000080

COLORADO SPRINGS, COLORADO

SITE DEVELOPMENT PERMIT: PPR-2254

FILE NO.: PPR-2254

CONTACTS

OWNER: CHEROKEE METROPOLITAN DISTRICT
6250 PALMER BARK BOULEVARD
COLORADO SPRINGS, CO 80915

JEFF MUNGER
(719) 597-7411
JMUNGER@CHEROKEEMETRO.ORG

CIVIL ENGINEER (PLAN PREPARER): JVA, INC
1319 SPRUCE STREET
BOULDER, CO 80302

NATHAN SKALAK, P.E.
(303) 565-4930
NSKALAK@JVAJVA.COM

ENVIRONMENTAL ENGINEER: JVA, INC
1319 SPRUCE STREET
BOULDER, CO 80302

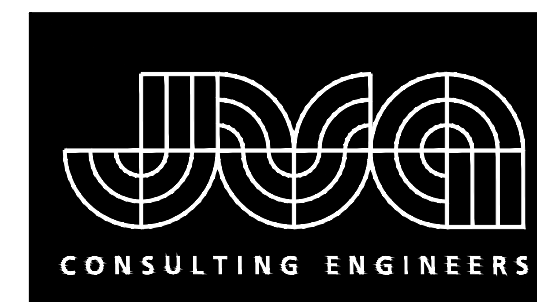
MICHAEL KATALINICH, P.E.
(303) 565-4952
MKATALINICH@JVAJVA.COM

CONTRACTOR: STANEK CONSTRUCTORS, INC.
651 CORPORATE CIRCLE SUITE 108
GOLDEN, CO 80401

DUSTIN FOSS
(303) 339-2442
DFOSS@STANEKCONSTRUCTORS.COM

SURVEYOR: EDWARD-JAMES SURVEYING, INC.
926 ELKTON DRIVE
COLORADO SPRINGS, CO 80907

THOMAS SHAUGHNESSY, PLS
(719) 304-4480
TOMS@EJSURVEYING.COM



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FEBRUARY 2023

PREPARED UNDER THE SUPERVISION OF

JVA, Inc.

DRAWING INDEX

SHEET NO.	TITLE
CO.0	COVER SHEET
CO.1	LEGEND, NOTES, AND ABBREVIATIONS
CL1.0	LANDSCAPE PLAN

LEGAL DESCRIPTION:

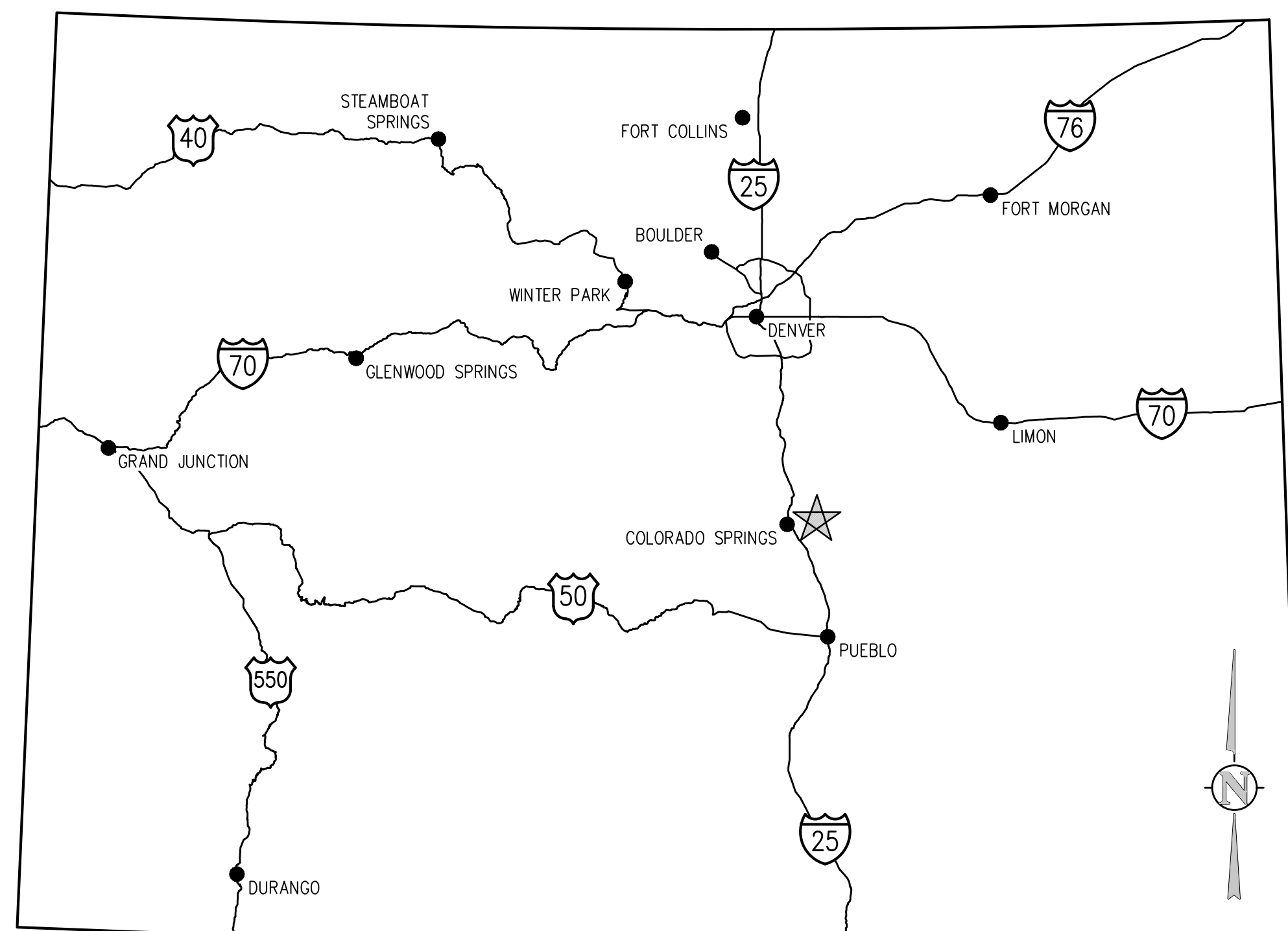
THAT PT W2NE2 SEC 18-14-65 DESC AS FOLS: COM AT N4 COR SD SEC 18, TH S 00<46'48" W 1315.50 FT TO NW COR OF TR DESC BY BK (5309-530) & POB, TH S 89<45'21" E 331.20 FT TO SWLY COR OF TR DESC BY REC 212137112, TH N 00<46'59" E 129.52 FT, N 26<10'54" E 873.59 FT, TH ALG ARC OF CUR TO THE R HAVING A RAD OF 3452.20 FT A C/A OF 6<33'34" AN ARC DIST OF 395.22 FT, TH N 32<44'28" E 9.33 FT TO A PT ON THE SLY R/W LN O US HWY 24, TH S 89<55'03" E 296.95 FT TO NW COR OF TR DESC BY BK (3156-91), TH CONT S 89<55'03" E 127.67 FT TO A PT ON E LN W2NE4 SD SEC 18 & NE COR OF TR DESC BY BK (3156-91), TH S 00<47'32" W 2317.14 FT TO A PT ON N LN OF TR C DESC BY REC 206167022, TH 88<51'08" W 1259.94 FT, S 39<23'57" W 103.54 FT, TH N 00<46'48" E 1108.57 TO POB

ZONING:

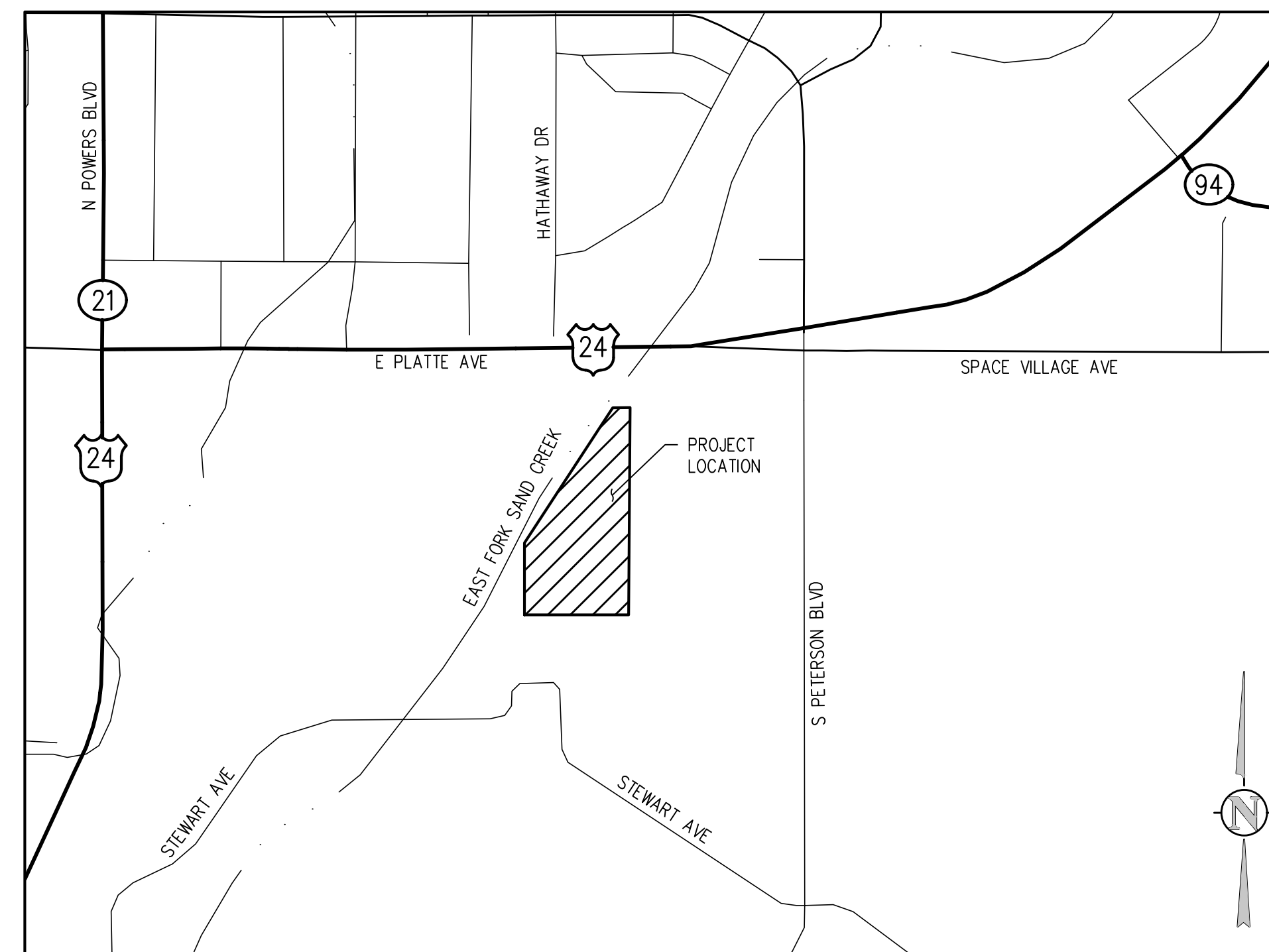
THE PROPERTY IS ZONED AS RR-5 (RESIDENTIAL RURAL DISTRICT) AND CAD-0 (COMMERCIAL AIRPORT OVERLAY DISTRICT). THE PROPOSED PROJECT WILL NOT CHANGE THE ZONING DESIGNATION.

SITE DATA:

LOT/PARCEL SIZE:	53.38 ACRES
EXISTING/PROPOSED LAND USE:	POLITICAL SUBDIVISION
BUILDING FOOTPRINT:	782 SF
WET WELL FOOTPRINT:	5,387 SF
EXISTING BUILDINGS TOTAL AREA:	20,000 SF
LAGOON COVERAGE:	272,000 SF
OPEN/LANDSCAPED AREA COVERAGE:	46.44 ACRES
IMPERMEABLE SURFACE COVERAGE:	4,000 SF



VICINITY MAP
NTS



PROJECT LOCATION MAP
NTS

ABBREVIATIONS

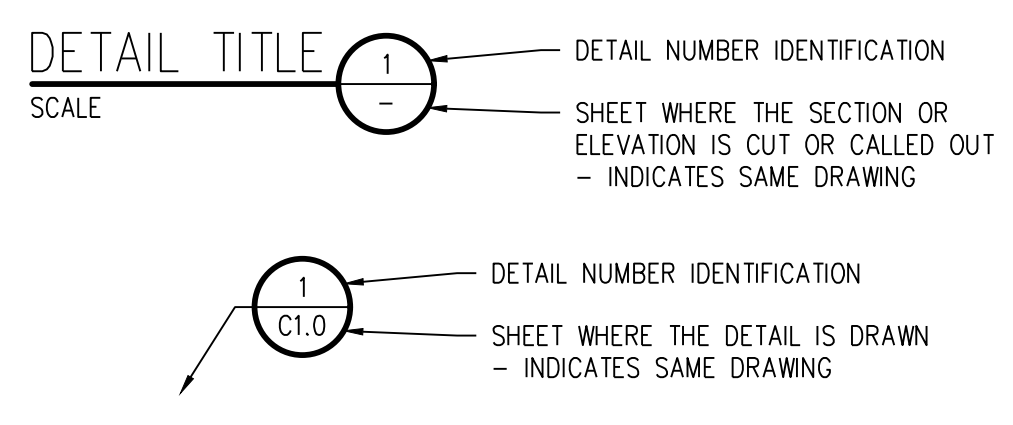
AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL	INCLUDED
ABAN	ABANDON	ID	INSIDE DIAMETER
AC	ASPHALTIC CONCRETE PAVING	INSUL	INSULATION
ADDL	ADDITIONAL	INV	INVERT
ADDM	ADDDUM	IRR	IRRIGATION
ADJ	ADJUSTABLE	JTS	JOINTS
AL	ALUMINIUM	KO	KNOCKOUT
ALT	ALTERNATE	KPL	KICK PLATE
AMT	AMOUNT	KWY	KEYWAY
APPROX	APPROXIMATE	L	LEFT OR LITER
ARCH	ARCHITECT(URAL)	LSCAPE	LANDSCAPE(ING)
ARV	AIR RELIEF VALVE	LF	LINEAR FOOT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	LP	LOW POINT
ASPH	ASPHALT	LT	LIGHT
ASSY	ASSEMBLY	LWL	LOW WATER LEVEL
ASYM	ASYMMETRICAL	MAINT	MAINTENANCE
AUTO	AUTOMATIC	MAN	MANUAL
AVG	AVERAGE	MATL	MATERIAL
AWWA	AMERICAN WATER WORKS ASSOC.	MAX	MAXIMUM
BC	BACK OF CURB	ME	MATCH EXISTING
BFV	BUTTERFLY VALVE	MECH	MECHANICAL
BG	FINISHED GRADE ADJACENT TO BOTTOM OF WALL	MFR	MANUFACTURER
BLDG	BUILDING	MH	MANHOLE
BLK	BLOCK	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BMP	BEST MANAGEMENT PRACTICE	MJ	MECHANICAL JOINT
BS	BACKSIGHT	NA	NORTH
BOS	BOTTOM OF STEP	N	NOT APPLICABLE
BOT	BOTTOM	NIC	NOT IN CONTRACT
BSMT	BASEMENT	NPT	NATIONAL PIPE THREAD
BVCE	BEGIN VERTICAL CURVE ELEVATION	NTS	NOT TO SCALE
BVCS	BEGIN VERTICAL CURVE STATION	OC	ON CENTER
BW	BOTTOM OF WALL	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OPP	OPPOSITE
CCW	COUNTER CLOCKWISE	OPT	OPTIONAL
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	PC	POINT OF CURVATURE
CIP	CAST IRON PIPE	PCO	PRESSURE CLEAN OUT
CJ	CONSTRUCTION JOINT	PCR	POINT OF CURVE RETURN
CL	CENTER LINE OR CHAIN LINK	PI	POINT OF INTERSECTION
CLR	CLEAR	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PE	POLYETHYLENE
CO	CLEANOUT	PFAB	PREFABRICATED
CONC	CONCRETE	PRELIM	PRELIMINARY
CONST	CONSTRUCTION	PREP	PREPARATION
CONT	CONTINUOUS(ATION)	PROP	PROPOSED
COR	CORNER	PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
CR	CONCENTRIC REDUCER	PSF	POUNDS PER SQUARE FOOT
CTR	CENTER	PSI	POUNDS PER SQUARE INCH
CY	CUBIC YARDS	PT	POINT OF TANGENCY
DEMO	DEMOLITION	PV	PLUG VALVE
DIA	DIAMETER	PVC	POLYVINYL CHLORIDE OR PVC
DIAG	DIAGONAL	PVMT	POINT OF VERTICAL CURVATURE PAVEMENT
DIP	DUCTILE IRON PIPE	QTY	QUANTITY
DOM	DOMESTIC	R	RIGHT
DN	DOWN	RAD	RADIUS
DR	DRAIN	RCP	REINFORCED CONCRETE PIPE
DWG	DRAWING	RD	ROOF DRAIN
DWL	DOWEL	RE	REFERENCE
E	EAST	RECT	RECTANGULAR
EA	EACH	REINF	REINFORCE (D) (NG) (MENT)
ECC	ECCENTRIC	REQD	REQUIRED
EJ	EXPANSION JT	ROW	RIGHT OF WAY
EL	ELEVATION	SAN	SANITARY
ELB	ELBOW	SD	STORM DRAIN
ELEC	ELECTRICAL	SECT	SECTION
ENGR	ENGINEER	SECT	SECTION
EOP	EDGE OF PAVEMENT	SPD	STANDARD PROCTOR DENSITY SPECIFICATION
EQ	EQUAL	SO	SQUARE
EQUIP	EQUIPMENT	SO IN	SQUARE INCH
EQUIV	EQUIVALENT	SO FT	SQUARE FOOT
ESMT	EASEMENT	SO YD	SQUARE YARD
EST	ESTIMATE	SS	SANITARY SEWER
EVCE	END VERTICAL CURVE ELEVATION	SST	STAINLESS STEEL
EVCS	END VERTICAL CURVE STATION	STA	STATION
EW	EACH WAY	STD	STANDARD
EXP JT	EXPANSION JOINT	STL	STEEL
EXIST	EXISTING	STRUCT	STRUCTURAL
FND	FOUNDATION	SVC	SERVICE
FES	FLARED END SECTION	SWMP	STORMWATER MANAGEMENT PLAN
FF	FINISH FLOOR	SYM	SYMMETRICAL
FG	FINISH GRADE	TB	THRUST BLOCK
FH	FIRE HYDRANT	TBC	TOP BACK OF CURB
FL	FLOW LINE	TBM	TEMPORARY BENCH MARK
FN	FENCE	TEMP	TEMPORARY
FOC	FACE OF CONCRETE	TG	FINISHED GRADE ADJACENT TO TOP OF WALL
FPM	FEET PER MINUTE	THK	THICK
FPS	FEET PER SECOND	TOB	TOP OF BANK
FT	FEET	TOC	TOP OF CONCRETE OR TOP OF CURB
FTG	FOOTING OR FITTING	TOS	TOP OF STEP
G	GAS	TOT	TOTAL
GA	GAUGE	TW	TOP OF WALL OR CAP OF WALL
GAL	GALLON	TYP	TYPICAL
GALV	GALVANIZED	UBC	UNIFORM BUILDING CODE
GCO	GRADE CLEANOUT	UGE	UNDERGROUND ELECTRIC
GIP	GALVANIZED IRON PIPE	UTIL	UTILITY
GND	GROUND	VERT	VERTICAL
CPD	GALLONS PER DAY	VC	POINT OF VERTICAL CURVATURE
GP	GALLONS PER MINUTE	VCP	VERTICAL CLAY PIPE
GR	GRATE	W	WIDE OR WIDTH
GRG	GRATING	W/O	WITHOUT
GSP	GALVANIZED STEEL PIPE	WOCE	WATER QUALITY CONTROL ELEVATION
GV	GATE VALVE	WSE	WATER SURFACE ELEVATION
H	HIGH	WW	WASTEWATER
HB	HOSE BIB	X SECT	CROSS SECTION
HE	HORIZONTAL ELLIPTICAL	XFMR	ELECTRONIC TRANSFORMER
HDWL	HEADWALL	YH	YARD HYDRANT
HNDRL	HAND RAIL		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
HR	HOUR		
HVAC	HEATING, VENTILATION, AIR CONDITIONING		
HWY	HIGHWAY		
HWL	HIGH WATER LINE		
HYD	HYDRANT		

DESIGN LEGEND

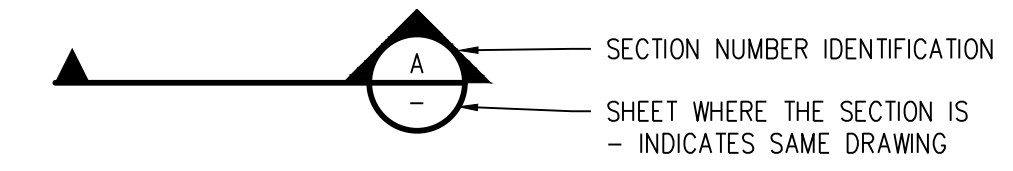
	BENCHMARK		5.0% SLOPE ARROW
	MANHOLE		PROPOSED SPOT ELEVATION
	AREA DRAIN		EXIST SPOT ELEVATION
	COMBINATION INLET		EXIST INDEX CONTOUR
	TYPE R INLET		EXIST INTERMEDIATE CONTOUR
	TYPE 13 FIELD INLET		PROPOSED INDEX CONTOUR
	FLARED END SECTION W/ RIPRAP		PROPOSED INTERMEDIATE CONTOUR
	TEE W/ THRUST BLOCK		SPILL/CATCH CURB TRANSITION
	BEND W/ THRUST BLOCK		SIGN W/ POST
	END CAP W/ THRUST BLOCK		CONCRETE PAVING
	GATE VALVE		HEAVY DUTY ASPHALT PAVING
	REDUCER/INCRASER		LIGHT DUTY ASPHALT PAVING
	WATER METER		GRAVEL
	FIRE HYDRANT		PROPOSED BUILDING
	STORM - 12" AND SMALLER		BUILDING ACCESS
	STORM - LARGER THAN 12"		RETAINING WALL
	ROOF DRAIN		BOULDER/ROCK WALL
	TRENCH DRAIN		LIMITS OF SAWCUT
	UNDERDRAIN		LIMITS OF WORK
	SANITARY SEWER		EASEMENT LINE
	FORCE MAIN		PROPERTY LINE
	WATER		ADJACENT PROPERTY LINE/ROW
	NON POTABLE WATER		MATCHLINE
	POTABLE WATER		MAPPED ELECTRIC*
	IRRIGATION		MAPPED FORCE MAIN*
	IRRIGATION - LARGER THAN 12"		MAPPED SANITARY SEWER*
	CABLE TV		*JVA ADDED PER AS-BUILT PLANS. LOCATION IS APPROXIMATE
	DRAIN		
	ELECTRIC		
	UNDERGROUND ELECTRIC		
	OVERHEAD ELECTRIC		
	TELEPHONE		
	FIBER OPTIC		
	FUEL		
	GAS		
	PVC PIPE (MISC)		



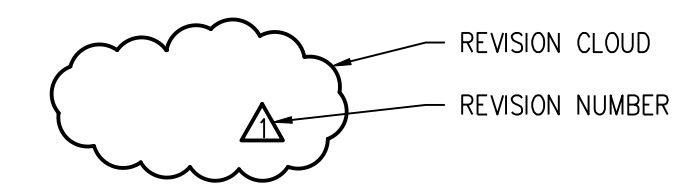
DETAIL TITLE



SECTION CALLOUT



DETAIL MARKER



SURVEY LEGEND

	WATER LINE		BENCHMARK AS DESCRIBED
	FIRE HYDRANT		FOUND MONUMENT
	WATER METER		FOUND MONUMENT
	VALVE		TEST CP
	SANITARY SEWER LINE		UTILITY LOCATED FROM MAP
	SANITARY SEWER MANHOLE		AS MEASURED AT TIME OF SURVEY
	STORM DRAINAGE LINE		CALCULATED FROM RECORD AND AS MEASURED INFORMATION
	STORM DRAINAGE MANHOLE		PLAT
	CURB INLET		RECORDED
	UNDERGROUND ELECTRICAL LINE		MAILBOX
	OVERHEAD ELECTRICAL LINE		CONCRETE
	ELECTRICAL POLE		EDGE OF ASPHALT
	GUY WIRE		GRAVEL
	ELECTRICAL TRANSFORMER		FENCE
	ELECTRICAL RISER		GUARDRAIL
	ELECTRIC VAULT		BOLLARD
	ELECTRIC METER		SIGN
	UNKNOWN MANHOLE		CONIFEROUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	VENT PIPE		DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	LIGHT POLE		BOULDER
	FIBEROPTIC LINE		
	TELEPHONE LINE		
	TELEPHONE RISER		
	GAS LINE		
	INDICATION OF ACCESS		
	BUILDING		

NOTE: SHADED ITEMS REPRESENT EXIST FEATURES

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF CHEROKEE METROPOLITAN DISTRICT, COLORADO DEPARTMENT OF TRANSPORTATION, CIMARRON HILLS FIRE PROTECTION REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE CIMARRON HILLS FIRE PROTECTION DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER AND ENGINEER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UCCO.ORG). SEE SURVEY UTILITY LOCATION INFORMATION BELOW.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
- RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
- FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
- OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, MILE HIGH FLOOD DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
- PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES.
- SURVEY INFORMATION:
 - TOPOGRAPHIC INFORMATION WAS PROVIDED BY EDWARD-JAMES SURVEYING, INC. SEE "2365-00 LS1 TOPO JUNE 2022 V54.DWG" DATED 6/22/2022, UPDATED 8/5/2022. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 - BASIS OF ELEVATIONS: PROJECT ELEVATIONS ARE BASED ON A NGS SURVEY CONTROL MONUMENT POINT T 76 RESET. CONTROL POINT T 76 RESET IS A BENCHMARK BRASS MONUMENT SET IN CONCRETE ON THE SOUTH SIDE OF U.S. HIGHWAY 24 EAST OF COLORADO SPRINGS, HAVING A NAVD88 ELEVATION OF 6141.49 FT.
 - COORDINATE DATUM: PROJECT COORDINATES ARE COLORADO STATE PLANE CENTRAL ZONE NAD 83 (2011) COORDINATES
 - HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:

CP-10	N1366229.22	E3225659.69	ELEV 6250.36	CP-40	N1367602.72	E3267269.52	ELEV 6501.14
CP-201	N1366666.87	E3225967.84	ELEV 6259.69	CP-70	N1367475.49	E3269906.26	ELEV 6487.64
CP-202	N1366434.26	E3226145.13	ELEV 6257.38	CP-80	N1355301.14	E3272427.81	ELEV 6353.97
CP-60	N1368003.96	E3233649.52	ELEV 6314.30	CP-50	N1351673.15	E3279000.96	ELEV 6215.87
CP-20	N1367210.75	E3258999.73	ELEV 6226.87	CP-51	N1351707.87	E3279076.41	ELEV 6214.70
CP-30	N1367113.69	E3263718.81	ELEV 6511.30				
- SURVEY UTILITY LOCATION INFORMATION PER THE SURVEYOR: SUBSURFACE UTILITIES ARE SHOWN IN APPROXIMATE HORIZONTAL AND VERTICAL LOCATIONS CONSISTENT WITH ASCE 38-02 QUALITY LEVEL "C" (INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D; INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS), AND BASED ON FIELD MEASUREMENTS PROVIDED BY THE OWNER AND THE CONTRACTOR. SUBSURFACE UTILITIES ARE NOT DEPICTED TO THE EXTENT SET FORTH IN ASCE 38-02 QUALITY LEVELS "A" (INFORMATION OBTAINED THROUGH THE NONDESTRUCTIVE EXPOSURE OF UNDERGROUND UTILITIES, AND ALSO PROVIDES THE TYPE, SIZE, CONDITION, MATERIAL AND OTHER CHARACTERISTICS OF UNDERGROUND FEATURES) OR "B" (INFORMATION OBTAINED BY THE APPLICATION OF APPROPRIATE SURFACE GEOPHYS

MULCHING AND SEEDING NOTES FOR EL PASO COUNTY

1. ALL DISTURBED AREAS MUST BE MULCHED WITHIN 21 DAYS AFTER FINAL GRADE AND SEEDING AREAS ARE TO BE MULCHED WITH 24 HOURS AFTER SEEDING.
2. MATERIAL USED FOR MULCH CAN BE CERTIFIED CLEAN, WEED- AND SEED-FREE LONG STEMMED FIELD OR MARSH HAY, OR STRAW OF OATS, BARLEY, WHEAT, RYE OR TRITICALE CERTIFIED BY THE COLORADO DEPARTMENT OF AGRICULTURE WEED FREE FORAGE CERTIFICATION PROGRAM.
3. HYDRAULIC MULCHING MATERIAL SHALL CONSIST OF VIRGIN WOOD FIBER MANUFACTURED FROM CLEAN WHOLE WOOD CHIPS. WOOD CHIPS CANNOT CONTAIN ANY GROWTH OR GERMINATION INHIBITORS OR BE PRODUCED FROM RECYCLED WOOD. GRAVEL CAN ALSO BE USED.
4. MULCH IS TO BE APPLIED EVENLY AT THE RATE OF 2 TONS PER ACRE.
5. MULCH TO BE ANCHORED EITHER BY CRIMPING (TUCKING MULCH FIBERS 4 INCHES INTO THE SOIL), USING NETTING (USED IN SMALL AREAS WITH STEEP SLOPES), OR WITH TACKIFIER.
6. HYDRAULIC MULCHING AND TACKIFIERS ARE NOT TO BE USED IN THE PRESENCE OF FREE SURFACE WATER.

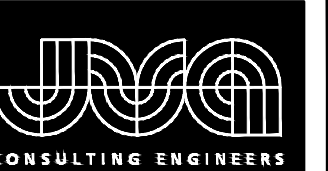
LANDSCAPING NOTE:

LANDSCAPING IS INTENDED TO BE MINIMAL EXCEPT FOR PREVENTING EROSION. DO TO THE NATURE OF THE FACILITY, TREES AND SHRUBS ARE KNOWN TO INTERFERE WITH OPERATION, ROOTS AND MAINTENANCE NEEDS CREATE ISSUES FOR OPERATIONS EFFORTS, PIPING, AND INFRASTRUCTURE, THEREFORE THE DISTRICT PREFERS TO KEEP ALL VEGETATION TO A MINIMUM.

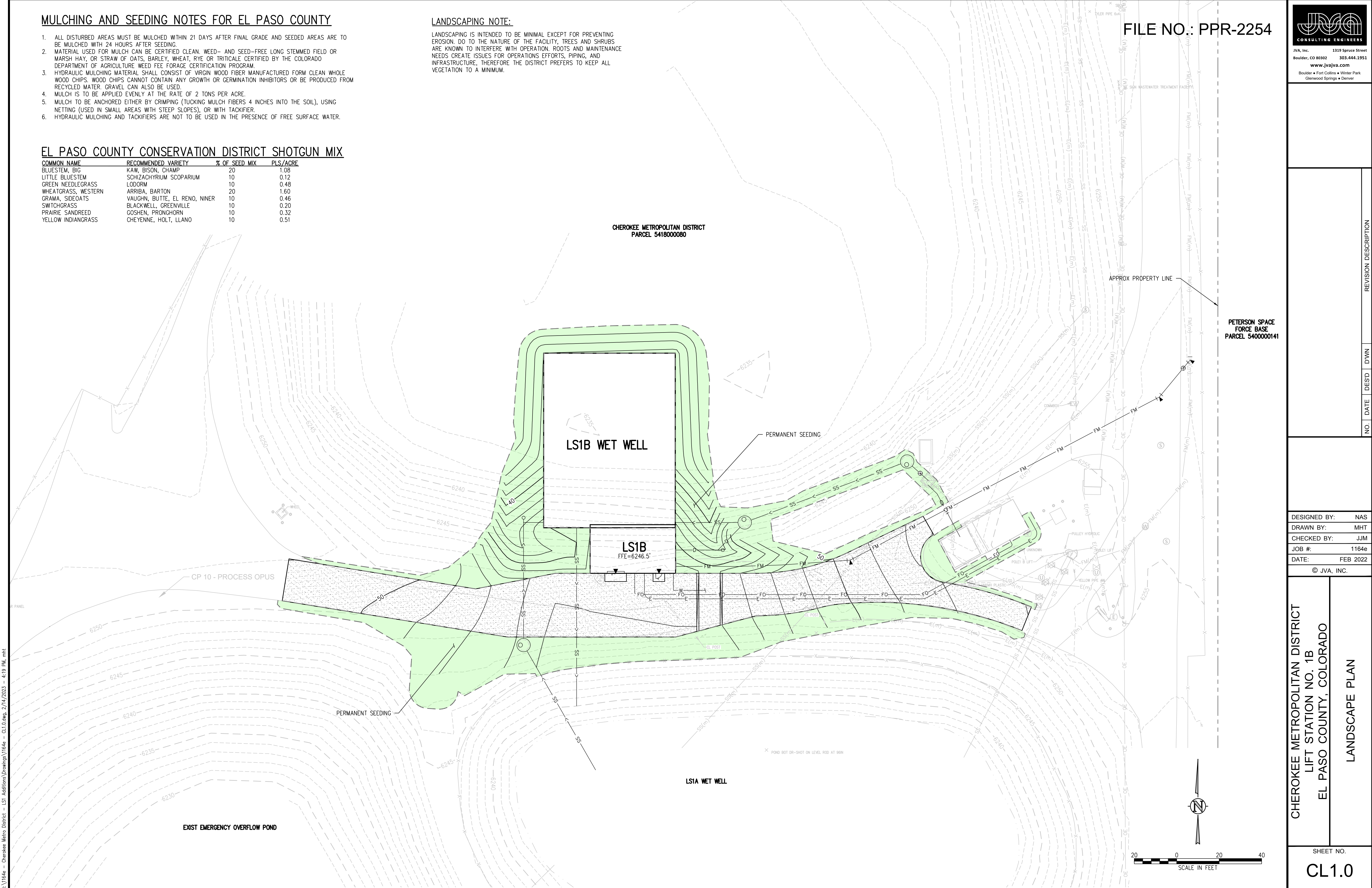
EL PASO COUNTY CONSERVATION DISTRICT SHOTGUN MIX

COMMON NAME	RECOMMENDED VARIETY	% OF SEED MIX	PLS/ACRE
BLUESTEM, BIG	KAW, BISON, CHAMP	20	1.08
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	10	0.12
GREEN NEEDLEGRASS	LODORM	10	0.48
WHEATGRASS, WESTERN	ARRIBA, BARTON	20	1.60
GRAMA, SIDEOATS	VAUGHN, BUTTE, EL RENO, NINER	10	0.46
SWITCHGRASS	BLACKWELL, GREENVILLE	10	0.20
PRAIRIE SANDREED	GOSHEN, PRONGHORN	10	0.32
YELLOW INDIANGRASS	CHEYENNE, HOLT, LLANO	10	0.51

FILE NO.: PPR-2254



JVA, Inc. 1319 Spruce Street
 Boulder, CO 80302 303.444.1951
 www.jvaja.com
 Boulder • Fort Collins • Winter Park
 Glenwood Springs • Denver



N:\1164e - Cherokee Metro District - LSI Additions\Drawings\1164e - CL1.0.dwg, 2/14/2023 - 4:19 PM, mht

CHEROKEE METROPOLITAN DISTRICT LIFT STATION NO. 1B EL PASO COUNTY, COLORADO	LANDSCAPE PLAN
SHEET NO. CL1.0	
DESIGNED BY: NAS DRAWN BY: MHT CHECKED BY: JJM JOB #: 1164e DATE: FEB 2022	REVISION DESCRIPTION NO. DATE DESD DWN
© JVA, INC.	

OWNER
 CHEROKEE METROPOLITAN DISTRICT
 6250 PALMER BARK BOULEVARD
 COLORADO SPRINGS, CO 80915

 JEFF MUNGER
 (719) 597-7411
 JMUNGER@CHEROKEEMETRO.ORG

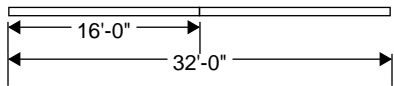
APPLICANT
 JVA, INC
 1319 SPRUCE STREET
 BOULDER, CO 80302

 NATHAN SKALAK, P.E.
 (303)565-4930
 NSKALAK@JVAJVA.COM

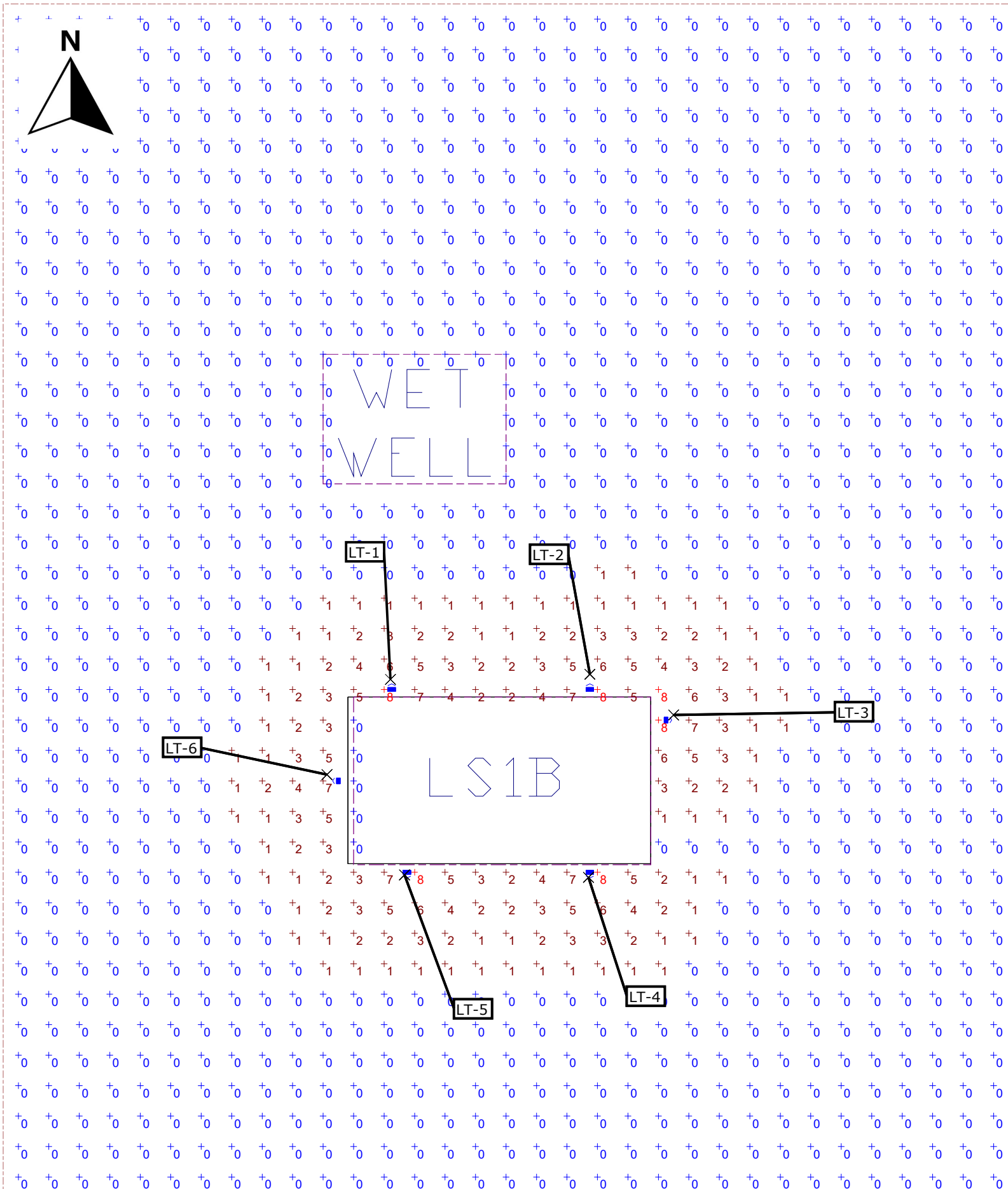
PROPERTY ADDRESS
 6657 E PLATTE AVE
 COLORADO SPRINGS, CO



Symbol	Label	QTY	Manufacturer	Number Lamps	Lamp Output	Description	Catalog	Input Power	Polar Plot	Mounting Height
	LT	6	Good Earth Lighting	1	2000	180-Degree 7000-Lumen (2000-Lumen Selectable) Bronze Hardwired LED Outdoor Motion-Activated Flood Light	SE1249-BP2-02LF7-G	79.94		10 FT



Statistics			
Symbol	Max	Avg	Min
+	8 fc	0 fc	0 fc



Plan View
 Scale - 1" = 16ft

Cherokee Photometric Study
 LS1B Site

Designer
 Joseph Eaton
Date
 2/22/2023
Scale
 1" = 16ft
Drawing No.

Summary
 Photometric Study

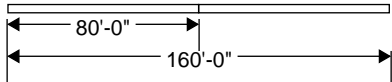
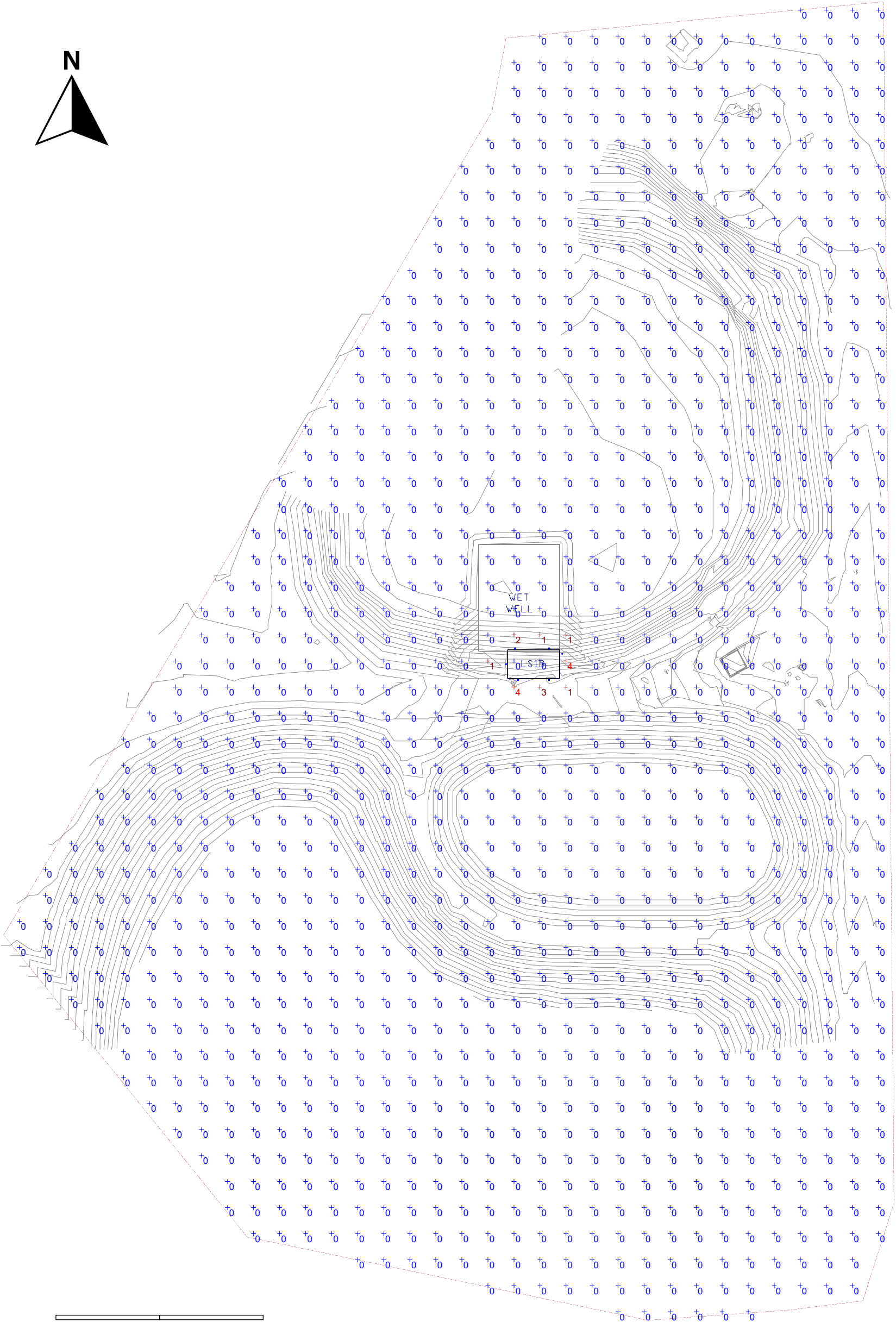
OWNER
 CHEROKEE METROPOLITAN DISTRICT
 6250 PALMER BARK BOULEVARD
 COLORADO SPRINGS, CO 80915

 JEFF MUNGER
 (719) 597-7411
 JMUNGER@CHEROKEEMETRO.ORG

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 BOULDER, CO 80302

 NATHAN SKALAK, P.E.
 (303)565-4930
 NSKALAK@JVAJVA.COM

PROPERTY ADDRESS
 6657 E PLATTE AVE
 COLORADO SPRINGS, CO



Plan View
 Scale - 1" = 80ft

**Cherokee Photometric Study
 Full Site**

Designer
 Joseph Eaton
Date
 2/22/2023
Scale
 1" = 80
 ft
Drawing No.

Summary
 Photometric Study



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Hyper Bright LED CCT High Lumen Motion-Activated Flood Light with Timer - Bronze

Model SE1249-BP2-02LF7

- Light up your Backyard or Business like a Stadium™ with minimum light coverage of 86 feet outward and 92 feet wide — perfect to light up large areas at night.

- Selectable brightness level 7000 or 2000 lumens.
- Selectable color temperature settings; choose from warm white (3000K), bright white (4000K), or daylight (5000K).

[Add to Compare](#)

Where to Buy



This playlist covers general info about Hyper Bright. This includes:

1. [Hyper Bright backyard demonstration](#)
2. [Hyper Bright durability and construction](#)
3. [Hyper Bright motion sensor explanation and light penetration](#)
4. [Hyper Bright switch control explanation](#)
5. [Hyper Bright push control explanation](#)
6. [Hyper Bright lights a deck](#)

DESCRIPTION

Light up your Backyard or Business like a Stadium™ with a Good Earth Lighting Hyper Bright LED Flood Light. The light is made of sturdy die cast aluminum housing with a shatter-resistant diamond-pattern diffuser lens that provides a smooth and even light distribution. The LED security light features knob joints for easy head positioning and easy wall or eave mount installation. The motion-activated light illuminates as motion is detected and turns off automatically when motion stops during nighttime hours. The built-in timer and distance control settings can be customized to meet a wide variety of lighting customization. Maximize energy savings and discourage intruders from coming near the home or business. This light has a 10-year limited warranty.

- Light up your Backyard or Business like a Stadium™ with minimum light coverage of 86 feet outward and 92 feet wide — perfect to light up large areas at night.
- Selectable brightness level 7000 or 2000 lumens.
- Selectable color temperature settings; choose from warm white (3000K), bright white (4000K), or daylight (5000K).
- IP65 rated; water- and dust-proof — ideal for outdoors wet locations with sturdy die cast aluminum construction, shatter-resistant lens, and cold weather rated with a minimum cold start temperature of negative 20°F.
- Wall- or eave-mounted for greater flexibility.
- 180-degree adjustable passive infrared (PIR) sensor detects motion up to 100 feet away.
- Time control setting options are test, 1 minute, 5 minute, and 10 minutes to set how long the light will stay on after motion is no longer detected.
- Distance control options are 10, 20, 50, and 100 feet.
- Motion- or switch-controlled settings. Light only operates after dark with Motion Setting. Light operates day or night at switch control setting.

SPECIFICATION

Related Model	SE1249-WH3-02LF7-G
Fixture Material	Aluminum
Fixture Color	Satin Aged Bronze
Glass/Lens Type	Diamond Pattern
Mounting	Wall/Eave/Surface/Recessed Mount

Motion Detection Range	180 degrees up to 100 ft
Two Level Lighting	No
Two Detection Zone	No
Light Coverage	86 ft outward, 92 ft side to side
Safety Rated	Wet Location
Safety Listing	ETL
Energy Star	No
Light Included	No
Light Source	LED
LED Qty	196
Color Temperature	3000K/4000K/5000K Selectable
Color-Changing Temperature	Yes
Color Rendering Index (CRI)	80
Rated LED Life	50,000 hours
Lumens	7000/2000
Dimmable	Yes
Dimming Type	On Fixture - High/Low/Off
Input Voltage	120V, 60Hz
Input Wattage	80
Battery Included	No
Power Cord	None - Direct Wire
Linkable	No
Power Switch	Wall Switch
Power Source	Direct Wire
Warranty	10-Year Limited Warranty
Fixture Dimensions (inches)	12.17 x 10.86 x 8.07
Fixture Weight (lbs)	3.3

REVIEWS +

QUESTIONS & ANSWERS (12) +

DOWNLOADS +

Related Products



Hyper Bright LED CCT High Lumen Motion-Activated Flood Light with Timer - White

Customers also viewed



Indoor/Outdoor 24-ft Smart Wi-Fi LED RGBW Plug-In Strip Light - White

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240-Degree 3-Head LED Motion-Activated Dusk to Dawn Security Flood Light - White

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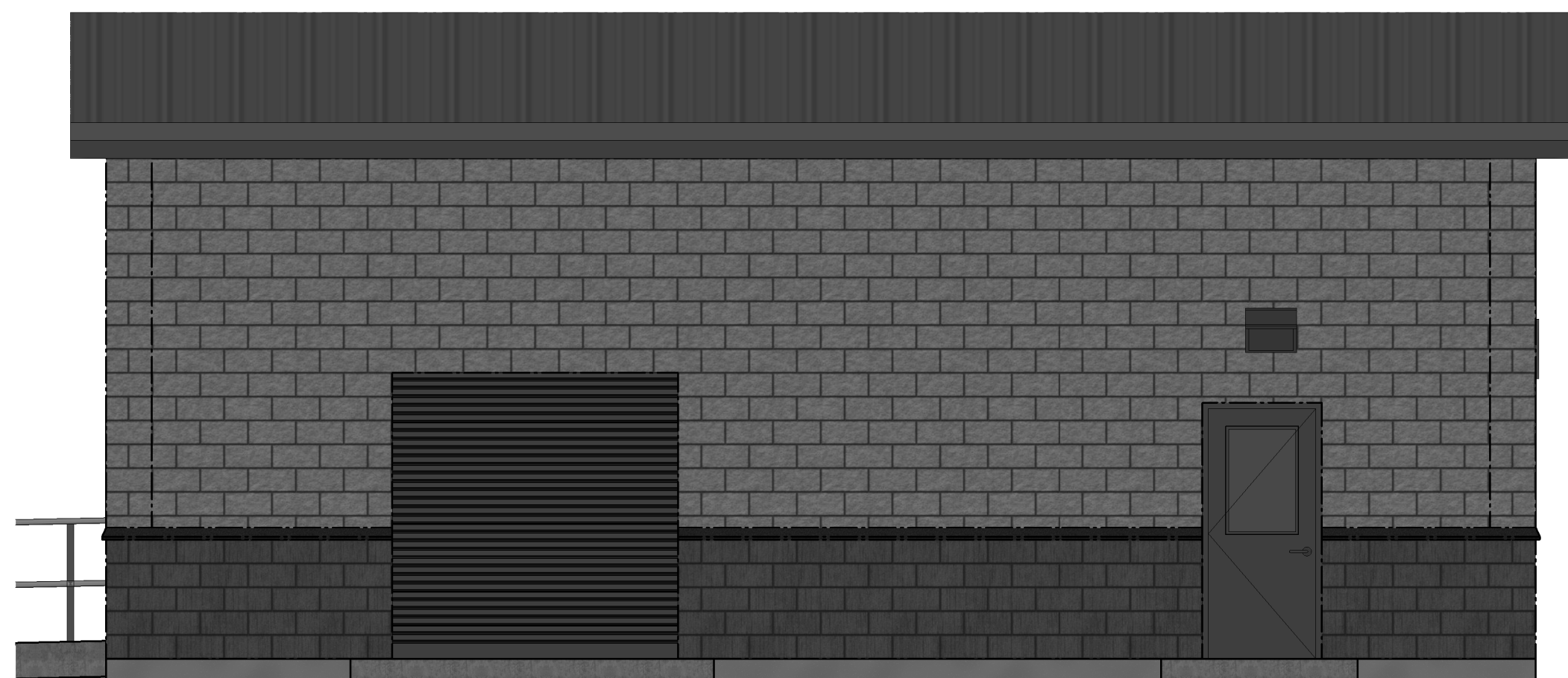
48-in White LED 5CCT Flat Panel Ceiling Light with Brushed Nickel Aluminum Frame

[♥ Add to Compare](#)



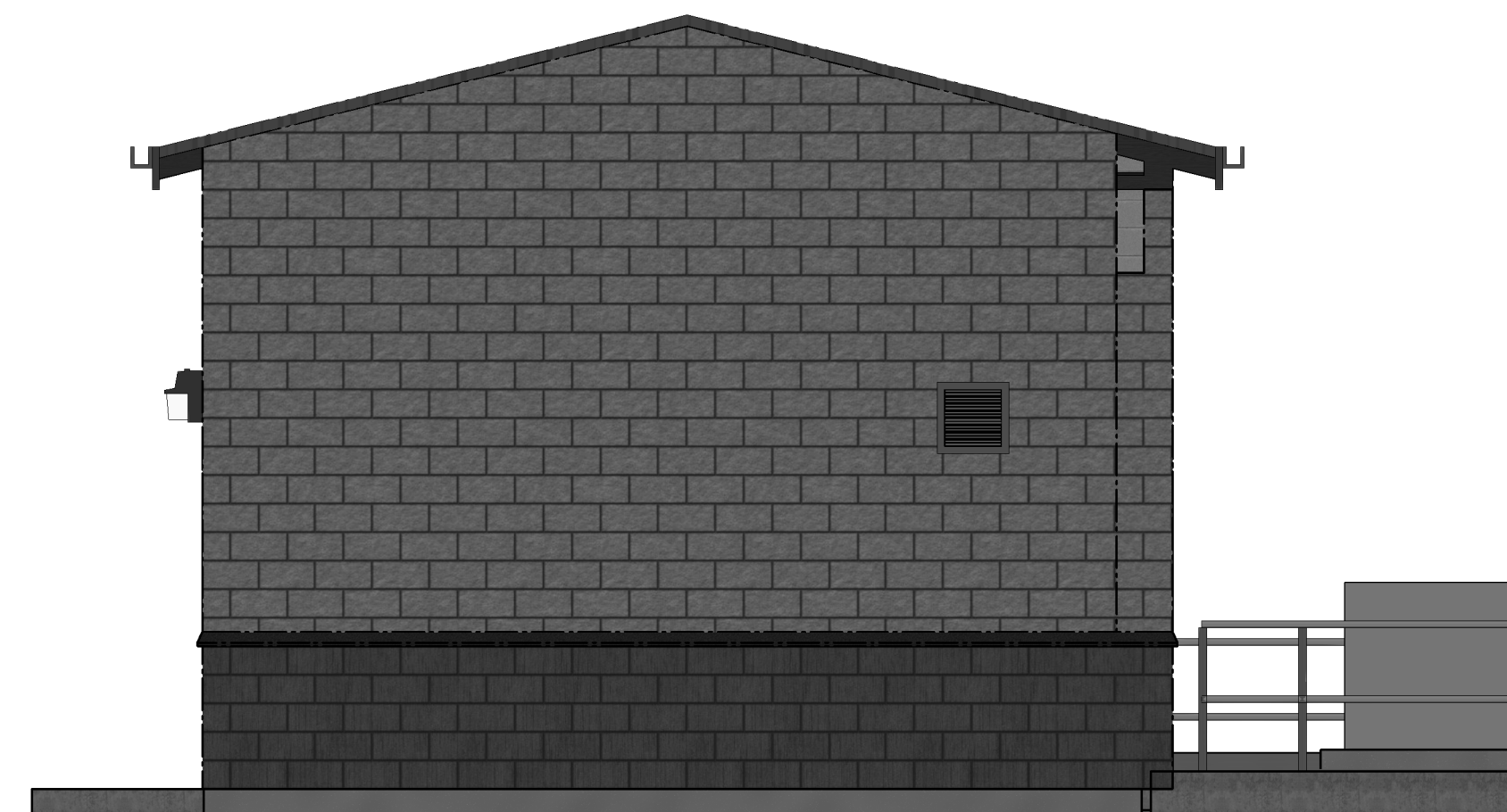
Indoor/Outdoor 24-ft LED R Plug-In Strip Light with Remote - White

[♥ Add to Compare](#)



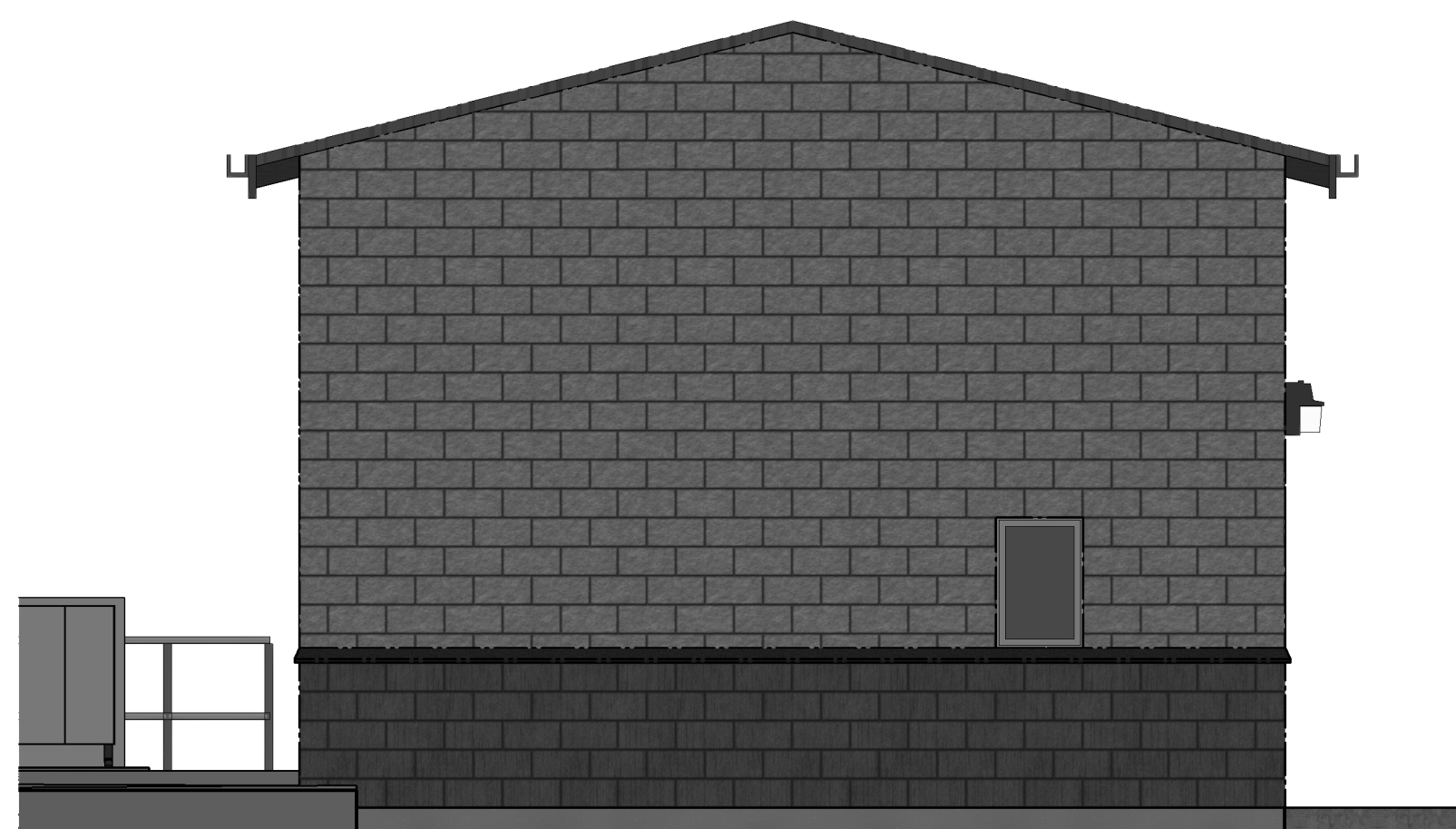
1 SOUTH ELEVATION

 A1.1 1/4" = 1'-0"



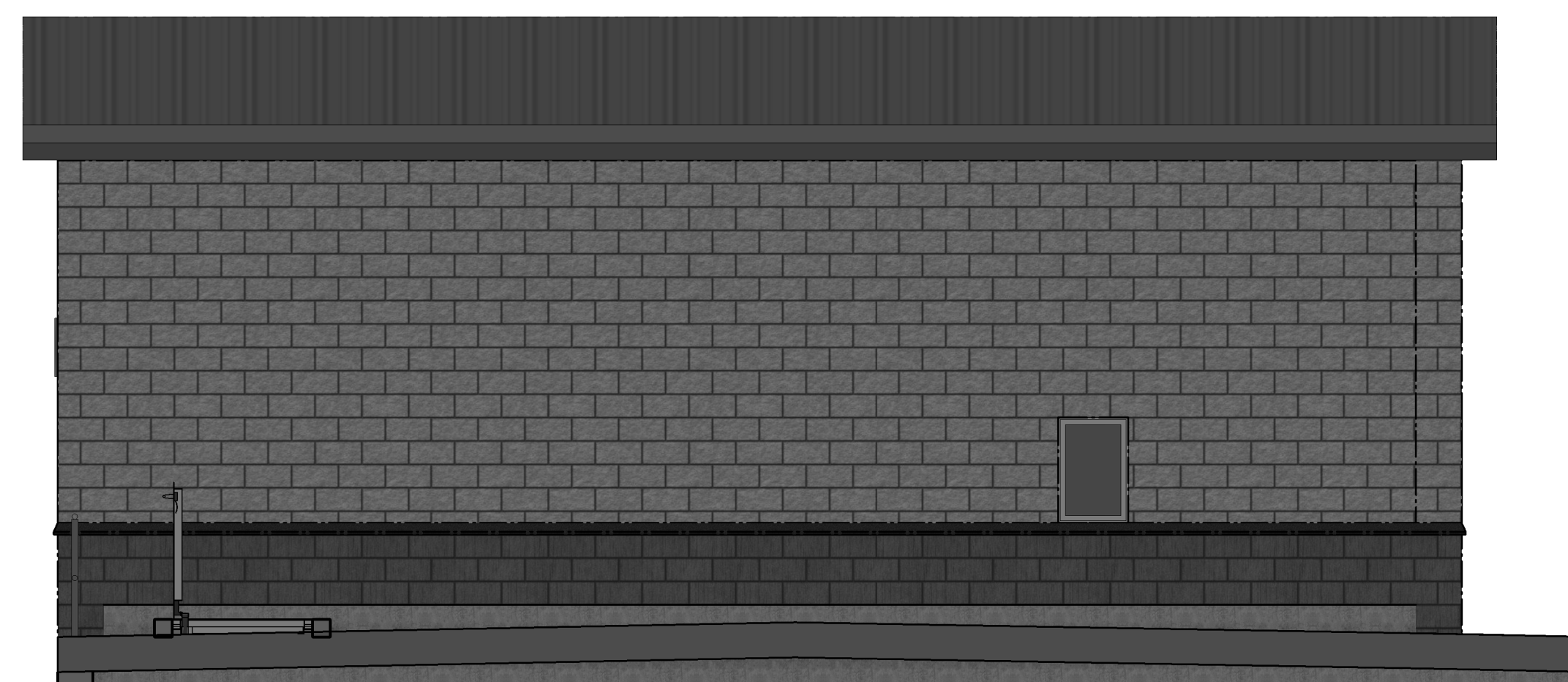
4 EAST ELEVATION

 A1.1 1/4" = 1'-0"



2 WEST ELEVATION

 A1.1 1/4" = 1'-0"



3 NORTH ELEVATION

 A1.1 1/4" = 1'-0"

REVISIONS
 NO. DATE DESCRIPTION

DESIGNED BY: KLB

 DRAWN BY: KLB

 CHECKED BY: AJT

 JOB #: 1164e

 DATE: SEPT 2022

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LIFT STATION NO. 1B

 CHEROKEE METROPOLITAN DISTRICT

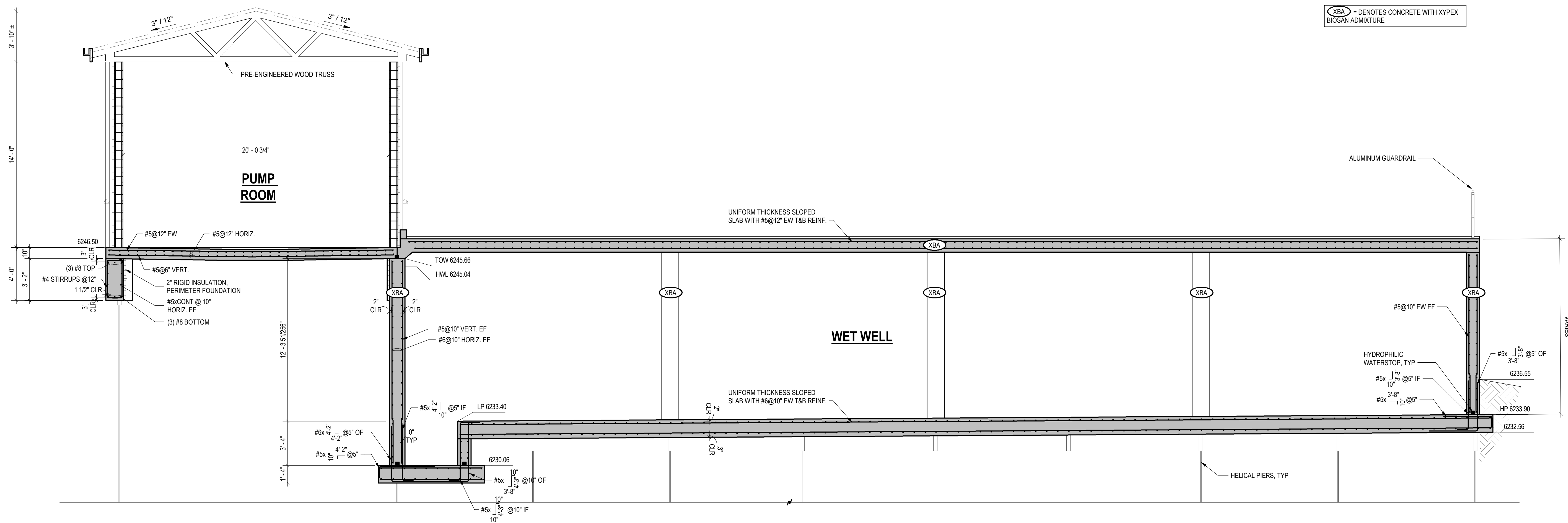
 EL PASO COUNTY, COLORADO

 ARCHITECTURAL ELEVATIONS

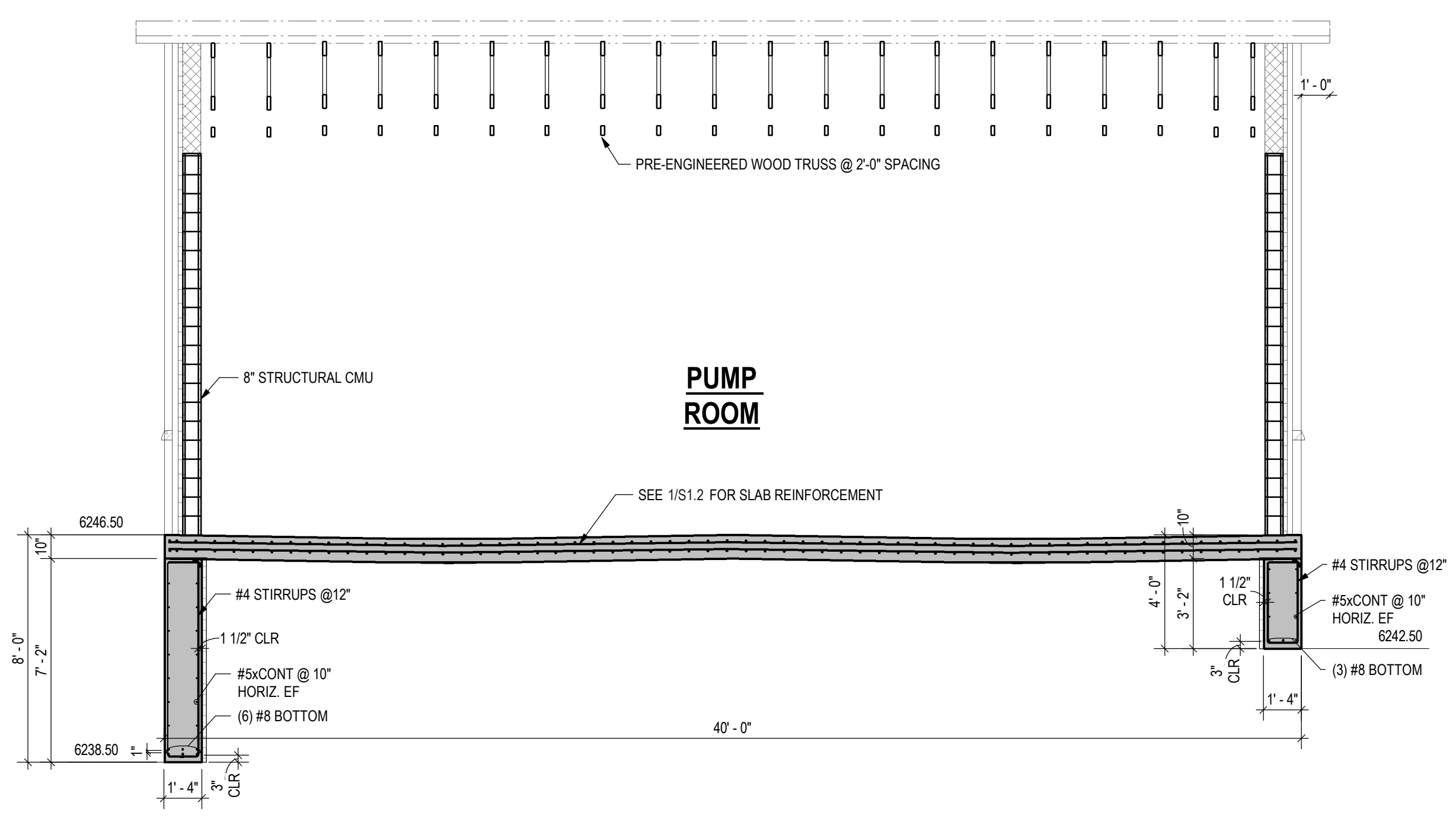
30% DESIGN DOCUMENTS

SHEET NO.

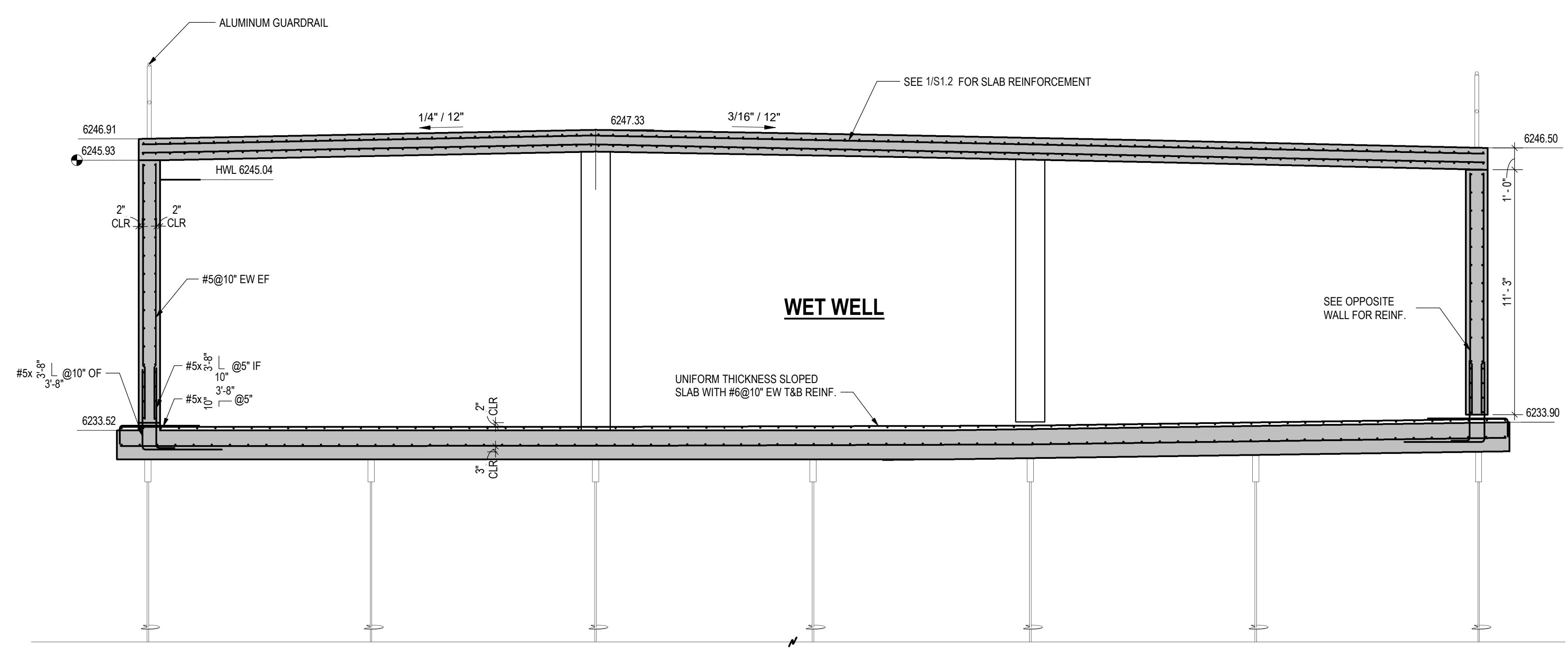
A1.1



1 SECTION
 S1.2 1/4" = 1'-0"



2 SECTION
 S1.2 1/4" = 1'-0"



3 SECTION
 S1.2 1/4" = 1'-0"

REVISIONS	NO.	DATE	DESCRIPTION

DESIGNED BY:	KLB
DRAWN BY:	KLB
CHECKED BY:	PJHAJT
JOB #:	1164e
DATE:	SEPT 2022
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LIFT STATION NO. 1B
 CHEROKEE METROPOLITAN DISTRICT
 EL PASO COUNTY, COLORADO