

NOTE: CONTRACTOR SHALL POT HOLE TO FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION & ADJUST UTILITY CONNECTIONS ACCORDINGLY

CRIST WILLIAM H.  
9303 HIRONO RD.  
PARCEL NO: 42312-04-008  
ZONE: PUD  
USE: SINGLE FAMILY RES.

RECREATION CENTER  
GYMNASIUM  
XX MERIDIAN RANCH BLVD  
COLORADO SPRINGS, CO  
9,956 SQ. FT.  
TYPE II-B  
2,250 GPM  
2 HYDRANTS  
450' MAX. SPACING  
BETWEEN HYDRANTS  
225' MAX. HOSE LAY  
SPRINKLED BUILDING (N)  
AREA SEPARATION WALLS (N)

CAMARGO ROAD  
60' ROW

PROPOSED  
BUILDING  
9,956 S.F.  
FF=7023.5  
PROPOSED 38.2 LF 4" PVC  
WW SERVICE LINE @ 2.1%  
MIN. SLOPE

EXISTING  
BUILDING  
FF=7024.27  
9205 MERIDIAN  
RANCH BLVD

DYORAK WILLIAM P.  
9368 BETHPAGE RD.  
PARCEL NO: 42311-14-003  
ZONE: PUD  
USE: SINGLE FAMILY RES.

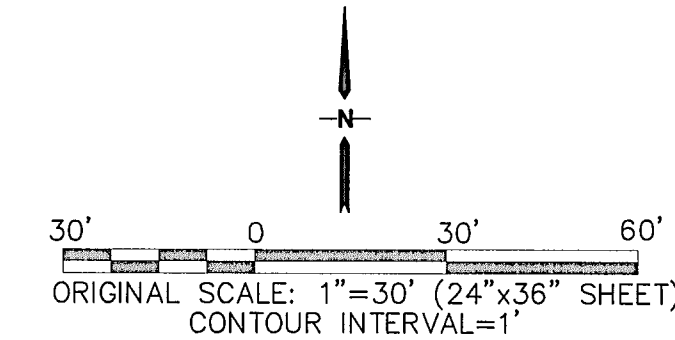
CONNELL ZACHARY  
9362 BETHPAGE RD.  
PARCEL NO: 42311-14-004  
ZONE: PUD  
USE: SINGLE FAMILY RES.

CRITCHLOW COLTON C.  
9356 BETHPAGE RD.  
PARCEL NO: 42311-14-005  
ZONE: PUD  
USE: SINGLE FAMILY RES.

JANSEN JOSHUA  
9350 BETHPAGE RD.  
PARCEL NO: 42311-14-006  
ZONE: PUD  
USE: SINGLE FAMILY RES.

DAYOLI JUNE  
9344 BETHPAGE RD.  
PARCEL NO: 42311-14-007  
ZONE: PUD  
USE: SINGLE FAMILY RES.

KENITZ JOHN  
9338 BETHPAGE RD.  
PARCEL NO: 42311-14-008  
ZONE: PUD  
USE: SINGLE FAMILY RES.



#### GENERAL UTILITY NOTES:

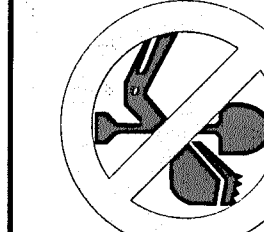
- CONSTRUCTION SHALL MEET THE STANDARDS & SPECIFICATIONS OF WOODMEN HILLS METROPOLITAN DISTRICT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- REVEGETATION OF ALL DISTURBED SLOPES SHALL BE DONE WITH DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE.
- SANITARY SEWER PIPE SHALL BE PVC ASTM D3034-SDR35 UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
- CURB RETURN RADII ARE 20- FEET AT FLOWLINE UNLESS OTHERWISE NOTED.
- ALL TRENCH BEDDING, THRUST BLOCKS AND REVERSE ANCHORS SHALL BE INSTALLED PER DISTRICT STANDARDS. ALL WATER PIPE SHALL BE PVC "C900 CLASS 200 DR-14" WITH TRACER WIRE UNLESS OTHERWISE NOTED OR REQUIRED BY THE DISTRICT. DISINFECTION AND TESTING SHALL BE COMPLETED PER DISTRICT SPECIFICATIONS.
- LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL MAKE WATER CONNECTIONS WITHOUT SHUTDOWN OR NOTIFY THE DISTRICT AND AFFECTED RESIDENTS OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING LINES.
- BENDS, DEFLECTION & CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO 10 FEET SEPARATION AT ALL POINTS REQUIRED. ALIGNMENT CONSTRUCTION STAKES SHALL BE PLACED AT 25' INTERVALS ALONG CURVES FOR PLACEMENT OF SEWER AND WATER LINES.
- FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED PER DISTRICT STANDARDS AND SHALL INCLUDE LATERAL, VALVE, ELBOW, HYDRANT, AND THRUST BLOCKS.
- WHEREVER DUCTILE IRON PIPE IS USED, THE PIPE, FITTINGS AND HYDRANTS SHALL BE WRAPPED IN POLYETHYLENE & CATHODIC PROTECTION SHALL BE PROVIDED PER DISTRICT STANDARDS.
- SERVICE LINES SHALL BE INSTALLED PER DISTRICT STANDARDS.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL NON-CITY UTILITIES SHALL BE 36".
- REFER TO MECHANICAL DRAWINGS FOR EXTENSION OF UTILITIES INTO BUILDINGS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- REFER TO THE PROJECT GEOTECHNICAL REPORT FOR BACKFILL AND COMPACTION SPECIFICATIONS.
- PROVIDE 2-WAY CLEANOUTS AT 95' MAX. SPACING ON WW SERVICE LINES.



HORZ. SCALE: 1"=30'  
VERT. SCALE: N/A  
SURVEYED: RIDGELINE  
CREATED: 9/11/20  
PROJECT NO: 092002  
SHEET: U1  
DRAWN: MSP  
DESIGNED: JPS  
CHECKED: JPS  
LAST MODIFIED: 12/16/20  
MODIFIED BY: BJJ

## WOODMEN HILLS RECREATION CENTER GYMNASIUM TRACT 7, WOODMEN HILLS FILING NO. 11

### SITE UTILITY PLAN



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987  
BUSINESS HOURS: MONDAY  
THRU FRIDAY 8:00 AM - 5:00 PM  
BEFORE YOU START AN EXCAVATION  
FOR THE MARKING OF UNDERGROUND  
UTILITIES.

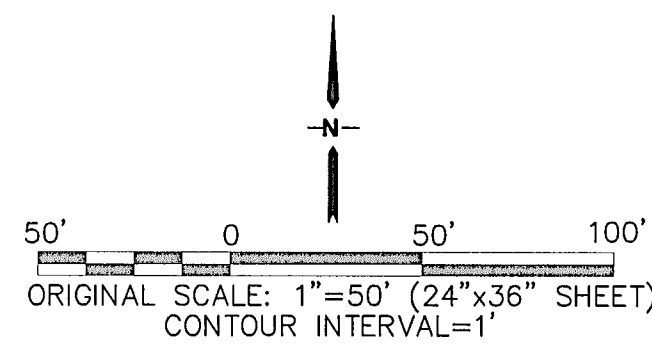
No.	REVISION	BY	DATE



C:\Users\Owner\Dropbox\jpsprojects\092002.Hammers-WH-Rec.dwg\civil\C1.1.dwg

EROSION CONTROL LEGEND: LEGEND:

- (VTC) VEHICLE TRACKING CONTROL PAD  
(SF) SILT FENCE  
(SM) SEED & MULCH  
(CWA) CONCRETE WASHOUT AREA (TO BE COMPLETELY CONTAINED & REMOVED UPON COMPLETION OF PROJECT)  
(IP) INLET PROTECTION  
(RG) RAIN GARDEN  
(RR) RIPRAP APRON  
(VTC) PROPOSED PROPERTY LINE  
(SF) EXISTING CONTOURS  
(SM) EXISTING SPOT ELEVATIONS  
(CWA) PROPOSED SPOT ELEVATIONS  
(TSB) ROOF DRAIN DOWNSPOUTS: INSTALL TRANSITION COUPLINGS & CONNECT TO SITE STORM SEWER W/ 6" PVC SD LATERALS @ 1.0% MIN. SLOPE (COORDINATE W/ ARCH / MEP PLANS)  
(TSA) TEMPORARY SEDIMENT BASIN  
(TSA) TEMPORARY STAGING AREA



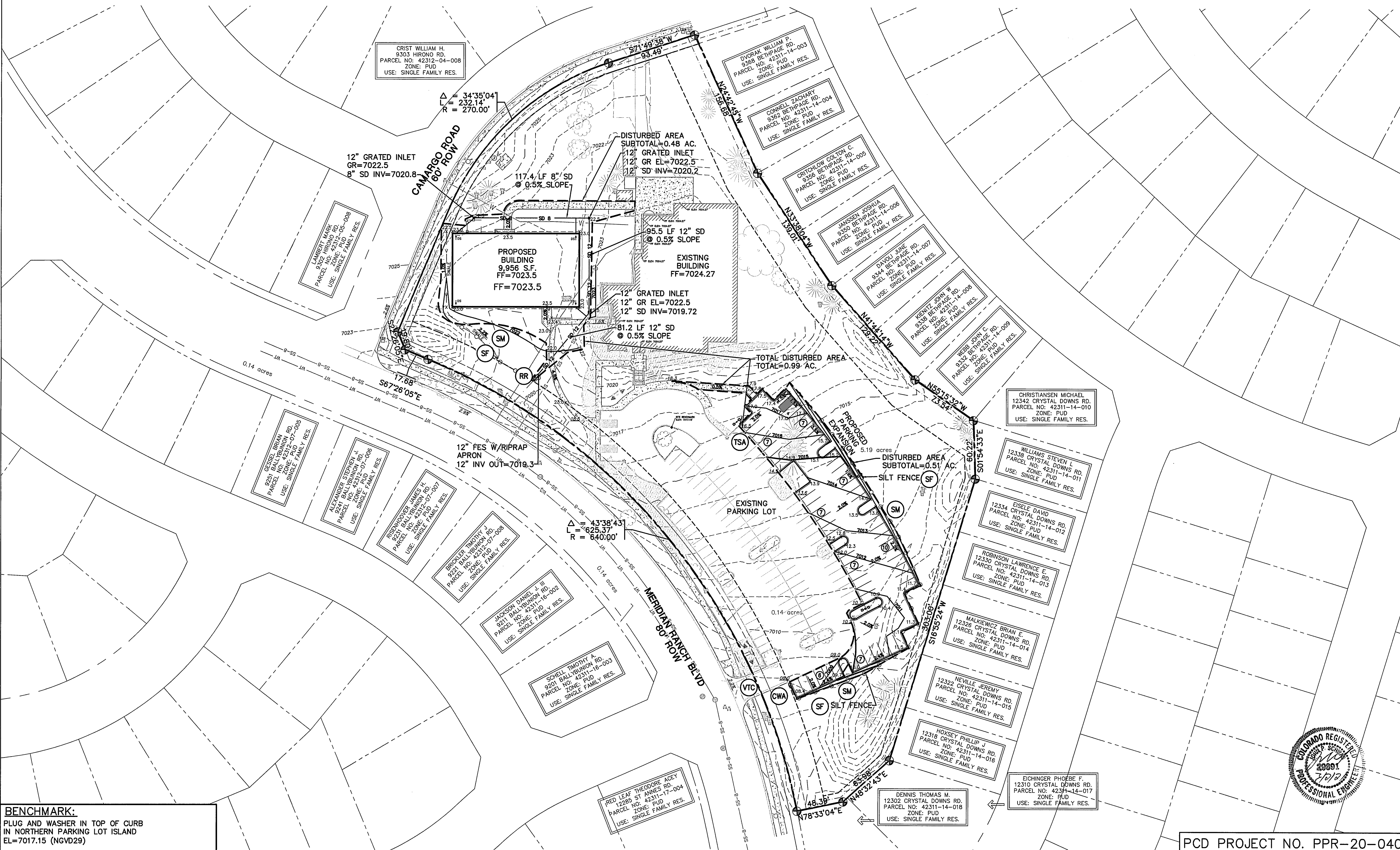
KEYED NOTES:

- 1 TOPSOIL STRIPPING / STOCKPILE AREA
- 2 6" CONCRETE PAVEMENT (PER GEOTECHNICAL REPORT)
- 3 PREPARE & COMPACT BUILDING FOUNDATION, SLABS, & PAVEMENT PER PROJECT GEOTECHNICAL REPORT
- 4 CONTRACTOR MAY WASTE EXCESS CUT OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA; MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES W/ 3:1 MAX. SLOPES

ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 62 CY  
\* EMBANKMENT FILL = 1,697 CY  
NET (FILL) = 1635 CY  
\* (ASSUMES 15% COMPACTION FACTOR)

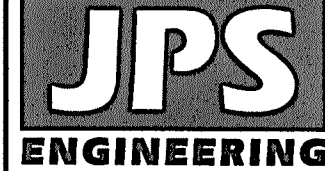
NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.



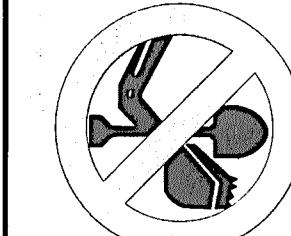
**BENCHMARK:**  
PLUG AND WASHER IN TOP OF CURB  
IN NORTHERN PARKING LOT ISLAND  
EL=7017.15 (NGVD29)

WOODMEN HILLS RECREATION CENTER GYMNASIUM  
TRACT 7, WOODMEN HILLS FILING NO. 11

SITE GRADING & EROSION  
CONTROL PLAN



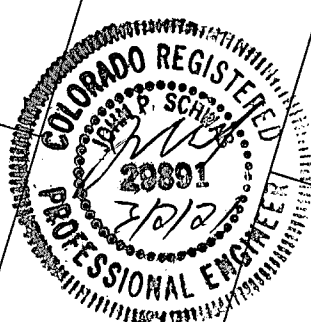
19 E. Willamette Ave.  
Colorado Springs, CO  
80903  
PH: 719-477-9429  
FAX: 719-471-0766  
www.jpsengr.com



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987  
CALL 811 BEFORE YOU DIG. GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE

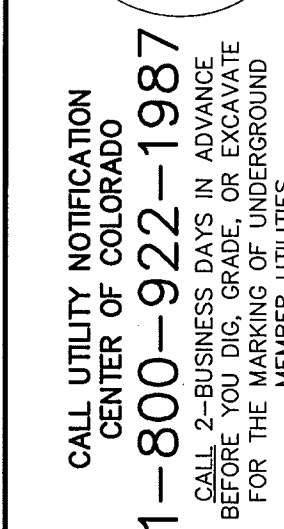
HORIZ. SCALE: 1"=50'  
VERT. SCALE: N/A  
SURVEYED: RIDGELINE  
CREATED: 9/11/20  
PROJECT NO: 092002  
SHEET: C1.1  
DRAWN: BJJ  
DESIGNED: JPS  
CHECKED: JPS  
LAST MODIFIED: 12/16/20  
MODIFIED BY: BJJ



PCD PROJECT NO. PPR-20-040



# ENLARGED BUILDING AREA GRADING PLAN

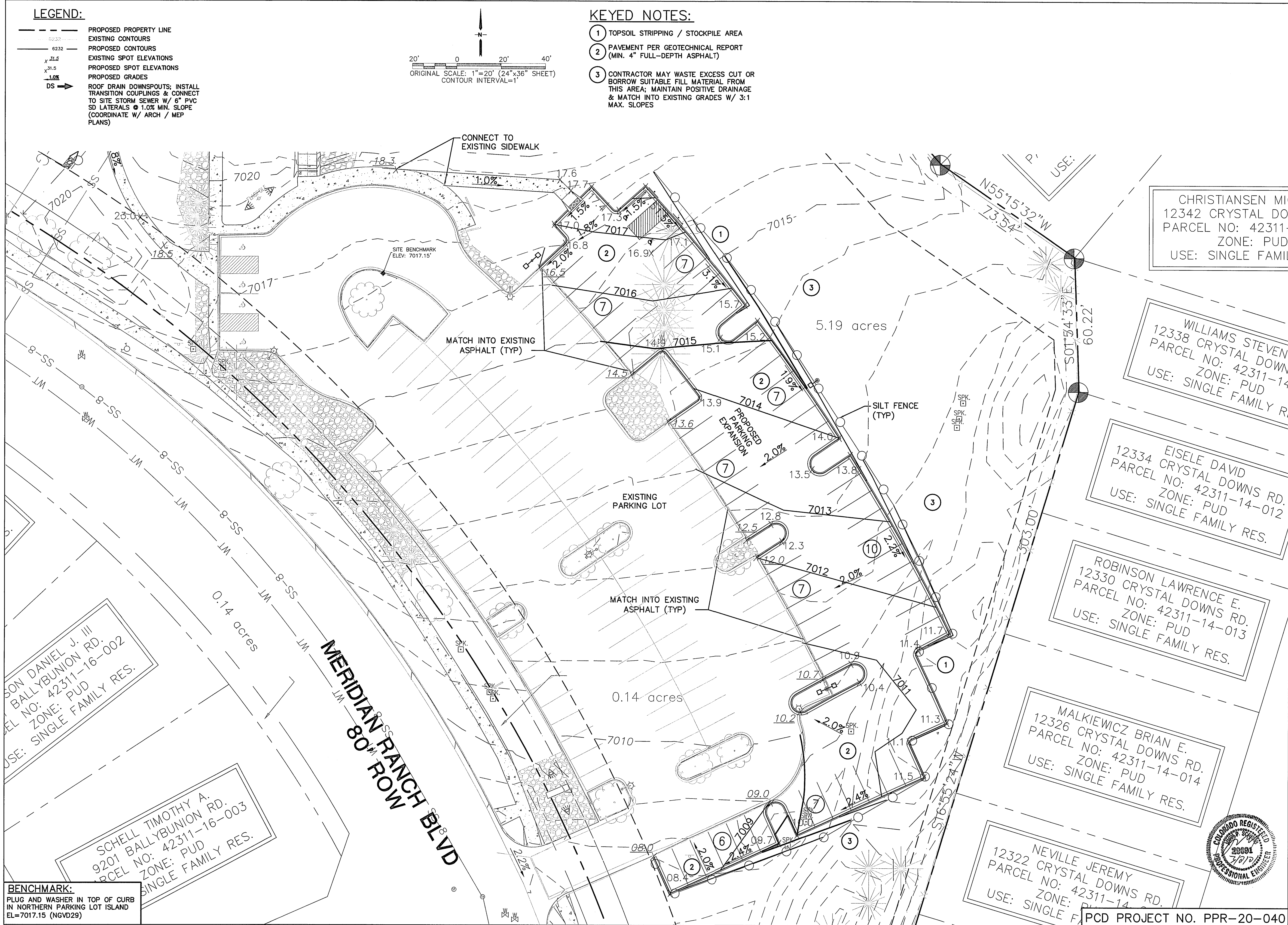
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HORZ. SCALE: 1"=20'	DRAWN: BJJ
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RIDGELINE	CHECKED: JPS
CREATED: 9/24/20	LAST MODIFIED: 12/16/20
PROJECT NO: 092002	MODIFIED BY: BJJ
SHEET:	

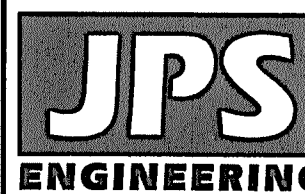
## C2.1

PCD PROJECT NO. PPR-20-040



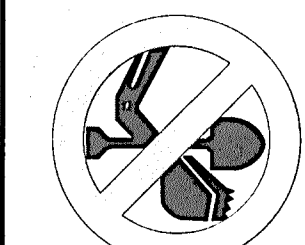


**WOODMEN HILLS RECREATION CENTER GYMNASIUM  
TRACT 7, WOODMEN HILLS FILING NO. 11**



19 E. Willamette Ave.  
Colorado Springs, CO  
80903

PH: 719-477-9429  
FAX: 719-471-0766  
www.ipsenqr.com



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND

[illegible]

# ENLARGED PARKING AREA GRADING PLAN


HORZ. SCALE:	1"=20'	DRAWN:	E
VERT. SCALE:	N/A	DESIGNED:	J
SURVEYED:	RIDGELINE	CHECKED:	J
CREATED:	9/24/20	LAST MODIFIED:	1/21/
PROJECT NO:	092002	MODIFIED BY:	E
SHEET:			

PCD PROJECT NO. PPR-20-040



TYPICAL CONCRETE CROSSPAN 

SCALE: 1" = 1'-0"

**CURB CHASE SECTION**   
SCALE: 1"=1' H&V

SECTION A

NOTE:

1. SEE SITE PLAN FOR LOCATION & DIMENSIONS OF SIDEWALK (5' ATTACHED SIDEWALK UNLESS NOTED OTHERWISE).
2. CONTRACTOR SHALL PROVIDE JOINTS PER CITY OF COLORADO SPRINGS STANDARD SPECIFICATIONS.



TYPICAL BUILDING DRAINAGE DETAIL (D)


### PEDESTRIAN RAMP NOTES


1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND AAS REQUIREMENTS.
2. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
3. PEDESTRIAN RAMP CONSTRUCTION SHALL BE A MINIMUM 450 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SKIDDED, COARSE IRON FIBER.
4. RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 12:1 MAXIMUM RUNNING RAMP SLOPE AND 20:1 MAXIMUM WINDING RAMP SLOPE TO STREET INTERSECTION GRADERS AND/OR ALIGNMENTS.
5. DETECTABLE WARNING AREA SHALL START A MINIMUM OF 4" BUT NOT MORE THAN 48" FROM THE FLOWLINE OF THE CURB OR ANY PAVEMENT CHANGES.
6. DETECTABLE WARNING AREA SHALL BE PREFABRICATED, REINFORCED INTERNALLY COATED, BULKHEAD-DOSE, PAVING, THERMOPLASTIC TRUNCHED SOLID. SOLID WELLS NOT BE ACCEPTED.
7. THE DETECTABLE WARNING AREA SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE RAMP.
8. RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK, 4' MINIMUM.
9. ALL RAMPS WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMPS WHICH MAY BE PARALLEL, SUBJECT TO APPROVAL.
10. AVOID PLACING DRAINAGE STRUCTURES, TRAFFIC SIGNALS/BOXES, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN

### GENERAL NOTES

1. WHERE THE 1'-6" FLARE SIDING OF A PERPENDICULAR CURB RAMP IS 15' AND CONTRASTED WITH A PEDESTRIAN OR ROAD SURFACE AREA, THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
2. PEDESTRIAN WALKWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.
3. AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, EXCLUDING OF THE FLARE SIDING, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

1/1/08	Truncated Dome Details		
DATE APPROVED:	Standard Drawing		
John A. McCarty	REVISION DATE:	FILE NAME:	
DEPARTMENT OF TRANSPORTATION	11/25/15	SD_2-42	

8/11/11 DATE APPROVED: André P. Brackin DEPARTMENT OF TRANSPORTATION		Typical Curb and Gutter Details Standard Drawing		
REVISION DATE: 12/8/15		FILE NAME: SD_2-20		

8/11/11 DATE APPROVED:		Typical Cross Pan Layout Detail Standard Drawing			
André P. Brackin DEPARTMENT OF TRANSPORTATION		REVISION DATE: 12/9/15		FILE NAME: SD 3 26	

**GENERAL CIVIL NOTES:**

3. All construction shall conform to the following standards & specifications:
  - \* 2015 International Building Code
  - \* Pikes Peak Regional Building Code, latest edition
  - \* El Paso County Engineering Criteria Manual (ECM), latest edition.
  - \* Project Geotechnical Report
2. The contractor shall be responsible for the notification and field location of all existing utilities, whether shown on the plans or not, before beginning construction. Location of existing utilities shall be verified by the contractor prior to actual construction.
3. The contractor shall have one (1) signed copy of these approved plans and one (1) copy of the appropriate design and construction standards and specifications at the job site at all times:
  - a. El Paso County Engineering Criteria Manual.
4. Storm drain pipe shall be rcp class iii with class c bedding unless otherwise noted.
5. Stationing is at centerline unless otherwise noted. All elevations are at flowline unless otherwise noted. All dimensions are from face of curb unless otherwise noted. Lengths shown for storm sewer pipes are to center of manhole.
6. Contractor shall coordinate with gas, electric, telephone and cable t.v. Utility suppliers for installation of all utilities. Minimum cover for all dry utilities shall be 36".
7. Contractor shall remove and dispose of all existing structures, debris, waste and other unsuitable fill material found within the limits of excavation.
8. Match into existing grades at 3:1 max cut and fill slopes.
9. Revegetation of all disturbed areas shall be done with 4" topsoil and dry land grass seed after fine grading is complete ("foothills seed mix").
10. Erosion control shall consist of silt fence and hay bales as shown on the drawing, and topsoil with grass seed, which will be watered until vegetation has been re-established.
11. The erosion control measures outlined on this plan are the responsibility of the contractor to monitor and replace, regrade, and rebuild as necessary until vegetation is re-established.
12. Contractor shall implement best management practices in a manner that will protect adjacent properties and public facilities from the adverse effects of erosion and sedimentation as a result of construction and earthwork activities within the project site.
13. Additional erosion control measures may be required as determined by site conditions.
14. The contractor will take the necessary precautions to protect existing utilities from damage due to this operation. Any damage to the utilities will be repaired at the contractor's expense, and any service disruption will be settled by the contractor.
15. All backfill, sub-base, and/or base course material shall be compacted per the project geotechnical report and County specifications.
16. Concrete used in curb and gutter, sidewalk, and crosspan construction shall meet County criteria.
17. All finished grades shall have a minimum 1.0% slope to provide positive drainage.
18. Contractor shall obtain all required permits prior to beginning work.