

CLOVERLEAF FILING NO. 2

A REPLAT OF A PORTION OF TRACT B, WOODMOOR PLACER

LOCATED IN THE NE1/4 OF SECTION 23 AND THE NW1/4 OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M. COUNTY OF EL PASO, STATE OF COLORADO

Include table summarizing all tract ownership, use, and acreages on title sheet

A Vacation and Re-plat. Revise all sheets

Revise hazard note per the preliminary plan note 1 (see snippet). Update the identified lots since the lot IDs noted in the preliminary plans does not appear to match the lot ID in the final plat.

Show all floodplain, shallow groundwater, and geologic hazards dedicated on plat as no-build area and add corresponding notes.

KNOW ALL MEN BY THESE PRESENTS:

THAT PT CLOVERLEAF, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACTS OF LAND, TO WIT:

LEGAL DESCRIPTION:

THREE PARCELS OF LAND BEING ALL OF THOSE PROPERTIES UNDER RECEPTION NOS. 220071778, 220071836 AND 221062390 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, BEING A PORTION OF TRACT B, WOODMOOR PLACER RECORDED IN BOOK U-2 AT PAGE 66, TOGETHER WITH ALL OF TRACT H, WOODMOOR GREENS RECORDED IN BOOK U-2 AT PAGE 51, LOCATED IN THE NORTHEAST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE LINE BETWEEN THE 30.00' WITNESS CORNER TO THE CENTER QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 10377 1997 30.00 WC" AND THE 30.0' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SAID SECTION 23, MONUMENTED BY A 1-1/2" ALUMINUM CAP STAMPED "LS 2692", SAID LINE BEARING S89°54'49"E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE.

COMMENCING AT THE 30' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN;

THENCE N23°36'18"W A DISTANCE OF 971.92 FEET, TO A POINT ON THE SOUTHWESTERLY LINE OF TRACT B, WOODMOOR PLACER RECORDED IN BOOK U-2 AT PAGE 66 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, SAID POINT BEING THE POINT OF BEGINNING;

THENCE ON SAID SOUTHWESTERLY LINE, N47°53'03"W A DISTANCE OF 244.83 FEET, TO THE SOUTHWESTERLY CORNER OF TRACT H, WOODMOOR GREENS RECORDED IN BOOK U-2 AT PAGE 51;

THENCE ON THE PERIMETER OF SAID TRACT H, THE FOLLOWING THREE (3) COURSES:

- 1. N33°23'09"W A DISTANCE OF 130.11 FEET, TO A POINT OF NON-TANGENT CURVE, ON THE SOUTHERLY RIGHT-OF-WAY LINE OF LEGGINS WAY;
- 2. ON SAID SOUTHERLY RIGHT-OF-WAY LINE, ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S33°24'06"E, HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 15°37'05" AND AN ARC LENGTH OF 81.78 FEET, TO A POINT OF NON-TANGENT;
- 3. S52°28'59"E A DISTANCE OF 196.68 FEET, TO A POINT ON THE WESTERLY LINE OF SAID TRACT B, WOODMOOR PLACER;

THENCE ON SAID WESTERLY LINE, THE FOLLOWING FIVE (5) COURSES:

- 1. N81°20'01"E A DISTANCE OF 130.03 FEET;
- 2. N26°20'33"E A DISTANCE OF 511.07 FEET;
- 3. N52°03'56"E A DISTANCE OF 451.83 FEET;
- 4. N17°03'30"W A DISTANCE OF 222.24 FEET;
- 5. N07°26'50"W A DISTANCE OF 104.67 FEET;

Include table showing number of lots, total acreage and average acreage per lot

Show all areas of seasonally shallow groundwater on plat as no-build areas and include note dedicating those areas as no-build

THENCE DEPARTING THE WESTERLY LINE OF SAID TRACT B, THE FOLLOWING TEN (10) COURSES:

- 1. N84°15'58"E A DISTANCE OF 126.43 FEET;
- 2. N84°03'34"E A DISTANCE OF 224.55 FEET;

Revise plat note 9 to the following: All property owners are responsible for maintaining proper storm water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Homebuilders are responsible to ensure proper drainage around structures, including elevations of foundations and window wells in relation to side-lot drainage easements and swales. Homeowners shall not change the grade of the lot or drainage swales within said easements, as constructed by the builder, in a manner that would cause adverse drainage impacts to properties. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements

Update to: Tract _____ of this property ... List the specific tracts with the ponds/WQ facilities

- 9. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S45°14'01"E, HAVING A RADIUS OF 230.00 FEET, A CENTRAL ANGLE OF 22°29'51" AND AN ARC LENGTH OF 90.31 FEET, TO A POINT OF TANGENT;
- 10. N67°15'50"E A DISTANCE OF 11.14 FEET, TO THE SOUTHEASTERLY CORNER OF LOT 466, WOODMOOR GREENS, ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF CLOVERLEAF ROAD, SAID POINT BEING A POINT OF NON-TANGENT CURVE;

THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE, THE FOLLOWING FIVE (5) COURSES:

- 1. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N46°01'11" AND AN ARC LENGTH OF 329.31 FEET, TO A POINT OF TANGENT;
- 2. S50°58'07"E A DISTANCE OF 104.84 FEET, TO A POINT OF NON-TANGENT;
- 3. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S39°04'09"W, HAVING A RADIUS OF 269.73 FEET, A CENTRAL ANGLE OF 95°15'09" AND AN ARC LENGTH OF 448.43 FEET, TO A POINT OF NON-TANGENT;
- 4. S44°20'00"W A DISTANCE OF 278.41 FEET, TO A POINT OF NON-TANGENT CURVE;
- 5. ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S45°14'01"E, HAVING A RADIUS OF 230.00 FEET, A CENTRAL ANGLE OF 15°03'35" AND AN ARC LENGTH OF 81.48 FEET, TO A POINT OF TANGENT;

Add the following sentence at the end of note 10: The Cloverleaf Metropolitan District is responsible for maintenance of the subject drainage facilities.

THENCE ON SAID SOUTHERLY LINE, THE FOLLOWING TWO (2) COURSES:

- 1. N61°02'18"W A DISTANCE OF 958.19 FEET;

Add the following general notes: No lot or interest therein, shall be sold, conveyed, or transferred whether by deed or by contract, nor shall building permits be issued, until and unless either the required public and common development improvements have been constructed and completed and preliminarily accepted in accordance with the Subdivision Improvements Agreement between the applicant/owner and El Paso County as recorded under Reception Number _____ in the Office of the Clerk and Recorder of El Paso County, Colorado or, in the alternative, other collateral is provided to make provision for the completion of said improvements in accordance with the El Paso County Land Development Code and Engineering Criteria Manual. Any such alternative collateral must be approved by the Board of County Commissioners or, if permitted by the Subdivision Improvements Agreement, by the Development Services Department Director and meet the policy and procedure requirements of El Paso County prior to the release by the County of any lots for sale, conveyance or transfer.

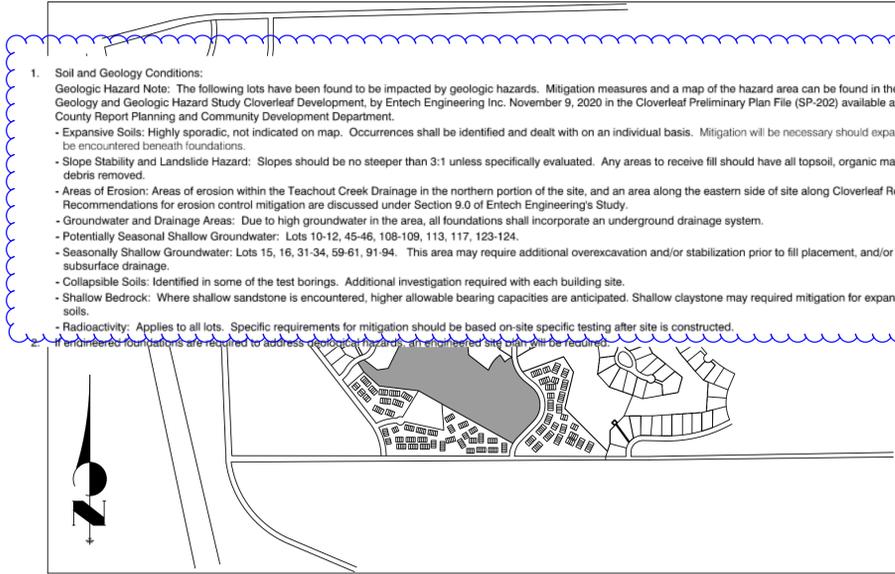
There shall be no direct lot access to Cloverleaf Road.

The private roads as shown on this plat will not be maintained by El Paso County until and unless the streets are constructed in conformance with El Paso County standards in effect at the date of the request for dedication and maintenance.

Tract _____ shall be utilized as _____ (park, neighborhood park, school site, fire station, drainage tract, etc). Ownership and maintenance of Tract _____ shall be vested to Clover Leaf Metropolitan District. (Where multiple tracts are included in a single plat, the use of a tract table is encouraged.)

Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the listed species (e.g., Preble's Meadow Jumping Mouse)

Sight distance easements shall be dedicated to El Paso County. Maintenance of the sight distance easement shall be the responsibility of the Cloverleaf Metropolitan District. Any object within the sight distance triangle or easement more than 30 inches above the shoulder elevation of the adjacent roadway shall constitute a sight obstruction, and shall be removed or lowered.



- 1. Soil and Geology Conditions: Geologic Hazard Note: The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the Soil, Geology and Geologic Hazard Study Cloverleaf Development, by Entech Engineering Inc. November 9, 2020 in the Cloverleaf Preliminary Plan File (SP-202) available at the El Paso County Report Planning and Community Development Department. - Expansive Soils: Highly sporadic, not indicated on map. Occurrences shall be identified and dealt with on an individual basis. Mitigation will be necessary should expansive soils be encountered beneath foundations. - Slope Stability and Landslide Hazard: Slopes should be no steeper than 3:1 unless specifically evaluated. Any areas to receive fill should have all topsoil, organic material or debris removed. - Areas of Erosion: Areas of erosion within the Teachout Creek Drainage in the northern portion of the site, and an area along the eastern side of site along Cloverleaf Road.) Recommendations for erosion control mitigation are discussed under Section 9.0 of Entech Engineering's Study. - Groundwater and Drainage Areas: Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. - Potentially Seasonal Shallow Groundwater: Lots 10-12, 45-46, 108-109, 113, 117, 123-124. - Seasonally Shallow Groundwater: Lots 15, 16, 31-34, 59-61, 91-94. This area may require additional overexcavation and/or stabilization prior to fill placement, and/or subsurface drainage. - Collapsible Soils: Identified in some of the test borings. Additional investigation required with each building site. - Shallow Bedrock: Where shallow sandstone is encountered, higher allowable bearing capacities are anticipated. Shallow claystone may require mitigation for expansive soils. - Radioactivity: Applies to all lots. Specific requirements for mitigation should be based on site specific testing after site is constructed.

If foundation foundations are required to address geologic hazards, an engineered site plan will be required.

VICINITY MAP 1"=1000'

Add subsurface drainage design requirements as a plat note

Add note regarding tract ownership and maintenance

GENERAL NOTES:

- 1. DEFINITION: CERTIFY, CERTIFICATION - A PROFESSIONAL'S OPINION BASED ON HIS OR HER OBSERVATION OF CONDITIONS, KNOWLEDGE, INFORMATION AND BELIEFS. IT IS EXPRESSLY UNDERSTOOD THAT THE PROFESSIONAL'S CERTIFICATION OF A CONDITION'S EXISTENCE RELIEVES NO OTHER PARTY OF ANY RESPONSIBILITY OR OBLIGATION HE OR SHE HAS ACCEPTED BY CONTRACT OR CUSTOM.
- 2. PER C.R.S. 18-04-508, ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR.
- 3. ALL REFERENCES HEREON TO BOOKS, PAGES, MAPS AND RECEPTION NUMBERS ARE PUBLIC DOCUMENTS FILED IN THE RECORDS OF EL PASO COUNTY, COLORADO.
- 4. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
- 5. THE BASIS OF BEARINGS IS THE LINE BETWEEN THE 30.00' WITNESS CORNER TO THE CENTER QUARTER CORNER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 10377 1997 30.00 WC" AND THE 30.0' REFERENCE MONUMENT TO THE EAST QUARTER CORNER OF SAID SECTION 23, MONUMENTED BY A 1-1/2" ALUMINUM CAP STAMPED "LS 2692", SAID LINE BEARING S89°54'49"E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE.
- 6. THE LAST FIELD INSPECTION OF THIS SITE WAS ON FEBRUARY 4, 2021.
- 7. PER C.R.S. 38-51-106, "ALL LINEAL UNITS DEPICTED ON THIS LAND SURVEY PLAT ARE U.S. SURVEY FEET. ONE METER EQUALS 39.37/12 U.S. SURVEY FEET, EXACTLY ACCORDING TO THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY."
- 8. THIS SITE IS NOT WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN (ZONE X-AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN), AS DETERMINED BY THE FLOOD INSURANCE RATE MAP FOR EL PASO, COLORADO, MAP NUMBERS 08041C02786, EFFECTIVE DATE DECEMBER 7, 2018.
- 9. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OR RUNOFF SHALL NOT BE PLACED IN THE DRAINAGE EASEMENTS.
- 10. THIS PROPERTY IS SUBJECT TO THE PRIVATE DETENTION/BMP MAINTENANCE AGREEMENT AND EASEMENT RECORDED UNDER RECEPTION NO. _____ IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- 11. THE INDIVIDUAL LOT PURCHASER(S) SHALL BE RESPONSIBLE FOR FINAL DESIGN, CONSTRUCTION, AND MAINTENANCE OF PRIVATE WATER QUALITY BMP(S) AS DESCRIBED IN THE APPROVED FINAL DRAINAGE REPORT FOR THIS SUBDIVISION. THE WATER QUALITY BMP(S) SHALL BE CONSTRUCTED PRIOR TO CERTIFICATE OF OCCUPANCY. EACH LOT OWNER WITHIN THIS SUBDIVISION REQUIRES AN ENGINEERED SITE PLAN DESIGNED BY A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN THE STATE OF COLORADO. THE ENGINEERED SITE PLAN SHALL LOCATE THE HOME FOUNDATION, DRIVEWAY AND INDIVIDUAL LOT WATER QUALITY BMP(S). THE WATER QUALITY BMP(S) DESIGN SHALL BE APPROVED BY EL PASO COUNTY.
- 12. WATER AND SANITARY SERVICES SHALL BE SUPPLIED BY WOODMOOR WATER AND SANITATION DISTRICT.
- 13. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
- 14. THE ADDRESSES EXHIBITED ON THIS PLAT ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT THE LEGAL DESCRIPTION AND ARE SUBJECT TO CHANGE.
- 15. THE SUBDIVIDER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNEES SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS.
- 16. THIS FINAL PLAT IS PART OF THE APPROVED CLOVERLEAF SUBDIVISION PRELIMINARY PLAN, _____
- 17. LAND WITHIN THIS FINAL PLAT IS ZONED _____ (RESIDENTIAL SUBURBAN)
- 18. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN OR FINAL PLAT FOR THIS SUBDIVISION AND ARE ON FILE AT THE EL PASO COUNTY COMMUNITY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRAFFIC IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; SOIL, GEOLOGY AND GEOLOGIC HAZARD STUDY; FIRE PROTECTION REPORT; WILDFIRE HAZARD REPORT; NATURAL FEATURES REPORT; WETLAND ANALYSIS REPORT; NOXIOUS WEED MANAGEMENT PLAN AND PDB/BMP OPERATIONS AND MAINTENANCE MANUAL.

Add note for school fee dedication

Add note for parks fee dedication

Differs from application sheet. Revise on app form

fill in the blank.

NOTICE:

THE SUBDIVISION HAS BEEN FOUND TO BE IMPACTED BY GEOLOGIC CONSTRAINTS. MITIGATION MEASURES AND EXPLANATION OF CONSTRAINTS IN THE AREA CAN BE FOUND IN THE REPORT SOIL, GEOLOGY, AND GEOLOGIC HAZARD STUDY BY _____ IN THE FILE PCD FILE NO. _____ AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT.

- POTENTIALLY SEASONAL AND SEASONAL SHALLOW GROUNDWATER
- LOOSE SOILS
- EROSION

EASEMENTS:

UNLESS OTHERWISE INDICATED, ALL SIDE, FRONT, AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 5 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 7 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.

MAILBOXES:

MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND UNITED STATES POSTAL SERVICE REGULATIONS.

OWNERS CERTIFICATE:

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS IN THE LAND DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED, AND PLATTED SAID LANDS INTO LOTS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF CLOVERLEAF FILING NO. 2. THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND COMMUNICATION SYSTEMS AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES RESPONSIBLE FOR PROVIDING THE SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES.

PT CLOVERLEAF, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____ AS MANAGER

STATE OF COLORADO }
COUNTY OF _____ }SS.

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____

MY COMMISSION EXPIRES _____

WITNESS MY HAND AND OFFICIAL SEAL _____ NOTARY PUBLIC

Include signature block for acceptance of tract ownership and maintenance

SURVEYORS CERTIFICATE:

I, JARROD ADAMS, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON AUGUST 24, 2020, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:10,000; AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISION, OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 20____

JARROD ADAMS _____ DATE _____
COLORADO REGISTERED PLS # 38252

NOTICE:

PER C.R.S. 13-80-105, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. J-R ENGINEERING, LLC AND/OR THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR MORE THAN THE COST OF THIS SURVEY AND THEN ONLY TO THE CLIENT SPECIFICALLY SHOWN HEREON OR IN OUR FILE BY SIGNED AUTHORIZATION. ACCEPTANCE AND/OR USE OF THIS INSTRUMENT FOR ANY PURPOSE CONSTITUTES AGREEMENT BY THE CLIENT TO ALL TERMS STATED HEREON.

For Replats requiring BoCC action:

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 20____, subject to any notes specified hereon and any conditions included in the D1 resolution of approval. The dedications of land to the public (streets, tracts, easements; list those applicable) are accepted, but the public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Previous plat name in entirety is vacated and amended for the areas described by this replat subject to all covenants, conditions, and restrictions recorded against and appurtenant to the original plat recorded in the Office of the El Paso County Clerk and Recorder, Reception # _____.

President, Board of County Commissioners _____ Date _____

STATE OF COLORADO }
COUNTY OF _____ }SS.

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Planning and Community Development Department Director on the _____ day of _____, 20____, subject to any notes or conditions specified hereon.

Planning and Community Development Director _____

CHUCK BROERMAN, RECORDER

BY: _____ DEPUTY

JOB NO. 25158.01
MAY 7, 2021
SHEET 1 OF 7

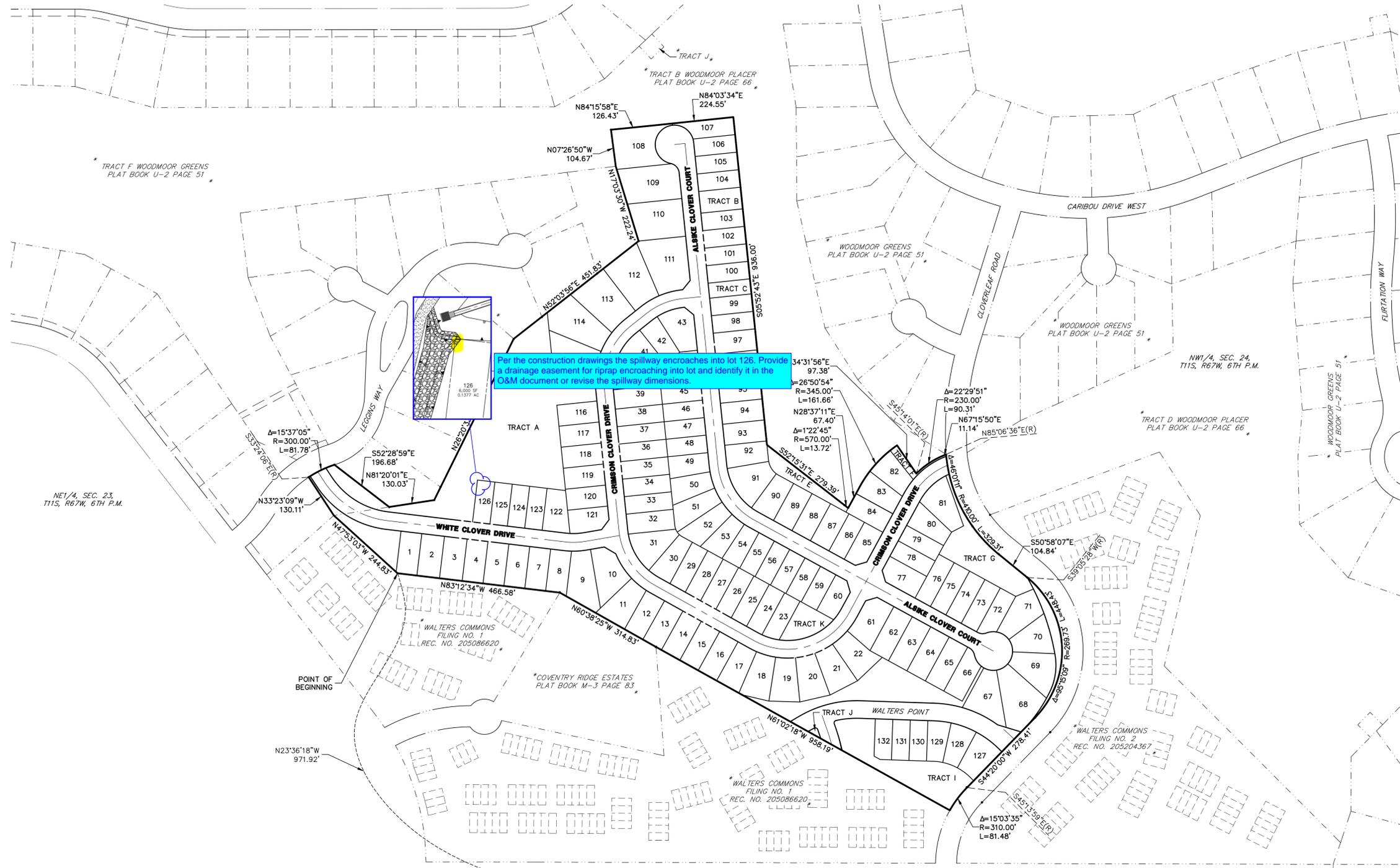


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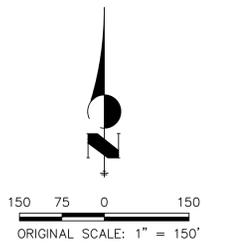
LOCATED IN THE NE1/4 OF SECTION 23 AND THE NW1/4 OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M. COUNTY OF EL PASO, STATE OF COLORADO



LEGEND

- ▲ RECOVERED 1-1/4" ORANGE PLASTIC CAP STAMPED "LS 25955" UNLESS NOTED
- RECOVERED 1-1/4" YELLOW PLASTIC CAP ILLEGIBLE
- RECOVERED #4 REBAR
- RECOVERED 1-1/2" ALUMINUM CAP STAMPED "32820"
- ▲ RECOVERED #5 REBAR
- RECOVERED 1-1/4" RED PLASTIC CAP STAMPED "LS 13485"
- SET 18" #5 REBAR W/ 1-1/2" ALUMINUM CAP STAMPED "LS 38252"
- * NOT PART OF SURVEY
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED CENTERLINE
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE

Show all floodplain, shallow groundwater, and geologic hazards dedicated on plat as no-build area and add corresponding notes.



30.00' WITNESS CORNER
C1/4 CORNER SEC. 23
T.11S, R.67W, 6TH P.M.
RECOVERED 3-1/4" ALUMINUM CAP
STAMPED "RLS 10377 1997 30.00 WC"

30.0' REFERENCE MONUMENT
E1/4 CORNER SEC. 23
T.11S, R.67W, 6TH P.M.
RECOVERED 1-1/2" ALUMINUM CAP
STAMPED "LS 2692"

JOB NO. 25158.01
MAY 7, 2021
SHEET 2 OF 7



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A REPLAT OF A PORTION OF TRACT B, WOODMOOR PLACER

LOCATED IN THE NE1/4 OF SECTION 23 AND THE NW1/4 OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
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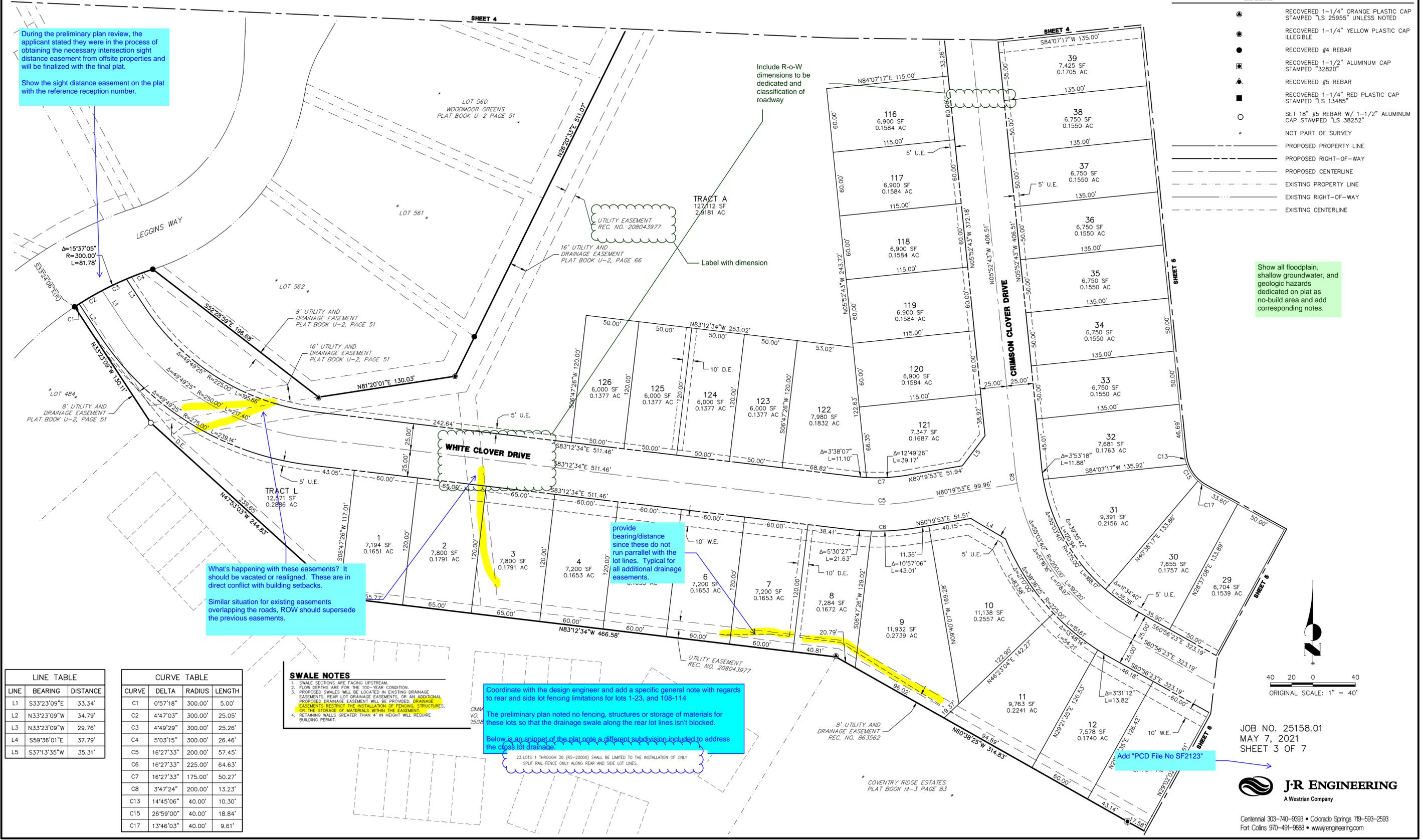
During the preliminary plan review, the applicant stated they were in the process of obtaining the necessary intersection sight distance easement from offsite properties and will be finalized with the final plat.
Show the sight distance easement on the plat with the reference reception number.

Include R-o-W dimensions to be dedicated and classification of roadway

LEGEND

- RECOVERED 1-1/4" ORANGE PLASTIC CAP STAMPED "LS 25955" UNLESS NOTED
- RECOVERED 1-1/4" YELLOW PLASTIC CAP ILLEGIBLE
- RECOVERED #4 REBAR
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- PROPOSED CENTERLINE
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE

Show all floodplain, shallow groundwater, and geologic hazards dedicated on plat as no-build area and add corresponding notes.



What's happening with these easements? It should be vacated or realigned. These are in direct conflict with building setbacks.
Similar situation for existing easements overlapping the roads, ROW should supersede the previous easements.

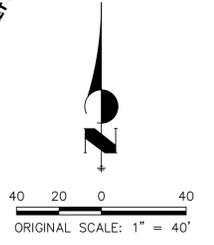
provide bearing/distance since these do not run parallel with the lot lines. Typical for all additional drainage easements.

Coordinate with the design engineer and add a specific general note with regards to rear and side lot fencing limitations for lots 1-23, and 108-114.
The preliminary plan noted no fencing, structures or storage of materials for these lots so that the drainage swale along the rear lot lines isn't blocked.
Below is an snippet of the plat note a different subdivision included to address the cross lot drainage.

SWALE NOTES
1. SWALE SECTIONS ARE FACING UPSTREAM.
2. FLOW DEPTHS ARE FOR THE 100-YEAR CONDITION.
3. PROPOSED SWALES WILL BE LOCATED IN EXISTING DRAINAGE EASEMENTS, REAR LOT DRAINAGE EASEMENTS, OR AN ADDITIONAL PROPOSED DRAINAGE EASEMENT WILL BE PROVIDED. DRAINAGE EASEMENTS RESTRICT THE INSTALLATION OF FENCING, STRUCTURES, OR THE STORAGE OF MATERIALS WITHIN THE EASEMENT.
4. RETAINING WALLS GREATER THAN 4' IN HEIGHT WILL REQUIRE BUILDING PERMIT.

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S33°23'09"E | 33.34' |
| L2 | N33°23'09"W | 34.79' |
| L3 | N33°23'09"W | 29.76' |
| L4 | S59°36'01"E | 37.79' |
| L5 | S37°13'35"W | 35.31' |

| CURVE | DELTA | RADIUS | LENGTH |
|-------|-----------|---------|--------|
| C1 | 0°57'18" | 300.00' | 5.00' |
| C2 | 4°47'03" | 300.00' | 25.05' |
| C3 | 4°49'29" | 300.00' | 25.26' |
| C4 | 5°03'15" | 300.00' | 26.46' |
| C5 | 16°27'33" | 200.00' | 57.45' |
| C6 | 16°27'33" | 225.00' | 64.63' |
| C7 | 16°27'33" | 175.00' | 50.27' |
| C8 | 3°47'24" | 200.00' | 13.23' |
| C13 | 14°45'06" | 40.00' | 10.30' |
| C15 | 26°59'00" | 40.00' | 18.84' |
| C17 | 13°46'03" | 40.00' | 9.61' |



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MAY 7, 2021
SHEET 3 OF 7



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CLOVERLEAF FILING NO. 2

A REPLAT OF A PORTION OF TRACT B, WOODMOOR PLACER

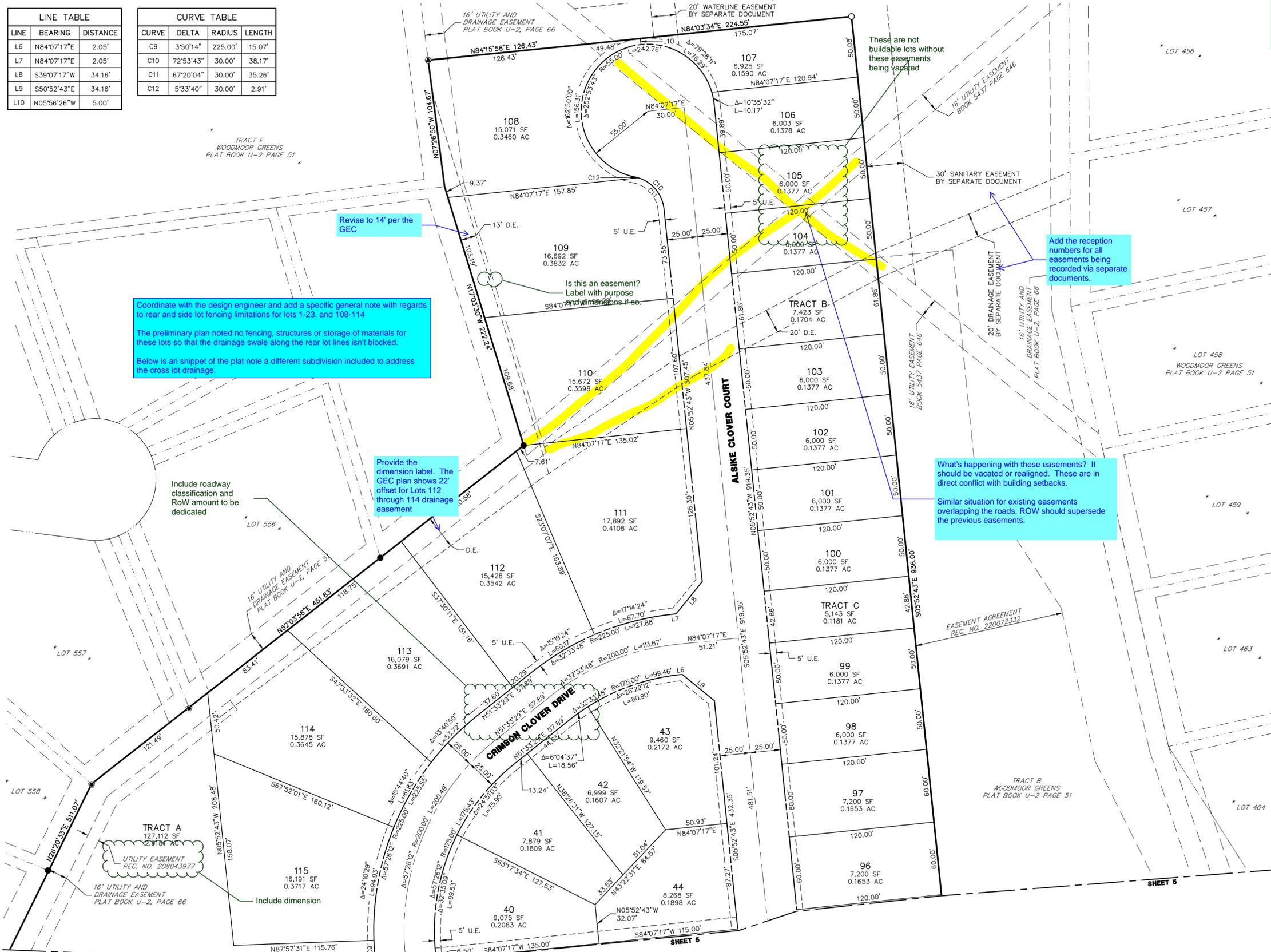
LOCATED IN THE NE1/4 OF SECTION 23 AND THE NW1/4 OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

COUNTY OF EL PASO, STATE OF COLORADO

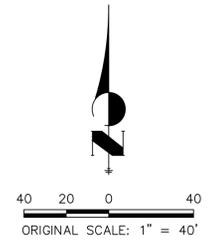
Show all floodplain, shallow groundwater, and geologic hazards dedicated on plat as no-build area and add corresponding notes.

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L6 | N84°07'17"E | 2.05' |
| L7 | N84°07'17"E | 2.05' |
| L8 | S39°07'17"W | 34.16' |
| L9 | S50°52'43"E | 34.16' |
| L10 | N05°56'26"W | 5.00' |

| CURVE | DELTA | RADIUS | LENGTH |
|-------|-----------|---------|--------|
| C9 | 3°50'14" | 225.00' | 15.07' |
| C10 | 72°53'43" | 30.00' | 38.17' |
| C11 | 67°20'04" | 30.00' | 35.26' |
| C12 | 5°33'40" | 30.00' | 2.91' |



| LEGEND | |
|--------|---|
| ● | RECOVERED 1-1/4" ORANGE PLASTIC CAP STAMPED "LS 25955" UNLESS NOTED |
| ● | RECOVERED 1-1/4" YELLOW PLASTIC CAP ILLEGIBLE |
| ● | RECOVERED #4 REBAR |
| ● | RECOVERED 1-1/2" ALUMINUM CAP STAMPED "32820" |
| ● | RECOVERED #5 REBAR |
| ● | RECOVERED 1-1/4" RED PLASTIC CAP STAMPED "LS 13485" |
| ● | SET 18" #5 REBAR W/ 1-1/2" ALUMINUM CAP STAMPED "LS 38252" |
| ● | NOT PART OF SURVEY |
| --- | PROPOSED PROPERTY LINE |
| --- | PROPOSED RIGHT-OF-WAY |
| --- | PROPOSED CENTERLINE |
| --- | EXISTING PROPERTY LINE |
| --- | EXISTING RIGHT-OF-WAY |
| --- | EXISTING CENTERLINE |



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MAY 7, 2021
SHEET 4 OF 7

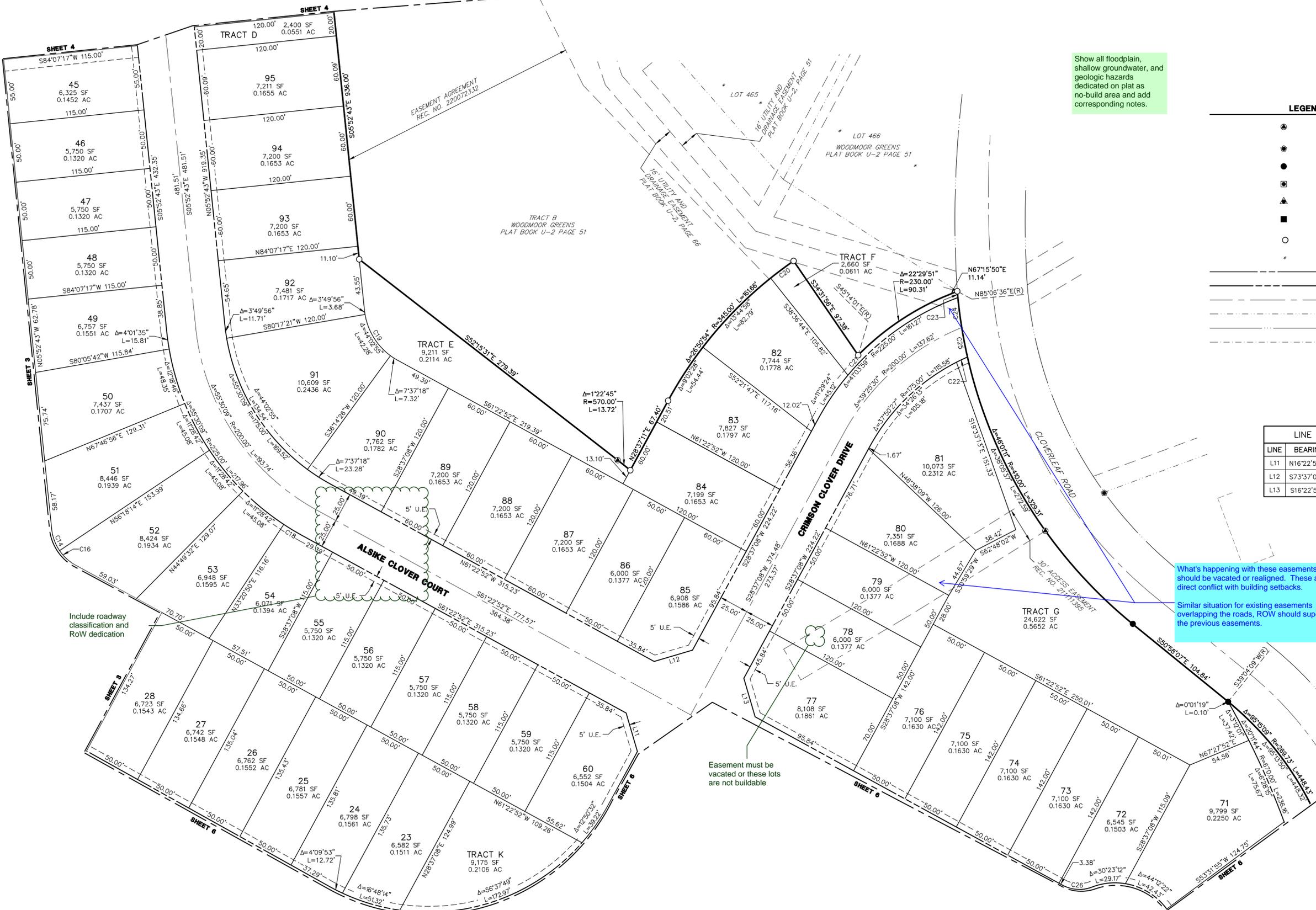


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CLOVERLEAF FILING NO. 2

A REPLAT OF A PORTION OF TRACT B, WOODMOOR PLACER

LOCATED IN THE NE1/4 OF SECTION 23 AND THE NW1/4 OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO



Show all floodplain, shallow groundwater, and geologic hazards dedicated on plat as no-build area and add corresponding notes.

LEGEND

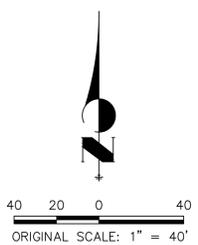
- RECOVERED 1-1/4" ORANGE PLASTIC CAP STAMPED "LS 25955" UNLESS NOTED
- RECOVERED 1-1/4" YELLOW PLASTIC CAP ILLEGIBLE
- RECOVERED #4 REBAR
- RECOVERED 1-1/2" ALUMINUM CAP STAMPED "32820"
- ▲ RECOVERED #5 REBAR
- RECOVERED 1-1/4" RED PLASTIC CAP STAMPED "LS 13485"
- SET 18" #5 REBAR W/ 1-1/2" ALUMINUM CAP STAMPED "LS 38252"
- NOT PART OF SURVEY
- PROPOSED PROPERTY LINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED CENTERLINE
- EXISTING PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY
- - - EXISTING CENTERLINE

| LINE TABLE | | |
|------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L11 | N16°22'52"W | 34.16' |
| L12 | S73°37'08"W | 34.16' |
| L13 | S16°22'52"E | 34.16' |

| CURVE TABLE | | | |
|-------------|-----------|---------|---------|
| CURVE | DELTA | RADIUS | LENGTH |
| C14 | 28°22'50" | 40.00' | 19.81' |
| C16 | 27°07'19" | 40.00' | 18.93' |
| C18 | 4°43'41" | 225.00' | 18.57' |
| C19 | 55°30'09" | 55.00' | 53.28' |
| C20 | 4°03'29" | 345.00' | 24.43' |
| C21 | 29°34'35" | 225.00' | 116.15' |
| C22 | 3°24'14" | 175.00' | 10.40' |
| C23 | 0°45'43" | 410.00' | 5.45' |
| C24 | 3°35'45" | 410.00' | 25.73' |
| C25 | 3°34'06" | 410.00' | 25.53' |
| C26 | 49°40'47" | 30.00' | 26.01' |

What's happening with these easements. It should be vacated or realigned. These are in direct conflict with building setbacks.

Similar situation for existing easements overlapping the roads, ROW should supersede the previous easements.



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MAY 7, 2021
SHEET 5 OF 7



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CLOVERLEAF FILING NO. 2

A REPLAT OF A PORTION OF TRACT B, WOODMOOR PLACER

LOCATED IN THE NE1/4 OF SECTION 23 AND THE NW1/4 OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L14 | N73°37'08"E | 34.16' |
| L15 | N45°38'56"W | 13.88' |
| L16 | N45°38'56"W | 13.87' |
| L17 | S19°11'41"E | 17.85' |
| L18 | S19°11'41"E | 17.85' |
| L19 | S59°32'59"W | 28.82' |
| L20 | S59°32'59"W | 14.04' |
| L21 | N45°38'56"W | 13.91' |
| L22 | S19°11'41"E | 51.76' |

| CURVE | DELTA | RADIUS | LENGTH |
|-------|-----------|---------|---------|
| C26 | 49°40'47" | 30.00' | 26.01' |
| C27 | 49°40'47" | 30.00' | 26.01' |
| C28 | 9°07'11" | 55.00' | 8.75' |
| C29 | 17°49'44" | 416.00' | 129.45' |
| C30 | 14°15'12" | 275.00' | 68.41' |
| C31 | 96°51'28" | 7.00' | 11.83' |
| C32 | 8°52'54" | 390.00' | 60.45' |
| C33 | 1°35'35" | 340.00' | 9.45' |
| C34 | 96°51'28" | 7.00' | 11.83' |
| C35 | 4°14'40" | 275.00' | 20.37' |
| C36 | 5°35'36" | 365.00' | 35.63' |

Show all floodplain, shallow groundwater, and geologic hazards dedicated on plat as no-build area and add corresponding notes.

Change the matchline linetype so it's not confused with the road centerline, typical on all sheets

A retaining wall is constructed within lots 67, 68, 127-132. Add a plat note specifying who will own and maintain the retaining wall. If the district then include an easement.

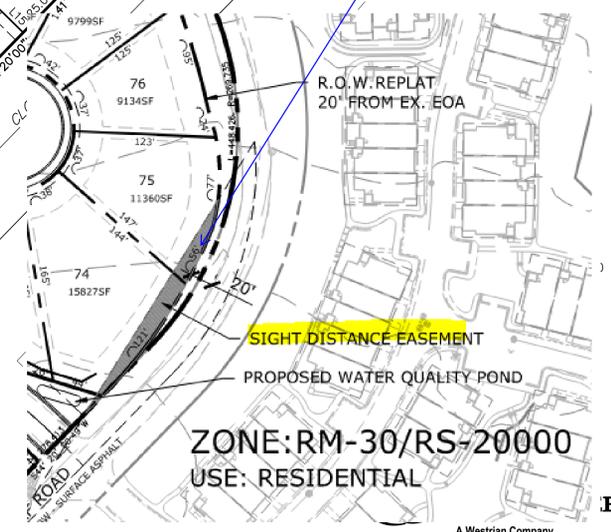
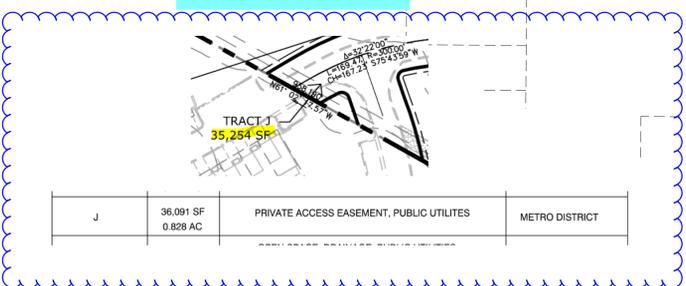
Add the sight distance easement shown on the preliminary plan

Add all abbreviations to the legend or revise the callouts.

Revise tract J to be consistent with the preliminary plan which included Walter's Point

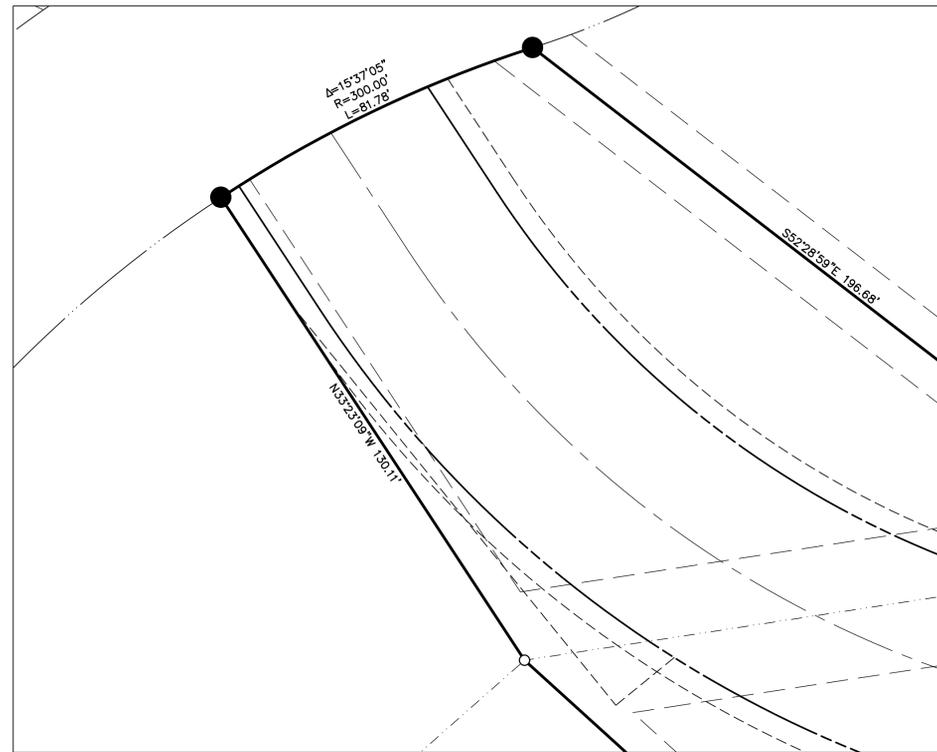
what is this line?

| LEGEND | |
|--------|---|
| ● | RECOVERED 1-1/4" ORANGE PLASTIC CAP STAMPED "LS 25955" UNLESS NOTED |
| ● | RECOVERED 1-1/4" YELLOW PLASTIC CAP ILLEGIBLE |
| ● | RECOVERED #4 REBAR |
| ■ | RECOVERED 1-1/2" ALUMINUM CAP STAMPED "32820" |
| ▲ | RECOVERED #5 REBAR |
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| - - - | EXISTING RIGHT-OF-WAY |
| --- | EXISTING CENTERLINE |

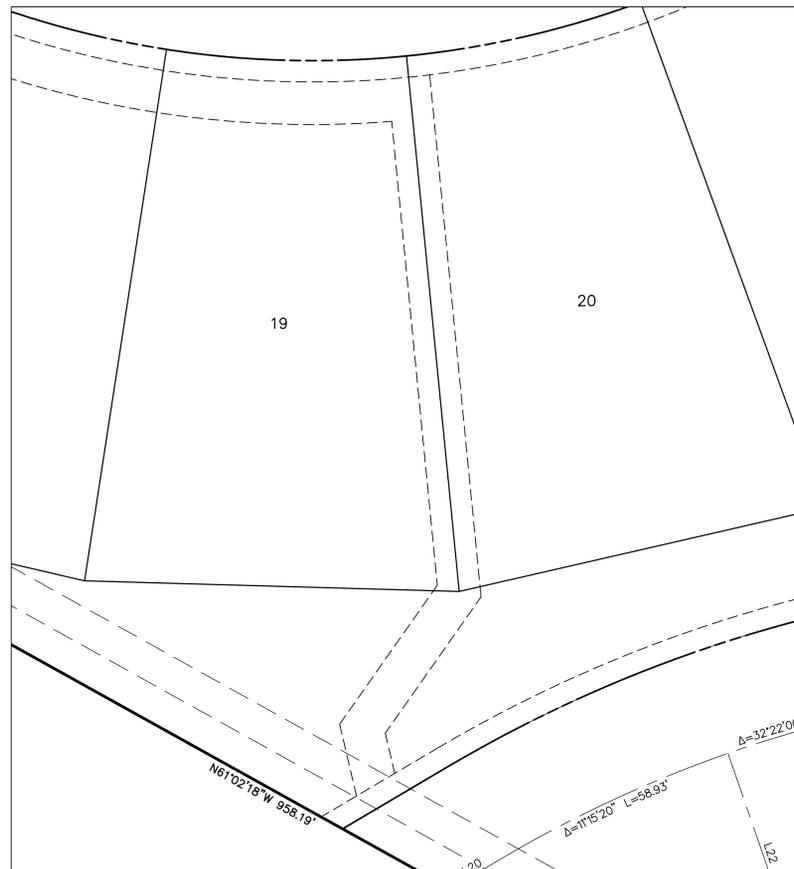


CLOVERLEAF FILING NO. 2

A REPLAT OF A PORTION OF TRACT B, WOODMOOR PLACER
 LOCATED IN THE NE1/4 OF SECTION 23 AND THE NW1/4 OF SECTION 24, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
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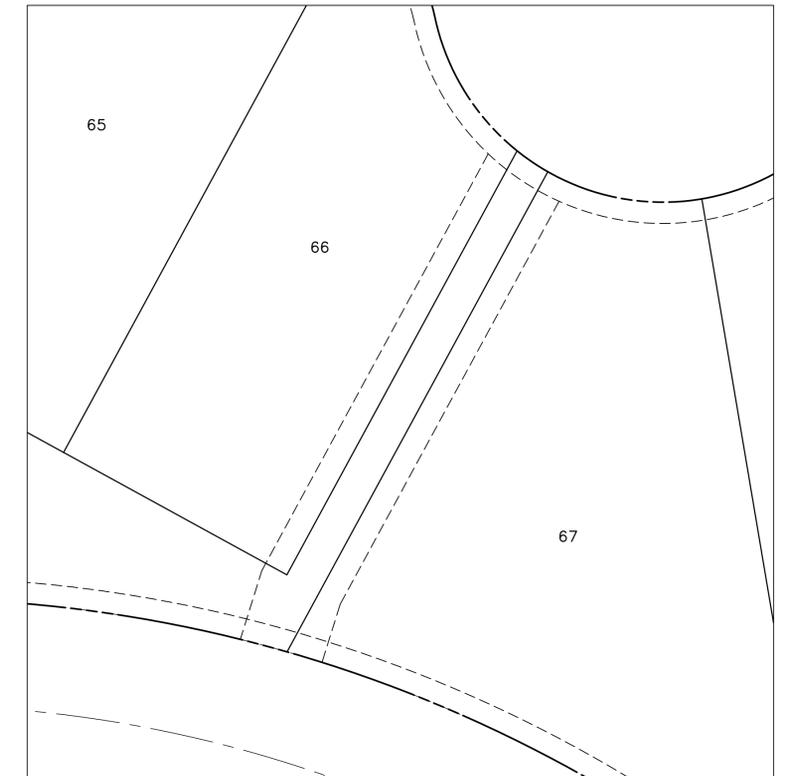


DETAIL A



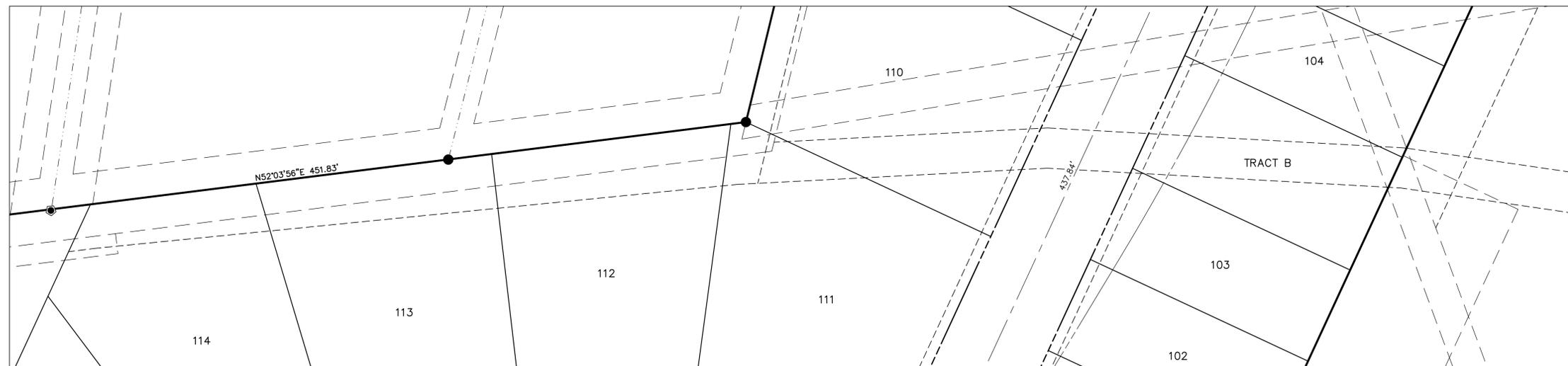
DETAIL C

Increase text size so it's legible



DETAIL D

Not sure what the specific information this page is trying to convey.
 If it's the easements then provide the bearing/distance information for the easements
 Will be reviewed on the resubmittal



DETAIL B

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