SAND HILL FILING NO. 4 COLORADO SPRINGS, EL PASO COUNTY, CO 80925 DEVELOPMENT PLAN

CONSULTANT CONTACTS

OWNER/DEVELOPER SAND HILL DEVELOPMENT, LLC 4643 SOUTH ULSTER STREET, STE. 240 DENVER, CO 80237

TELE: (303) 799-4030 ATTN: JARRETT ARMSTRONG EMAIL: JARMSTRONG@CACD-CO.COM

APPLICANT GALLOWAY & CO., INC.

1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900-7220 ATTN: JOHN RADCLIFFE, P.E.

ENTITLEMENT CONSULTANT GALLOWAY & CO., INC.

EMAIL: JOHNRADCLIFFE@GALLOWAYUS.COM

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ATTN: JOHN RADCLIFFE, P.E. EMAIL: JOHNRADCLIFFE@GALLOWAYUS.COM

LANDSCAPE ARCHITECT

JUMP DESIGN COMPANY 1733 S CLARKSON ST DENVER, CO 80210 TELE: (303) 282-0463 ATTN: TOM JUMP EMAIL: TOMJ@JUMPDESIGNCO.COM

ENGINEER

GALLOWAY & CO., INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TELE: (719) 900-7220

ATTN: SCOTTBROWN, P.E. EMAIL: SCOTTBROWN@GALLOWAYUS.COM

ARCHITECT

DONALD E. CASPER - ARCHITECT, PC P.O. BOX 630563 LITTLETON, CO 80163 TELE: (303) 791-4270 ATTN: DON CASPER

EMAIL: DON@CASPER-CO.COM

METES & BOUNDS LEGAL DESCRIPTION (TO BE PLATTED)

THAT SAND HILL DEVELOPMENT LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE FOLLOWING TRACTS OF LAND, TO WIT:

A PARCEL OF LAND BEING A PORTION OF RECEPTION NO. 218146652 IN THE EL PASO COUNTY CLERK AND RECORDERS OFFICE, AND BEING SITUATED IN THE WEST HALF OF SECTION 33, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PM, IN EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS:

BEARINGS ARE BASED ON EAST RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD, MONUMENTED ON THE SOUTH END BY A FOUND NO. 5 REBAR WITH A YELLOW PLASTIC CAP STAMPED "PLS 36567" AND ON THE NORTH END BY A FOUND NO. 5 REBAR WITH A YELLOW PLASTIC CAP (ILLEGIBLE), AND IS CONSIDERED TO BEAR NOOMO'57"E.

COMMENCING AT A POINT ALONG THE NORTH RIGHT OF WAY LINE OF CONSTITUTION AVENUE AND BEING THE SOUTHWEST CORNER OF LOT 1, SAND HILLS FILING NO. 2; THENCE WITH THE SAID NORTH LINE, S89'58'14"W, A DISTANCE OF 153.52 FEET TO THE

THENCE WITH SAID NORTH RIGHT OF WAY LINE, S89°58'14"W, A DISTANCE OF 80.00 FEET TO THE SOUTHEAST CORNER OF LOT 2. SAND HILL FILING NO. 3:

THENCE WITH EAST LINE OF SAID LOT 2, SAND HILL FILING NO. 3, NOO°02'45"W, A DISTANCE OF 166.14 FEET;

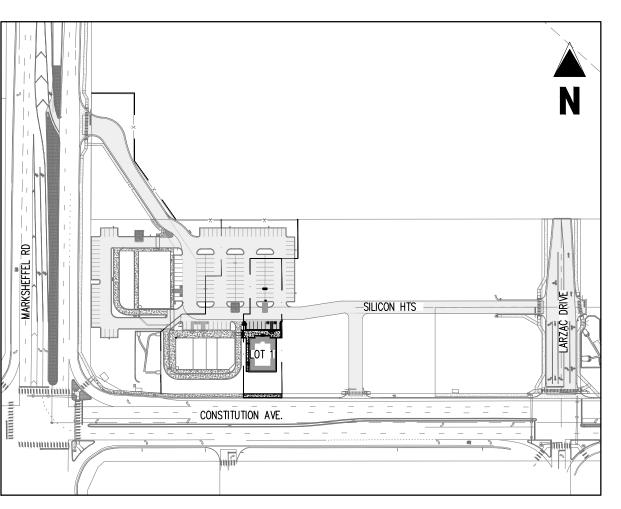
THENCE CONTINUING WITH SAID EAST LINE N90°00'00"E, A DISTANCE OF 14.02 FEET;

THENCE NOO°02'45"W, A DISTANCE OF 115.64 FEET;

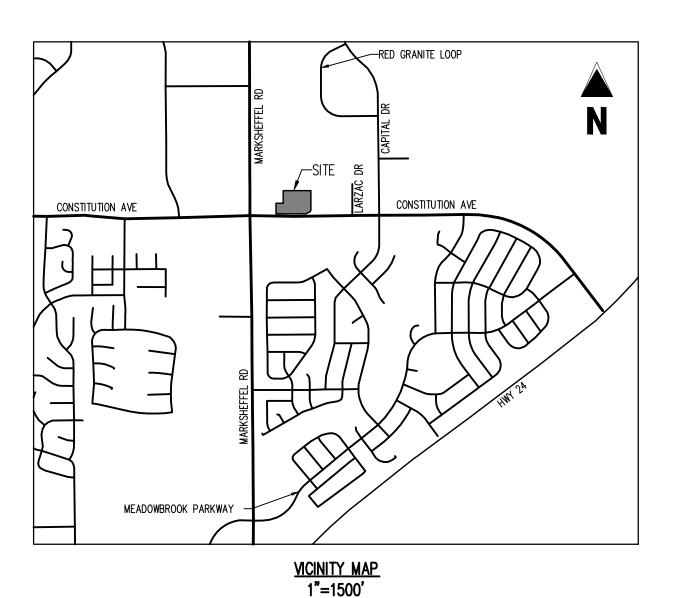
THENCE N89°57'15"E, A DISTANCE OF 65.98 FEET;

THENCE S00°02'45"E, A DISTANCE OF 281.80 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 20,921 SQUARE FEET OR 0.48 ACRES, MORE OR LESS.



SITE MAP 1"=200'



Sheet List Table								
SHEET NUMBER	SHEET DESCRIPTION	SHEET TITLE						
1	C0.0	COVER SHEET						
2	C1.0	SITE PLAN						
3	C1.1	SITE PLAN DETAILS						
4	C2.0	PRELIMINARY GRADING						
5	C3.0	PRELIMINARY UTILITY & PUBLIC FACILITY PLAN						
6	PP1.0	PHOTOMETRIC PLAN AND DETAILS						
7	LE-1.C	PAD C BUILDING ELEVATIONS						
8	L1.0	LANDSCAPE PLAN						

SCHEDULE NUMBER 5333300003 NEC MARKSHEFFEL RD & CONSTITUTION AVE COLORADO SPRINGS, CO 80951 SITE ADDRESS CITY OF COLORADO SPRINGS, CO JURISDICTION CPC CP 17-00084-A1MN18 ("SAND HILL RETAIL") APPROVED CONCEPT PLAN NO. APPROVED MASTER PLAN CPC MP 17-00080 ("THE SANDS") CITY FILE NUMBER ORDINANCE NUMBER 18-64 DEVELOPMENT SCHEDULE FIRST QUARTER OF 2020 ** THIS COMMERCIAL DEVELOPMENT IS PART OF A LARGER UNIFIED COMMERCIAL DEVELOPMENT, REQUIRED SETBACKS: WHERE BUILDING SETBACKS ARE MEASURED FROM THE PERIPHERY AND NOT INTERNAL LOT LINES FRONT SETBACK (ROW) (MARKSHEFFEL RD. & CONSTITUTIONAVE.) SIDE SETBACK (PERIPHERY OF UNIFIED DEV.) REAR SETBACK (PERIPHERY OF UNIFIED DEV.) REQUIRED LANDSCAPE BUFFERS CONSTITUTION AVE MARKSHEFFEL RD SIDE (ADJACENT TO RESIDENTIAL) REAR (ADJACENT TO RESIDENTIAL) 15' EXISTING DEVELOPMENT DATA LOT 1: 20,921 SF (0.48 ACRES) SITE AREA PBC/SS/AO - PLANNED BUSINESS CENTER WITH STREAMSIDE AND AIRPORT OVERLAY ZONES EXISTING ZONING CITY FILE REFERENCE NUMBER DRAINAGE BASIN SAND CREEK DRAINAGE BASIN PROPOSED DEVELOPMENT DATA LOT 1: MEDICAL OFFICE (DENTIST) PROPOSED LAND USE PROPOSED BUILDING SQUARE FOOTAGE LOT 1: 4,048 SF (0.09 AC) LOT 1: 19.35% ± BUILDING COVERAGE LOT COVERAGE IMPERVIOUS SURFACE LOT 1: 11,510 SF (0.26 AC) 55.02%± LOT 1: 5,363 SF (0.12 AC) 25.63%± LOT COVERAGE OPEN SPACE AREA MAXIMUM ALLOWABLE BUILDING HEIGHT PROPOSED BUILDING HEIGHT LOT 1: 24' LOT 1: MEDICAL OFFICE (1 PER 200 SF)(4,048 SF): 21 SPACES REQUIRED PARKING *PARKING PROVIDED (TOTAL) TOTAL ADA SPACES PROVIDED: 2 ADA SPACES (1 VAN SPACES, 1 STANDARD SPACES)

SITE DATA TABLE

- 1. ADA SITE ACCESSIBILITY: THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND BY THE UNITED STATES DEPARTMENT OF JUSTICE, APPROVAL OF THE PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- 2. ARMSTRONG CAPITAL DEVELOPMENT, LLC WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE ASSOCIATED WITH THE NEW LANDSCAPING SHOWN WITHIN THE
- 3. IN REGARDS TO HANDICAP PARKING, SINCE THE COMBINED PARKING REQUIRED IS 28 PARKING SPACES, 1 VAN ACCESSIBLE HANDICAP SPACE AND 1 STANDARD HANDICAP SPACE IS REQUIRED AND PROVIDED.
- 4. AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE "SAND HILL FILING NO. 4" SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF
- 5. ALL EXISTING CURB AND GUTTER POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG CONSTITUTION AVE. ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977
- 6. NO DIRECT VEHICULAR ACCESS FROM CONSTITUTION AVENUE SHALL BE AFFORDED TO THE SUBJECT PROPERTY WITHIN THIS DEVELOPMENT.
- 7. THE PARCEL WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE COVENANTS, CONDITIONS, RECORDED UNDER RECEPTION NO. 219029464.
- 8. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- 9. ALL SITE LIGHTING OR EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR SHIELD TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES AND
- 10. THE PARCELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE FEES, RESTRICTIONS, AND COVENANTS OF THE SANDS METROPOLITAN DISTRICT, WHICH IS CREATED BY ORDINANCE NO. 18-64 AND RECORDED IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE UNDER THE RECEPTION NO. 219029464.

FLOODPLAIN STATEMENT

THIS SITE IS IN ZONE X (OUTSIDE 0.2% CHANCE OF FLOOD) AND ZONE AE BASE FLOOD ELEVATIONS DETERMINED, AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATIONS (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR EL PASO COUNTY, COLORADO, MAP NO. 08041C0756G, HAVING A MAP REVISED DATE OF DECEMBER 7, 2018, WITH A LOMC DATED DECEMBER 8, 2018. FLOOD ZONE DETERMINATION IS PERFORMED BY GRAPHIC PLOTTING ONLY OF THE F.I.R.M.'S LISTED ABOVE, NO FIELD SURVEYS WERE PERFORMED TO DETERMINE LOCATION OF THE FLOOD ZONE AND THE EXACT LOCATION CAN ONLY BE DETERMINED BY AN ELEVATION OR FLOOD STUDY. WE DO NOT ASSUME ANY LIABILITY FOR THE EXACT LOCATION OF THE FLOOD ZONE, FLOOD ZONE DETERMINATION IS NOT A STATEMENT OF THIS SURVEYOR, OR GALLOWAY & COMPANY, INC. OF ACTUAL FLOODING CONDITIONS CONCERNING THE SUBJECT PROPERTY.

GEOLOGIC HAZARD DISCLOSURE STATEMENT:

1. A GEOLOGIC HAZARD STUDY WAS COMPLETED BY RMG - ROCKY MOUNTAIN GROUP FOR THE SANDS. THIS REPORT IDENTIFIED NO SIGNIFICANT GEOLOGIC HAZARDS THAT ARE ANTICIPATED TO PRECLUDE THE PROPOSED DEVELOPMENT. HOWEVER, THE POTENTIAL DOES EXIST FOR GEOLOGIC HAZARDS OR CONDITIONS RELATED TO

- A. EXPANSIVE SOILS AND EXPANSIVE BEDROCK
- COLLAPSIBLE SOIL
- FLOOD PRONE AREAS
- HISTORY OF LANDFILL ACTIVITY OF UNDOCUMENTED / UNCONTROLLED FILL ACTIVITY

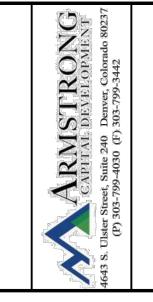
THESE GEOLOGIC CONDITIONS ARE CONSIDERED RELATIVELY COMMON TO THE IMMEDIATE AREA AND MITIGATION CAN GENERALLY BE ACCOMPLISHED BY IMPLEMENTING COMMON ENGINEERING AND CONSTRUCTION PRACTICES.

- 2. SITE SPECIFIC SUBSURFACE SOIL INVESTIGATIONS SHALL BE CONDUCTED PRIOR TO CONSTRUCTION ON ALL LOTS. IN ADDITION TO PROVIDING ANTICIPATED FOUNDATION DESIGN RECOMMENDATIONS, THOSE INVESTIGATIONS SHOULD ALSO CONSIDER LOT-SPECIFIC RECOMMENDATIONS RELATING TO THE FOLLOWING
- MITIGATION FOR COLLAPSIBLE AND / OR EXPANSIVE SOILS / BEDROCK AND UNCONTROLLED FILL CONDITIONS (IF ENCOUNTERED), AND B. POTENTIAL SHALLOW GROUNDWATER CONDITIONS AND FEASIBILITY OF BELOW-GRADE CONSTRUCTION, BASED ON THE GROUNDWATER DEPTHS IDENTIFIED IN THE GEOLOGIC HAZARD STUDY, MAY NEED TO BE ADJUSTED FOR CUT / FILL OPERATIONS PERFORMED AT THE TIME OF OVER-LOT GRADING.

CITY APPROVAL STAMP:

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OPMENT

Date Issue / Description

Project No:	ACD00020
Drawn By:	TJE
Checked By:	CD
Date:	12/23/19

COVER SHEET

CIYT FILE NUMBER:

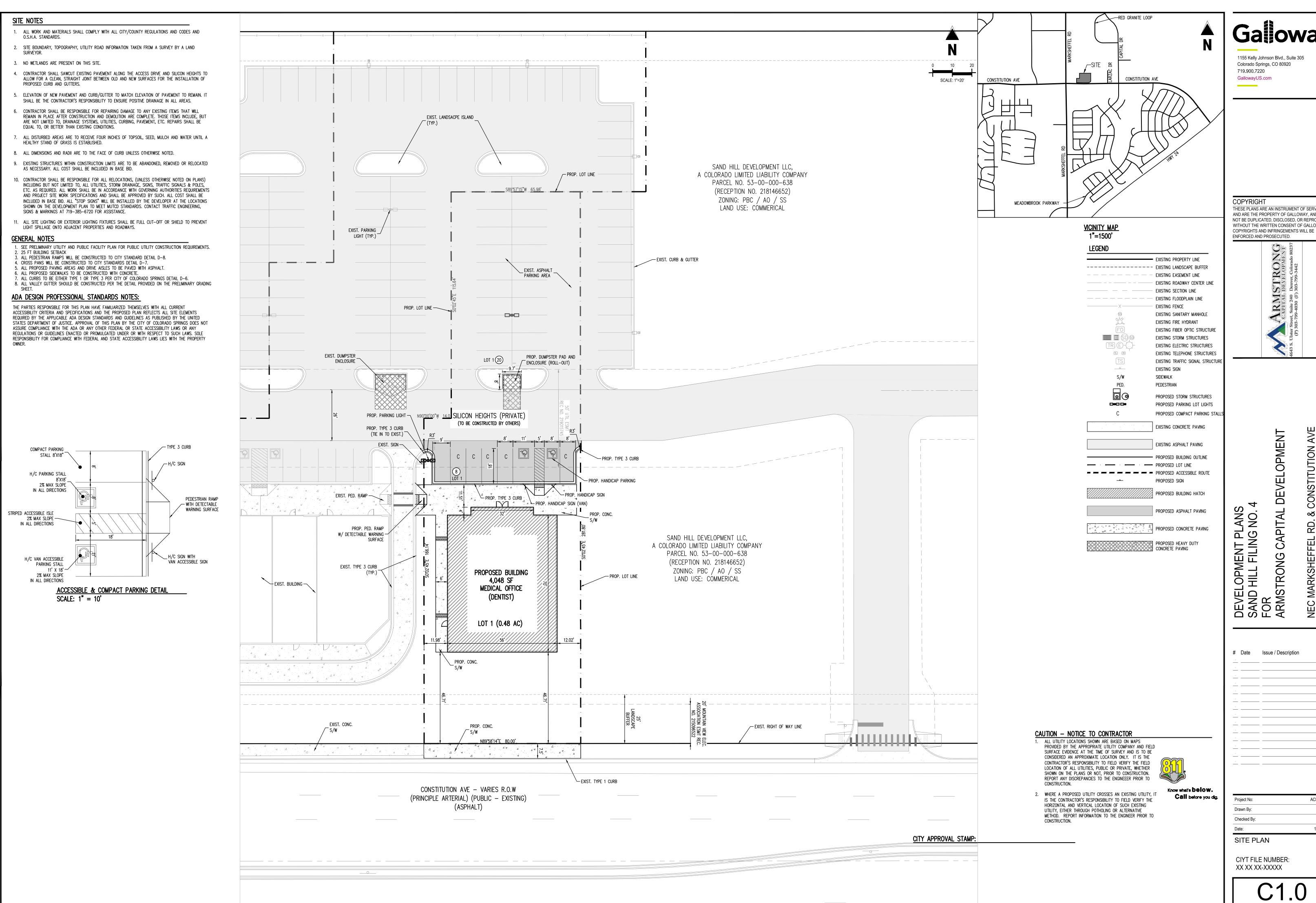
XX XX XX-XXXXX

CAUTION - NOTICE TO CONTRACTOR

ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEEER PRIOR TO

WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO





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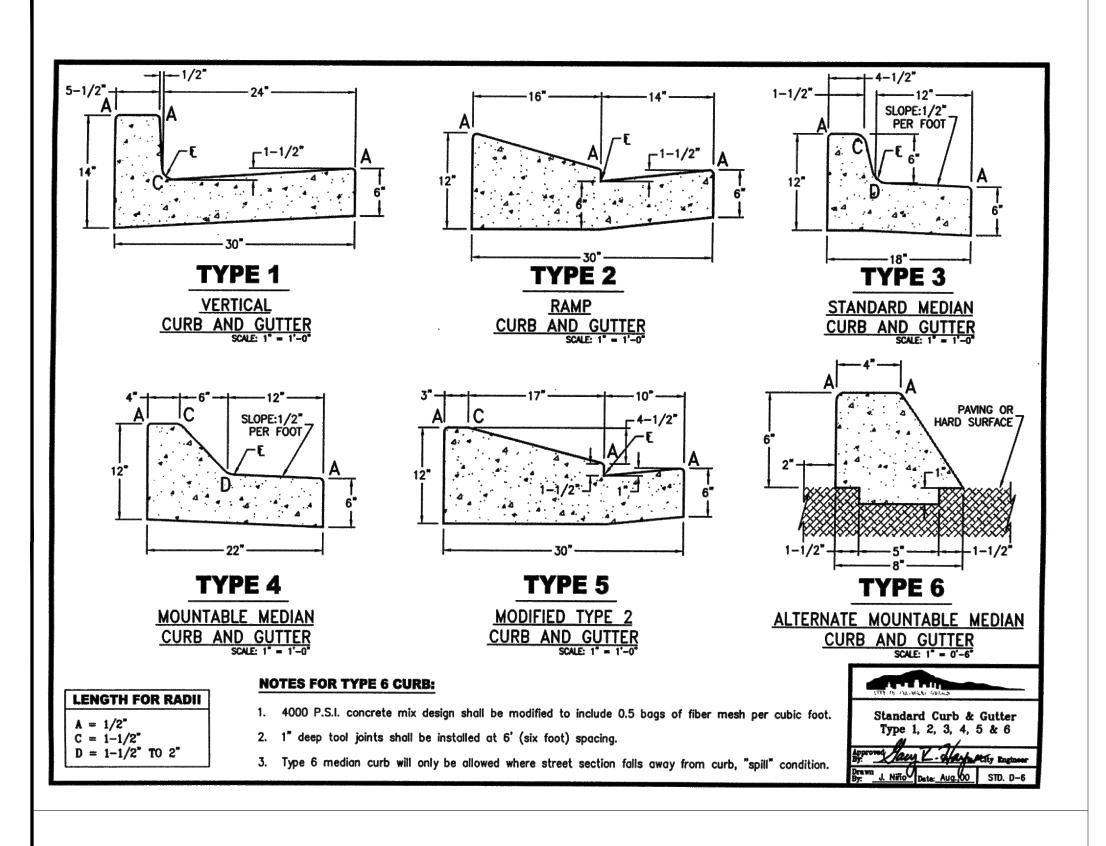
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OPMENT.

ACD00020 12/23/19

CIYT FILE NUMBER: XX XX XX-XXXXX

Sheet 2 of 8



<u>General Notes</u>

- 1. All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
- The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
- A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
- The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
- 6. Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
- 7. All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb, with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
- 8. Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
- 9. Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
- 10. If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
- 11. Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
- 12. Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
- 13. All ramp joints and grade breaks shall be flush (0" $\pm 1/8$ "). The joint between the roadway surface and gutter pan shall be flush.
- In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
- 15. The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
- blended transition shall not exceed 5.0%.
- 16. Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.

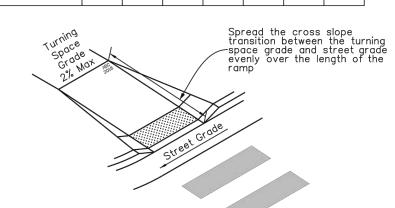
- 17. The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element taller than 2 inches such as curb, the turning space shall be 5 feet by 5 feet
- 18. Contact the City Forestry Division if it is necessary to disturb trees or roots.
- 19. All curb ramps shall have a minimum concrete thickness of 6 inches.
- All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
- 21. Ramps shall align with each other across the street.

Slope Tab

The table below is intended to be used to convert between the percent (rise/run) and ratio (run:rise) methods of expressing the magnitude of a slope:

PERCENT SLOPE
0.5%
1.0%
2.0%
5.0%
7.1%
8.3%
10.0%

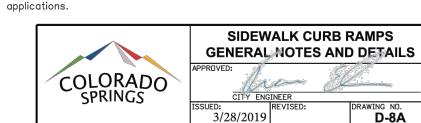
RATIO SLOPE
200:1
100:1
50:1
20:1
14:1
12:1
10:1

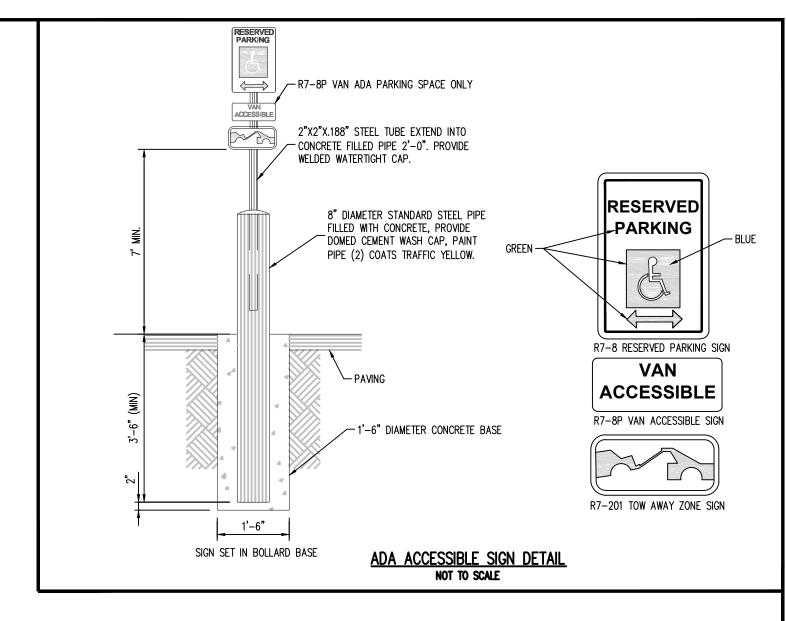


Ramp Cross Slope Transition To Match Roadway Profile

Ramp cross slopes and turning spaces shall be:
A. 2% max when a yield or stop control is present.

B. Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit



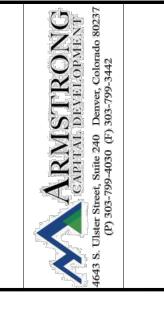


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RONG CAPITAL DEVELOPMENT

DEVELOPMENT PLA SAND HILL FILING N FOR ARMSTRONG CAPIT

Date Issue / Description Init.

 Project No:
 ACD00020

 Drawn By:
 TJE

 Checked By:
 CD

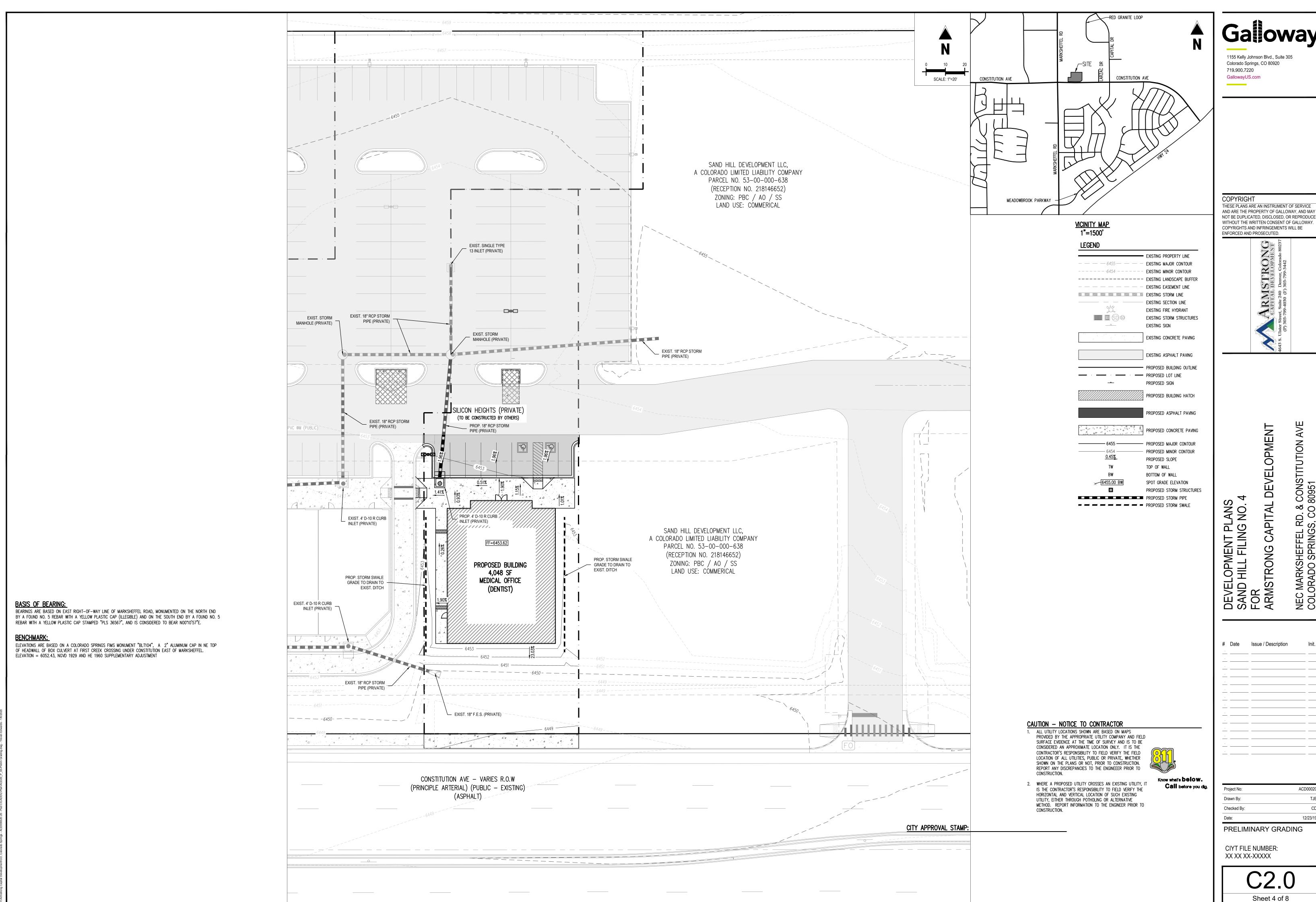
 Date:
 12/23/19

SITE PLAN DETAILS

CIYT FILE NUMBER: XX XX XX-XXXXX

C1.1
Sheet 3 of 8

CITY APPROVAL STAMP:



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LOPMENT

DEVELOPMENT PLA SAND HILL FILING N FOR ARMSTRONG CAPIT

12/23/19 PRELIMINARY GRADING

CIYT FILE NUMBER: XX XX XX-XXXXX

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-RED GRANITE LOOP ALL WATER AND WASTEWATER SERVICES ARE PRIVATE. ALL PROPOSED STORM SEWER IS PRIVATE. ALL UTILITY SEPARATIONS SHALL BE PER THE LATEST VERSION OF CSU WATER LINE EXTENSION AND SERVICE STANDARDS CLEARANCE MATRIX 2.6.G.3 AND 2.6.G.4. CONSTITUTION AVE CONSTITUTION AVE GENERAL NOTES FOR PRELIMINARY UTILITY PLANS PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN: COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS SAND HILL DEVELOPMENT LLC, ("STANDARDS"), TARIFFS, RULES, REGULATIONS, AND POLICIES, CITY ORDINANCES, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN A COLORADO LIMITED LIABILITY COMPANY EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION. PARCEL NO. 53-00-000-638 OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY (RECEPTION NO. 218146652) SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED ZONING: PBC / AO / SS MEADOWBROOK PARKWAY UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING LAND USE: COMMERICAL THE COSTS TO DESIGN AND INSTALL ALL POTABLE AND NON-POTABLE WATER SYSTEM FACILITIES AND APPURTENANCES, AND ALL WASTEWATER COLLECTION SYSTEM FACILITIES AND APPURTENANCES, AND ANY WATER OR WASTEWATER SERVICE LINES TO AND WITHIN VICINITY MAP THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS COPYRIGHTS AND INFRINGEMENTS WILL BE 1"=1500' ENFORCED AND PROSECUTED. PROVIDED IN UTILITIES' RULES AND REGULATIONS. SPRINGS UTILITIES' UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" LEGEND BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS EXISTING PROPERTY LINE UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL — — — — — — EXISTING EASEMENT LINE SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE - --- SS- EXISTING SANITARY LINE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES ---- G--- EXISTING GAS LINE DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES. --- UE- EXISTING UNDERGROUND ELECTRIC OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL EXISTING STORM LINE PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL EXISTING ROADWAY CENTER LINE UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE EXISTING SECTION LINE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES'THEN-CURRENT PERMANENT EASEMENT - EXISTING FLOODPLAIN LINE AGREEMENT FORM. EXISTING FENCE THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER EXIST SAN MH EXISTING SANITARY MANHOLE QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS (PUBLIC) EXISTING FIRE HYDRANT UTILITIES LINE EXTENSION AND SERVICE STANDARDS). EXISTING FIBER OPTIC STRUCTURE OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS EXISTING STORM STRUCTURES AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS EXIST. SAN MH EXISTING ELECTRIC STRUCTURES UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM EXISTING TELEPHONE STRUCTURES AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT. EXISTING TRAFFIC SIGNAL STRUCTURE OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION EXISTING SIGN OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE EXIST. SAN CO SILICON HEIGHTS (PRIVATE) APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD (PRIVATE) EXISTING CONCRETE PAVING (TO BE CONSTRUCTED BY OTHERS) GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH EXIST. 8" PVC WM (PUBLIC) - PROPOSED BUILDING OUTLINE 10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN PROPOSED SIGN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE PROPOSED BUILDING HATCH (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS PVC SAN LINE (PRIVATE) STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND PROPOSED WATER LINE ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE - PROPOSED SAN LINE SHALL APPLY. SPRINGS UTILITIES'APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL PROP. 40 LF OF 1-1/2" PVC NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO PROPOSED GREASE INTERCEPTOR WATER LINE (PRIVATE) SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, PROPOSED CLEAN OUT RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD DEVELOPMENT PLA SAND HILL FILING N FOR ARMSTRONG CAPIT WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES. SAND HILL DEVELOPMENT LLC, A COLORADO LIMITED LIABILITY COMPANY PARCEL NO. 53-00-000-638 EXIST. GREASE INTERCEPTOR — (RECEPTION NO. 218146652) (PRIVATE) ZONING: PBC / AO / SS PROPOSED BUILDING LAND USE: COMMERICAL 4,048 SF MEDICAL OFFICE (DENTIST) CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEEER PRIOR TO CONSTRUCTION. Know what's **below.** 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT (PRINCIPLE ARTERIAL) (PUBLIC - EXISTING) Call before you dig. IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE Project No: HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION. CITY APPROVAL STAMP: XX XX XX-XXXXX

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PRELIMINARY UTILITY & PUBLIC FACILITY PLAN CIYT FILE NUMBER:



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LOPMENT

DEVELOPMENT PLA SAND HILL FILING N FOR ARMSTRONG CAPIT

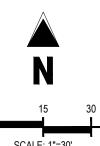
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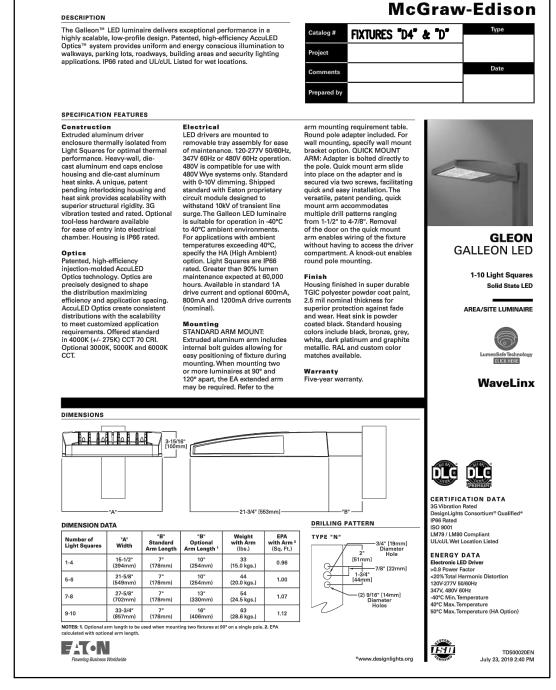
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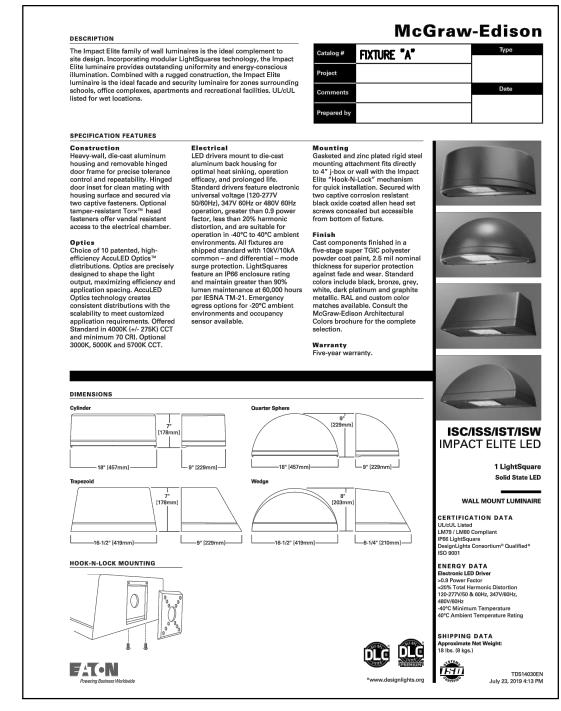
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†0.1 <u>†0.2 †0.4 †0.9 †1.6 ‡1</u> †2.9 <u>†3.3 †3.5 †3.6 †3.3 †2.9</u> †2.2 †0.1 <u>†0.2 †0.4 †0.9 †</u>1.6 <u>‡2.2</u> †3.0 <u>†3.3</u> - EXISTING FIXTURE TO PROPOSED BUILDING 4.048 SF MEDICAL OFFICE

 to.0
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 to.9

REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

GENERAL NOTES:

THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.

PLAN WAS BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN

THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN SAFETY STANDARDS OR RECOMMENDED PRACTICES OF IESNA. THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA

TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN

ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT: LAMP TILT FACTOR: BALLAST WATTAGE OUTPUT:

LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE

THE 16'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL, UNLESS NOTED OTHERWISE. LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE O FEET A.F.G.

SITE LIGHTING DESIGN USES FIXTURES THAT MAY APPEAR VISUALLY IDENTICAL BUT EMPLOY DIFFERENT OPTICS THAT DISTRIBUTE THE LIGHT IN DIFFERENT MANNERS OR DIFFER IN LIGHTING INTENSITY. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE DIFFERENT DISTRIBUTION PATTERNS AND LUMEN PACKAGES AND MATCHING THE LOCATIONS OF THESE AS SHOWN IN PLANS. DEVIATION FROM PLANS WILL RESULT IN FAILURE TO MEET LOCAL LIGHTING ORDINANCES AND DESIGN INTENT AND WILL NEED TO BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER

PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"

LUMINAIRE SCHEDULE									
FIXTURE	SYMBOL	QTY	POLE HEIGHT/ MOUNTING HEIGHT	MOUNT	INITIAL LUMENS	LLF	MANUFACTURER/CATALOG #	LAMP TYPE	WATTS
D4		1	23'-0" POLE	POLE	17,268	1.0	EATON LIGHTING, GALLEON SERIES, LED AREA FIXTURE #GLEON-AF-03-LED-E1-SL4-BZ	LED	166
D	□	1	23'-0" POLE	POLE	13,087	1.0	EATON LIGHTING, GALLEON SERIES, LED AREA FIXTURE #GLEON-AF-02-LED-E1-5MQ-BZ	LED	113
Α	0	6	12'-0" WALL	WALL	3,211	1.0	EATON LIGHTING, IMPACT ELITE TRAPEZOID LED WALL LUMINAIRE #ISW-AF-450-LED-E1-T4W-BZ	LED	26
В	0	3	10'-0" SOFFITT	WALL	1,288	1.0	EATON LIGHTING, HALO COMMERCIAL 4" LED DOWNLIGHT #HC415D010-HM412840-41MDW	LED	14

1. VERIFY EXACT FIXTURES CATALOG NUMBER, FINISH, VOLTAGE, LAMP(S), LENGTHS AND OPTIONS WITH OWNER AND ARCHITECT PRIOR TO ORDERING ANY EQUIPMENT. CONTRACTOR TO VERIFY COMPATIBLE DIMMER TYPE AND MANUFACTURER FROM LUMINAIRE CUT SHEET. CONTRACTOR TO PROVIDE ALL PARTS AND ACCESSORIES FOR A COMPLETE AND FUNCTIONING SYSTEM.

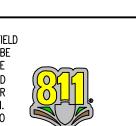
4. AREA FIXTURES "S" & "D" MOUNTED ON 20'-0" POLE ON A 3'-0" CONCRETE POLE. TOTAL MOUNTING HEIGHT 23'-0".

CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS

PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE. WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEEER PRIOR TO CONSTRUCTION.

IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

CITY APPROVAL STAMP:



Know what's **below.** Call before you dig. Project No: Checked By:

> PHOTOMETRIC PLAN AND DETAILS

ACD00020

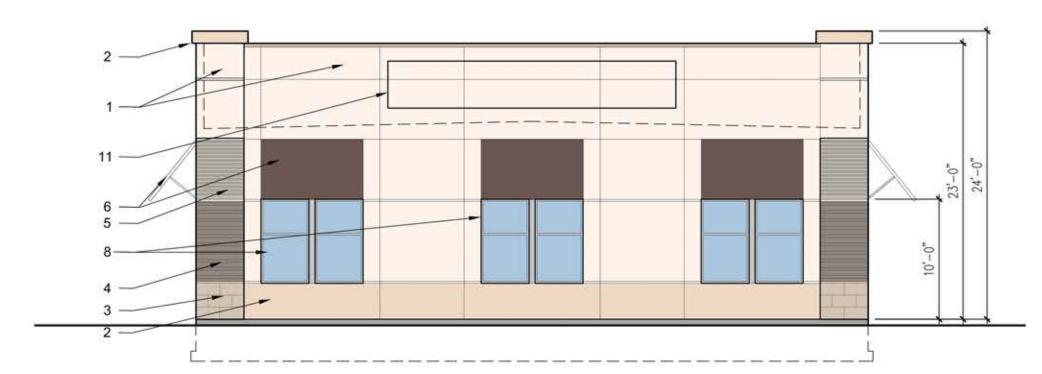
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CIYT FILE NUMBER: XX XX XX-XXXXX

Sheet 6 of 8

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT

PAD C NORTH ELEVATION



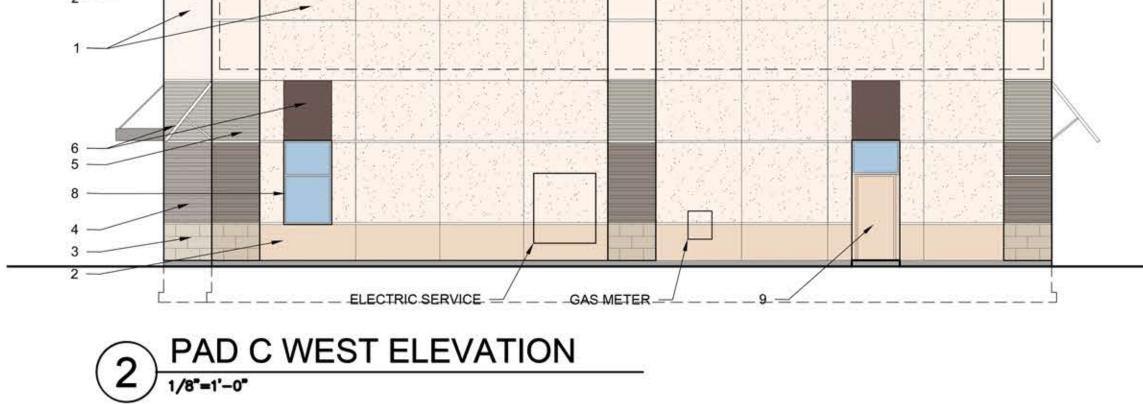
PAD C SOUTH ELEVATION

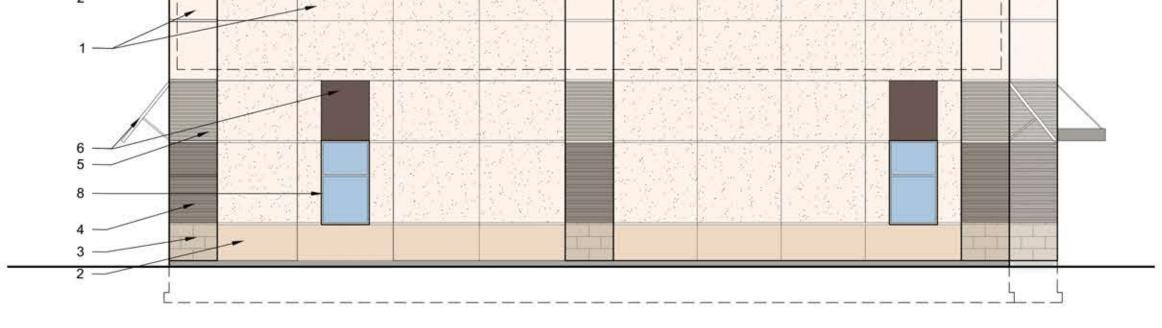


STUCCO



STONE BASE





PAD C EAST ELEVATION





Copper Brown METAL COLORS





METAL PROFILE

MATERIAL LEGEND

- 1 PLASTER BODY: DRYVIT #403 DOESKIN
- PLASTER ACCENT: DRYVIT #444A CARAMEL 3 STONE BASE - CORONADO STONE CLASSIC SERIES SMOOTH LIMESTONE, COLOR: CREAM - WITH 900 SERIES SILL, COLOR
- 4 METAL WALL PANEL BERRIDGE HS-8 PANEL, COLOR: AGED
- METAL WALL PANEL BERRIDGE HR-16 PANEL, COLOR: BUCKSKIN
- AWNING SUNBRELLA FABRIC ON BLACK METAL FRAME, COLOR:
- OCEAN BLUE METAL TRIM - COLOR: MATCH ADJACENT COLOR
- 8 STOREFRONT: CLEAR ANODIZED FRAME AND DOORS WITH CLEAR
- METAL DOOR PAINT TO MATCH ADJACENT FINISH
- 10 METAL CANOPY FRAME & SUPPORTS 11 AREA OF PROPOSED WALL SIGNAGE - SEE NOTE BELOW
- 12 WALL LIGHTS CONCEALED DOWNCAST FIXTURES

NOTE: SIGNAGE SHALL COMPLY WITH SAND HILL COMMERCIAL CENTER COORDINATED SIGN PLAN - CPC CP 17-00084-A2MN19 (CSP)

DONALD E. CASPER - ARCHITECT, PC

PLANNING - ARCHITECTURE & MANAGEMENT

P.O. BOX 630563 LITTLETON, COLORADO 80163 (P) 303-791-4270 (F)303-791-4269

4643 S. Ulster Street, Suite 240 Denver, Colorado 80237 (P) 303-799-4030 (F) 303-799-3442

FEL & CON SPRINGS, MARKSHEFFEL A
COLORADO SPRI

dw	ing file and its delive	ary media.	
#	DATE	REVISION	
1	10/2/2019	DD V1.0	
2	10/25/2019	DD V1.1	
3	10/29/2019	DD V1.2	
4			
	 		

16-106 PROJECT NUMBER: DRAWN BY: DATE:

DESCRIPTION: ELEVATIONS & SECTION

SHEET 7 OF 8

Disclaimer: These planting details are for City review and approval process only and shall not be used for construction or bidding purposes. SHRUB PLANTING DETAIL

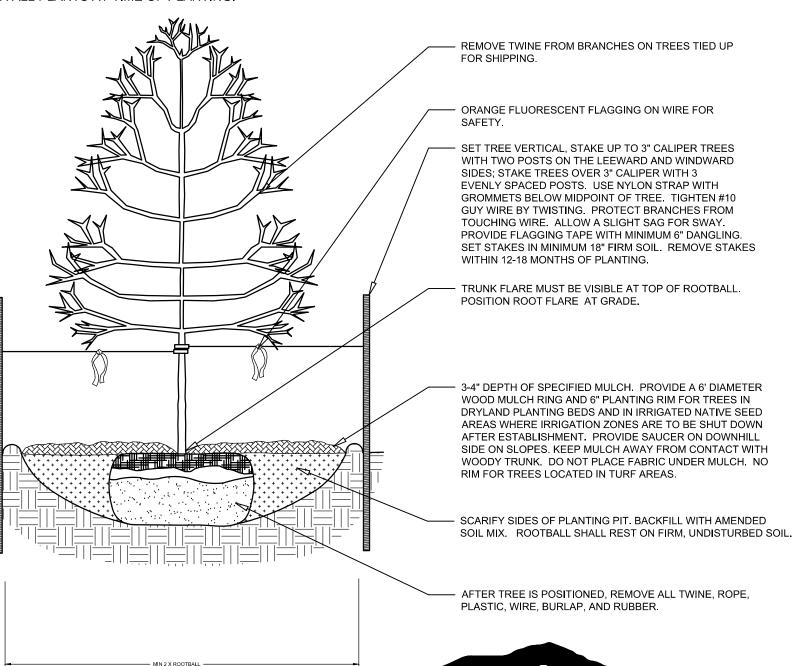
SECTION

1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE

- 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED.
- HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN. 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
- 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.

NOT TO SCALE

- 6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
- 7. IN WINTER WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK WITH ELECTRICAL OR DUCT TAPE, NOT TWINE. 8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
- 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



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DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

SECTION

Rev: 11.13.08

1. ALL SHRUBS, TREES AND BLUEGRASS BLEND TURF SHALL BE IRRIGATED WITH UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. THE CONTROLLER SHALL BE MULTI-STATION, FULLY PROGRAMMABLE CLOCK WITH AN AUTOMATIC RAIN SENSOR SHUT OFF AND VARIABLE START TIMES. TURF TO BE WATERED WITH SPRAY HEADS AND PLANTS IN BEDS TO BE WATERED WITH LOW-GALLONAGE EMITTERS.

2. TURF SHALL BE WATERED WITH ROTOR & SPRAY HEADS; SHRUBS & ORNAMENTAL GRASSES WILL BE WATERED WITH LOW-GALLONAGE EMITTERS.

3. AN IRRIGATION PLAN SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION AND APPROVED WITHIN THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WHICHEVER COMES FIRST."

TOPSOIL AND SOIL PREPARATION

4. PRIOR TO SITE GRADING, THE TOP 4 TO 6" OF EXISTING GRADE WILL BE STOCKPILED FOR REUSE AS TOPSOIL. AMENDMENTS TO THIS MATERIAL SHALL BE BASED ON THE RESULTS OF THE PENDING SOILS ANALYSIS.

5. AT MINIMUM, LANDSCAPE AREAS SHALL RECEIVE 4 C.Y. OF COMPOSTED ORGANIC AMENDMENT PER 1,000 S.F. THE TOPSOIL. THE AMENDMENT SHALL BE THOROUGHLY MIXED WITH THE STOCKPILED EXISITNG SOIL AND PLACED FOR THE TOP 6" OF SUBGRADE IN ALL LANDSCAPED AREAS AND TILLED A MIN. OF 6" INTO THE EXISTING SUBSOIL.

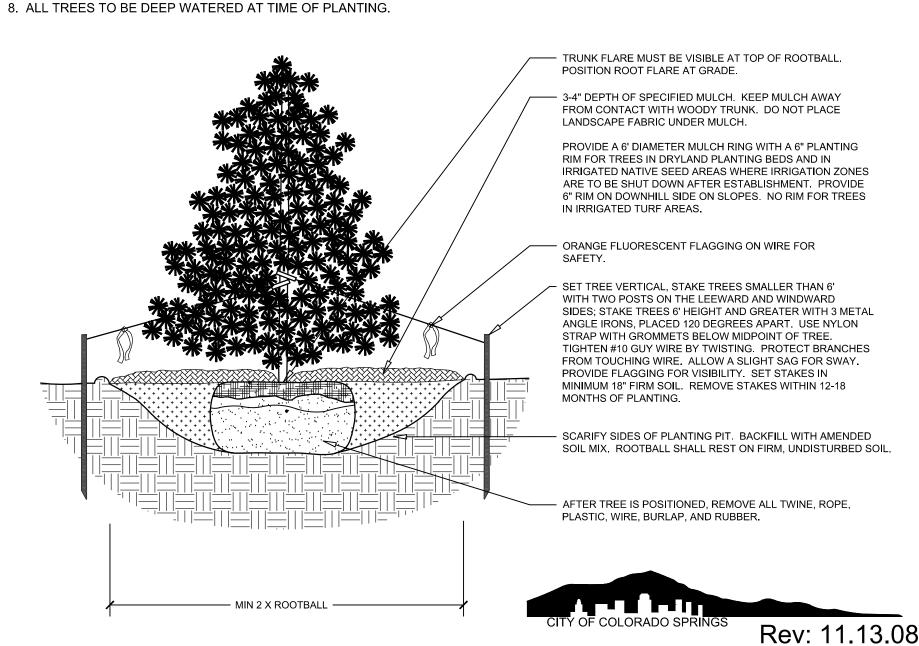
PLANTIIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	KEY: APPD. B	MATURE WIDTH	SPEC'D. SIZE	NOTES/REMARKS
DECI	DUOUS	TREES					
НО	3	Quercus 'Heritage'	Heritage Oak	S	40-50'	2" cal.	B&B, single stem, full head
ORN	AMENT	AL TREES					
sc cs	1 3	Malus 'Spring Snow' Quercus 'Crimson Spire'	Spring Snow Crabapple Crimson Spire Oak	467S S	20-25' 40-60'	2" cal. 2" cal.	B&B, single stem, full head
EVE	RGREE	N TREES					
BP	3	Pinus heldreichii leucodermis	Bosnian Pine		12-15'	8' HT.	B&B, full & bushy
DEC	IDUOUS	S SHRUBS					
DL	9	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	568A	3-4'	24-30" ht.	#5 container
DN	8	Physocarpus opufolius 'Diabolo'	Diabolo Ninebark	23456DA	6-8'	3-4' ht.	#5 container
GF	29	Spireae japonica 'Goldflame'	Goldflame Spirea	568A	2-2.5'	15-18" ht.	#5 container
LP	10	Ligustrum vulgare 'Lodense'	Lodense Privet	A	2-3'	18-24" ht.	#5 container
РВ	2	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	1345A	3-5'	15-18" ht.	#5 container
ТВ	12	Frangula alnus 'Columnaris'	Tallhedge Buckthorn	45D	3-4'	3-4' ht.	#5 container
EVEF	RGREE	N SHRUBS					
ВЈ	17	Juniperus sabina 'Buffalo'	Buffalo Juniper	568A	3-4'	12-15" ht.	#5 container
SJ	6	Juniperus chinensis 'Spartan'	Spartan Juniper	2568DA	4-6'	3-4' ht.	#5 container
GRA	SSES 8	PERENNIALS		•	•		
вв	20	Andropogon gerardii 'Windwalker'	Windwalker Big Bluestem		2-3'	24-30" ht.	#5 container

CONTAINER STOCK SHALL BE HEALTHY & WELL-ESTABLISHED. MINIMUM SIZE AND NUMBER OF CANES SHALL BE AS SPEC'D. AND PER ANSI Z60.1-2004

1. DO NOT REMOVE OR CUT LEADER.

- 2 PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING. 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
- 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- 5. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL 6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- 7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY
- FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



Disclaimer: These planting details are for City review and approval process only and shall not be used for construction or bidding purposes. EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

SECTION

LEGEND

DECIDUOUS TREE

ORNAMENTAL TREE

COLUMNAR TREE

EVERGREEN TREE

DECIDUOUS SHRUB

EVERGREEN SHRUB

ORNAMENTAL GRASS

6. SITE GRADING DESIGN HAS BEEN COMPLETED BY APERIO LAND CONSULTANTS. REFER TO GRADING/ENGINEERING DRAWINGS FOR PERTINENT INFORMATION. LANDSCAPE CONTRACTOR SHALL FINE GRADE LANDSCAPE AREAS +/- .1" AND ENSURE POSITIVE DRAINAGE (2% MIN.) AWAY FROM ALL BUILDINGS, FOUNDATIONS AND STRUCTURES.

7. PLANTING BEDS AS INDICATED ON THE DRAWINGS SHALL BE MULCHED WITH 1-1/2" DIAMETER, 4" DEPTH CRUSHED GRANITE- "DENVER GRANITE" OR APPROVED EQUAL. ORNAMENTAL GRASSES & PERENNIALS SHALL BE MULCHED WITH 4" DEPTH "CASCADE" MULCH OR APPROVED EQUAL. DENVER GRANITE AND CASCADE MULCH AVAILABLE AT C&C SAND & STONE, 719-577-9900. SUBMIT MULCH SAMPLES FOR APPROVAL BY OWNER'S REP. PRIOR TO INSTALLATION.

8. ALL BEDS EXCEPT PERENNIALS SHALL HAVE WEED BARRIER INSTALLED ON THE PREPARED SUBGRADE- TYPAR 3301 OR EQUAL.

MISCELLANEOUS

9. UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED & FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH.

10. SOD TO BE REVEILLE TEXAS BLUEGRASS HYBRID.

11. A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

12. A SIGNED AFFIDAVIT ATTESTING TO THE SOILS AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOILS ANALYSIS PRIOR TO THE CERTIFICATE OF OCCUPANCY.

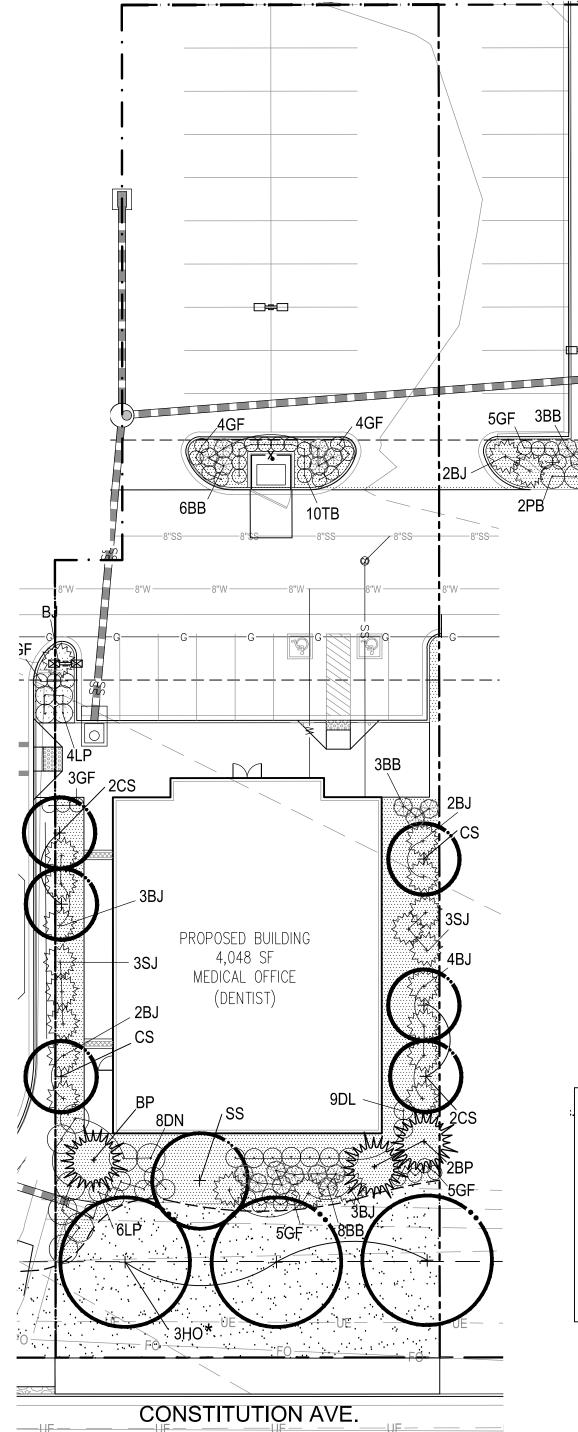
SITE CATEGORY CALCULATION

LANDSCAPE SETBACKS									
STREET NAME OR ZONE BOUNDARY (ELEV)	STREET CLASSIFICATION	WIDTH (IN FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	# TREES REQ./PROV.	SHRUB SUBS. REQ'D/PROV.	ORN. GRASS SUBS. REQ'D/PROV.	SETBACK PLANT ABBEVIATION	% GR. VEG. COVER REQ'D/PROV.
CONSTITUTION AVE.*	PRINCIPAL ARTERIAL	25' / 30'	80'	1/30'	3/3	NA	NA	ASTERISK ★	75 / 75

INTERNAL LANDSCAPING									
NET SITE AREA (SF) LESS R.O.W.	% MIN. INTERNAL AREA	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES REQ'D/PROV. (1/500SF)	INTERNAL AREA NOTED ON PLAN	SHRUB SUBS. REQ'D/PROV.	ORN. GRASS SUBS. REQ'D/PROV.	INTERNAL PLANT ABBEVIATION	% GR. VEG. COVER REQ'D/PROV.	
20,921 S.F.	5%	1,046 / 5,363	10 /10		NA	NA	(i)	75 / 75	

MOTOR VEHICLE LOTS											
# SPACES PROV.	SHADE TREES (1/15) REQUIRED/PROV.	VEHICLE LOT FRONTAGES	LENGTH EX. DRIVEWAYS	2/3 LENGTH OF FRONTAGE	MIN. 3' HT. SCREEN PLANTS REQ. / PROV.	EVERGREEN PLANTS REQUIRED/PROV.	LENGTH SCREENING WALL / BERM PROV.	VEHICLE LOT ABBR. ON PLAN			
28	2 / 0*	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	2 ASTERISKS **			

^{* =} Easement conflicts



LANDSCAPE PLAN

MULCH (SEE NOTES)

SEED MIX #2 (DETENTION)

IRRIGATED TURF

SEED MIX #1

PERENNIALS

LANDSCAPE EDGER

SITE & LANDSCAPE COVERAGE AREAS

	SITE & LANDSCAPE COVERAGE AREAS									
;.	SITE AREA	20,921 SF	.48 Ac.							
	BUILDING COVERAGE	4,048 SF	19.35%							
	PAVEMENT COVER	11,510 SF	55.02%							
	OPEN SPACE/LANDSCAPE AREA	5,363 SF	40.79%							
	LANDSCAPE COVERAGE DATA									
	IRRIGATED TURF AREA	2,505 SF	46.7%							
	IRRIGATED PLANTING BED (DRIP)	2,858 SF	53.3%							



CITY APPROVAL STAMP:

Jump Design Company PLANNING & LANDSCAPE ARCHITECTURE 1733 S. Clarkson Street Denver, Colorado 80210 info@jumpdesignco.com 303.282.0463





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Date Issue / Description

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