

# BRADLEY POINT FILING NO. 1-DRY SUBDIVISION SITE DEVELOPMENT PLAN

AP NO. 65034-03-002 AND AP NO. 65034-03-003 ON HIGHWAY 85/87 (EAST LAS VEGAS STREET)  
IN THE SE 1/4 OF SECTION 3, T15S R66W, 6th P.M., EL PASO COUNTY, COLORADO

MAY 2024

**BE IT KNOWN BY THESE PRESENTS:**

THAT BRADLEY POINT, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

**LEGAL DESCRIPTION:**

A PARCEL OF LAND IN THE SOUTHEAST QUARTER (SE1/4) OF SECTION 3, T15S, R66W OF THE 6TH P.M., EL PASO COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF PARCEL 1, "ROCKY MOUNTAIN MATERIALS AND ASPHALT EXEMPTION PLAT MAP" AS RECORDED UNDER REC. NO. 211713132 IN THE RECORDS OF EL PASO COUNTY, COLORADO;

THENCE N49°09'00"E ALONG THE SOUTHERLY LINE THEREOF 363.30 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY OF ATCHISON, TOPEKA, & SANTA FE RAILROAD;

THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

- 1) THENCE S36°35'31"E A DISTANCE OF 762.98 FEET;
- 2) THENCE S36°32'54"E A DISTANCE OF 609.95 FEET;
- THENCE S48°15'16"W A DISTANCE OF 256.33 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF E. LAS VEGAS STREET (U.S. HIGHWAY 85/87);

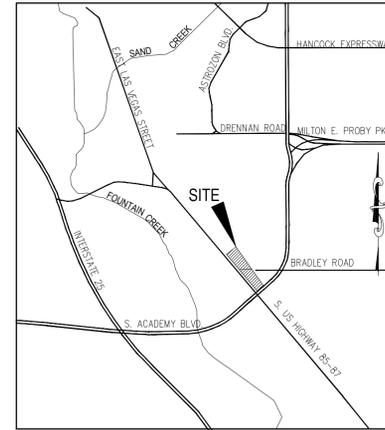
THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES:

- 1) THENCE N40°49'47"W A DISTANCE OF 823.77 FEET;
- 2) THENCE N89°57'24"W A DISTANCE OF 6.60 FEET;
- 3) THENCE N40°47'37"W A DISTANCE OF 58.44 FEET;
- 4) THENCE N40°50'47"W A DISTANCE OF 486.58 FEET TO THE POINT OF BEGINNING.

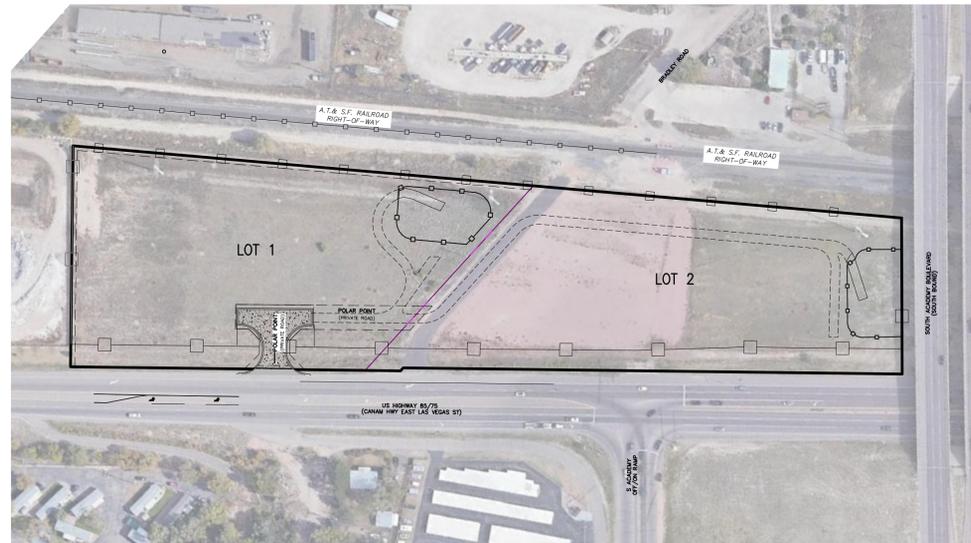
SAID DESCRIBED PARCEL CONTAINS 424,094 SQUARE FEET (9.736 ACRES, MORE OR LESS).

**SITE DEVELOPMENT PLAN CHECKLIST, SITE PLAN DRAWING NOTES:**

1. "DATE, NORTH ARROW, AND A GRAPHIC SCALE."  
The date, north arrow and a graphic scale are provided on the map.
2. "VICINITY MAP SHOWN THE SUBDIVISION IN RELATION TO THE SECTION LINES AND EXISTING OR PROPOSED ARTERIAL OR COLLECTOR ROADWAYS."  
A Vicinity map has been provided showing the relationship of the subdivision to the adjacent major roadway systems.
3. "LOCATION AND DIMENSIONS OF ALL THE PROPERTY LINES, RIGHTS OF WAY, AND ALL EXISTING AND PROPOSED EASEMENTS."  
The attached map shows the location and dimensions of all property lines, rights of way, and existing and proposed easements. A blanket drainage easement is being provided for the site.
4. "SIGNATURE BLOCK FOR THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR A MINIMUM OF 1 INCH BY 2 INCHES."  
A signature block has been provided on each map for the Director's signature.
5. "THE FOOTPRINT OF ALL EXISTING AND PROPOSED BUILDING AND THE SETBACK DISTANCES FROM EACH EXISTING AND PROPOSED STRUCTURE TO THE PROPERTY LINES."  
There are no existing buildings within the 9.736 Acre subdivision area. No buildings are currently proposed at this time. As such no setbacks distances are shown on the map. The required setbacks are as follows: Front/Rear Yard Setbacks : Fifteen Feet (15'), Side Yard Setbacks: 0'
6. "LOCATION OF ALL SIDEWALKS, TRAILS, FENCES AND WALLS, RETAINING WALLS OR BERMS."  
Presently there are none and will be no proposed sidewalks, trails, walls or retaining walls. A 6' steel panel fence exists along the western property line of Lot 1. A 6' steel panel fence shall be constructed along the south and east property lines (US HWY 85-87 and S. Academy Blvd ROWs. A 6' chainlink fence shall be constructed along the northern property line (Adjacent to AT&SF Railroad ROW). A small earthen berm shall be constructed along the US85-87 property line to ensure onsite developed drainage is retained onsite. The site is private and is not intended for public use.
7. "LOCATION AND DIMENSIONS OF ALL EXISTING AND PROPOSED SIGNAGE ON THE SITE."  
No site signs are being proposed at this time. The only planned onsite signage that is proposed will be for the two (2) detention facilities that indicate that this area is a stormwater facility and is subject to periodic flooding. A stop sign with street sign will be provided at the entrance.
8. "TRAFFIC CIRCULATION ON THE SITE INCLUDING ALL POINTS OF INGRESS/EGRESS INTO THE PROPERTY."  
The existing point of ingress/egress into the site is being removed. The proposed developments ingress and egress point is Polar Point, which has been approved as an access point by CDOT (permit number). There is no defined traffic circulation within the proposed material storage areas. All internal drive paths are considered temporary and are not intended for public use.
9. "THE LAYOUT AND LOCATION OF ALL OFF STREET PARKING, LOADING AND OTHER VEHICULAR USE AREA, UNLESS OTHERWISE DEPICTED IN DETAIL ON A SEPARATE PARKING PLAN. IF DEPICTED ON A SEPARATE PARKING PLAN THEN DEPICTION OF THE PARKING AREA ARE REQUIRED."  
Not applicable.
10. "THE LAYOUT AND LOCATION OF ALL LANDSCAPING, INCLUDING LANDSCAPE SETBACK, UNLESS OTHERWISE DEPICTED IN DETAIL ON A SEPARATE LANDSCAPE PLAN. IF DEPICTED ON A SEPARATE PLAN THEN DEPICTION OF THE LANDSCAPE AREA ARE REQUIRED."  
A separate landscape plan is being provided.
11. "LOCATION OF ALL ADA SPACES, RAMPS, AND SIGNS, INCLUDES ADA PATHWAYS."  
The site is private and is not intended for public use. There are no structures or buildings proposed. As deemed necessary the site will comply all applicable ADA requirements.
12. "LOCATION OF EXISTING AND PROPOSED WATER AND WASTEWATER INFRASTRUCTURE, INCLUDING WELL AND SEPTIC LOCATIONS, IF APPLICABLE."  
A 10 and 20 foot easement located along the southern property houses CSU Sludge lines. No known functioning existing water infrastructure or wells are present onsite. The proposed development shall be a "dry" subdivision, as such no public or private water/wastewater services are required or being provided. All known easements and utility infrastructure are provided on the map.
13. "LOCATION OF OF ALL NO-BUILD AREAS, FLOODPLAIN, DRAINAGE WAYS AND FACILITIES."  
No structures are being proposed. No floodplains, drainage ways or drainage related facilities exist onsite. Two Infiltration (Water Quality and Detention Storage) Ponds are being constructed to aid in the treatment and discharge of developed runoff.
14. "LOCATION OF ALL GARBAGE RECEPTACLES WITH A GRAPHICAL DEPICTION OF THE SCREENING MECHANISM."  
There is no permanent structures or staff. No garbage receptacles are proposed.
15. "LOCATION OF EXISTING AND PROPOSED UTILITY LINES AND ASSOCIATED INFRASTRUCTURE."  
Several easements existing within the parcel, specific of note are a 75 foot electric easement with overhead lines is located along the eastern property line. A fiber optic easement skirts the parameter of the southern lot. All known utilities and easements are provided on the map.
16. "ANY ADDITIONAL INFORMATION REQUIRED PURSUANT TO ANY ASSOCIATED CONDITION OF APPROVAL OR PLAT NOTES."  
Nothing is required.
17. "ANY OTHER ADDITIONAL ITEMS AS REQUIRED BY THE PCD DIRECTOR DEEMED NECESSARY TO ADDRESS THE APPLICATION REVIEW CRITERIA."  
No additional items from the PCD Director have been received/required.



VICINITY MAP  
N.T.S.



SITE MAP  
N.T.S.

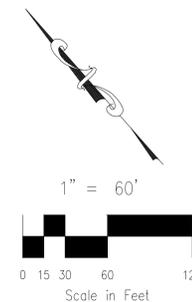
**ADDITIONAL NOTES:**

PLEASE INCLUDE A NOTE STATING: THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471); OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE OBLIGATION BEFORE SALE OF THE PROPERTY

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

**SHEET INDEX**

- SHEET 1 TITLE SHEET
- SHEET 2 SITE DEVELOPMENT PLAN
- SHEET 3 SITE DEVELOPMENT PLAN DETAIL



**AGENCIES**

OWNER/DEVELOPER:	STEPHEN J. SCHNURR 2010 FOX MOUNTAIN POINT COLORADO SPRINGS, CO 80906 STEPHEN J. SCHNURR (719) 491-3101
CIVIL ENGINEER:	M & S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH AVE, SUITE 305 COLORADO SPRINGS, CO 80903 VIRGIL A. SANCHEZ P.E. (719) 955-5485
WATER RESOURCES:	SECURITY WATER AND SANITATION DISTRICT 231 SECURITY BOULEVARD COLORADO SPRINGS, CO 80911 ROY HEALD (719) 392-3475
COUNTY ENGINEERING:	EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 GILBERT LAFORCE (719) 520-7945
TRAFFIC ENGINEERING:	EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS 3275 AKERS DRIVE COLORADO SPRINGS, CO 80922 JENNIFER IRVINE, P.E. (719) 520-6460
FIRE DISTRICT:	SECURITY FIRE DEPARTMENT 400 SECURITY BOULEVARD SECURITY, CO 80911 BRANDON SULLIVAN (719) 392-7121
GAS DEPARTMENT:	COLORADO SPRINGS UTILITIES 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80903 (719) 668-7640
ELECTRIC DEPARTMENT:	COLORADO SPRINGS UTILITIES 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80903 (719) 668-7640
COMMUNICATIONS:	TBD (U.N.C.G. LOCATORS) (800) 922-1987 AT&T (LOCATORS) (719) 635-3674

PLANNING & COMMUNITY  
DEVELOPMENT DIRECTOR APPROVAL

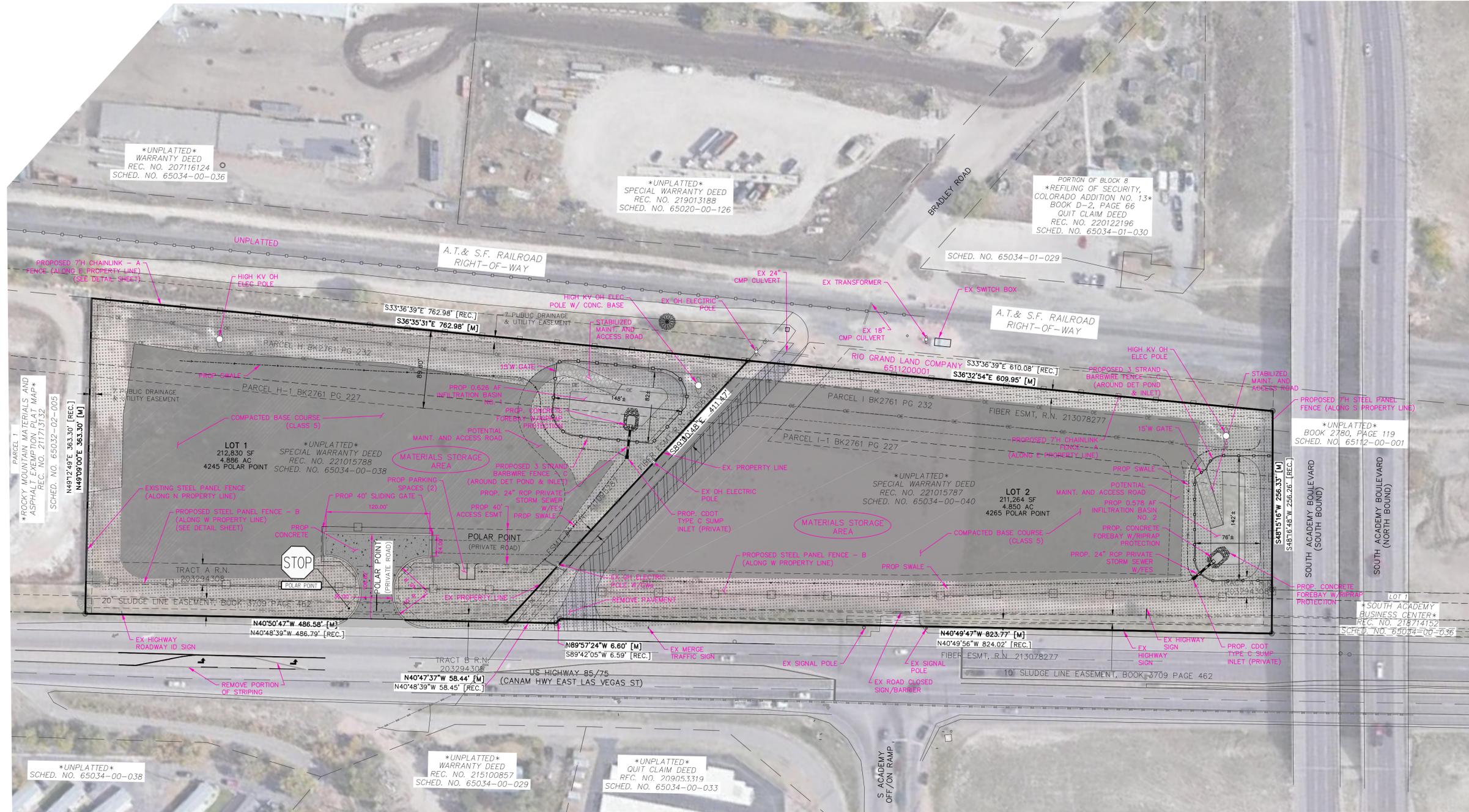


EL PASO COUNTY FILE NO. PPR243



# BRADLEY POINT FILING NO. 1-DRY SUBDIVISION SITE DEVELOPMENT PLAN

AP NO. 65034-03-002 AND AP NO. 65034-03-003 ON HIGHWAY 85/87 (EAST LAS VEGAS STREET)  
IN SECTION 3, T15S R66W, 6th P.M., EL PASO COUNTY, COLORADO



## LEGEND:

- PROPOSED SUBDIVISION LINE
- PROP OPAQUE FENCE
- PROP CHAINLINK FENCE
- PROP 3-STRAND BARBWIRE FENCE W/ INTERMITTENT REFLECTORS
- EXIST EASEMENT
- EXIST OVERHEAD ELECTRIC
- PROP STORM SEWER
- PROP MATERIAL STORAGE AREA COMPACT BASE COARSE (CLASS 5)
- PROP NATURAL OR NATIVE SEEDING
- PROP STABILIZED POND MAINTENANCE ACCESS ROAD
- PROP RIPRAP
- DEMO EXISTING PAVEMENT
- PROP CONCRETE
- PROP ASPHALT
- PROP SWALE

### PARCEL NOTE:

THE TWO PARCELS ARE UNDER THE SAME OWNERSHIP.

### FEMA FLOODPLAIN NOTE:

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN IN ACCORDANCE WITH THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0744 G, EFFECTIVE DATE DECEMBER 7, 2018.

### CONSTRUCTION DRAWINGS NOTE:

PLEASE REFER TO PCD FILE NO. MS212 FOR APPROVED CONSTRUCTION DRAWINGS.

### ADDITIONAL NOTE:

ALL STORED MATERIAL MUST ADHERE TO 15 FT SETBACKS ON THE FRONT AND REAR AND CANNOT EXCEED THE HEIGHT OF THE FENCE. ANY STORAGE EXCEEDING THE HEIGHT OF THE FENCE SHALL BE STORED IN THE REAR 1/3 OF THE PROPERTY.

### SITE DATA:

SITE ADDRESSES: 4245 POLAR POINT, 4265 POLAR POINT  
EXISTING/PROP ZONE: M (INDUSTRIAL USE)  
SITE PLAN ACREAGE: 9.736 AC, (LOT 1 - 4.886 ACRES, LOT 2 - 4.850 ACRES)  
TAX SCHEDULE NO.: 65034-03-002, 65034-03-003  
PROPOSED USE: MATERIAL AND TRUCK STORAGE YARD  
EXISTING LAND USE: VACANT COMMERCIAL LAND

PARKING REQUIREMENTS: DRY SUBDIVISION, NO BUILDINGS  
PARKING SPACES: 2 PROVIDED, NOT REQUIRED  
BICYCLE SPACE: NOT REQUIRED

IMPERVIOUS SURFACE COVERAGE: 61.30% ~ 38.70% OPEN/LANDSCAPING

REFER TO THE LANDSCAPING PLAN FOR ADDITIONAL DETAILS REGARDING PLANTINGS

NO LIGHTING IS BEING PROPOSED AS A PORTION OF THIS DEVELOPMENT.

THE ENTIRE PROPERTY IS SUBJECT TO A BLANKET DRAINAGE AND ACCESS EASEMENT TO PROVIDE FOR THE CONSTRUCTION MAINTENANCE AND ACCESS OF DETENTION AND STORMWATER MANAGEMENT FACILITIES.



EL PASO COUNTY FILE NO. PPR234



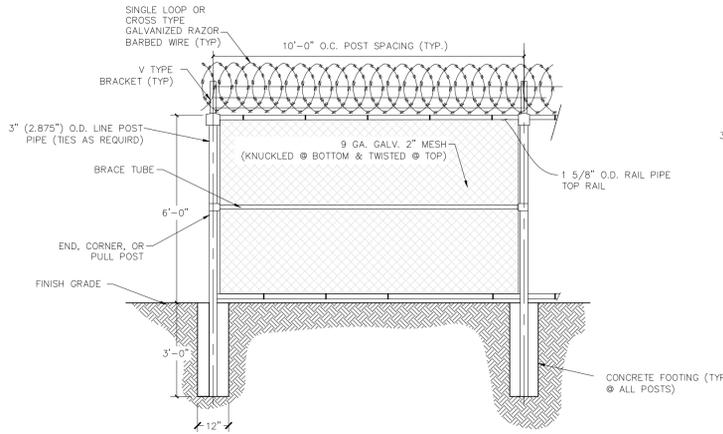
212 N. WAHSATCH AVE., STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.955.5485

SHEET 2 OF 3

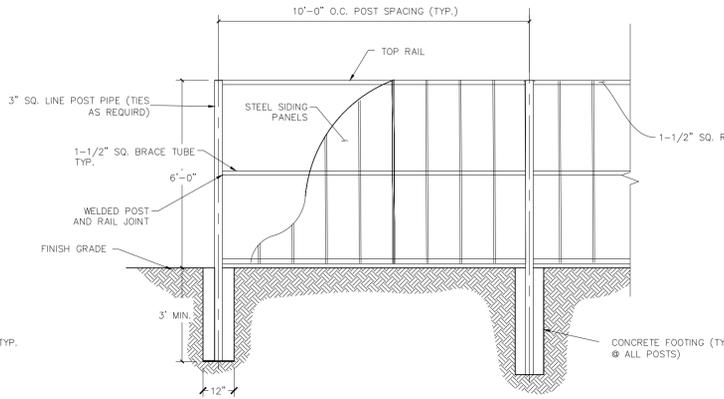
BRADLEY POINT FILING NO. 1  
SITE DEVELOPMENT PLAN  
JOB NO. 70-077  
DATE PREPARED: 05/31/24  
DATE REVISED:

# BRADLEY POINT FILING NO. 1-DRY SUBDIVISION SITE DEVELOPMENT PLAN

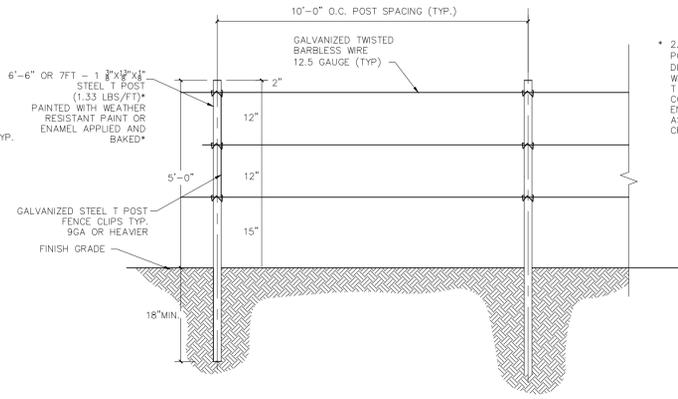
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IN SECTION 3, T15S R66W, 6th P.M., EL PASO COUNTY, COLORADO



**A** 6' CHAIN-LINK FENCE DETAIL  
OR EQUAL



**B** 6' STEEL PANEL FENCE DETAIL  
OR EQUAL



**C** 5' BARWIRE FENCE DETAIL  
OR EQUAL

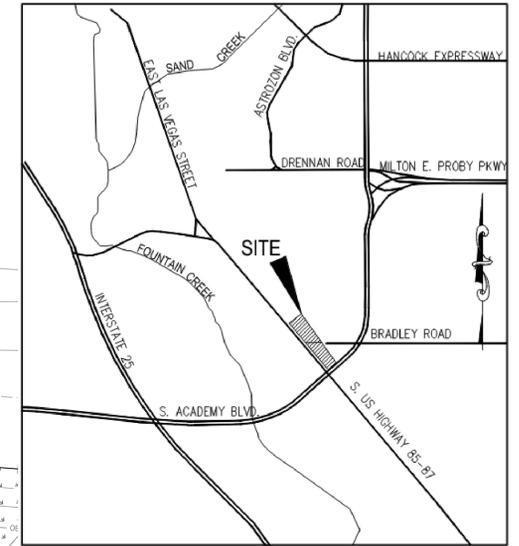
\* 2.375" O.D. ROUND METAL POSTS EMBEDDED IN 8" DIA. 3" THICK CONCRETE WILL BE SUBSTITUTED FOR T POSTS AT END OR CORNER POSTS. END AND CORNER POST ASSEMBLIES SHALL BE CROSS BRACED.

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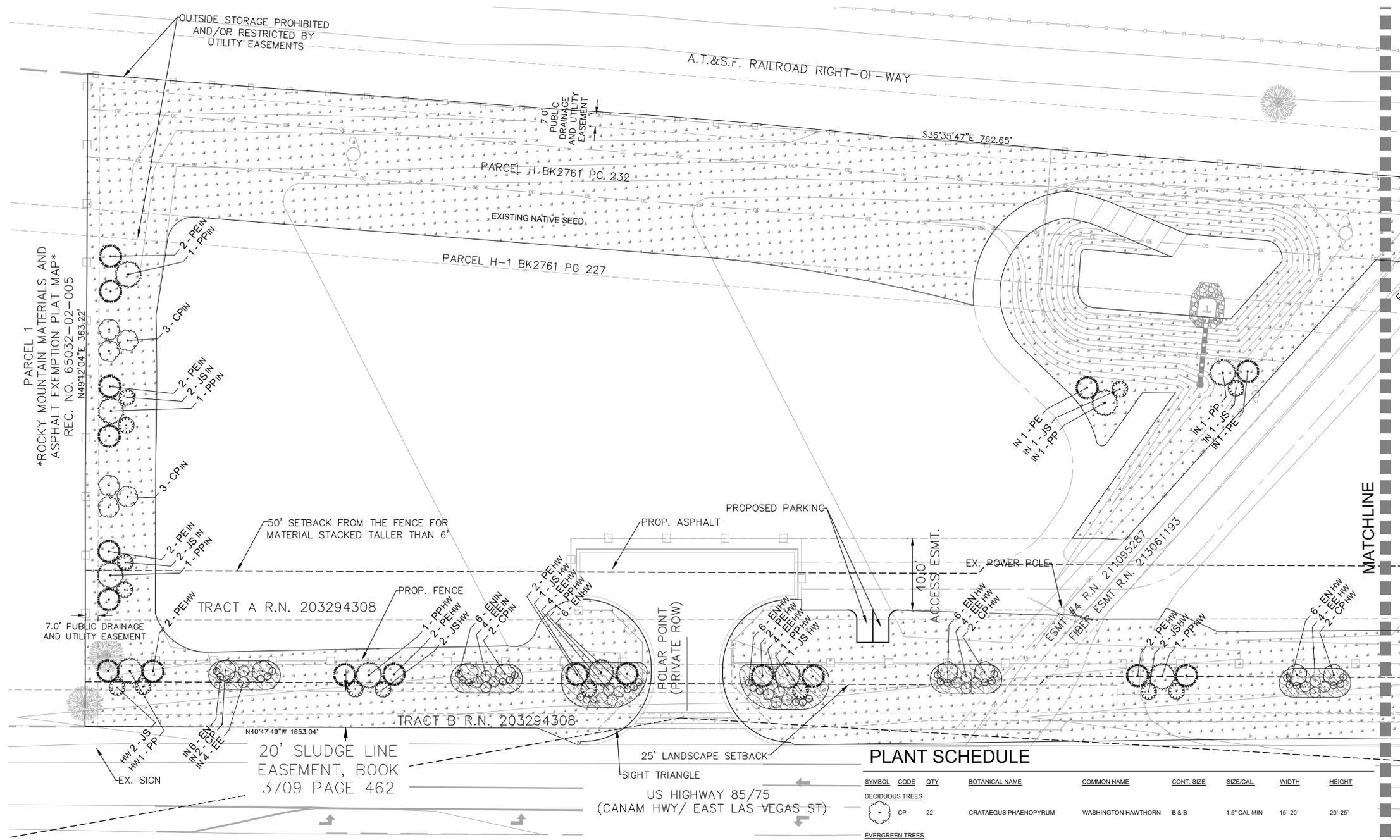
EL PASO COUNTY FILE NO. PPR243

BRADLEY POINT FILING NO. 1  
SITE DEVELOPMENT PLAN  
JOB NO. 70-077  
DATE PREPARED: 05/31/24  
DATE REVISED:

# BRADLEY POINT FILING NO. 1- DRY SUBDIVISION LANDSCAPE PLAN



VICINITY MAP  
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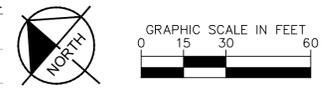
LANDSCAPE SETBACKS AND BUFFERS				
STREET NAME OR BOUNDARY:	HWY 85-87	SOUTH BNDY	EAST BNDY	NORTH BNDY
ZONE DISTRICT BOUNDARY:	NO	NO	NO	NO
STREET CLASSIFICATION:	EXPRESSWAY	N/A	N/A	N/A
SETBACK DEPTH REQUIRED / PROVIDED:	25' / 25'	N/A	N/A	N/A
LINEAR FOOTAGE:	1375'	256'	1372'	363'
TREE PER FEET REQ.:	1 TREE PER 20 LF	N/A	N/A	N/A
NUMBER OF TREES REQ. / PROV.:	68 / 60	N/A	N/A	N/A
EVERGREEN TREES REQ. / PROV.:	N/A	N/A	N/A	N/A
SHRUB SUBSTITUTES REQ. / PROV.:	80 / 80	N/A	N/A	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.:	N/A	N/A	N/A	N/A
OPAQUE SCREEN REQ. / PROV.:	N/A	N/A	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	HW	N/A	N/A	N/A
% GROUND PLANE VEG. REQ. / PROV.:	75% / 75%	N/A	N/A	N/A

INTERNAL LANDSCAPING	
GROSS SITE AREA:	303,830 SF (6.97 AC)*
PERCENT MINIMUM INTERNAL AREA:	5%
INTERNAL LANDSCAPE AREA REQ. / PROV.:	15,1915 SF / 160,063 SF
TREE PER FEET REQ.:	1 TREE PER 500 SF
INTERNAL TREES REQ. / PROV.:	31 / 29
SHRUB SUBSTITUTES REQ. / PROV.:	20 / 20
ORN. GRASS SUBSTITUTES REQ. / PROV.:	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	IN
% GROUND PLANE VEG. REQ. / PROV.:	75% / 75%

\*NOTE: TOTAL GROSS SITE AREA IS 424,013SF. GROSS SITE AREA SHOWN ABOVE HAS HAD THE TOTAL SF ENCOMPASSED BY THE OVERHEAD POWERLINE EASEMENT (120,183SF) DEDUCTED FROM IT. (424,013SF - 120,183SF = 303,830SF) SEE ALTERNATIVE LANDSCAPE REQUEST.

## PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
<b>DECIDUOUS TREES</b>								
CP		22	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	B & B	1.5" CAL MIN	15'-20'	20'-25'
<b>EVERGREEN TREES</b>								
JS		24	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	6' HGT.	8'-12'	20'-30'
PE		28	PINUS EDULIS	PINON PINE	B & B	6' HGT.	15'-20'	20'-30'
PP		15	PINUS PONDEROSA	PONDEROSA PINE	B & B	6' HGT.	30'-40'	60'+
<b>DECIDUOUS SHRUBS</b>								
EN		60	ERICAMERIA NAUSEOSA GLABRATA	TALL GREEN RABBITBRUSH	5 GAL	SEE PLAN	4'-6"	3'-6"
<b>EVERGREEN SHRUBS</b>								
EE		40	EPHEDRA EUISETINA	BLUESTEM JOINT FIR	5 GAL	SEE PLAN	3'-8"	4'-6"
<b>GROUND COVERS</b>								
SEED		185,165 SF	EPC LOW GROW MIX		SEED	21 LBS / ACRE		
W.M.		6,824 SF	GORILLA HAIR WOOD MULCH		WOOD MULCH	4"	YES	PIONEER SAND



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2 NORTH NEVADA AVENUE, SUITE 900  
COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

LANDSCAPE PLAN  
SHEET 01 OF 04

LANDSCAPE PLAN - PCID FILE NO. PPR243

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# BRADLEY POINT FILING NO. 1- DRY SUBDIVISION

## LANDSCAPE PLAN

### GENERAL LANDSCAPE SPECIFICATIONS

#### A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

#### B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THEREO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

#### C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

#### D. MATERIALS

##### 1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

##### 2. PLANT MATERIALS

- a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK (INCLUDED BARK); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- g. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
- i. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

##### E. SOIL MIXTURE

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 6.5, AND SOLUBLE SALTS LESS THAN 5.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

##### F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

\* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

##### G. FERTILIZER

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

\* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

#### H. MULCH

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

#### I. DIGGING AND HANDLING

1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTRIFUR" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
3. B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

#### J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

#### K. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

#### L. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

#### M. PLANTING PROCEDURES

1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK UPON ARRIVAL AT THE SITE. PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.

19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.

21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

#### N. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH, DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

#### 4. SODDING

- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

- b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

#### 6. LAWN MAINTENANCE

- WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.

- b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

#### O. EDGING

- a. CONTRACTOR SHALL INSTALL 4"x2" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

#### P. CLEANUP

- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

#### Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

#### R. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

#### S. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

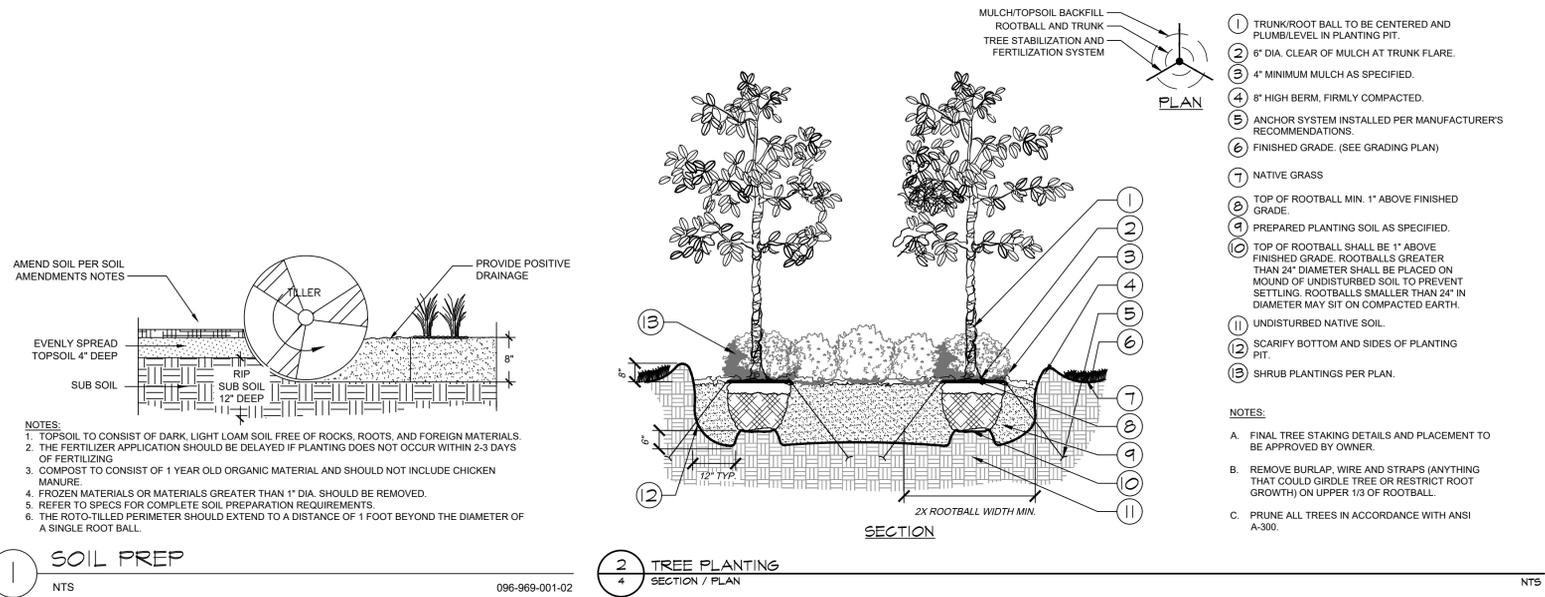
#### T. PARKING LOT ISLAND NOTE

1. THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR INSTALLATION.

#### U. MAINTENANCE

1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, AND/OR THEIR ASSIGNS.
2. ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

# BRADLEY POINT FILING NO. 1- DRY SUBDIVISION LANDSCAPE PLAN



1 SOIL PREP  
NTS

2 TREE PLANTING  
SECTION / PLAN

096-969-001-02

NTS

**Table B. El Paso County All-Purpose Low Grow Mix for Upland and Transition Areas**

Common Name	Scientific Name	Growth Season/Form	% of Mix	Pounds PLS		
				Irrigated broadcast Irrigated hydroseeded (80 seeds/sq ft)	non-irrigated broadcast non-irrigated hydroseeded irrigated drilled (40 seeds/sq ft)	non-irrigated drilled (20 seeds/sq ft)
Buffalograss	<i>Buchloe dactyloides</i>	Warm, sod	25	9.6	4.8	2.4
Blue Grama	<i>Bouteloua gracilis</i>	Warm, bunch	20	10.8	5.4	2.7
Sideoats Grama	<i>Bouteloua curtipendula</i>	Warm, bunch	29	5.6	2.8	1.4
Green Needlegrass	<i>Nassella viridula</i>	Cool, bunch	5	3.2	1.6	0.8
Western Wheatgrass	<i>Pascopyrum smithii</i>	Cool, sod	20	12.0	6.0	3.0
Sand Dropseed	<i>Sporobolus cryptandrus</i>	Warm, bunch	1	0.8	0.4	0.2
Seed rate (lbs PLS/acre)				42.0	21.0	10.3

## NATIVE SEED INSTALLATION AND MAINTENANCE

- A. NATIVE SEED ESTABLISHMENT**
- ALL AREAS WITH NATIVE LAWN MIX (SEED)** SHALL RECEIVE 3 CUBIC YARD OF ORGANIC MATTER PER 1000 SQ. FT. PRIOR TO SEEDING. THE CONTRACTOR SHALL PROVIDE A DELIVERY RECEIPT AND/OR PROOF OF ORGANIC MATTER DELIVERY TO THE LANDSCAPE ARCHITECT FOR THE PROJECT RECORDS.
  - ALL NATIVE SEED AREAS** SHALL HAVE SOIL TILLED TO A DEPTH OF 8-INCHES, PRIOR TO AND WITHIN TWO-WEEKS OF SEEDING. THIS SHALL BE CONDUCTED TO ELIMINATE COMPACTED SOILS AND REMOVE EXISTING VEGETATION.
  - CONTRACTOR SHALL INSTALL NATIVE SEED MIXES VIA DRILL SEEDING AT THE RATES DESCRIBED IN THE PLANT SCHEDULE. HYDROSEEDING AND BROADCAST SEEDING ARE NOT PERMITTED.
  - NATIVE SEED MIXES SHALL BE INSTALLED ONCE NIGHTTIME TEMPERATURES CONSISTENTLY EXCEED 60 DEGREES. (ESTIMATED MID-JUNE)
  - CHEMICAL METHODS OF WEED CONTROL ARE PROHIBITED DURING THE FIRST GROWING SEASON. CARE SHOULD BE TAKEN TO ELIMINATE WEEDS DURING TILLING PRIOR TO INSTALLATION. SELECTIVE MANUAL OR MECHANICAL WEED CONTROL/REMOVAL SHALL BE PROVIDED DURING THE FIRST YEAR ESTABLISHMENT PERIOD.
- B. NATIVE LAWN MIX MAINTENANCE**
- ONCE ESTABLISHED, **ALL AREAS WITH NATIVE LAWN MIX** SHALL BE MOWED ONCE PRIOR TO SPRING GREENING UP (FEBRUARY TO MARCH), A SECOND MOWING SHALL BE SCHEDULED AFTER INITIAL SPRING GROWTH AND GREENING UP (LATE JUNE TO EARLY JULY). NATIVE LAWN MIX SHALL NOT RECEIVE REGULAR MOWING THROUGHOUT THE REMAINDER OF THE GROWING SEASON. MOW DECK HEIGHT SHALL BE SET TO 4" MINIMUM.
  - AFTER ESTABLISHMENT, **ALL AREAS WITH NATIVE LAWN MIX** SHALL MAINTAIN A REGULAR WATERING SCHEDULE THROUGHOUT AT LEAST THE SECOND GROWING SEASON. PROVIDE APPROXIMATELY ¾" TO 1" OF PRECIPITATION EVERY 7 TO 10 DAYS.
  - APPLY ½ LB. OF NITROGEN PER 1000 SQ. FT. ANNUALLY IN MID-JUNE.

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LANDSCAPE DETAILS  
SHEET 04 OF 04

LANDSCAPE PLAN - PCID FILE NO. PPR243

Project Name: Bradley Point Site Development Plan  
Applicant: M&S Civil Consultants, Inc  
EA Number: EA20100  
Project Mgr: Ryan Howser  
Submittal Item: Lighting Plan

### **Site Lighting**

The site is private and is not intended for public use, as such no site lighting is proposed with the site development plan.