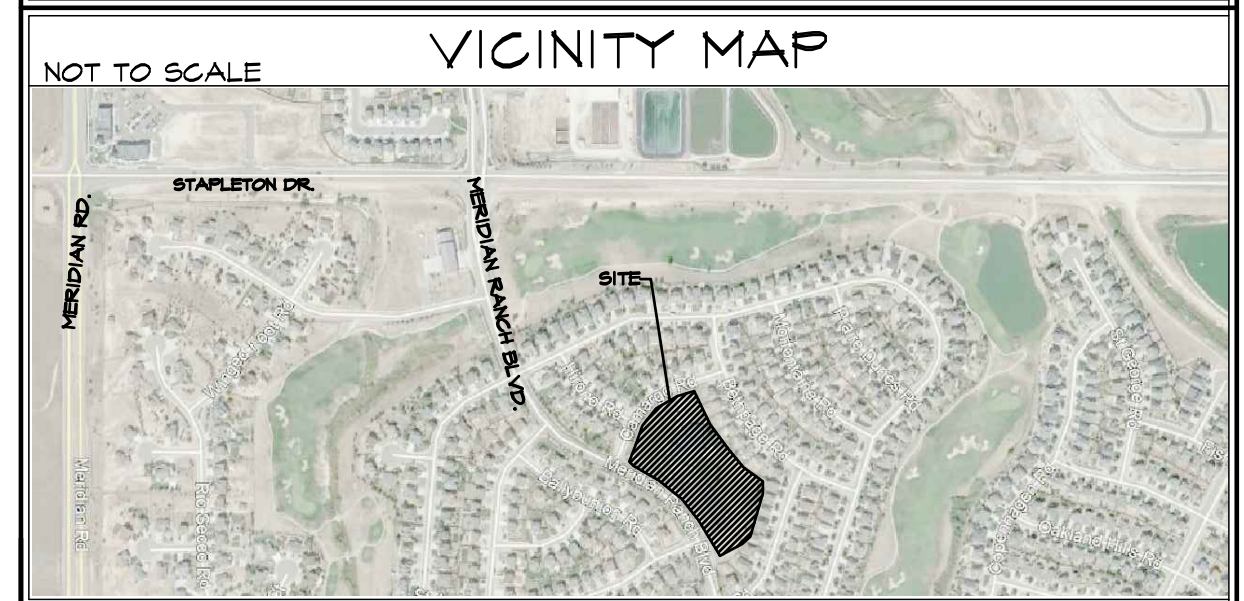


### DRAWING INDEX

1 OF 18	- SITE PLAN & NOTES, PROJECT INFORMATION, DRAWING INDEX
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4 OF 18 (C.I.)	- SITE GRADING & EROSION
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6 OF 18 (C2.2)	- ENLARGED PARKING AREA
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9 OF 18 (L.1.2)	- LANDSCAPE AREA 'A'
10 OF 18 (L.1.3)	- LANDSCAPE AREA 'B'
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15 OF 18	- BUILDING LIGHTING CUT SHEETS
16 OF 18	- PARKING LOT LIGHTING CUT SHEET
17 OF 18	- PARKING LOT LIGHTING CUT SHEET
18 OF 18	- SITE ELEVATIONS



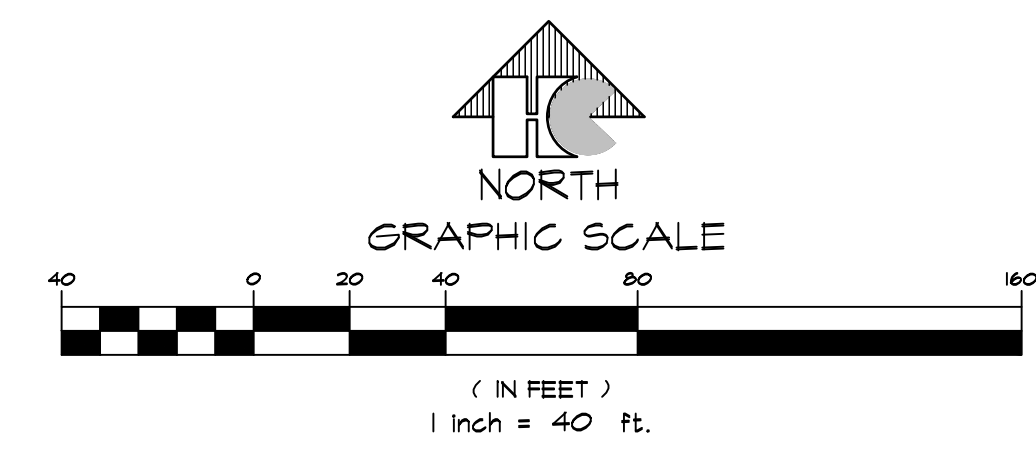
### PROJECT INFORMATION

<b>PROPERTY INFORMATION</b>	
OWNER NAME:	WOODMEN HILLS METROPOLITAN DIST. 2046 EASTONVILLE RD. PEYTON CO, 80851
<b>LEGAL DESCRIPTION:</b> WOODMEN HILLS FILING NO. II TRACT NO. 7	
PARCEL NUMBER:	42311-14-001
ZONING:	FUD
LOT SIZE:	224,770 SF. (5.14 ACRES)
CURRENT USE:	RECREATION CENTER
<b>FLOODPLAIN STATEMENT:</b> ZONE X (MAP NO. 08041C05536, DATED DECEMBER 7, 2018)	
<b>BUILDING INFORMATION</b>	
NEW BUILDING AREA:	9,956 SF
BUILDING OCCUPANCY:	A-3
TYPE OF CONSTRUCTION:	II-B
FIRE SYSTEMS:	SPRINKLER
AREA SEPARATION WALLS:	NONE
<b>ZONING INFORMATION</b>	
PROPOSED PRINCIPAL USE:	REGRE
STRUCTURAL COVERAGE OF LOT:	11%
PAVEMENT COVERAGE:	31%
BUILDING STRUCTURAL HEIGHT:	30'-8"
FRONT YARD SETBACK:	30'-0"
SIDE YARD SETBACK:	10'-0"
REAR YARD SETBACK:	35'-0"
<b>REQUIRED PARKING SPACES</b>	
GYMNASIUM - (1 SPACE/150 S.F.) (9,956 S.F. / 150 S.F.)	66
EXISTING BUILDING - (APPROVED BY PLAN PPR-02-020)	24
H.C. - (1 SPACE/25 REQ'D)	6
BICYCLE - (+K 5% OF REQ'D PARKING)	3
TOTAL PARKING SPACES REQUIRED:	100
TOTAL PARKING PROVIDED:	133
STANDARD SPACES PROVIDED:	147
H.C. SPACES PROVIDED:	6
COMPACT SPACES PROVIDED:	0
BICYCLE SPACES PROVIDED:	12
(SEE DETAIL 1/2 FOR FURTHER INFORMATION)	
<b>DEVELOPMENT SCHEDULE</b>	
CONSTRUCTION:	WINTER 2021
LANDSCAPING:	SPRING 2021
<b>DEVELOPMENT APPLICANT</b>	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80415
PHONE NUMBER:	(719)-570-1549
FAX NUMBER:	(719)-570-7028
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

### SITE LEGEND

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	UTILITY/DRAINAGE EASEMENT
---	DRAINAGE EASEMENT
---	TRAIL EASEMENT
---	CHAINLINK OPAQUE FENCE
---	6" HIGH WROUGHT IRON FENCE
---	GAS LINE
---	WATER LINE
---	ELECTRICAL LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	PHONE LINE
---	OVERHEAD ELECTRIC LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS
---	W/ CONTROL JOINTS @ 5'-0" O.C.
●	PROPERTY CORNER
+	SIGN
○	EXISTING HYDRANT
→	TRAFFIC FLOW
○	MANHOLE
●	PROPOSED FIRE HYDRANT
□	WALL PACK LIGHTING
□	ELECTRICAL TRANSFORMER

EL PASO COUNTY FILE NO. PPR-2040



## HAMMERS CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS  
 VICE PRES: DAVID J. HAMMERS  
 1411 WOOLSEY HEIGHTS  
 COLORADO SPRINGS, CO 80915  
 (719) 570-1599 FAX (719) 570-7008  
 www.hammersconstruction.com

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## WOODMEN HILLS RECREATION CENTER

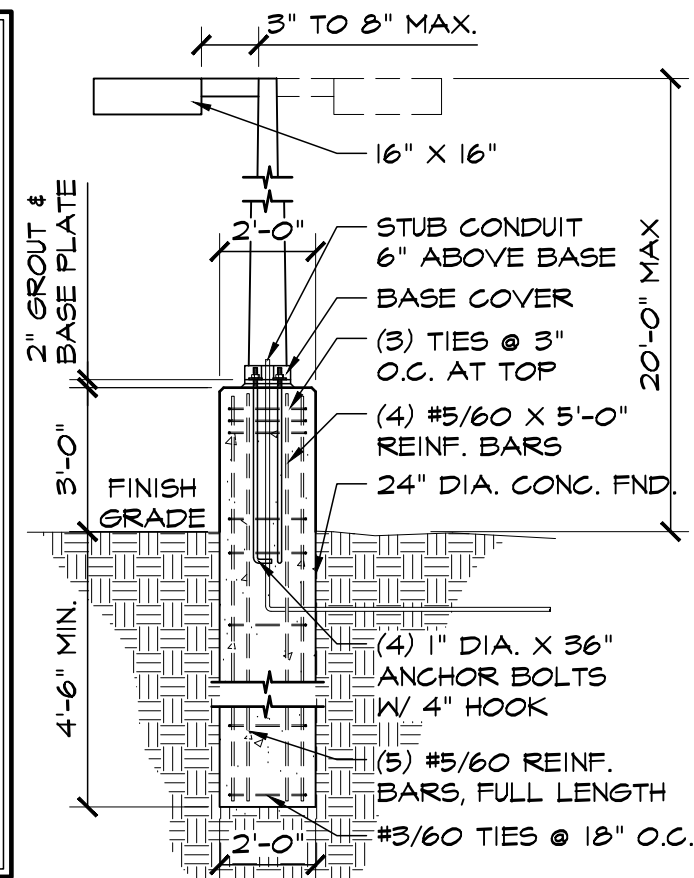
9211 MERIDIAN RANCH BLVD.  
 PEYTON, CO 80851  
 EL PASO COUNTY, COLORADO

DATE: OCT 21, 2020  
 DRAWN BY: J.CANTERBERRY  
 PROJ. MGR: E. SMITH  
 SCALE: SEE PLAN  
 APPROVED BY:  
 JOB NO: 1192

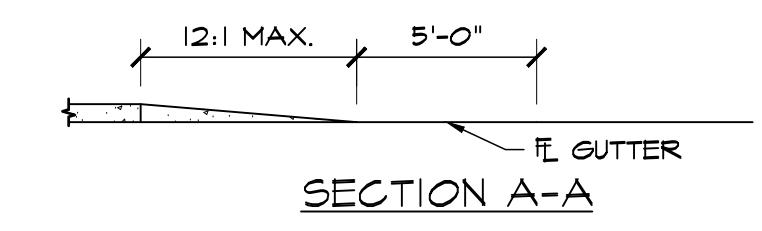
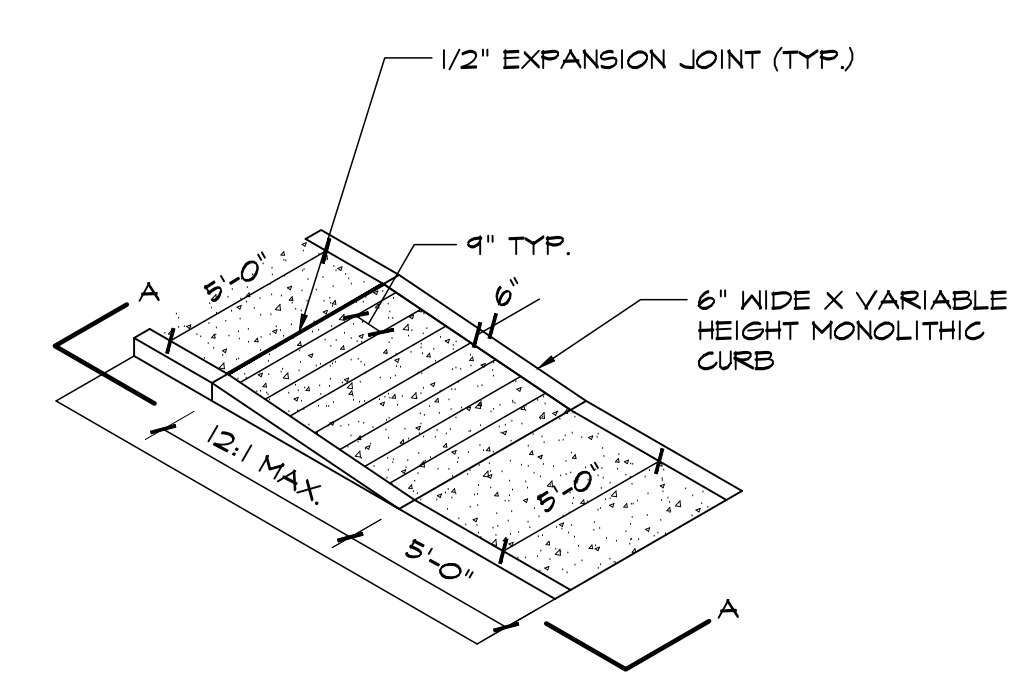
RESUBMITTALS:  
 1/15/21/ DP COMMENTS 11-14-20

1 of 18  
 SITE PLAN

NOTES:  
 1. LIGHTING LEVELS SHALL NOT EXCEED 15 FOOT-CANDLES WHEN MEASURED @ GROUND LEVEL.  
 2. PROVIDE CONC. 36" ABOVE GRADE, WITHIN 36" OF CURB OR DRIVE.  
 3. LIGHTING WILL BE HIGH-PRESSURE SODIUM DOWNCAST ON ROUND TAPERED POLE W/ ROUND LIGHT HOUSING. (SEE SITE PLAN FOR LOCATIONS)  
 4. ALL POLES, LIGHTS, & HOUSING TO BE PAINTED TO MATCH BLDG. STRIPT. TYP. ON ALL POLE LIGHTS.  
 5. NO LIGHTING WILL SHINE OFF SITE.  
 6. IF LIGHT POLE BASE IS WITHIN 36" OF A DRIVE ISLE THEN THE BASE WILL STICK UP 36" ABOVE FIN. GRADE, OTHERWISE THE BASE WILL STICK UP 6" ABOVE GRADE.

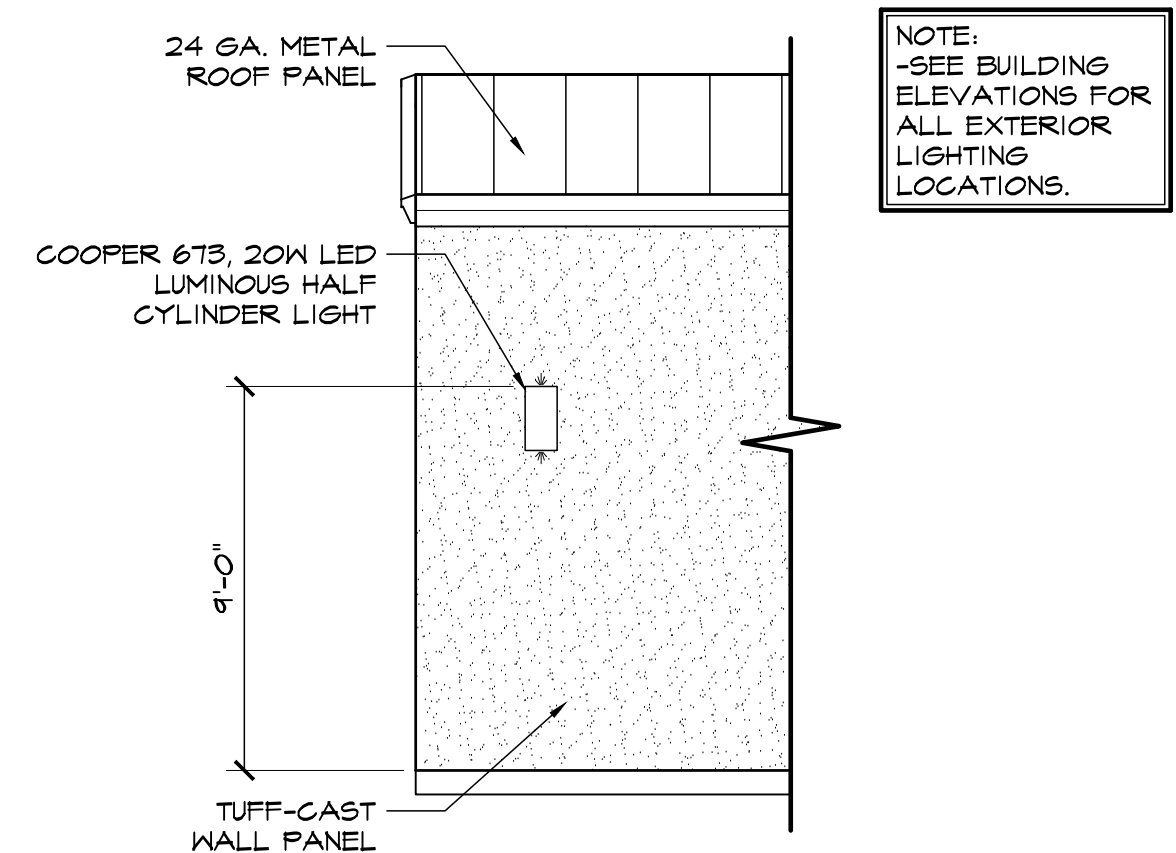


5 LIGHT POLE BASE DETAIL  
 SCALE: 1/4"=1'-0"

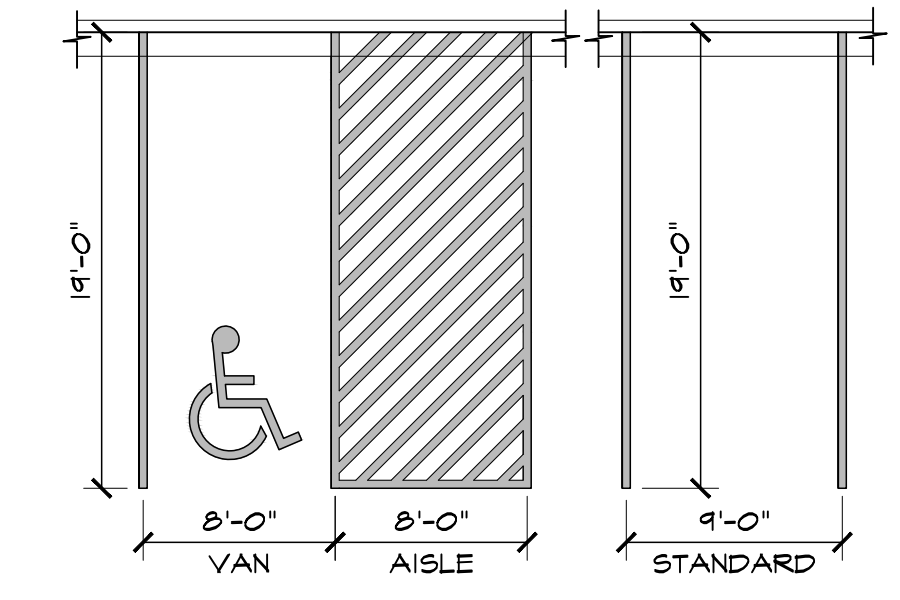


GENERAL NOTES:  
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT (EL PASO COUNTY) ENGINEERING DIVISION STANDARD SPECIFICATIONS.  
 2. SIDEWALK CROSS-SLOPE: 1/4"/FT.  
 3. CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.  
 4. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.  
 5. THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 504.03E OF THE STANDARD SPECIFICATIONS.  
 6. CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.  
 7. PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS. NEW RAMPS SHALL ALIGN WITH EXISTING RAMPS AND PEDESTRIAN TRAVELWAY.

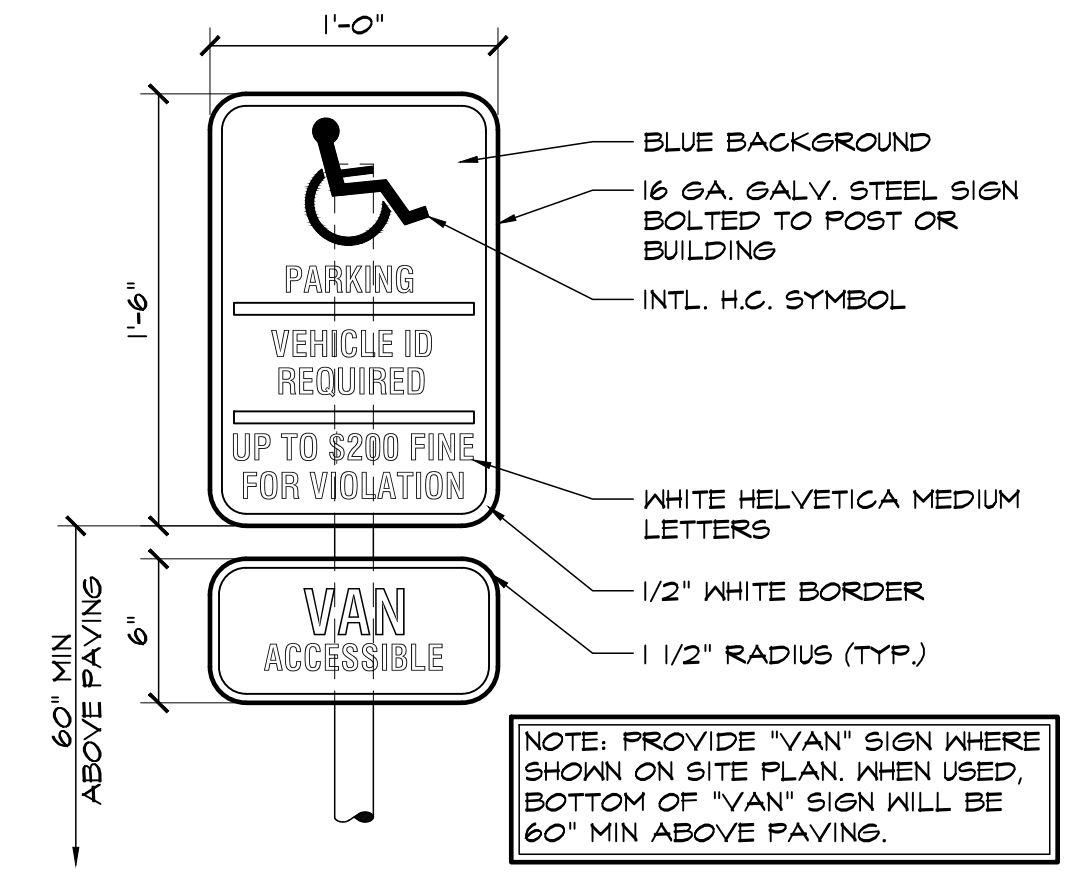
6 PEDESTRIAN RAMP DETAIL  
 SCALE: 3/16"=1'-0"



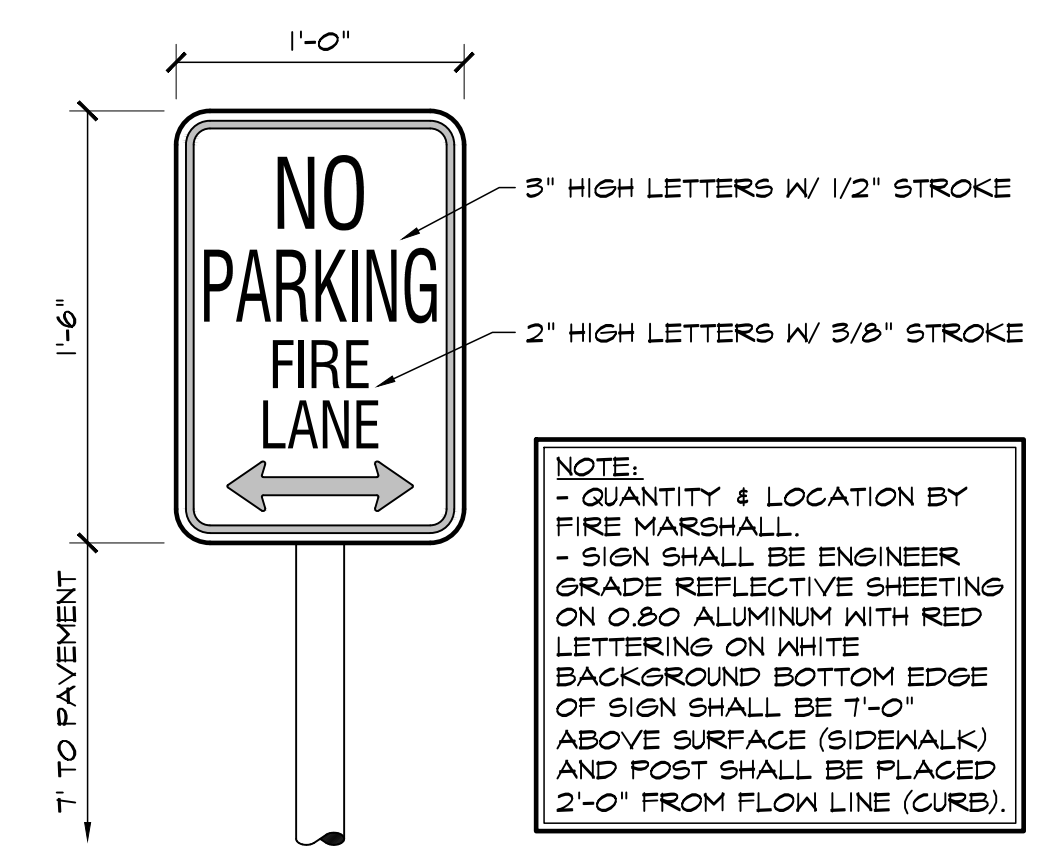
7 WALL PACK LIGHT DETAIL  
 SCALE: 1/4"=1'-0"



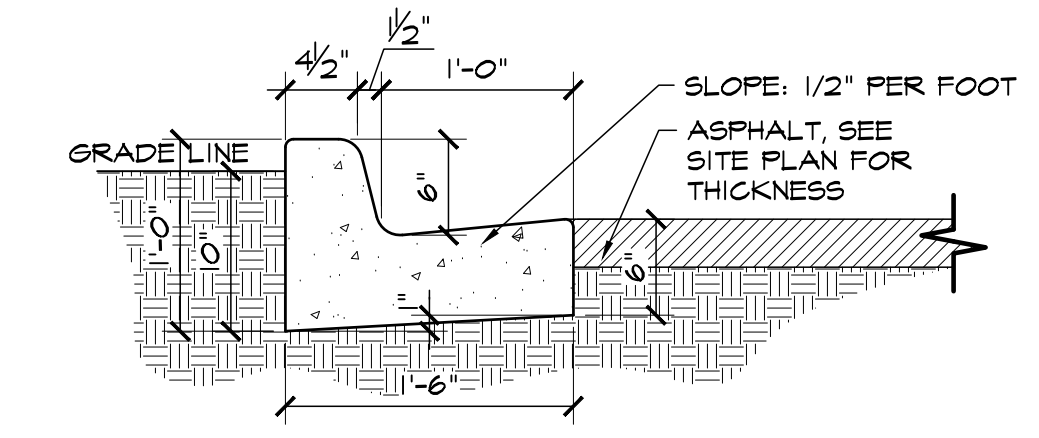
1 ADA / STANDARD PARKING  
 SCALE: 1/8"=1'-0"



2 HANDICAPPED PARKING SIGN  
 SCALE: 1 1/2"=1'-0"



3 FIRE LANE SIGN  
 SCALE: 1 1/2"=1'-0"



4 TYPE B CURB  
 SCALE: 1"=1'-0"

EL PASO COUNTY FILE NO. PPR-2040

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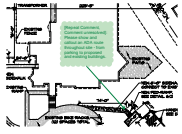
**WOODMEN HILLS RECREATION CENTER**  
 9211 MERIDIAN RANCH BLVD.  
 PEYTON, CO 80831  
 EL PASO COUNTY, COLORADO

DATE: OCT 21, 2020  
 DRAWN BY: J.CANTERBERRY  
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- RESUBMITTALS:  
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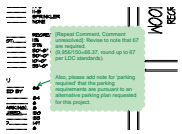
# Site Development Plan\_V2.pdf Markup Summary

Sophie Kiepe (2)



**Subject:** Callout  
**Page Label:** [1] Woodmen Hills -site3-1 of 9  
**Author:** Sophie Kiepe  
**Date:** 2/1/2021 11:35:28 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

[Repeat Comment, Comment unresolved]: Please show and callout an ADA route throughout site - from parking to proposed and existing buildings.



**Subject:** Callout  
**Page Label:** [1] Woodmen Hills -site3-1 of 9  
**Author:** Sophie Kiepe  
**Date:** 2/1/2021 3:07:26 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

[Repeat Comment, Comment unresolved]: Revise to note that 67 are required. (9,956/150=66.37, round up to 67 per LDC standards).

Also, please add note for 'parking required' that the parking requirements are pursuant to an alternative parking plan requested for this project.