



SITE NOTES

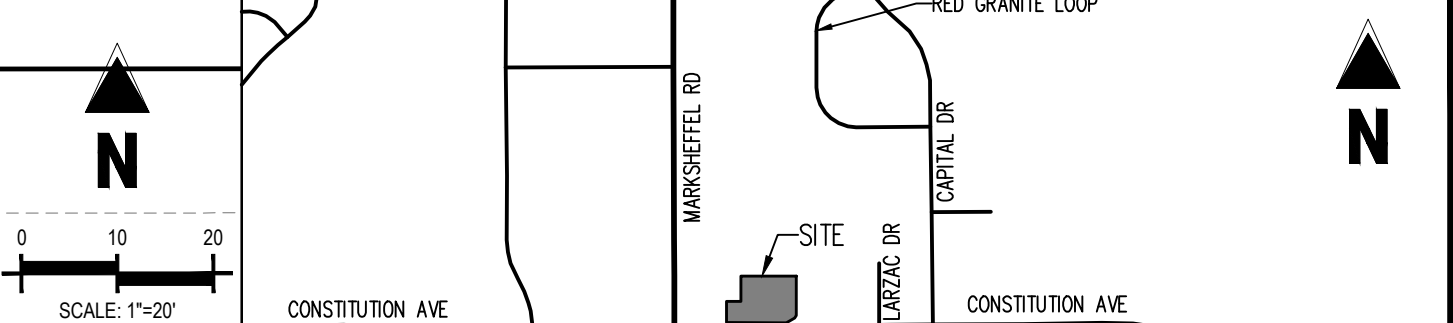
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- NO WETLANDS ARE PRESENT ON THIS SITE.
- CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT ALONG THE ACCESS DRIVE AND SILICON HEIGHTS TO ALLOW FOR A CLEAN, STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES FOR THE INSTALLATION OF PROPOSED CURB AND GUTTERS.
- ELEVATION OF NEW PAVEMENT AND CURB/GUTTER TO MATCH ELEVATION OF PAVEMENT TO REMAIN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720 FOR ASSISTANCE.
- ALL SITE LIGHTING OR EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR SHIELD TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES AND ROADWAYS.

GENERAL NOTES

- SEE PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN FOR PUBLIC UTILITY CONSTRUCTION REQUIREMENTS.
- 25 FT BUILDING SETBACK
- ALL PEDESTRIAN RAMPS WILL BE CONSTRUCTED TO CITY STANDARD DETAIL D-8.
- CROSS PANS WILL BE CONSTRUCTED TO CITY STANDARDS DETAIL D-7.
- ALL PROPOSED PAVING AREAS AND DRIVE ISLES TO BE PAVED WITH ASPHALT.
- ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED WITH CONCRETE.
- ALL CURBS TO BE EITHER TYPE 1 OR TYPE 3 PER CITY OF COLORADO SPRINGS DETAIL D-6.
- ALL VALLEY GUTTER SHOULD BE CONSTRUCTED PER THE DETAIL PROVIDED ON THE PRELIMINARY GRADING SHEET.

ADA DESIGN PROFESSIONAL STANDARDS NOTES:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.



SAND HILL DEVELOPMENT LLC,
 A COLORADO LIMITED LIABILITY COMPANY
 PARCEL NO. 53-00-000-638
 (RECEPTION NO. 218146652)
 ZONING: PBC / AO / SS
 LAND USE: COMMERCIAL

SAND HILL DEVELOPMENT LLC,
 A COLORADO LIMITED LIABILITY COMPANY
 PARCEL NO. 53-00-000-638
 (RECEPTION NO. 218146652)
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VICINITY MAP
 1"=1500'

LEGEND

- EXISTING PROPERTY LINE
 - EXISTING LANDSCAPE BUFFER
 - EXISTING EASEMENT LINE
 - EXISTING ROADWAY CENTER LINE
 - EXISTING SECTION LINE
 - EXISTING FLOODPLAIN LINE
 - EXISTING FENCE
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING FIBER OPTIC STRUCTURE
 - EXISTING STORM STRUCTURES
 - EXISTING ELECTRIC STRUCTURES
 - EXISTING TELEPHONE STRUCTURES
 - EXISTING TRAFFIC SIGNAL STRUCTURE
 - EXISTING SIGN
 - SIDEWALK
 - PEDESTRIAN
 - PROPOSED STORM STRUCTURES
 - PROPOSED PARKING LOT LIGHTS
 - PROPOSED COMPACT PARKING STALLS
-
- EXISTING CONCRETE PAVING
 - EXISTING ASPHALT PAVING
 - PROPOSED BUILDING OUTLINE
 - PROPOSED LOT LINE
 - PROPOSED ACCESSIBLE ROUTE
 - PROPOSED SIGN
 - PROPOSED BUILDING HATCH
 - PROPOSED ASPHALT PAVING
 - PROPOSED CONCRETE PAVING
 - PROPOSED HEAVY DUTY CONCRETE PAVING

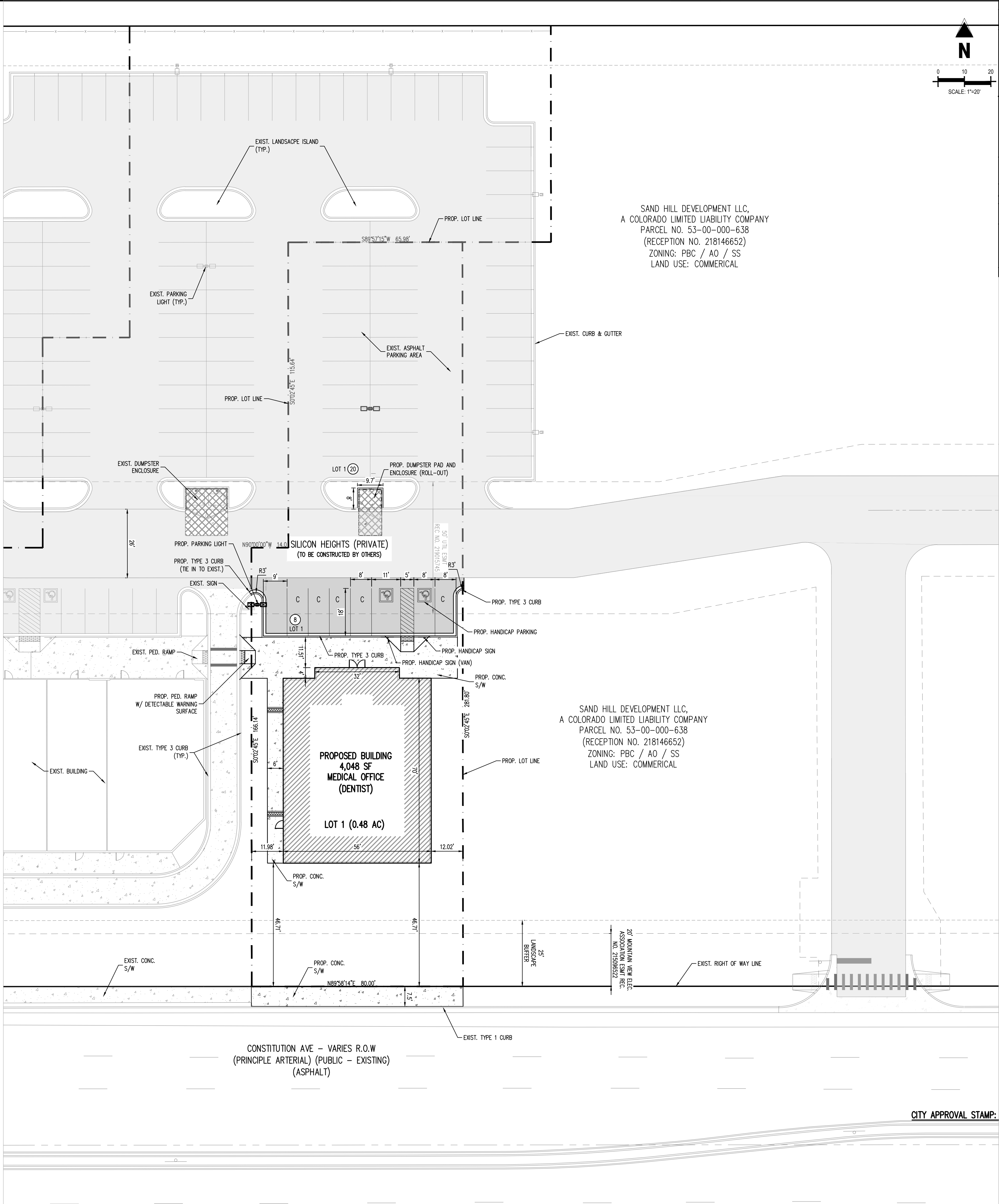
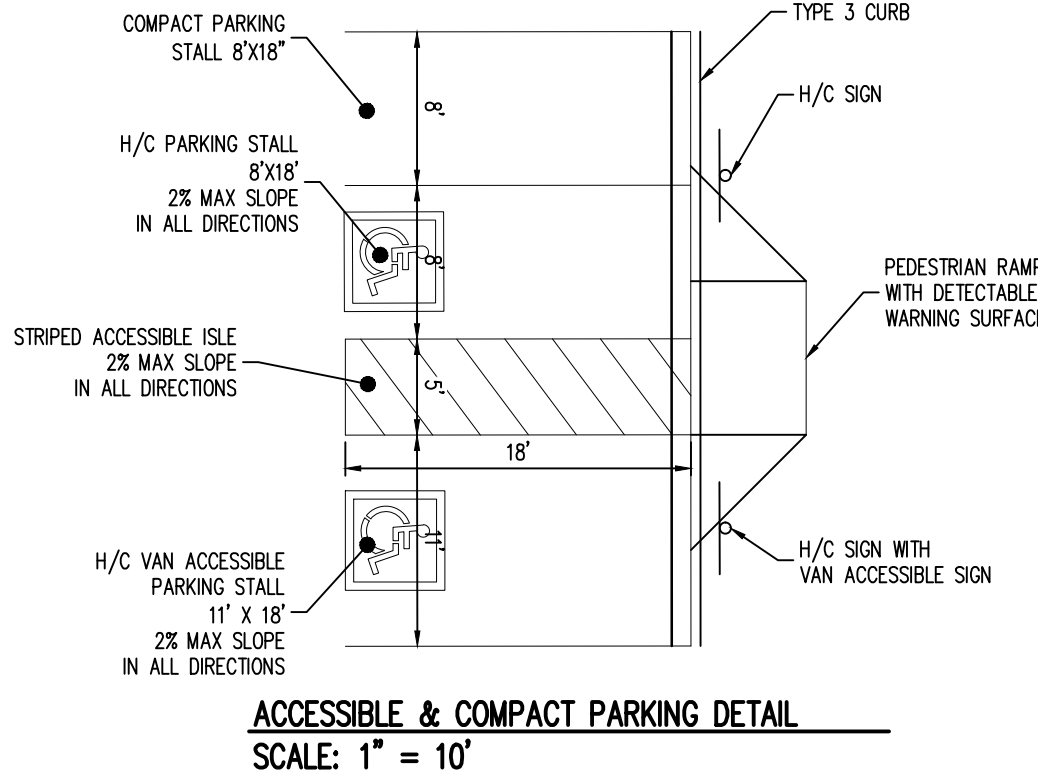
CAUTION - NOTICE TO CONTRACTOR

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



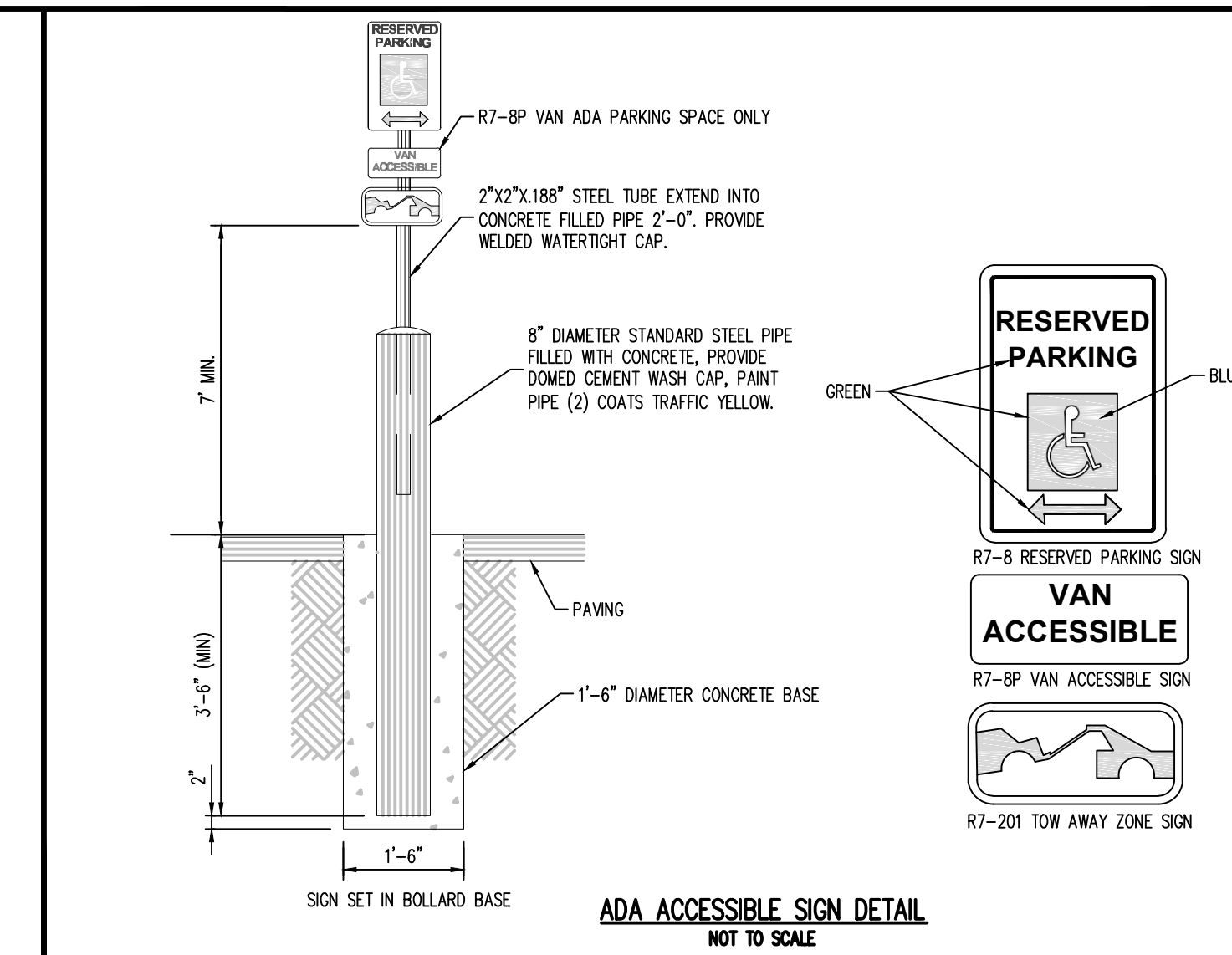
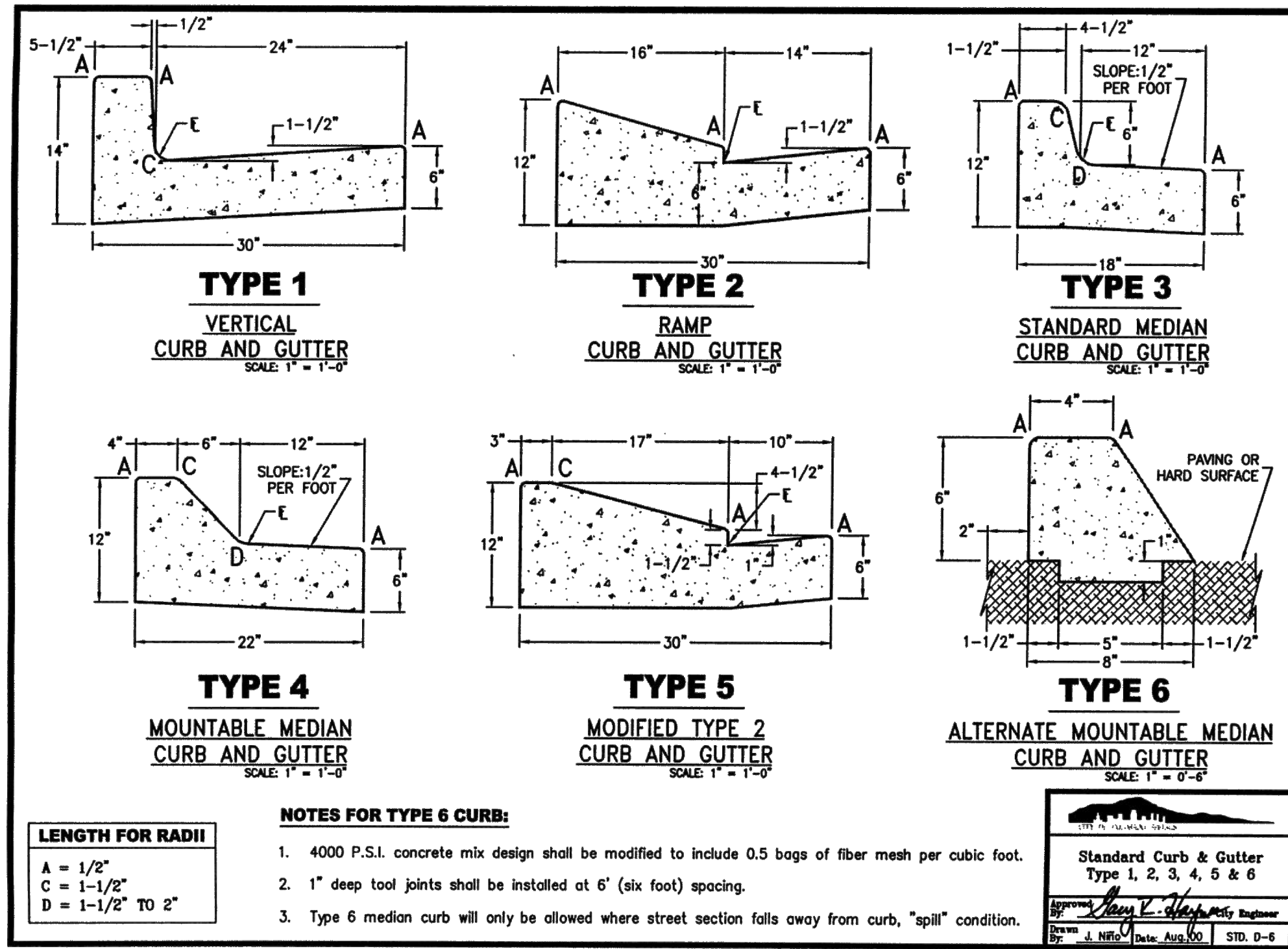
Know what's below.
 Call before you dig.

CITY APPROVAL STAMP:



CONSTITUTION AVE - VARIES R.O.W
 (PRINCIPLE ARTERIAL) (PUBLIC - EXISTING)
 (ASPHALT)

#	Date	Issue / Description	Init.



- General Notes**
- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (The City) Standard Specifications.
 - The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
 - Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
 - A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
 - The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
 - Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
 - All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb, with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
 - Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
 - Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
 - If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
 - Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
 - Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
 - All ramp joints and grade breaks shall be flush (0th/₁₆"'). The joint between the roadway surface and gutter pan shall be flush.
 - In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
 - The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
 - Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.
 - The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element taller than 2 inches such as curbs, the turning space shall be 5 feet by 5 feet.
 - Contact the City Forestry Division if it is necessary to disturb trees or roots.
 - All curb ramps shall have a minimum concrete thickness of 6 inches.
 - All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
 - Ramps shall align with each other across the street.
- Slope Table**
The table below is intended to be used to convert between the percent (rise/run) and ratio (run:rise) methods of expressing the magnitude of a slope:
- | PERCENT SLOPE | 0.5% | 1.0% | 2.0% | 5.0% | 7.1% | 8.3% | 10.0% |
|---------------|-------|-------|------|------|------|------|-------|
| RATIO SLOPE | 200:1 | 100:1 | 50:1 | 20:1 | 14:1 | 12:1 | 10:1 |
- Ramp Cross Slope Transition To Match Roadway Profile**
Ramp cross slopes and turning spaces shall be:
A. 2% max when a yield or stop control is present.
B. Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present at a mid block crossing location, or in retrofit applications.
- SIDEWALK CURB RAMPS**
GENERAL NOTES AND DETAILS
- APPROVED: *[Signature]*
CITY ENGINEER
ISSUED: 3/28/2019
REVISED: _____
DRAWING NO.: D-8A

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
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ARMSTRONG
CAPITAL DEVELOPMENT
1643 S. Ulster Street, Suite 340 Denver, Colorado 80202
(303) 739-4000 (F) 303-739-3442

DEVELOPMENT PLANS
SAND HILL FILING NO. 4
FOR
ARMSTRONG CAPITAL DEVELOPMENT
NEC MARKSHEFFEL RD. & CONSTITUTION AVE
COLORADO SPRINGS, CO 80951

#	Date	Issue / Description	Init.

Project No: ACCD00020
Drawn By: TJE
Checked By: CD
Date: 12/23/19

SITE PLAN DETAILS

CIYT FILE NUMBER:
XX XX XX-XXXX

C1.1
Sheet 3 of 8

CITY APPROVAL STAMP:

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4643 S. Ulster Street, Suite 340 Denver, Colorado 80237
 (P) 303-799-4000 (F) 303-799-3442

**DEVELOPMENT PLANS
 SAND HILL FILING NO. 4
 FOR
 ARMSTRONG CAPITAL DEVELOPMENT
 NEC MARKSHEFFEL RD. & CONSTITUTION AVE
 COLORADO SPRINGS, CO 80951**

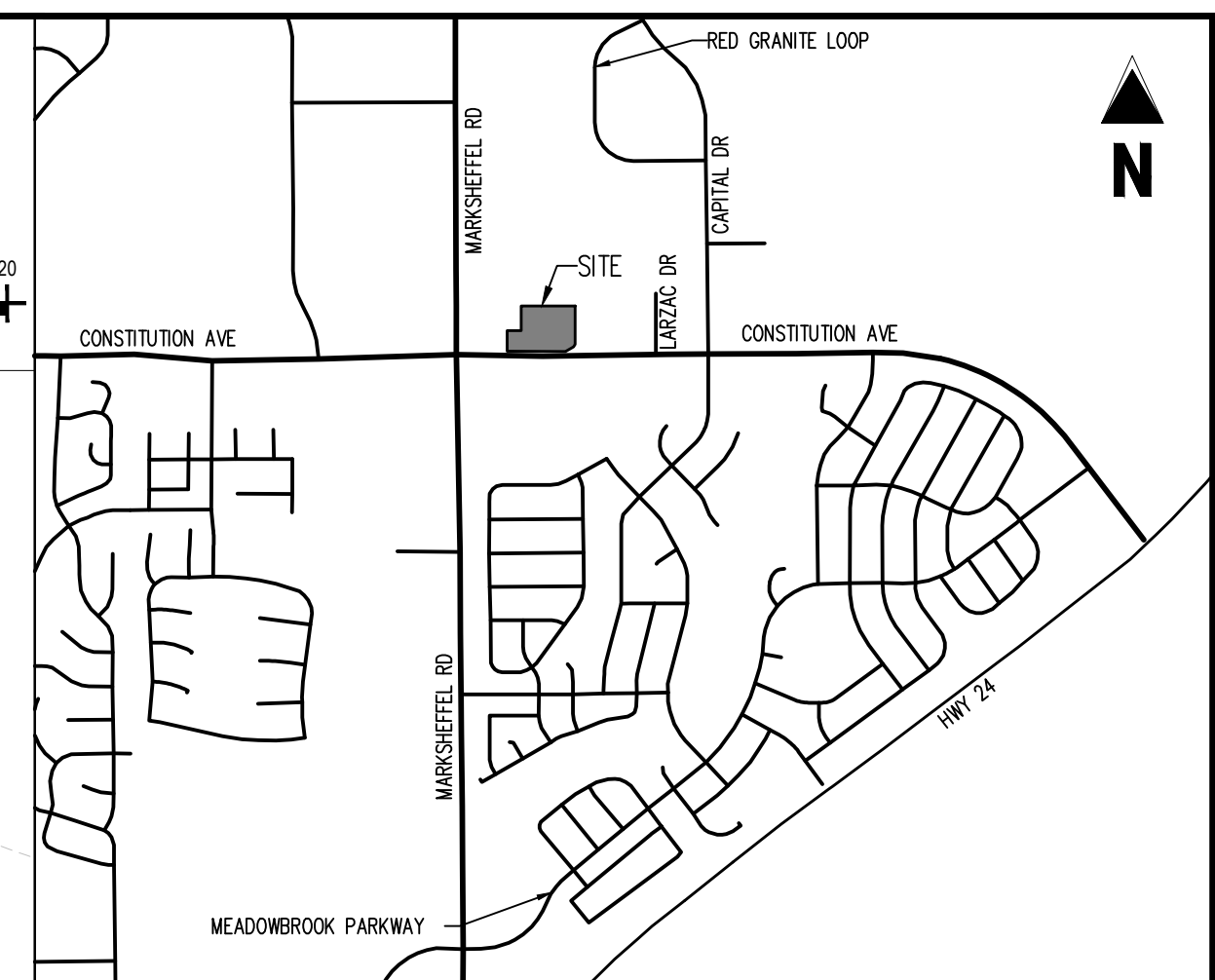
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Project No: ACD00020
 Drawn By: TJE
 Checked By: CD
 Date: 12/23/19

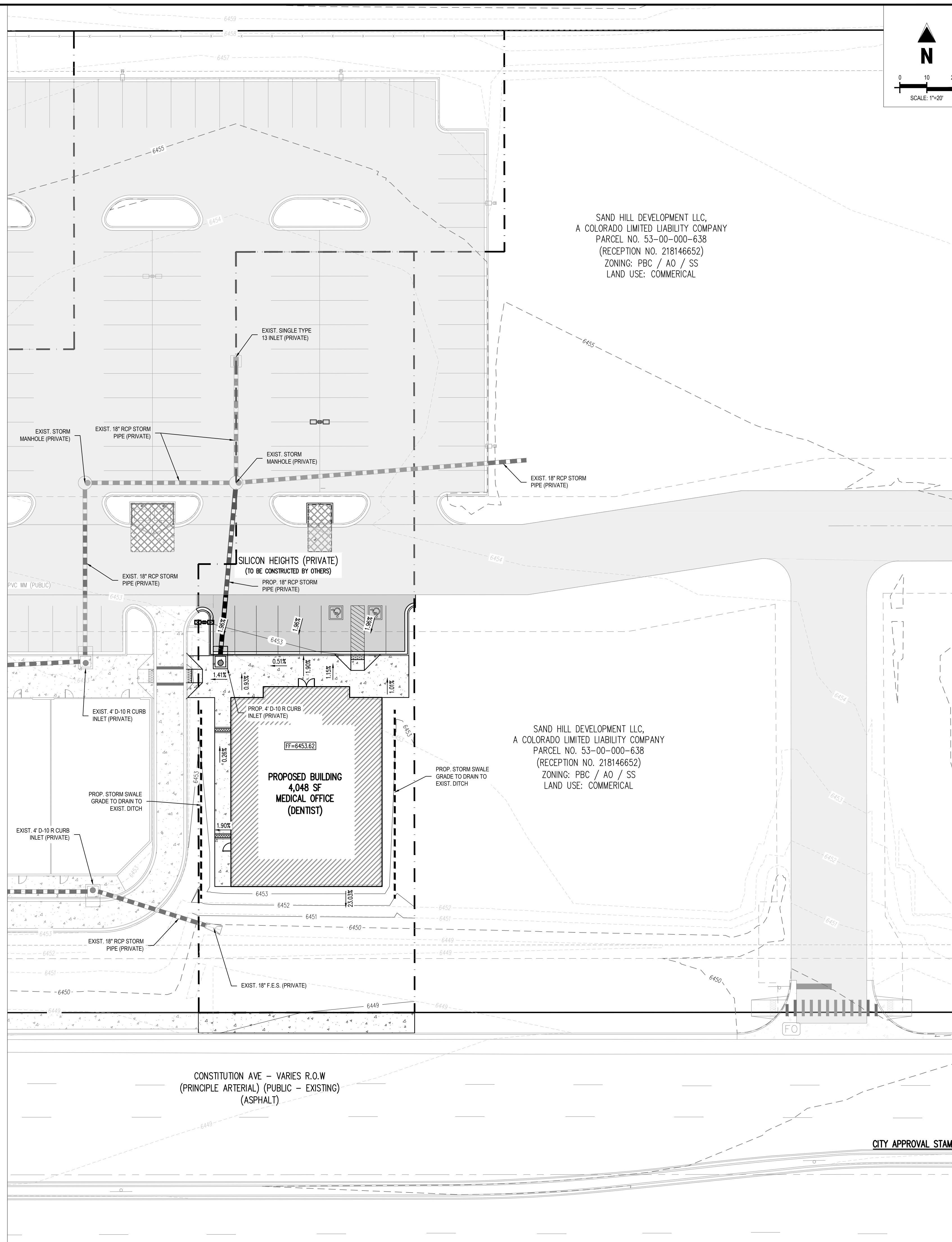
PRELIMINARY GRADING

CIYT FILE NUMBER:
 XX XX XX-XXXX

C2.0
 Sheet 4 of 8



- VICINITY MAP**
 1"=1500'
- LEGEND**
- EXISTING PROPERTY LINE
 - - - - EXISTING MAJOR CONTOUR
 - - - - EXISTING MINOR CONTOUR
 - - - - EXISTING LANDSCAPE BUFFER
 - - - - EXISTING EASEMENT LINE
 - EXISTING STORM LINE
 - - - - EXISTING SECTION LINE
 - EXISTING FIRE HYDRANT
 - EXISTING STORM STRUCTURES
 - EXISTING SIGN
 - EXISTING CONCRETE PAVING
 - EXISTING ASPHALT PAVING
 - PROPOSED BUILDING OUTLINE
 - PROPOSED LOT LINE
 - PROPOSED SIGN
 - PROPOSED BUILDING HATCH
 - PROPOSED ASPHALT PAVING
 - PROPOSED CONCRETE PAVING
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED SLOPE
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - 6455.00 BM SPOT GRADE ELEVATION
 - PROPOSED STORM STRUCTURES
 - PROPOSED STORM PIPE
 - PROPOSED STORM SWALE



BASIS OF BEARING:
 BEARINGS ARE BASED ON EAST RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD, MONUMENTED ON THE NORTH END BY A FOUND NO. 5 REBAR WITH A YELLOW PLASTIC CAP (ILLEGIBLE) AND ON THE SOUTH END BY A FOUND NO. 5 REBAR WITH A YELLOW PLASTIC CAP STAMPED "PLS 36567", AND IS CONSIDERED TO BEAR N00°10'57"E.

BENCHMARK:
 ELEVATIONS ARE BASED ON A COLORADO SPRINGS FIMS MONUMENT "BL1104", A 2" ALUMINUM CAP IN NE TOP OF HEADWALL OF BOX CULVERT AT FIRST CREEK CROSSING UNDER CONSTITUTION EAST OF MARKSHEFFEL. ELEVATION = 6052.43, NVD 1929 AND HE 1960 SUPPLEMENTARY ADJUSTMENT

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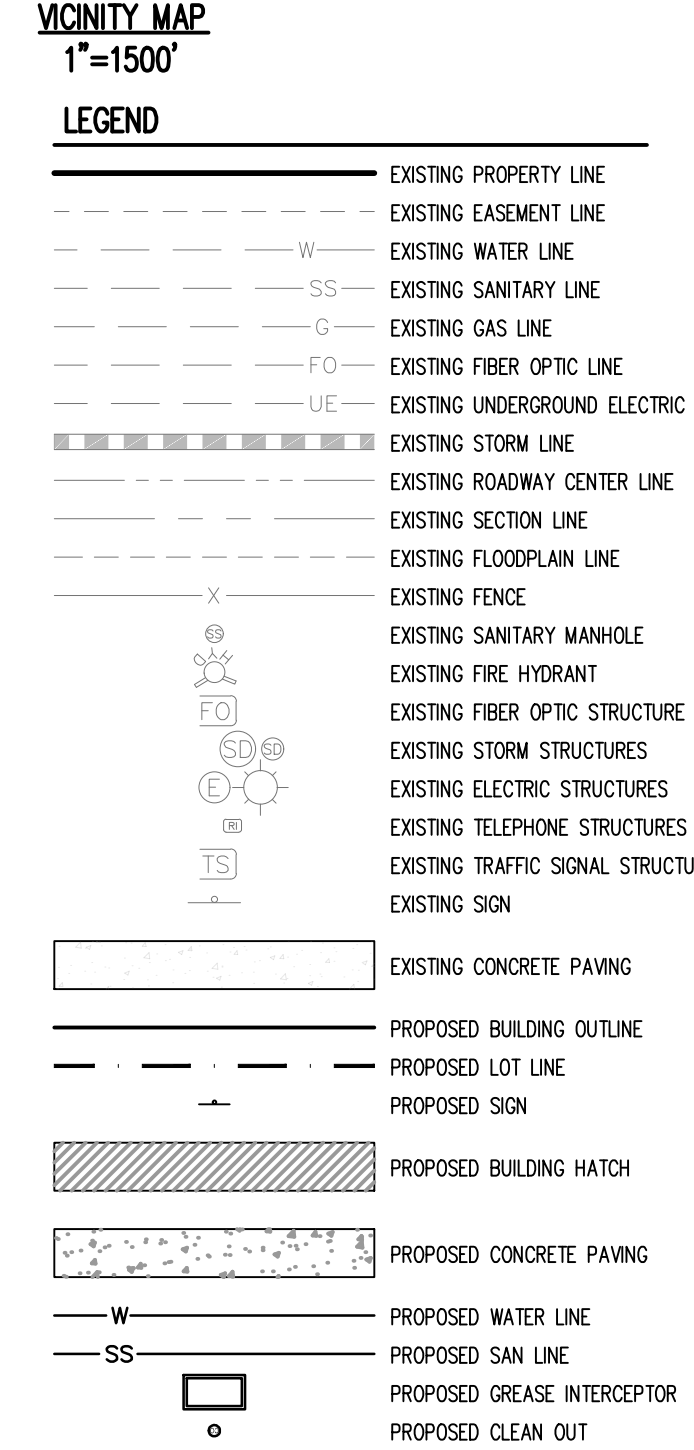
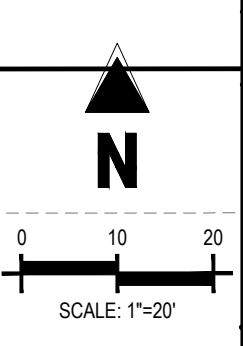
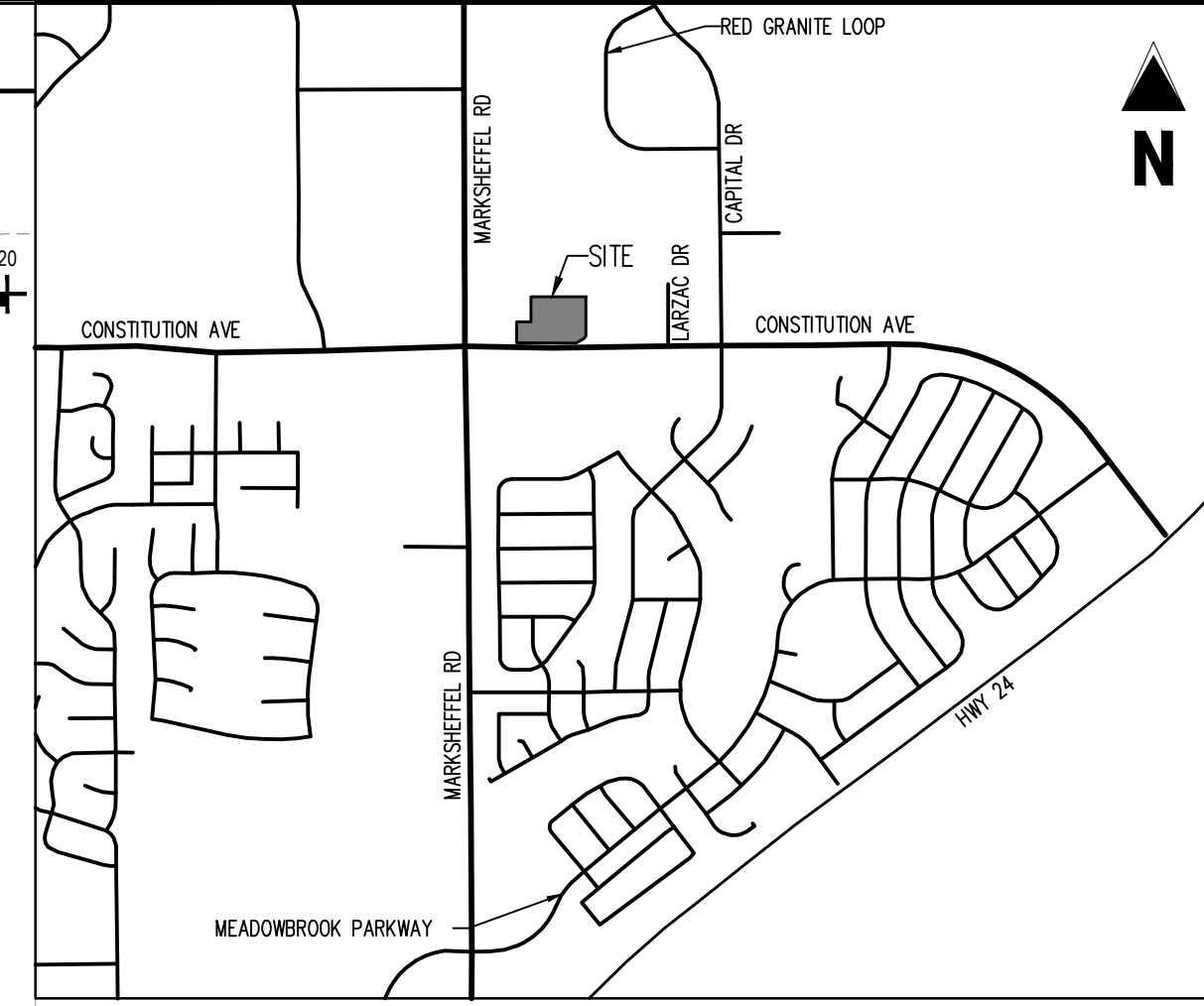
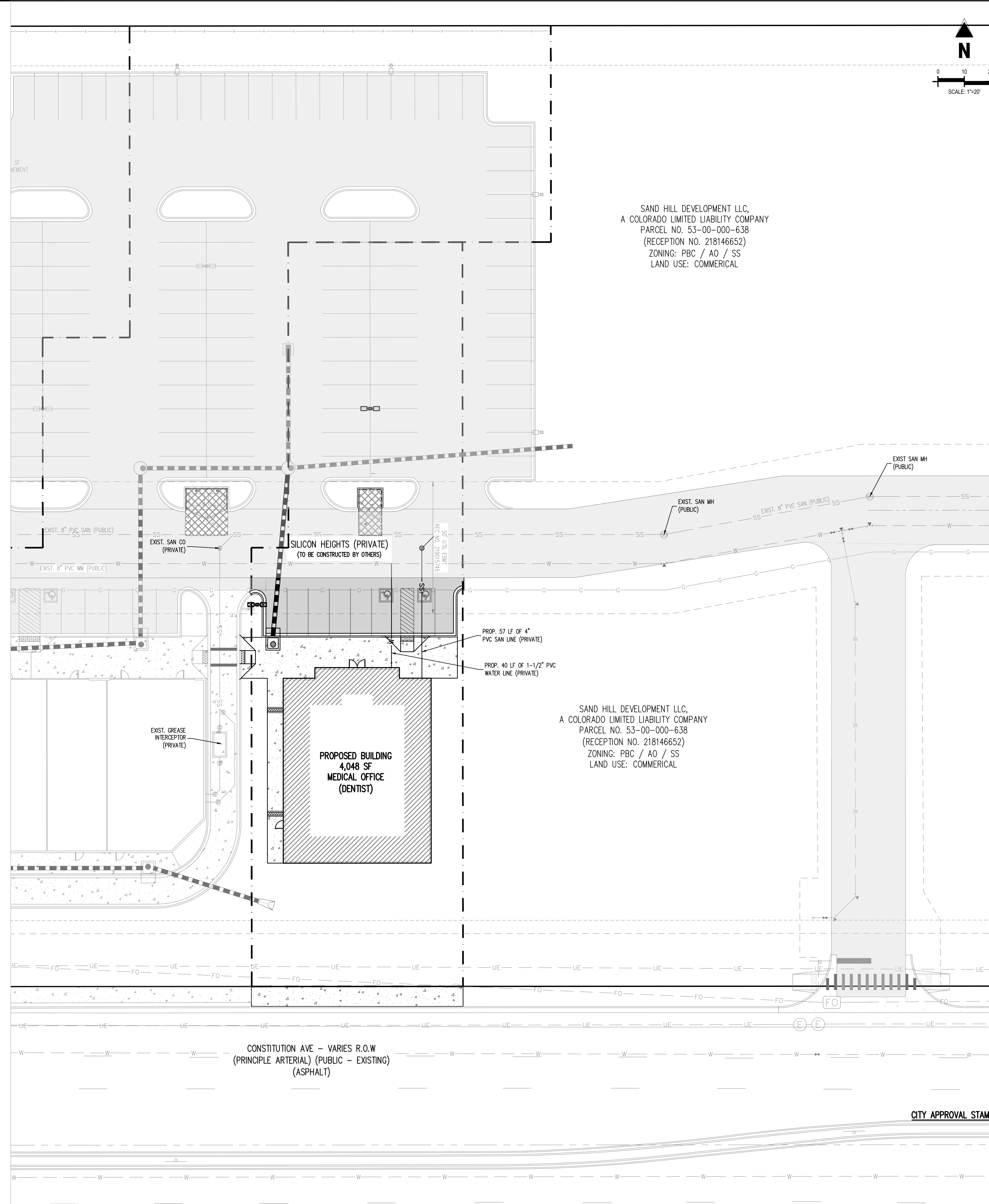
\Planning\Detail Development\CD Colorado Springs - ACD00020.dwg, 12/23/19, 11:02:00 AM, TJE

NOTES:

- 1. ALL WATER AND WASTEWATER SERVICES ARE PRIVATE.
2. ALL PROPOSED STORM SEWER IS PRIVATE.
3. ALL UTILITY SEPARATIONS SHALL BE PER THE LATEST VERSION OF CSU WATER LINE EXTENSION AND SERVICE STANDARDS CLEARANCE MATRIX 2.6.G.3 AND 2.6.G.4.

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
2. PROPERTY OWNER(S) ('OWNER') ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ('PROPERTY') SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS ('STANDARDS'), TARIFFS, RULES, REGULATIONS, AND POLICES, CITY ORDINANCES, RESOLUTIONS, AND POLICES, AND PICES FROM REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL ALL POTABLE AND NON-POTABLE WATER SYSTEM FACILITIES AND APPURTENANCES, AND ALL WASTEWATER COLLECTION SYSTEM FACILITIES AND APPURTENANCES, AND ANY WATER OR WASTEWATER SERVICE LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
4. SPRINGS UTILITIES' UTILITY SERVICES ARE AVAILABLE ON A 'FIRST-COME, FIRST-SERVED' BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564.
10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICES OF SPRINGS UTILITIES.



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PROPOSED BUILDING
4,048 SF
MEDICAL OFFICE
(DENTIST)

CONSTITUTION AVE - VARIES R.O.W
(PRINCIPLE ARTERIAL) (PUBLIC - EXISTING)
(ASPHALT)

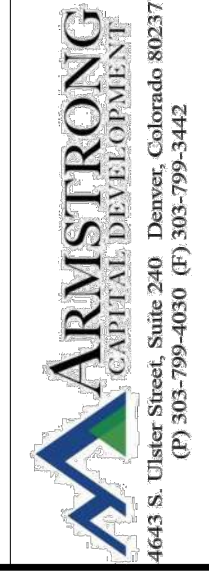
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DEVELOPMENT PLANS
SAND HILL FILING NO. 4
FOR
ARMSTRONG CAPITAL DEVELOPMENT
NEC MARKSHEFFEL RD. & CONSTITUTION AVE
COLORADO SPRINGS, CO 80951

Revision table with columns: #, Date, Issue / Description, Init.

Project No: ACD00020
Drawn By: TJE
Checked By: CD
Date: 12/23/19

PRELIMINARY UTILITY & PUBLIC FACILITY PLAN
CITY FILE NUMBER: XX XX XX-XXXX

C3.0
Sheet 5 of 8

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MATERIAL LEGEND

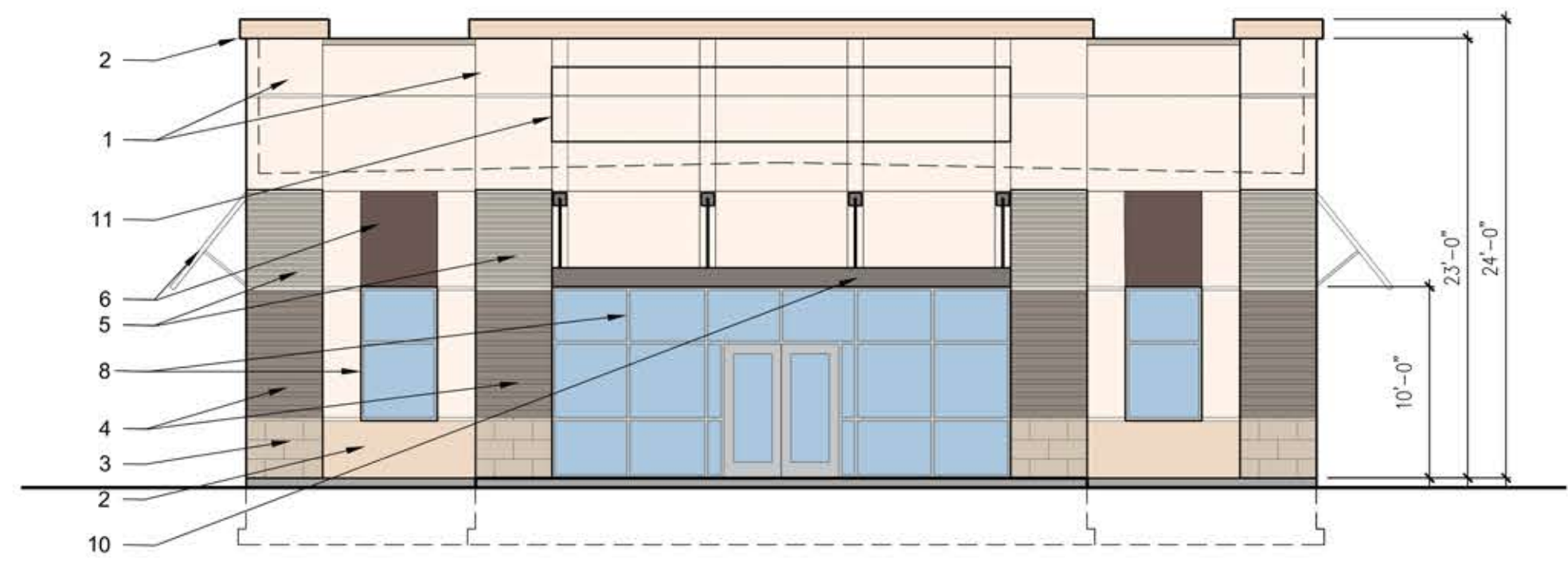
- 1 PLASTER - BODY: DRYVIT #403 - DOESKIN
- 2 PLASTER - ACCENT: DRYVIT #444A - CARMEL
- 3 STONE BASE - CORONADO STONE CLASSIC SERIES SMOOTH LIMESTONE, COLOR: CREAM - WITH 900 SERIES SILL, COLOR OFF-WHITE
- 4 METAL WALL PANEL - BERRIDGE HS-8 PANEL, COLOR: AGED BRONZE
- 5 METAL WALL PANEL - BERRIDGE HR-16 PANEL, COLOR: BUCKSKIN
- 6 AWNING - SUNBRELLA FABRIC ON BLACK METAL FRAME, COLOR: OCEAN BLUE
- 7 METAL TRIM - COLOR: MATCH ADJACENT COLOR
- 8 STOREFRONT: CLEAR ANODIZED FRAME AND DOORS WITH CLEAR LOW-E GLAZING.
- 9 METAL DOOR - PAINT TO MATCH ADJACENT FINISH
- 10 METAL CANOPY FRAME & SUPPORTS
- 11 AREA OF PROPOSED WALL SIGNAGE - SEE NOTE BELOW
- 12 WALL LIGHTS - CONCEALED DOWNCAST FIXTURES

NOTE: SIGNAGE SHALL COMPLY WITH SAND HILL COMMERCIAL CENTER COORDINATED SIGN PLAN - CPC CP 17-00084-A2MN19 (CSP)

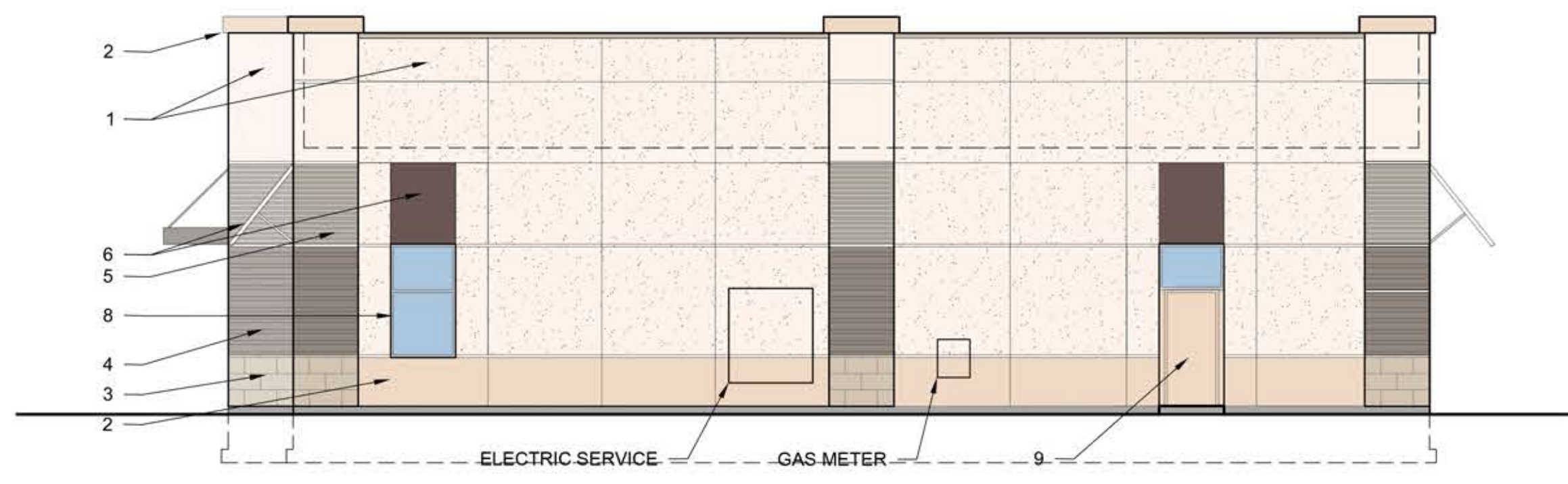
#	DATE	REVISION
1	10/2/2019	DD V1.0
2	10/25/2019	DD V1.1
3	10/29/2019	DD V1.2
4		
5		

PROJECT NUMBER: 16-106
DRAWN BY: DEC
DATE:
DESCRIPTION:
ELEVATIONS & SECTION

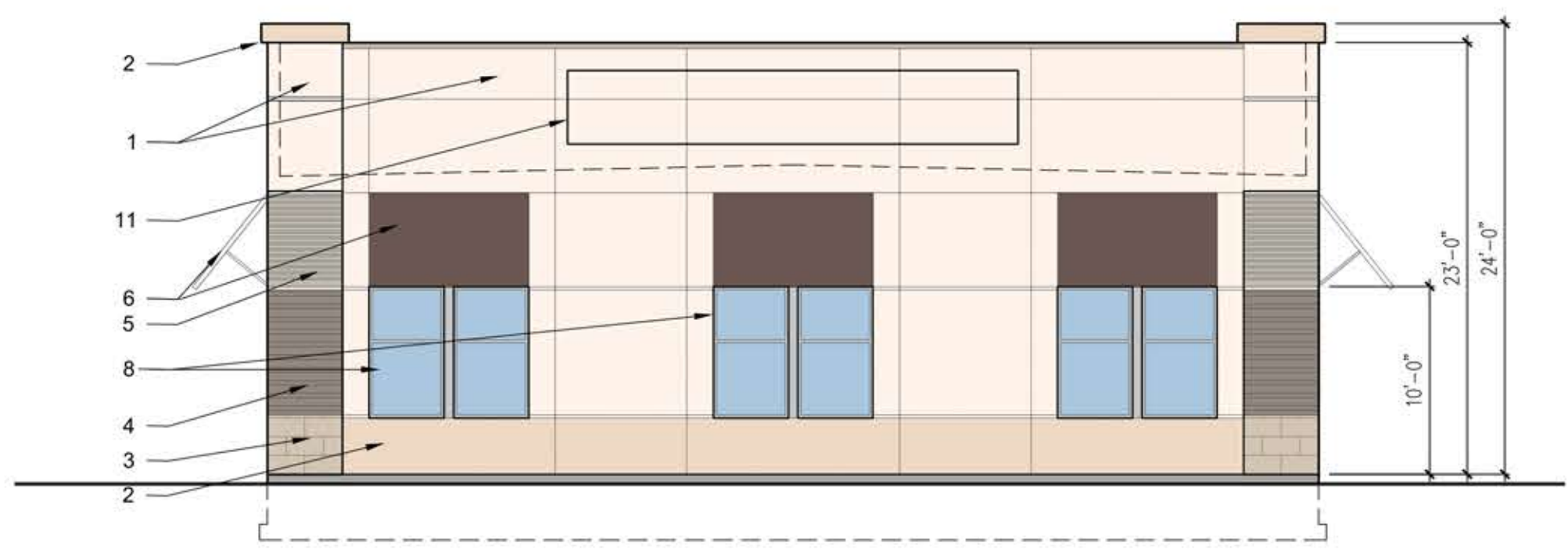
LE-1.C



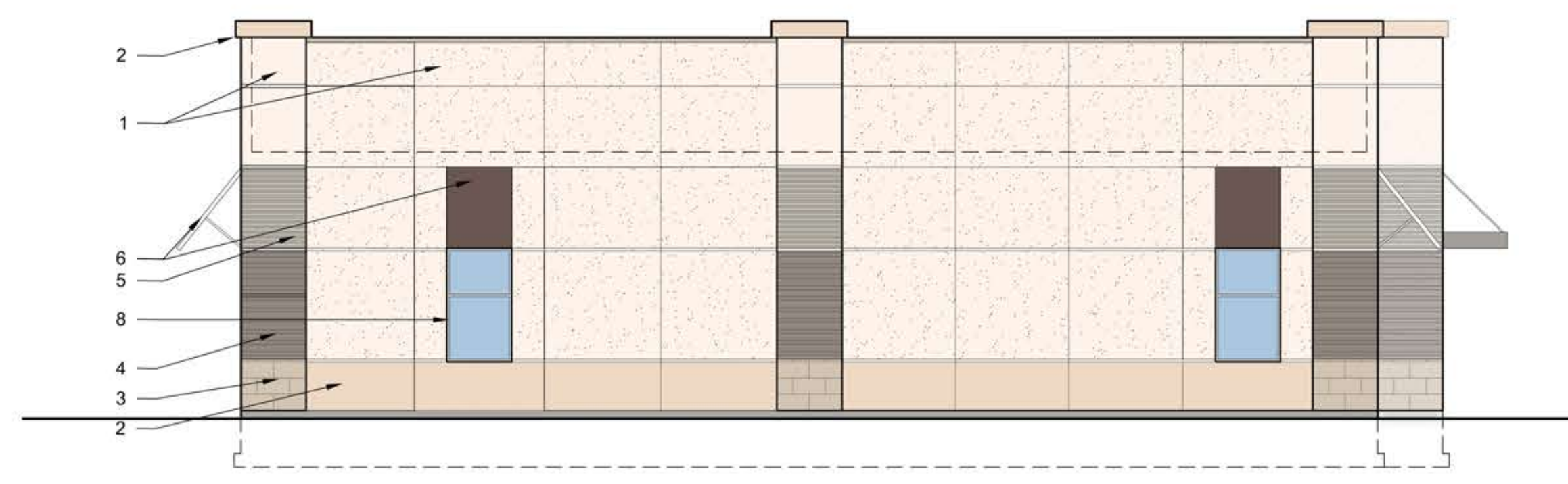
1 PAD C NORTH ELEVATION
1/8"=1'-0"



2 PAD C WEST ELEVATION
1/8"=1'-0"



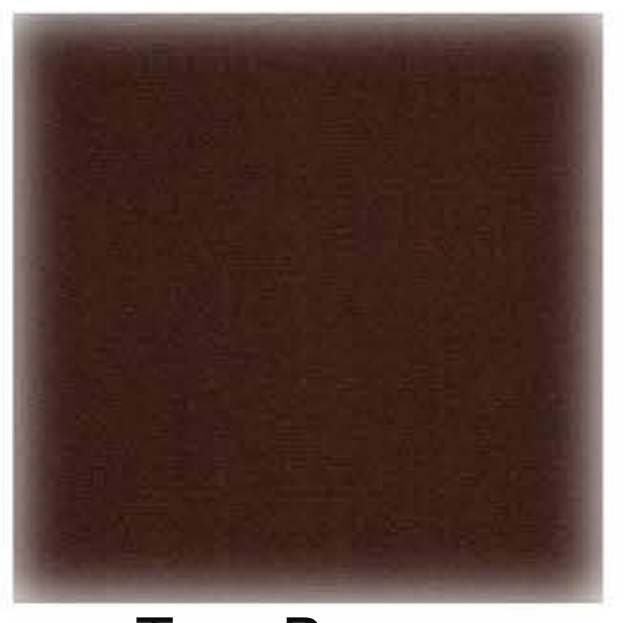
3 PAD C SOUTH ELEVATION
1/8"=1'-0"



4 PAD C EAST ELEVATION
1/8"=1'-0"



STUCCO



True Brown
AWNING COLOR



Champagne



Copper Brown
METAL COLORS



STONE BASE



METAL PROFILE

