

Mayberry PUD 2 Submittal 3

EDARP Agency Comments Summary

LJA Response

September 21, 2026

Please refer to the table below for responses to the El Paso County review comments. For ease of review, responses have been provided directly within the table to correspond with each individual comment.

AGENCY	COMMENT	DATE
County Attorney - Water	See attached Water Supply Review and Recommendations. Response: Per the attached letter – no further action required.	8/12/2026 9:08:52 AM
EPC Parks Department	El Paso County Parks staff has attached the second review for this project. Thank you! Ashlyn Mathy Parks Planner Park Planning Division El Paso County Parks Department Office 719.520.6978 Response: The EPC Regional Trail, as depicted on the approved Sketch Plan, has been identified across the plan sets. A note has also been added the PUD Page 2 to indicate agreement on the location.	8/18/2026 2:34:31 PM
911 Authority - El Paso/Teller County	Comments for E911 as follows: Cattlemen View – Logical continuation- Cattlemen Run (Public) to Cattlemen View (Private) The drawings are inconsistent, some pages depict Cattlemen View, others Cattlemen Loop. Please ensure that all drawings depict Cattlemen View. Based on the layout of the streets on the provided plan drawings it is not logical that Cattlemen View continue to loop around the development. Cattlemen View should stop at the intersection with Front Porch View, with the southern portion of the loop as a continuation of Front Porch View Crossroads Point – Available The plan drawings appear to indicate two distinct sections of Crossroads Pt, one	8/26/2026 10:08:02 AM

	above Cattlemen View, and another below. Are these intended to connect? If not, please submit a unique name for one of these. Pasture View - Available Front Porch View - Available Town Green Point - Available Gathering Point - Available Shade Tree Grove - Available Thank you. Justin Response: The road name locations have been revised and a new name has been chosen for the north eastern private road after reviewing the lists of available names – Neighborly Point.	
Colorado Department of Transportation - Pueblo Office	A CDOT Benchmark Permit for the overall Mayberry development regarding access to the state highway system is currently being drafted. Please note that a separate CDOT Access Permit will also be required for this phase of the development prior to subdivision platting. Response: A draft copy is requested and Mayberry will follow up separately with CDOT. This coordination should not deflect public hearings.	8/27/2026 10:02:43 AM
Pikes Peak Regional Building Department	Enumerations has the following comments: 1. Enumerations is in agreement with the changes the 911 Authority recommended regarding the naming of streets. Update this plan to show the corrected street names. 2. Once all street naming has been updated, submit a copy of the plat for address assignment. Brent Johnson Enumerations Plans Examiner Pikes Peak Regional Building Department O: 719-327-2888 E: brent@pprbd.org W: pprbd.org Response: The road name locations have been revised and a new name has been chosen for the north eastern private road after reviewing the lists of available names – Neighborly Point. An address plat will be provided with the Final Plat process.	9/1/2026 10:49:19 AM
Mountain View Electric	See Previous Comment letter dated 10/29/2025 MVEA requests 10' front, side and rear and 20' exterior utility easements on plat.	9/1/2026 11:18:15 AM

Association, Inc.	Response: The Mayberry team met with MVEA on September 16, 2026, to discuss utility routing and easements. MVEA has indicated that all required utility easements must be dedicated through the Final Plat process. The final location and width of easements associated with electrical lines and equipment will be determined and finalized collaboratively by MVEA and the Mayberry team as part of the final line and equipment design. The preliminary utility easement layout shown on the PUD is sufficient to advance the project through the PUD review process.	
County Attorney - Development Review	Please address County Attorney Development Review comments from 7/1/26 regarding the ROW License Agreement and submit updated draft with Exhibits for review before finalizing. Thanks. Reviewed by: Erika Keech, Sr. County Attorney, erikakeech2@elpasoco.com. Response: Per PCD PM, we utilize the applicant option to defer the ROW Maintenance agreement at this time. We are waiting until the Final Plat Process to assemble the exhibits.	9/1/2026 2:19:06 PM
Colorado Geological Survey	The CTL Thompson response to review comments (Revised August 19, 2026) generally addresses CGS's previous comments. CGS has no additional comments for the Phase 2 PUD development plan. Submitted 9/7/2026 by Amy Crandall, Engineering Geologist, Colorado Geological Survey (303-384-2632 or acrandall@mines.edu) Response: Understood. This note has been added to the Plans to address EPC Planning Comments: <u>GEOLOGIC HAZARD NOTE:</u> A GEOLOGIC HAZARDS EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION, MAYBERRY – 540 ACRE SITE, STATE HIGHWAY 94 AND LOG ROAD, EL PASO COUNTY, COLORADO DATED MARCH 13, 2023, AND A LETTER TITLED, RESPONSE TO REVIEW COMMENTS DATED AUGUST 19, 2026, IS INCLUDED WITHIN THE SUBMITTAL PACKAGE. GEOLOGIC HAZARDS THAT PRECLUDE THE PROPOSED DEVELOPMENT WERE NOT IDENTIFIED. COLLAPSE PRONE SOILS WERE IDENTIFIED IN ONE SUBSURFACE SAMPLE BUT COULD BE ENCOUNTERED ANYWHERE WITHIN PUD 2. MITIGATION OF COLLAPSE	9/7/2026 9:38:24 AM

	PRONE SOILS CAN BE ACCOMPLISHED BY OVER-EXCAVATION AND RECOMPACTION.	
EPC DPW Stormwater	Review 3: EPC DPW Stormwater comments have been provided (in orange text boxes) on the following uploaded document(s) (to be uploaded by EPC PM or DS Engineer): - PUD Development Plan EPC DPW Stormwater comments have been resolved on the following document(s): - Preliminary Drainage Report Reviewed by: Zachary Jannusch Associate Engineer - Stormwater 719.500.3170 ZacharyJannusch@elpasoco.com Response: A typical side swale cross section has been evaluated for capacity. The hydraulic calculation indicates adequate capacity for the 100yr storm. A Cross section has been added to the plans and the calculations are within the PDR appendix.	9/8/2026 12:16:33 PM
PCD Project Manager	Review 3: PCD Planning Division comments have been provided (in green) on the following uploaded documents: - Letter of Intent (to be uploaded by Engineering) Response: The LOI has been modified and the LOI comments have been addressed. - PUDSP (to be uploaded by Engineering) Response: The PUDSP has been modified and the PUDSP comments have been addressed. - Wastewater Disposal Report (attached; V1 comments still apply) Response: The Wastewater Disposal Report has been amended to include additional documentation requested during County staff's meeting with Mayberry ownership on 9/16/26. The previously submitted 7/24/26 EUC statement of compliance letter should also remain in the record.	9/8/2026 2:39:43 PM
PCD Engineering Division	Engineering Review Ver. 3 Please see engineer comments on the following documents PUDSP_V3	9/8/2026 5:50:18 PM

	LOI_V3 Engineering ECM related PUD modifications and Deviations have been forwarded for review No PID request for EPC Road Impact Fee is needed as no PID is requested from Applicant Provide copy of the Noise Study with the Final Plat application. ROW Licensing Agreement to be completed prior to Final Plat approval Edward Schoenheit, Engineer E.P.C. Dept. of Public Works 2880 International Circle Colorado Springs, CO. 80910 Office: 719.520.6813 Cell: 719.502.9659 edwardschoenheit@elpasoco.com https://publicworks.elpasoco.com/departments-public-works/county-engineer/ Charlene Durham, P.E. Principal Engineer E.P.C. Department of Public Works 2880 International Circle Colorado Springs, CO. 80910 Office: 719.520.7951 Cell: 719.500.9524 https://planningdevelopment.elpasoco.com/ Response: We concur with the above statements: No PID request, a noise study will be conducted and provided with final plat and the ROW Licensing agreement will be completed with Final Plat.	
PCD Engineering Division	LOI_V3 Response: The Letter of Intent has been updated. Responses to comments are provided on the corresponding PDFs.	9/8/2026 5:31:31 PM
PCD Engineering Division	PUDSP_V3 Response: The PUD Site Plan has been updated. Responses to comments are provided on the corresponding PDFs.	9/8/2026 5:32:29 PM
Ellicott Fire Protection District	Separation between buildings does not meet Colorado WRC distance separation requirements (Chapter 4). Response document does not address structure hardening.	9/9/2026 2:09:54 PM

	Due to El Paso County Planning water policy, a separate water plan showing fire hydrants and flows must be submitted directly to the Ellicott Fire Protection District complying with the adopted fire code. Response: As previously stated, the WRC does not apply to this application as the WRC was adopted after the PUD application was submitted. Fire hydrants are illustrated on plan sheet 15 – Overall Utility Plan – of the PUD/SP plan set in the color CYAN. Fire hydrant flows will be in conformance with fire code. Flow test verification to be conducted following installation.	
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LETTER OF INTENT

MAYBERRY PHASE 2 PUD

**PUD DEVELOPMENT PLAN & PRELIMINARY PLAN
PUDSP251**

PREPARED FOR:
EL PASO COUNTY

PREPARED BY:
LJA

ON BEHALF OF:
MAYBERRY COMMUNITIES, LLC
32823 TEMECULA PARKWAY
TEMECULA, CA 92592
ATT: SCOTT SOUDERS

Submittal 2: June 15, 2026
Submittal 3: August 21, 2026



August 21, 2026

PARCEL Nos.: 3414201024, 3414205001, 3400000472, 3414206001, 3400000473

AREA: ±18.70 AC

EXISTING ZONING: PUD

LOCATION: State Highway 94 to the north, Marketplace Drive to the west, Mayberry Drive to the east, and Indian Grass Street to the south.

INTRODUCTION

LJA Engineering, on behalf of Mayberry Communities, LLC, is pleased to submit the Mayberry Phase 2 PUD Development Plan and Preliminary Plan application. The Project represents a continuation of the approved Mayberry development and focuses on the development of residential attached single-family and associated open space areas. Submitted is a combination of the Preliminary Plan map with the PUD for concurrent BOCC approval to develop the proposed residential community.

Mayberry Phase 2 is located adjacent to the approved Mayberry Phase 1 development. The Project encompasses approximately 18.70 acres and includes high-density residential uses, public amenities, open space, and right-of-way dedication. Existing infrastructure constructed within the overall Mayberry development includes portions of Mayberry Drive (formerly New Log Road), Village Main Street, Marketplace Drive, and Positive Place.

Development Program:

This PUD establishes the development framework for Tract K, as originally identified in Mayberry Filing No. 1. The Project proposes 92 single-family attached residential units (paired home) and six single-family detached units on approximately 8.31 acres, resulting in a density of 11.79 DU/AC. The site design includes access from public rights-of-way and a network of private streets, along with pedestrian facilities, landscape buffering, open space, and tracts for drainage and utility infrastructure.

The application includes PUD modifications to allow private streets with modified cross-sections, reduced side yard setbacks, and associated utility easement configurations necessary to support the proposed layout. These are detailed with the PUD Development Plan set in the provided modifications table.

PUD Development Standards:

The development standards applicable to Mayberry Phase 2 are established and fully detailed on the PUD Development Plan cover sheet. To maintain consistency and avoid duplication, all governing land use criteria, dimensional standards, and regulatory requirements for the Project are identified therein. These standards, in conjunction with applicable covenants and County regulations, shall govern the development of the property and serve as the basis for determining compliance for all subsequent development within the PUD.

PUD DEVELOPMENT CRITERIA ANALYSIS & JUSTIFICATION

(LDC Chapter 4 – PUD Criteria of Approval, LDC 4.2.6.D)

The following provides a summary of how the proposed PUD Development Plan complies with the applicable criteria of approval in Chapter 4 of the El Paso County Land Development Code.

The proposed PUD District zoning advances the stated purposes set forth in this Section

Response: The Mayberry Phase 2 PUD advances the purposes of the Planned Unit Development District by providing a coordinated and innovative residential development that integrates housing, open space, trails, parks, and supporting infrastructure within a unified development framework. The proposed PUD allows flexibility in lot configuration, setbacks, roadway design, and site planning to create a walkable, pedestrian-oriented neighborhood while promoting efficient land utilization, preservation of open space, multimodal transportation options, and coordinated infrastructure delivery consistent with the LDC district.

The application is in general conformity with the Master Plan

Response: The Project is in general conformity with the El Paso County Master Plan, including the Your El Paso Master Plan, Water Master Plan, Parks Master Plan, and approved Mayberry Sketch Plan. The Project supports the planned growth framework for the Highway 94 corridor through compact residential development, multimodal connectivity, integrated open space, and recreational amenities. Water service will be provided by Ellicott Utilities Company, which has demonstrated sufficient long-term water availability. The Project also implements regional trail connections, community gathering spaces, park amenities, and recreational opportunities consistent with County planning objectives and the long-term vision established for the Mayberry community.

These additional details have been included in the revised Letter of Intent.

review comment not addressed: Missing analysis of consistency with the land use element of the Your El Paso Master Plan - placetype, area of change, and key area analysis are required components.

Sketch Plan:

The Project is consistent with the approved Mayberry Communities Sketch Plan (SKP236), as amended. The proposed land use, density, and development pattern conform to the designated residential areas and planned infrastructure framework established for the overall Mayberry development.

Water Master Plan:

The El Paso County Water Master Plan identified the proposed Mayberry PUD as being served by water providers in Region 5 which includes Elliott Utility Company (EUC-which acquired the assets of Ellicott Springs) and Cherokee Metropolitan District(CMD). The master plan identified seven water service provider goals. EUC is currently advancing several of these goals through its agreements with CMD such as "Promote cooperation among water providers to achieve increased efficiencies on infrastructure" - Goal 3.1, "Promote cooperation among water providers to achieve increased efficiencies on treatment" – Goal 3.2, and "Encourage the interconnection of infrastructure owned by water providers and projects that will have access to more than one water source, both to foster conjunctive use and to better accommodate water supply emergencies" – Goal 3.7. The Mayberry Phase 2 PUD development in particular is advancing the goal of "Encourage water providers to adapt to drought conditions" – Goal 3.5 by limiting the amount of irrigated turf on each residential lot and providing other irrigated areas controlled and irrigated by a public entity to promote greater irrigation efficiencies.

Parks Master Plan:

The site is identified within the El Paso County Parks Master Plan as a Candidate Regional Park/Open Space Area, supporting the long-term vision for expanded recreational amenities and connectivity within the region. The Mayberry development incorporates an integrated network of open space and trail corridors designed to connect residential areas with existing and planned parks, consistent with the Master Plan framework.

The proposed development advances key goals of the Parks Master Plan by providing multi-modal connectivity and accessible recreational opportunities throughout the community. Internal pedestrian and trail connections support a cohesive "live, work, play" environment, allowing residents convenient access to open space and amenities within a walkable distance.

Specifically, the development aligns with the following Parks Master Plan objectives:

- **Goal 2.A – Regional parks, open space, and trail provision:**
The Project incorporates trail connections and open space areas that contribute to the broader regional system and support planned park facilities within the Mayberry development.
- **Goal 3.A – Connectivity and active transportation:**
The internal trail network and pedestrian system provide direct connections between residential uses, open space, and adjacent development areas, enhancing walkability and supporting active transportation.
- **Goal 1.B – Recreational amenities and user experience:**
The integration of open space and interconnected trail corridors creates opportunities for community gathering, passive recreation, and enhanced user experience across the development.
- **Goal 2.B – Coordination with long-range planning efforts:**
The Project has been designed in coordination with County planning and Parks staff to ensure consistency with long-range growth, infrastructure planning, and regional park system objectives.
Overall, the Mayberry Phase 2 development supports implementation of the El Paso County Parks Master Plan by contributing to an interconnected system of parks, trails, and open space, while enhancing accessibility and recreational opportunities for future residents.

The proposed development is in compliance with the requirements of this Code and all applicable statutory provisions and will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of El Paso County.

Response: The Project has been designed in compliance with the applicable provisions of the El Paso County Land Development Code, Engineering Criteria Manual (ECM), and applicable State statutes. Supporting technical studies addressing drainage, noise, traffic, water supply, utilities, fire protection, and geotechnical conditions demonstrate that the proposed development can be safely developed and adequately served by public facilities and infrastructure. Requested deviations and PUD modifications have been specifically identified and justified based upon site design objectives, pedestrian safety, and community benefits and will not adversely impact public health, safety, or welfare.

The subject property is suitable for the intended uses and the use is compatible with both the existing and allowed land uses on the neighboring properties, will be in harmony and responsive with the character of the surrounding area and natural environment, and will not have a negative impact upon the existing and future development of the surrounding area.

Response: The property is suitable for the proposed residential uses and has been planned as part of the larger Mayberry community through prior Sketch Plan and PUD approvals. The Project is surrounded by existing and planned residential, commercial, park, open space, and transportation facilities that support the proposed development pattern. The proposed density, lot configuration, trail network, landscaping, and public amenities are consistent with the established character of the Mayberry development and will not negatively impact surrounding or future development.

The proposed development provides adequate consideration for any potentially detrimental use-to-use relationships and provides an appropriate transition or buffering between uses of differing intensities.

Response: The Project provides appropriate transitions between residential uses, adjacent roadways, open space areas, future park sites, and future commercial development. Open space tracts, landscaping, trail corridors, setbacks, and roadway design features provide buffering between differing land use intensities. The site design minimizes potential conflicts between residential uses and adjacent transportation corridors while maintaining strong pedestrian and recreational connections throughout the community.

The allowed uses, bulk requirements, and required landscaping and buffering are appropriate to and compatible with the type of development, the surrounding neighborhood or area, and the community.

Response: The proposed residential uses, density, setbacks, building standards, landscaping, and buffering requirements are appropriate for the planned neighborhood character of Mayberry. Development standards have been tailored through the PUD process to support a higher quality community design while maintaining compatibility with adjacent development. The landscape plan provides perimeter landscaping, streetscape enhancements, buffers along Highway 94, and integrated open space treatment that contributes to community character and visual compatibility.

Areas with unique or significant historical, cultural, recreational, aesthetic, or natural features are preserved and incorporated into the design of the project.

Response: The Project site consists primarily of undeveloped prairie grassland within the planned Mayberry community and does not contain any identified historical, cultural,

geological, or natural features that would preclude or significantly constrain development. The development has been designed to incorporate recreational and aesthetic amenities through the inclusion of Griffith Square, Entry Park, Mayberry Courts, landscaped open spaces, and regional trail connections that enhance community character and provide recreational opportunities for future residents. These features are integrated throughout the development and contribute to the overall quality, identity, and connectivity of the Mayberry community.

Open spaces and trails are integrated into the development plan to serve as amenities to residents and provide reasonable walking and biking opportunities.

Response: The development integrates open space, park areas, and trail connections consistent with County Parks requirements and the previously approved Mayberry Sketch Plan. Open space and trail facilities are integral components of the Project. The development incorporates regional trail connections, internal sidewalks, pedestrian pathways, open space tracts, and direct connections to future park amenities, including Griffith Square and Entry Park. These facilities create a connected network that encourages walking, bicycling, recreation, and neighborhood interaction while providing meaningful amenities to future residents. The Project also includes dedication of a regional trail easement and construction of trail improvements, providing connectivity within the Mayberry development and to the broader regional system. Open space areas are integrated throughout the development to support connectivity and recreation. This development will also establish the previously approved park site (approved at Parks Board 11/12/25).

The proposed development will not overburden the capacities of existing or planned roads, utilities, and other public facilities, and the required public services and facilities will be provided when needed.

Response: Supporting utility, traffic, drainage, and service provider documentation demonstrates that adequate infrastructure and public facilities exist or will be provided to serve the proposed development. Water and wastewater service will be provided by Ellicott Utilities Company and water capacity has been confirmed by the Department of Water Resources. Electric and gas service will be provided by Mountain View Electric Association and Black Hills Energy. Transportation improvements and internal circulation systems have been evaluated through the Traffic Impact Study and associated engineering reports. Public services and infrastructure improvements will be constructed concurrent with development phases to support projected demand.

TRAFFIC ANALYSIS

Please see separate traffic study for analysis.

The proposed development would be a benefit through the provision of interconnected open space, conservation of environmental features, aesthetic features and harmonious design, and energy efficient site design.

Response: The Project provides substantial public and community benefits through the creation of a connected network of open space, trails, parks, pedestrian facilities, recreation opportunities, and neighborhood gathering spaces. The integrated design promotes walkability, connectivity, efficient infrastructure utilization, and coordinated community development. Landscaping, street design, and open space amenities contribute to the overall appearance and functionality of the development while enhancing quality of life for future residents.

The proposed land use does not permit the use of any area containing a commercial mineral deposit in a manner that would unreasonably interfere with present or future extraction unless acknowledged by the mineral rights owner.

Response: The Project does not unreasonably interfere with the extraction of any known commercial mineral deposit. Required mineral rights certifications have been submitted in accordance with County procedures, and no issues have been identified that would preclude approval of the proposed development.

Any proposed exception or deviation from the requirements of the zoning resolution or subdivision regulations is warranted by virtue of the design and amenities incorporated in the development plan and development guide.

Response: Requested PUD modifications and Special Zone standards are warranted by the design objectives and amenities incorporated into the Project. Modifications related to roadway cross-sections, private streets, parking configurations, setbacks, trail integration, and pedestrian-oriented improvements support the creation of a distinctive, walkable neighborhood environment. These modifications provide enhanced multimodal connectivity, improved pedestrian safety, additional recreational opportunities, and coordinated open space amenities while maintaining functionality and compatibility with surrounding development.

The owner has authorized the application.

Response: The application has been submitted by the property owner and authorized applicant, Mayberry Communities, LLC, and all required owner authorizations have been provided as part of the application materials.

PRELIMINARY PLAN CRITERIA ANALYSIS & JUSTIFICATION

(LDC Chapter 7 – Preliminary Plan Criteria 7.2.1.D.2.e)

The following provides a summary of how the proposed Preliminary Plan complies with the criteria of approval in Chapter 7 of the El Paso County Land Development Code.

The proposed subdivision is in general conformance with the goals, objectives, and policies of the Master Plan.

Response: Mayberry Phase 2 is in general conformance with the El Paso County Master Plan, including the Your El Paso Master Plan and the approved Mayberry Sketch Plan. The Project implements the planned residential growth framework for the eastern portion of the County by providing a compact neighborhood design integrated with open space, parks, trails, multimodal transportation facilities, and community gathering areas. The development supports long-term County goals related to housing choice, neighborhood connectivity, efficient infrastructure utilization, recreation opportunities, and coordinated growth.

The subdivision is consistent with the purposes of this Code.

Response: The proposed subdivision is consistent with the purposes of the El Paso County Land Development Code by promoting orderly growth, ensuring adequate public facilities and infrastructure, providing safe and efficient circulation systems, protecting public health and safety, and establishing a coordinated pattern of development. The Project creates legal lots, tracts, access, infrastructure, and open space areas in a manner consistent with County subdivision requirements and supports the long-term development vision established for Mayberry.

The subdivision is in conformance with the subdivision design standards and any approved sketch plan.

Response: The proposed subdivision is designed in accordance with the approved Mayberry Sketch Plan and applicable subdivision design standards of the Land Development Code and Engineering Criteria Manual, except where specifically modified through approved PUD standards and requested deviations. The Preliminary Plan establishes lot layouts, roadway alignments, open space tracts, utility corridors, pedestrian facilities, and park areas that implement the approved planning framework and provide an organized and coordinated development pattern.

A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed.

Response: Water service for Mayberry Phase 2 will be provided by Ellicott Utilities Company. Documentation submitted with the application demonstrates that an adequate water supply is available to meet the demands of the proposed residential development and associated amenities. The Department of Water Resources has verified the availability of sufficient water capacity to serve the project. Water resources have been planned as part of the larger Mayberry community and are capable of meeting projected domestic, irrigation, and fire protection demands in accordance with County requirements and Chapter 8 standards.

A public sewage disposal system has been established and complies with applicable requirements.

Response: Sanitary sewer service will be provided by Ellicott Utilities Company through an established centralized wastewater collection and treatment system. The proposed subdivision will connect to the public wastewater system, eliminating the need for individual wastewater treatment systems. The proposed utility infrastructure complies with State and local regulations and satisfies the requirements of Chapter 8 of the Land Development Code.

All areas of the proposed subdivision which may involve soil or topographical conditions presenting hazards or requiring special precautions have been identified and the proposed subdivision is compatible with such conditions.

Response: Geotechnical and site constraint evaluations have been completed for the Project area. Potential site constraints, including grading considerations, drainage patterns, utility corridors, and roadway design requirements, have been identified and incorporated into the subdivision design. No known geologic or topographic conditions have been identified that would preclude development of the site. Any identified design constraints will be addressed through final engineering design, construction plans, and project-specific recommendations.

Adequate drainage improvements complying with State law, this Code, and the ECM are provided by the design.

Response: The Preliminary Plan has been designed in coordination with preliminary drainage analysis and incorporates detention, stormwater conveyance, grading, and drainage facilities necessary to manage runoff generated by the proposed development. Drainage improvements will be further refined during final engineering and construction drawing review and will be designed in accordance with the Engineering Criteria Manual

and applicable State requirements. The proposed drainage system is intended to protect downstream properties and prevent adverse impacts resulting from development.

The location and design of the public improvements proposed in connection with the subdivision are adequate to serve the needs and mitigate the effects of the development.

Response: The Project includes public and private improvements necessary to serve the proposed subdivision, including roadway improvements, utility infrastructure, drainage facilities, pedestrian connections, regional trail facilities, landscaping, and recreational amenities. The location and design of these improvements have been coordinated with the overall Mayberry transportation and utility framework and are sufficient to serve the proposed development while mitigating project-related impacts.

Legal and physical access is or will be provided to all parcels by public rights-of-way or recorded easements acceptable to the County.

Response: All proposed lots and tracts will receive legal and physical access through a coordinated system of public roads, private roads, and recorded easements. Access is provided through connections to Mayberry Drive, Marketplace Drive, Village Main Street, Positive Place, and the internal circulation network. The roadway system has been designed to accommodate residents, visitors, service vehicles, and emergency access in accordance with County requirements and approved PUD standards.

The proposed subdivision has established an adequate level of compatibility.

Response: The Project establishes compatibility with surrounding and future development through implementation of the approved Mayberry planning framework and incorporation of the following design elements:

- **Incorporates natural physical features and sufficient open space.**
The subdivision includes open space tracts, trail corridors, park areas, landscape buffers, and community gathering spaces that provide both active and passive recreational opportunities while enhancing community character and livability. Open space is integrated throughout the development rather than isolated in a single location.
- **Supports implementation of County plans and a balanced transportation system.**
The Project incorporates sidewalks, regional trails, pedestrian connections, bicycle accommodations, traffic-calming features, and multimodal infrastructure designed to support a balanced transportation network. The layout promotes walkability and reduces dependence on vehicle travel for access to neighborhood amenities.

- **Provides transitions between the subdivision and adjacent land uses.**
Landscape setbacks, open space areas, roadway corridors, parks, trail systems, and buffering along Highway 94 create appropriate transitions between residential neighborhoods, future commercial areas, transportation facilities, and recreational amenities.
- **Incorporates environmentally sensitive areas into the design where applicable.**
The subdivision design recognizes site constraints and incorporates drainage corridors, open space areas, and landscaped tracts into the overall development framework. No identified environmentally sensitive resources have been negatively impacted through the proposed layout.
- **Incorporates public facilities and infrastructure necessary to support development.**
The Project includes transportation improvements, utility infrastructure, drainage facilities, parks, trails, open space, and recreation amenities necessary to serve future residents while avoiding negative impacts to County service levels and infrastructure systems.

Necessary services, including police and fire protection, recreation, utilities, open space, and transportation systems, are or will be available to serve the proposed subdivision.

Response: Necessary public and private services are available or will be provided concurrent with development. Utility providers have confirmed the ability to serve the Project. Fire protection service, emergency response access, transportation improvements, recreation facilities, open space, and trail systems are incorporated into the development plan. Griffith Square, Entry Park, Mayberry Courts, and associated trail facilities provide recreational and community amenities intended to serve future residents of Mayberry.

The subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of this Code.

Response: The subdivision has been designed with consideration for fire protection requirements, including roadway widths, emergency access, fire lane designations, hydrant placement, utility service, and fire apparatus access requirements. Coordination has occurred with the applicable fire district regarding roadway configurations and emergency access. Fire protection infrastructure will be constructed in conjunction with subdivision improvements and in accordance with Chapter 6 requirements.

The proposed subdivision meets other applicable sections of Chapters 6 and 8 of this Code.

Response: The proposed subdivision has been designed to comply with the applicable provisions of Chapters 6 and 8 of the Land Development Code relating to zoning, development standards, landscaping, transportation, utilities, drainage, fire protection, subdivision improvements, and public facilities. Any requested modifications or deviations are specifically identified within the PUD Development Plan and Special Standards package and are supported by project-specific findings demonstrating consistency with the intent of the Code, the Engineering Criteria Manual, and the approved Mayberry planning framework.

MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN

LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.

PROJECT #: PUDSP251

PURPOSE AND INTENT

MAYBERRY PHASE 2 IS ENVISIONED AS AN EXTENSION OF MAYBERRY, A NEW TOWN BEING DEVELOPED IN THE FRONT RANGE OF EL PASO COUNTY, COLORADO. GUIDED BY THE PRINCIPLES OF TRADITIONAL NEIGHBORHOOD DESIGN, MAYBERRY IS PLANNED AS A COLLECTION OF COMPLETE, INTERCONNECTED COMMUNITIES THAT TOGETHER CREATE A WALKABLE, CONNECTED, AND ENDURING PLACE.

THIS NEW TOWN IS INTENDED TO FOSTER A STRONG SENSE OF COMMUNITY THROUGH A BALANCED MIX OF HOUSING, PARKS, OPEN SPACES, TRAILS, CIVIC GATHERING AREAS, AND COMMUNITY-SERVING AMENITIES. MAYBERRY IS DESIGNED TO ACCOMMODATE RESIDENTS IN A VARIETY OF HOUSING TYPES, INCLUDING CONVENTIONAL SINGLE-FAMILY HOMES, SMALL-LOT HOMES, PAIRED HOMES, TOWNHOMES, COURTYARD HOMES, BUILD-TO-RENT COMMUNITIES, AND MULTIFAMILY RESIDENCES, CREATING HOUSING OPPORTUNITIES FOR INDIVIDUALS AND FAMILIES IN ALL STAGES OF LIFE.

THE DEVELOPMENT IS ORGANIZED AROUND A NETWORK OF INTERCONNECTED STREETS, PEDESTRIAN PATHWAYS, PARKS, OPEN SPACES, AND PUBLIC GATHERING AREAS DESIGNED TO PRIORITIZE PEOPLE, PROMOTE WALKABILITY, AND STRENGTHEN CONNECTIONS BETWEEN HOMES, RECREATION, SCHOOLS, BUSINESSES, AND COMMUNITY AMENITIES. THE FUTURE COMMUNITY ACTIVITY NODES, PARKS, AND CIVIC SPACES ARE INTENDED TO SERVE AS FOCAL POINTS DISTRIBUTED THROUGHOUT MAYBERRY FOR SOCIAL ACTIVITY, RECREATION, AND COMMUNITY LIFE, REINFORCING MAYBERRY'S IDENTITY AS A VIBRANT AND WELCOMING TOWN.

THE MAYBERRY SKETCH PLAN PROVIDES FLEXIBILITY IN LOT DESIGN, HOUSING TYPES, ARCHITECTURAL EXPRESSION, AND SITE PLANNING WHILE MAINTAINING A COHESIVE COMMUNITY CHARACTER. THIS FLEXIBILITY IS INTENDED TO ENCOURAGE INNOVATION, HOUSING CHOICE, ATTAINABLE HOUSING OPPORTUNITIES, AND THOUGHTFUL RESPONSES TO CHANGING MARKET DEMANDS WHILE PRESERVING THE OVERALL VISION OF A COMPACT, WALKABLE NEW TOWN COMPOSED OF INTERCONNECTED COMMUNITIES, EACH CONTRIBUTING TO THE RURAL CHARACTER, IDENTITY, AND LONG-TERM SUSTAINABILITY OF MAYBERRY.

LANDSCAPING, STREETScape IMPROVEMENTS, ARCHITECTURAL STANDARDS, SIGNAGE, AND OPEN SPACE DESIGN SHALL WORK TOGETHER TO ESTABLISH A DISTINCTIVE COMMUNITY IDENTITY INSPIRED BY THE QUALITIES OF TRADITIONAL SMALL TOWNS: WALKABLE STREETS, MEMORABLE PUBLIC SPACES, HUMAN-SCALED ARCHITECTURE, AND STRONG CONNECTIONS BETWEEN NEIGHBORS AND THE NATURAL ENVIRONMENT.

THE INTENT OF THIS PUD IS TO CONTRIBUTE TO A COMPLETE COMMUNITY THAT SUPPORTS THE LONG-TERM SUCCESS OF MAYBERRY BY PROVIDING RESIDENTS WITH DIVERSE HOUSING OPPORTUNITIES, ACCESSIBLE PARKS AND PUBLIC SPACES, CONNECTED PEDESTRIAN AND TRAIL NETWORKS, AND A SAFE, ATTRACTIVE, AND ENDURING COMMUNITY ENVIRONMENT. EACH COMMUNITY WITHIN MAYBERRY IS INTENDED TO CONTRIBUTE TO THE BROADER VISION OF CREATING A TOWN WHERE DAILY LIFE, RECREATION, CIVIC ENGAGEMENT, AND SOCIAL INTERACTION CAN OCCUR WITHIN A CONNECTED AND WALKABLE ENVIRONMENT.

STATEMENT OF AUTHORITY

AUTHORITY

THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

APPLICABILITY

THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND, THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

ADOPTION

THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR MAYBERRY PHASE 2 IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLANS; IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF MAYBERRY PHASE 2, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF FAVOR OF EL PASO COUNTY AND EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

THE TOTAL NUMBER OF DWELLINGS OR THE TOTAL COMMERCIAL, BUSINESS, OR INDUSTRIAL INTENSITY SHOWN ON THE DEVELOPMENT PLAN FOR DEVELOPMENT WITHIN THE SPECIFIED PLANNING AREAS IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS ANY APPROVED DENSITY TRANSFERS). THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT MAY BE LESS DUE TO SUBDIVISION OR SITE DEVELOPMENT PLAN REQUIREMENTS, LAND CARRYING CAPACITY, OR OTHER REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS.

AT THE TIME OF ANY FINAL PLAT APPLICATION, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT, TO DATE, TO PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT, IN ORDER TO ASSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED.

LEGAL DESCRIPTION

ALL OF TRACTS A, K AND O, MAYBERRY, COLORADO SPRINGS FILING NO. 1, A SUBDIVISION OF LAND IN THE NORTHWEST QUARTER OF SECTION 14 AND THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, THE PLAT OF SAID SUBDIVISION RECORDED DECEMBER 23, 2020 AS RECEPTION NUMBER 220714655 IN THE OFFICE OF THE CLERK AND RECORDER OF EL PASO COUNTY, COLORADO;

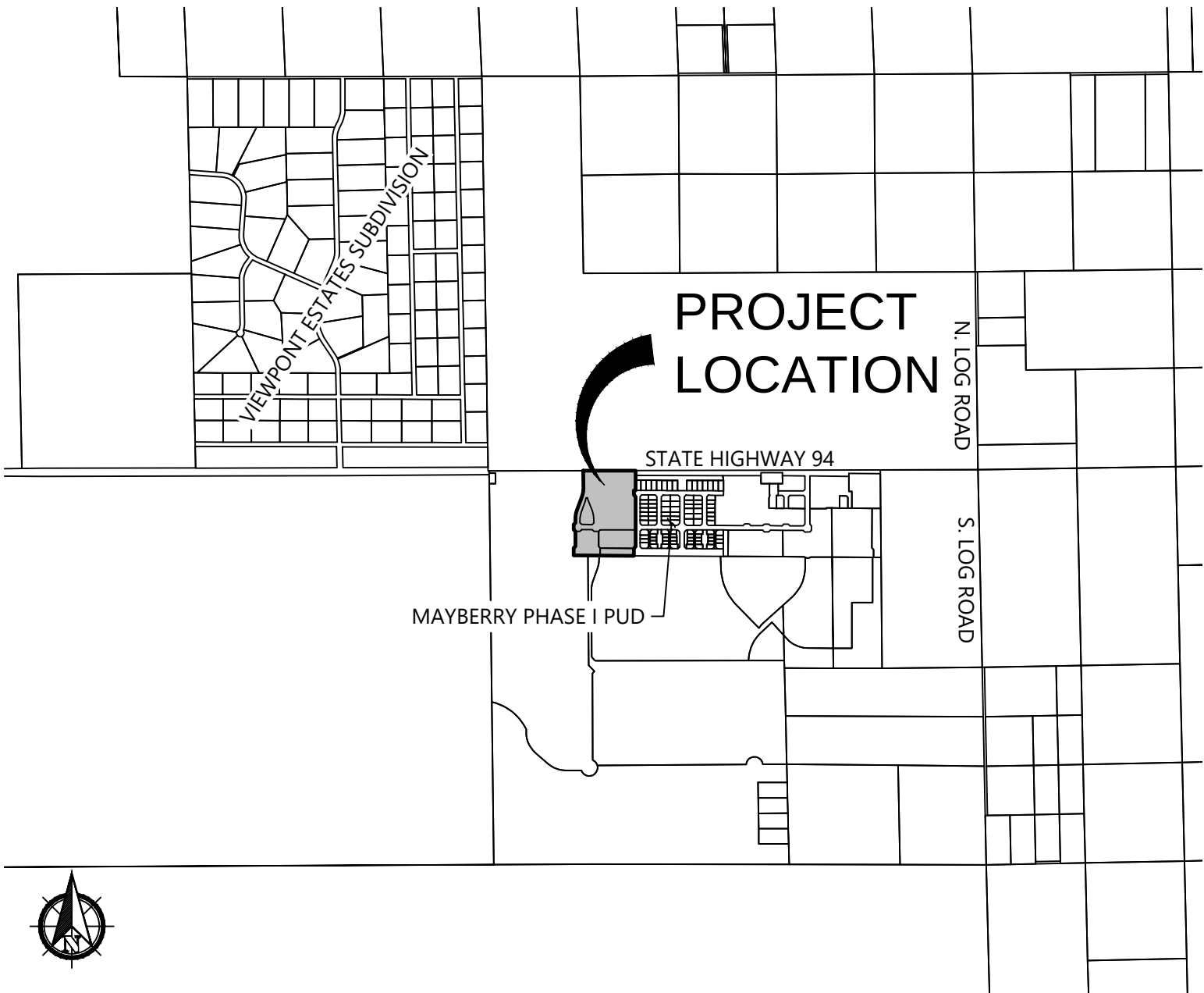
AND

UNPLATTED LAND IN SAID NORTHWEST AND NORTHEAST QUARTERS, LYING BETWEEN AND ADJOINING THE WEST LINE OF SAID TRACT O AND THE EASTERLY LINE OF TRACT N, SAID MAYBERRY, COLORADO SPRINGS FILING NO. 1, ALSO LYING NORTH OF THAT EASTERLY/WESTERLY SEGMENT OF THE EASTERLY LINE OF SAID TRACT N THAT INTERSECTS THE EAST LINE OF SAID NORTHEAST 1/4 OF SAID SECTION 15 AND EXTENDED EASTERLY TO THE SOUTHEAST CORNER OF THE RIGHT-OF-WAY OF POSITIVE PLACE (FORMERLY KNOWN AS MAYBERRY DRIVE) ESTABLISHED BY SAID PLAT;

AND

THE RIGHT-OF-WAYS OF MAYBERRY DRIVE (FORMERLY KNOWN AS NEW LOG ROAD) AND VILLAGE MAIN STREET LYING IN SAID NORTHWEST AND NORTHEAST QUARTERS, ESTABLISHED BY SAID PLAT AND ADJOINING THE EASTERLY, WESTERLY AND SOUTHERLY LINES OF SAID TRACT A AND ADJOINING THE WESTERLY AND SOUTH LINES OF SAID TRACT K; ALL TOGETHER MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE NORTHWEST CORNER BY A 3-1/2" ALUMINUM CAP STAMPED "PLS 1164" AND AT THE NORTH QUARTER CORNER BY A 2" ALUMINUM CAP STAMPED "PLS 11624" ASSUMED TO BEAR SOUTH 89° 44' 49" EAST;



VICINITY MAP

SCALE 1" = 2,000'

LEGAL DESCRIPTION (CONT.)

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT K, THENCE SOUTHERLY ON THE EASTERLY

LINE OF SAID TRACT K THE FOLLOWING 4 COURSES AND DISTANCES:

1. SOUTH 00° 31' 01" WEST A DISTANCE OF 201.27 FEET;
2. NORTH 89° 28' 59" WEST A DISTANCE OF 20.79 FEET;
3. SOUTH 00° 00' 00" EAST A DISTANCE OF 60.00 FEET;
4. SOUTH 44° 44' 29" EAST A DISTANCE OF 31.25 FEET;

THENCE ON THE EAST LINE OF SAID TRACT K AND ITS SOUTHERLY EXTENSION AND ON THE EAST LINE OF SAID TRACT O, SOUTH 00° 00' 00" EAST A DISTANCE OF 667.76 FEET TO THE MOST NORTHERLY SOUTHEAST CORNER OF SAID TRACT O;

THENCE SOUTH 45° 15' 31" WEST A DISTANCE OF 30.97 FEET ON THE SOUTHEAST LINE OF SAID TRACT O TO THE MOST SOUTHERLY SOUTHEAST CORNER OF SAID TRACT O;

THENCE ON THE WEST LINE OF SAID POSITIVE PLACE RIGHT-OF-WAY SOUTH 00° 31' 01" WEST A DISTANCE OF 90.00 FEET;

THENCE DEPARTING THE WEST RIGHT-OF-WAY LINE THE FOLLOWING EIGHT (8) COURSES:

1. NORTH 89° 28' 59" WEST A DISTANCE OF 447.61 FEET;
2. SOUTH 45° 15' 31" WEST A DISTANCE OF 14.08 FEET;
3. NORTH 89° 29' 00" WEST A DISTANCE OF 85.99 FEET;
4. NORTH 44° 44' 29" WEST A DISTANCE OF 14.22 FEET;
5. NORTH 89° 28' 59" WEST A DISTANCE OF 142.00 FEET;
6. SOUTH 45° 15' 30" WEST A DISTANCE OF 14.09 FEET;
7. NORTH 89° 29' 00" WEST A DISTANCE OF 85.99 FEET;
8. NORTH 44° 44' 29" WEST A DISTANCE OF 14.29 FEET, TO A POINT ON THE EASTERLY LINE OF TRACT N, SAID MAYBERRY;

THENCE ON THE EASTERLY LINE OF SAID TRACT N, NORTH 00° 17' 11" WEST A DISTANCE OF 74.95 FEET;

THENCE SOUTH 89° 28' 59" EAST A DISTANCE OF 0.43 FEET;

THENCE NORTH 45° 15' 30" EAST A DISTANCE OF 30.97 FEET, TO A POINT ON THE SOUTHERLY EXTENTION OF THE EASTERLY LINE OF SAID TRACT N;

THENCE ON THE EASTERLY LINES OF SAID TRACT N, THE FOLLOWING NINE (9) COURSES:

1. NORTH 00° 00' 00" EAST A DISTANCE OF 216.01 FEET;
 2. NORTH 44° 44' 29" WEST A DISTANCE OF 31.25 FEET;
 3. NORTH 00° 00' 00" EAST A DISTANCE OF 70.00 FEET;
 4. NORTH 45° 15' 31" EAST A DISTANCE OF 30.97 FEET;
 5. NORTH 00° 00' 00" EAST A DISTANCE OF 31.13 FEET TO A POINT OF TANGENT CURVE;
 6. NORTHERLY, ALONG A CURVE, CONCAVE TO THE SOUTHEAST, HAVING A CENTRAL ANGLE OF 19° 58' 22", A RADIUS OF 435.00 FEET, AN ARC LENGTH OF 127.11 FEET, A CHORD BEARING NORTH 09° 59' 45" EAST, AND A CHORD DISTANCE OF 150.87 FEET TO A POINT OF TANGENCY;
 7. NORTH 19° 58' 22" EAST, 166.93 FEET TO A POINT OF TANGENT CURVE;
 8. NORTHERLY, ALONG A CURVE, CONCAVE TO THE NORTHEAST, HAVING A CENTRAL ANGLE OF 19° 57' 13", A RADIUS OF 365.00 FEET, AN ARC LENGTH OF 127.11 FEET, A CHORD BEARING NORTH 09° 59' 11" EAST, AND A CHORD DISTANCE OF 126.47 FEET TO A POINT OF TANGENCY;
 9. THENCE NORTH 00° 01' 09" EAST A DISTANCE OF 173.93 FEET, TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF HIGHWAY 94;
- THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89° 28' 59" EAST A DISTANCE OF 697.84 FEET, TO THE **POINT OF BEGINNING**;

CONTAINING A CALCULATED AREA OF 814,561 SQUARE FEET OR 18.70 ACRES, MORE OR LESS.

LAND OWNER CERTIFICATION

IN WITNESS WHEREOF:

HAS EXECUTED THESE PRESENTS THIS _____ DAY OF _____, 20____ A.D. .
A COLORADO LIMITED LIABILITY COMPANY

AUTHORIZED AGENT, MANAGER _____

STATE OF COLORADO
COUNTY OF _____

SIGNED BEFORE ME ON _____, 20____,
BY _____ (NAME(S) OF INDIVIDUAL(S) MAKING STATEMENT).

(NOTARY'S OFFICIAL SIGNATURE) _____

(TITLE OF OFFICE) _____

(COMMISSION EXPIRATION) _____

BOARD OF COUNTY COMMISSIONERS CERTIFICATION

THIS PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN FOR MAYBERRY PHASE 2 WAS APPROVED FOR FILING BY THE EL PASO COUNTY, COLORADO BOARD OF COUNTY COMMISSIONERS ON THE _____ DAY OF _____, 20____, SUBJECT TO ANY NOTES SPECIFIED HEREON AND ANY CONDITIONS INCLUDED IN THE RESOLUTION OF APPROVAL.

CHAIR, BOARD OF COUNTY COMMISSIONERS _____ DATE _____

DIRECTOR, PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT _____ DATE _____

CLERK AND RECORDER CERTIFICATION

STATE OF COLORADO)
)SS.
EL PASO COUNTY)

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THIS _____ (DAY) OF _____ (MONTH), 20____ AT _____ O'CLOCK A.M./P.M. AND WAS RECORDED PER RECEPTION NO. _____.

EL PASO COUNTY CLERK AND RECORDER _____

SURVEYOR CERTIFICATION

I, _____, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON DATE OF SURVEY, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:10,000 ; AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISION, OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 20____.

SURVEYOR'S NAME, (SIGNATURE) _____ DATE _____

COLORADO REGISTERED PLS # _____

CONTACT LIST

DEVELOPER	CIVIL ENGINEER	SURVEYOR	PLANNING AND LANDSCAPING
MAYBERRY COMMUNITIES, LLC	LJA	LJA	LJA
22108 CATTLEMAN RUN CALHAN, CO 80808 719-922-2181 CONTACT: SCOTT SOUDERS, PE	1765 WEST 121ST AVENUE, SUITE 300 WESTMINSTER, CO 80234 303-421-4224 CONTACT: ALAINA KNEEBONE MARLER, PE	4700 SYRACUSE STREET, SUITE 500 DENVER, CO 80237 303-390-8510 CONTACT: MARK HALL, PLS	1125 KELLY JOHNSON BOULEVARD, SUITE 361 COLORADO SPRINGS, CO 80920 303-421-4224 CONTACT: KATIE CARLEO, AICP
STATE HIGHWAY	WATER/WASTEWATER	GAS DEPARTMENT	ELECTRIC DEPARTMENT
COLORADO DEPARTMENT OF TRANSPORTATION, REGION 2	ELLCOTT UTILITIES COMPANY, LLC	BLACK HILLS ENERGY	MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC.
5615 WILLS BLVD. PUEBLO, CO 81008 MR. ART GONZALES (REFERENCE CDOT ACCESS PERMITS NO. 218053 & 218054)	PO BOX 64257 COLORADO SPRINGS, CO 80962 719-602-1876 CONTACT: CUSTOMER SERVICE	198 COUNTY LINE ROAD PALMER LAKE, CO 80133 719-502-5594 CONTACT: MARCUS HENDERSON	11140 E. WOODMEN ROAD FALCON, CO 80831 719-494-2593 CONTACT: JONATHAN E. TYRA



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Suite 300
Westminster, CO 80234
303-421-4224 • www.lja.com

No.	Rev. Date:	Revision Type:	Job No.:	Scale Horiz:	Scale Vert:	Sheet:	Date:
1			8787-0001	N/A	N/A	1 of 16	August 21, 2026
2							
3							
4							
5							
6							
			WCK	WCK	WCK		
			Designed:	Prepared:	Approved:		

Mayberry Phase 2	El Paso County	PUD Development Plan & Preliminary Plan	COVER SHEET
Client Name:	Location:	Plan Set:	Sheet Name:

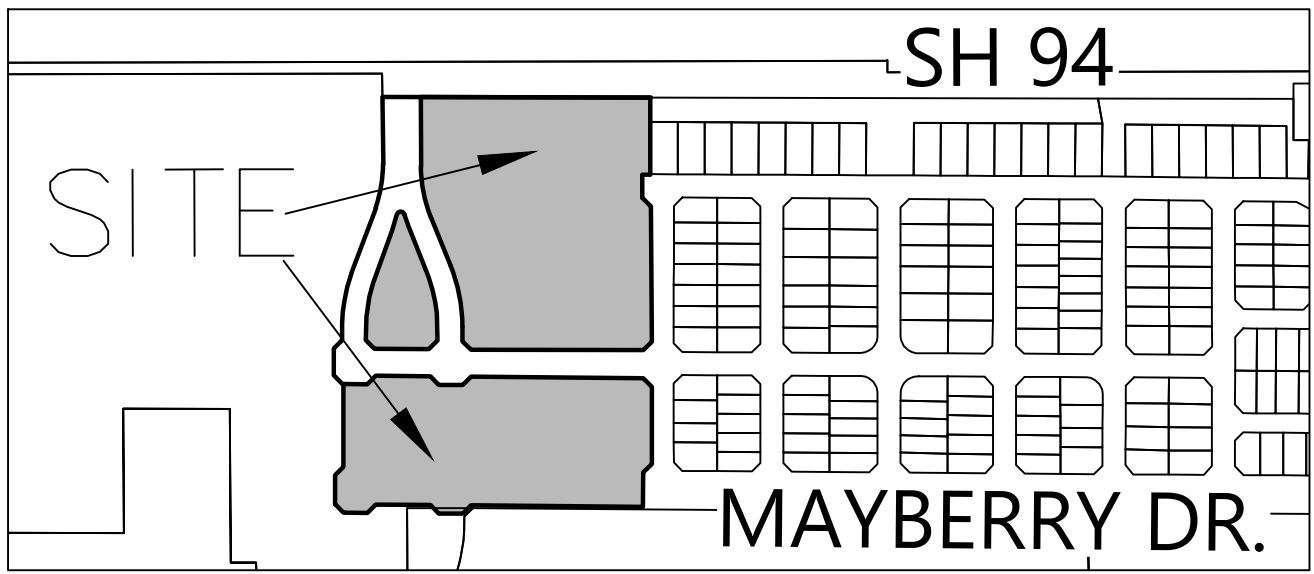
Client:	Address:	Contact:
Mayberry Communities, LLC	22108 Cattleman Run Calhan, CO 80808	Scott Souders



Know what's below.
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No.	1
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S:\LAND\SWIN\WEST-CO\8787 - MAYBERRY\8787-0001\SURVEY\06 CAD\PRODUCTION FILES\8787-0001_MAYBERRY PUD - OVERALL PRINTED ON: 8/18/2026 4:12 PM



MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN
LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH,
RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.



LEGAL DESCRIPTION

ALL OF TRACTS A, K AND O, MAYBERRY, COLORADO SPRINGS FILING NO. 1, A SUBDIVISION OF LAND IN THE NORTHWEST QUARTER OF SECTION 14 AND THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, THE PLAT OF SAID SUBDIVISION RECORDED DECEMBER 23, 2020, AS RECEPTION NUMBER 220714655 IN THE OFFICE OF THE CLERK AND RECORDER OF EL PASO COUNTY, COLORADO;

AND

UNPLATTED LAND IN SAID NORTHWEST AND NORTHEAST QUARTERS, LYING BETWEEN AND ADJOINING THE WEST LINE OF SAID TRACT O AND THE EASTERLY LINE OF TRACT N, SAID MAYBERRY, COLORADO SPRINGS FILING NO. 1, ALSO LYING NORTH OF THAT EASTERLY/WESTERLY SEGMENT OF THE EASTERLY LINE OF SAID TRACT N THAT INTERSECTS THE EAST LINE OF SAID NORTHEAST 1/4 OF SAID SECTION 15 AND EXTENDED EASTERLY TO THE SOUTHEAST CORNER OF THE RIGHT-OF-WAY OF POSITIVE PLACE (FORMERLY KNOWN AS MAYBERRY DRIVE) ESTABLISHED BY SAID PLAT;

AND

THE RIGHT-OF-WAYS OF MAYBERRY DRIVE (FORMERLY KNOWN AS NEW LOG ROAD) AND VILLAGE MAIN STREET LYING IN SAID NORTHWEST AND NORTHEAST QUARTERS, ESTABLISHED BY SAID PLAT AND ADJOINING THE EASTERLY, WESTERLY AND SOUTHERLY LINES OF SAID TRACT A AND ADJOINING THE WESTERLY AND SOUTH LINES OF SAID TRACT K; ALL TOGETHER MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AT THE NORTHWEST CORNER BY A 3-1/2" ALUMINUM CAP STAMPED "PLS 1164" AND AT THE NORTH QUARTER CORNER BY A 2" ALUMINUM CAP STAMPED "PLS 11624" ASSUMED TO BEAR SOUTH 89° 44' 49" EAST;

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT K, THENCE SOUTHERLY ON THE EASTERLY LINE OF SAID TRACT K THE FOLLOWING 4 COURSES AND DISTANCES:

- SOUTH 00° 31' 01" WEST A DISTANCE OF 201.27 FEET;
- NORTH 89° 28' 59" WEST A DISTANCE OF 20.79 FEET;
- SOUTH 00° 00' 00" EAST A DISTANCE OF 60.00 FEET;
- SOUTH 44° 44' 29" EAST A DISTANCE OF 31.25 FEET;

THENCE ON THE EAST LINE OF SAID TRACT K AND ITS SOUTHERLY EXTENSION AND ON THE EAST LINE OF SAID TRACT O, SOUTH 00° 00' 00" EAST A DISTANCE OF 667.76 FEET TO THE MOST NORTHERLY SOUTHEAST CORNER OF SAID TRACT O;

THENCE SOUTH 45° 15' 31" WEST A DISTANCE OF 30.97 FEET ON THE SOUTHEAST LINE OF SAID TRACT O TO THE MOST SOUTHERLY SOUTHEAST CORNER OF SAID TRACT O;

THENCE ON THE WEST LINE OF SAID POSITIVE PLACE RIGHT-OF-WAY SOUTH 00° 31' 01" WEST A DISTANCE OF 90.00 FEET;

THENCE DEPARTING THE WEST RIGHT-OF-WAY LINE THE FOLLOWING EIGHT (8) COURSES:

- NORTH 89° 28' 59" WEST A DISTANCE OF 447.61 FEET;
- SOUTH 45° 15' 31" WEST A DISTANCE OF 30.97 FEET;
- NORTH 89° 28' 50" WEST A DISTANCE OF 62.00 FEET;
- NORTH 44° 44' 29" WEST A DISTANCE OF 31.25 FEET;
- NORTH 89° 28' 59" WEST A DISTANCE OF 142.00 FEET;
- SOUTH 45° 15' 30" WEST A DISTANCE OF 30.97 FEET;
- NORTH 89° 28' 59" WEST A DISTANCE OF 62.00 FEET;
- NORTH 44° 44' 29" WEST A DISTANCE OF 31.32 FEET, TO A POINT ON THE EASTERLY LINE OF TRACT N, SAID MAYBERRY;

THENCE ON THE EASTERLY LINE OF SAID TRACT N, NORTH 00° 17' 11" WEST A DISTANCE OF 74.95 FEET;

THENCE SOUTH 89° 28' 59" EAST A DISTANCE OF 0.43 FEET;

THENCE NORTH 45° 15' 30" EAST A DISTANCE OF 30.97 FEET, TO A POINT ON THE SOUTHERLY EXTENSION OF THE EASTERLY LINE OF SAID TRACT N;

THENCE ON THE EASTERLY LINES OF SAID TRACT N, THE FOLLOWING NINE (9) COURSES:

- NORTH 00° 00' 00" EAST A DISTANCE OF 216.01 FEET;
- NORTH 44° 44' 29" WEST A DISTANCE OF 31.25 FEET;
- NORTH 00° 00' 00" EAST A DISTANCE OF 70.00 FEET;
- NORTH 45° 15' 31" EAST A DISTANCE OF 30.97 FEET;
- NORTH 00° 00' 00" EAST A DISTANCE OF 31.13 FEET TO A POINT OF TANGENT CURVE;
- NORTHERLY, ALONG A CURVE, CONCAVE TO THE SOUTHEAST, HAVING A CENTRAL ANGLE OF 19° 58' 22", A RADIUS OF 435.00 FEET, AN ARC DISTANCE OF 127.11 FEET, A CHORD BEARING NORTH 09° 59' 11" EAST, AND A CHORD DISTANCE OF 150.87 FEET TO A POINT OF TANGENCY;
- NORTH 19° 58' 22" EAST, 166.93 FEET TO A POINT OF TANGENT CURVE;
- NORTHERLY, ALONG A CURVE, CONCAVE TO THE NORTHEAST, HAVING A CENTRAL ANGLE OF 19° 57' 13", A RADIUS OF 365.00 FEET, AN ARC LENGTH OF 127.11 FEET, A CHORD BEARING OF 09° 59' 45" EAST, AND A CHORD DISTANCE OF 126.47 FEET TO A POINT OF TANGENCY;
- THENCE NORTH 00° 01' 09" EAST A DISTANCE OF 173.93 FEET, TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF HIGHWAY 94;

THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89° 28' 59" EAST A DISTANCE OF 697.84 FEET, TO THE POINT OF BEGINNING;

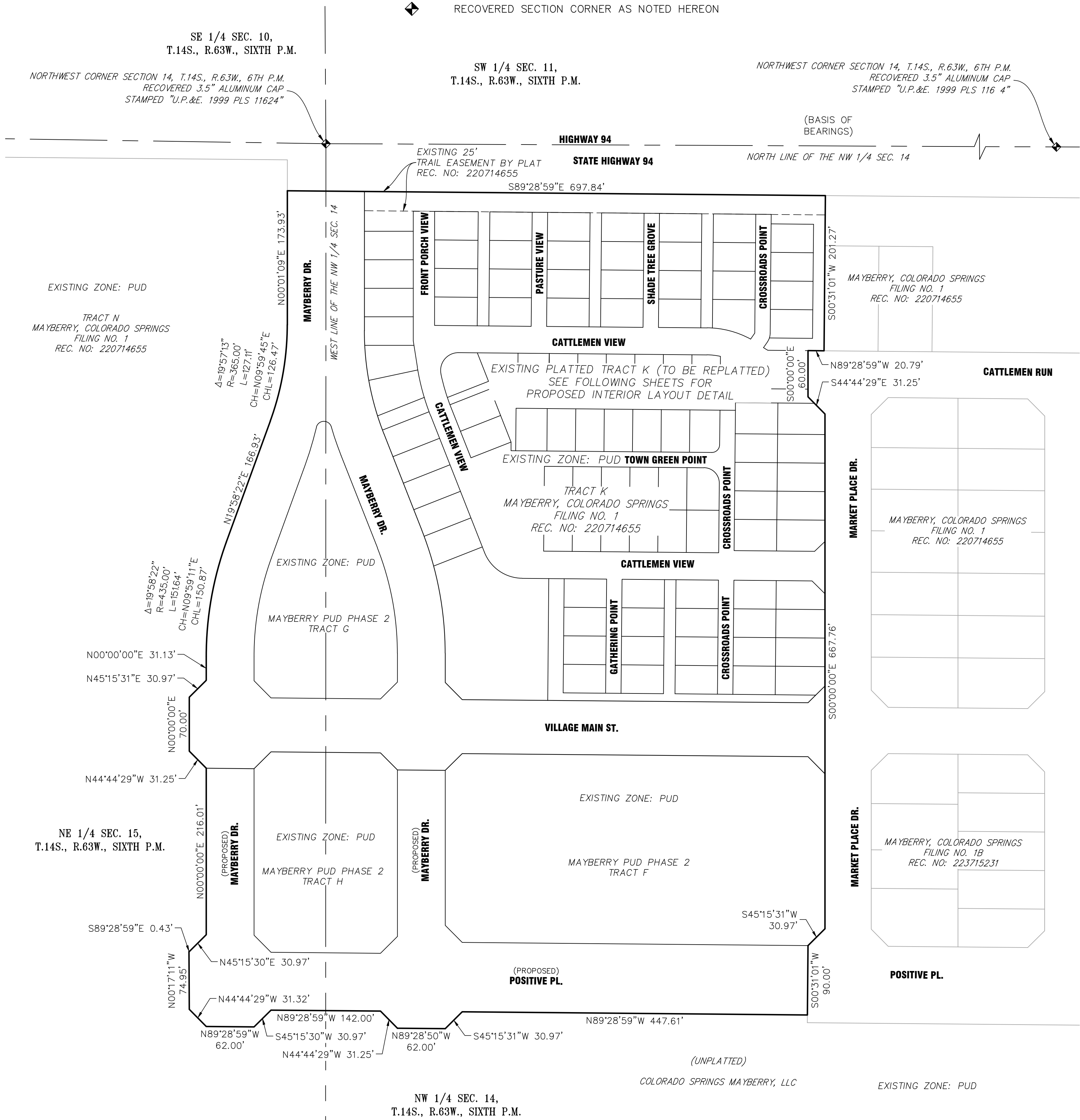
CONTAINING A CALCULATED AREA OF 816,336 SQUARE FEET OR 18.741 ACRES, MORE OR LESS.

LEGEND

- # = BLOCK NUMBER
W.S.D.E. = WATER, SANITARY & DRAINAGE EASEMENT
S.D.E. = SIGHT DISTANCE EASEMENT
U.D.A.E. = UTILITY, DRAINAGE & ACCESS EASEMENT
U.E. = UTILITY EASEMENT
W.S.E. = WATER & SANITARY EASEMENT
S.E. = SANITARY EASEMENT
REC. NO. = RECEPTION NUMBER
R.O.W. = RIGHT OF WAY

MONUMENT SYMBOL LEGEND

RECOVERED SECTION CORNER AS NOTED HEREON



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Revision Type:		Revision Type:	
No.	Rev. Date:	Job No.: 8787-0001	Sheet: 3 of 16
1		Scale Horiz: 1" = 80'	Date: August 7, 2026
2		Scale Vert: N/A	
3		Approved: AKM	
4			
5			
6			
Designed: WCK			
Prepared: JAP			
Approved: AKM			

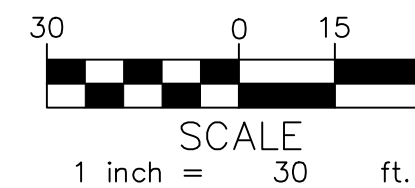
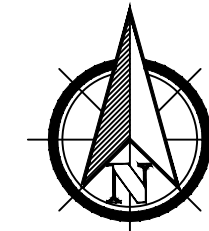
Proj. Name:		Mayberry Phase 2	
Location:		El Paso County	
Plan Set:		PUD Development Plan & Preliminary Plan	
Sheet Name:		PUD Boundary	

NOT FOR
CONSTRUCTION

811
Know what's below.
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MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN
LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH,
RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.



SE 1/4 SEC. 10,
T.14S., R.63W., SIXTH P.M.

NORTHWEST CORNER SECTION 14,
T.14S., R.63W., 6TH P.M.
RECOVERED 3.5" ALUMINUM CAP
STAMPED "U.P.&E. 1999 PLS 11624"

SW 1/4 SEC. 11,
T.14S., R.63W., SIXTH P.M.

(BASIS OF
BEARINGS)
S89°44'49"E 2606.52'
NORTH LINE OF THE NW 1/4 SEC. 14

NORTHWEST CORNER SECTION 14,
T.14S., R.63W., 6TH P.M.
RECOVERED 3.5" ALUMINUM CAP
STAMPED "U.P.&E. 1999 PLS 116 4"

STATE HIGHWAY 94
(PUBLIC R.O.W. VARIES)

EXISTING 25' TRAIL EASEMENT
BY PLAT, REC. NO. 220714655

MAYBERRY, COLORADO SPRINGS
FILING NO. 1
REC. NO. 220714655

NW 1/4 SEC. 14,
T.14S., R.63W., SIXTH P.M.

CATTLEMEN RUN
(60' PUBLIC R.O.W.)
REC. NO. 220714655

MAYBERRY, COLORADO SPRINGS
FILING NO. 1
REC. NO. 220714655

MARKET PLACE DR.
(60' PUBLIC R.O.W.)
REC. NO. 220714655

MATCH TO SHEET 3

LEGEND

⊕ = BLOCK NUMBER
W.S.D.E. = WATER, SANITARY & DRAINAGE EASEMENT
S.D.E. = SIGHT DISTANCE EASEMENT
U.D.A.E. = UTILITY, DRAINAGE & ACCESS EASEMENT
U.E. = UTILITY EASEMENT
W.S.E. = WATER & SANITARY EASEMENT
S.E. = SANITARY EASEMENT
REC. NO. = RECEPTION NUMBER
R.O.W. = RIGHT OF WAY

TRACT TABLE

TRACT	AREA (SQ.FT.)	AREA (AC.±)	USE	OWNED / MAINTAINED
TRACT A	81,591	1.873	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PRIVATE ROAD, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
TRACT B	27,545	0.632	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
TRACT C	10,728	0.246	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
TRACT D	8,605	0.198	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
TRACT E	1,273	0.029	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
TRACT F	119,676	2.747	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, RECREATION, SIDEWALKS, SPORTS FACILITIES, UTILITIES	MAYBERRY METRO DISTRICT 3 / MAYBERRY METRO DISTRICT 1
TRACT G	45,097	1.035	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, RECREATION, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
TRACT H	47,392	1.088	DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, RECREATION, SIDEWALKS, SPORTS FACILITIES, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1

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No.	Rev. Date:	Revision Type:
1		
2		
3		
4		
5		
6		
Designed:	WCK	Job No.: 8787-0001
Prepared:	JAP	Scale Horiz: 1" = 30'
Approved:	AKM	Scale Vert: N/A
		Sheet: 4 of 16
		Date: August 7, 2026

Mayberry Phase 2
El Paso County
PUD Development Plan & Preliminary Plan

Tract K Boundary Detail (1)

Proj. Name:
Location:
Plan Set:
Sheet Name:

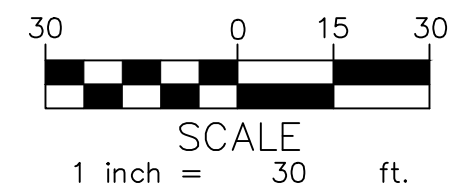
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Know what's below.
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No. 4

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN
LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH,
RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.



= BLOCK NUMBER
 W.S.D.E. = WATER, SANITARY & DRAINAGE EASEMENT
 S.D.E. = SIGHT DISTANCE EASEMENT
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TRACT TABLE				
TRACT	AREA (SQ.FT.)	AREA (AC.±)	USE	OWNED / MAINTAINED
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Revision Type:		Job No.: 8787-0001		Sheet: 5 of 16
No.	Rev. Date:	Designed: WCK	Scale Horiz: 1" = 30'	Date:
1		Prepared: JAP	Scale Vert: N/A	August 7, 2026
2		Approved: AKM		
3				
4				
5				
6				

Mayberry Phase 2
El Paso County
PUD Development Plan & Preliminary Plan
Tract K Boundary Detail (2)

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S:\LAND\SIN WEST-CO\8787 - MAYBERRY\8787-0001\SURVEY\06 CAD\PRODUCTION FILES\8787-0001_MAYBERRY PUD PRINTED ON: 8/18/2026 4:12 PM

LEGEND

- # = BLOCK NUMBER
- W.S.D.E. = WATER, SANITARY & DRAINAGE EASEMENT
- SD.E. = SIGHT DISTANCE EASEMENT
- U.D.A.E. = UTILITY, DRAINAGE & ACCESS EASEMENT
- U.E. = UTILITY EASEMENT
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- REC. NO. = RECEPTION NUMBER
- R.O.W. = RIGHT OF WAY

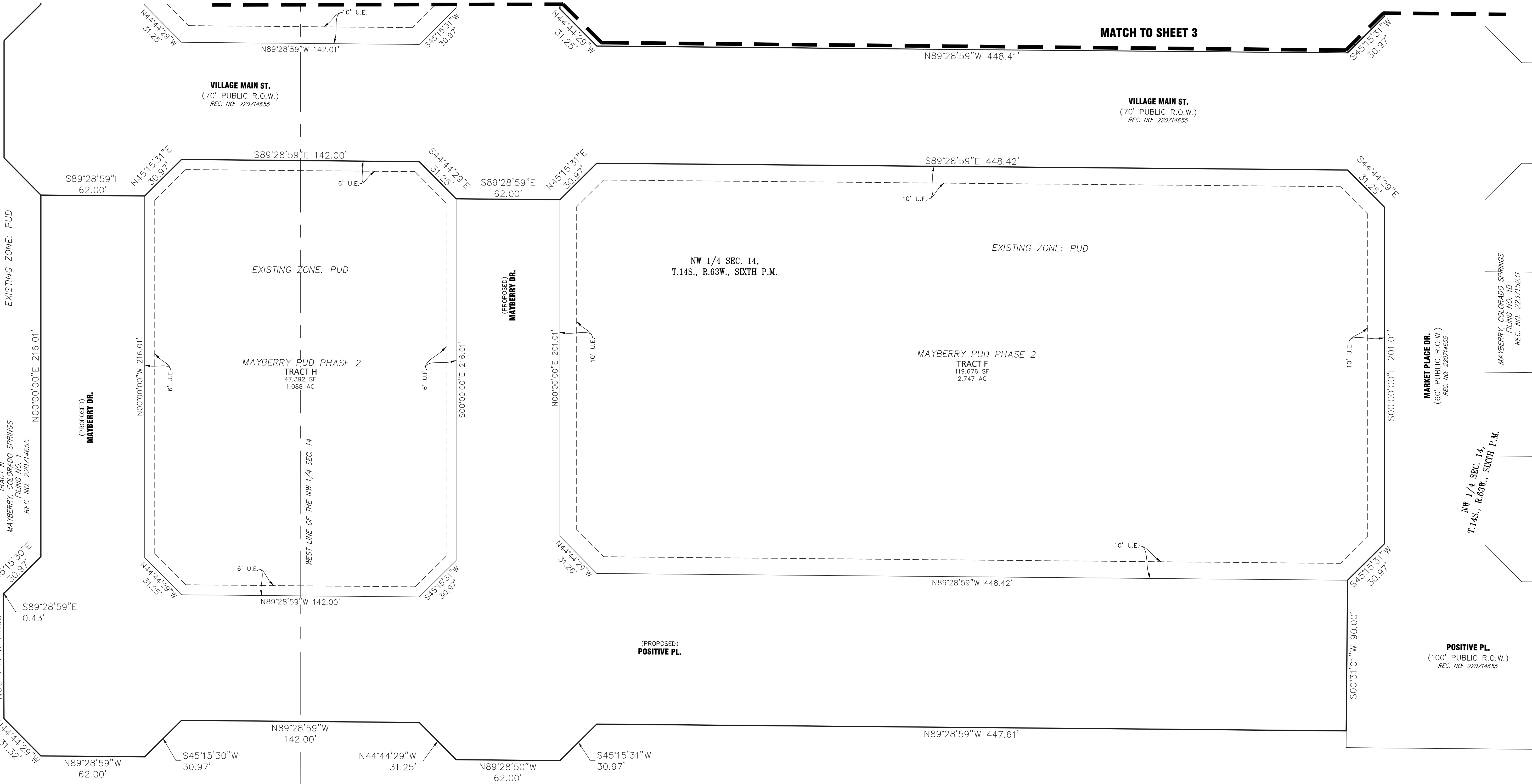
MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN
LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH,
RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.



MATCH TO SHEET 3

VILLAGE MAIN ST.
(70' PUBLIC R.O.W.)
REC. NO: 220714655



FOR REVIEW ONLY

TRACT TABLE				
TRACT	AREA (SQ.FT.)	AREA (AC.±)	USE	OWNED / MAINTAINED
TRACT A	81,591	1.873	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PRIVATE ROAD, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
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TRACT E	1,273	0.029	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
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TRACT G	45,097	1.035	ACCESS, DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, RECREATION, SIDEWALKS, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1
TRACT H	47,392	1.088	DRAINAGE, LANDSCAPE, OPEN SPACE, PARK, RECREATION, SIDEWALKS, SPORTS FACILITIES, UTILITIES	MAYBERRY METRO DISTRICT 4 / MAYBERRY METRO DISTRICT 1



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Revision Type:		Revision Type:	
No.	Rev. Date:	No.	Rev. Date:
1		1	
2		2	
3		3	
4		4	
5		5	
6		6	
Designed: WCK	Job No.: 8787-0001	Sheet: 6 of 16	Date: August 7, 2026
Prepared: JAP	Scale Horiz: 1" = 30'	Scale Vert: N/A	
Approved: AKM			

Mayberry Phase 2	
El Paso County	
PUD Development Plan & Preliminary Plan	
Parks Boundary Detail	

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Know what's below.
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No.	6
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MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN

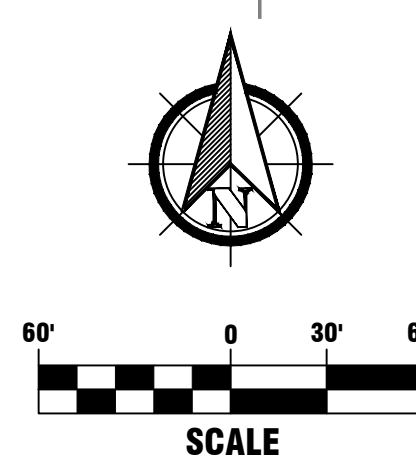
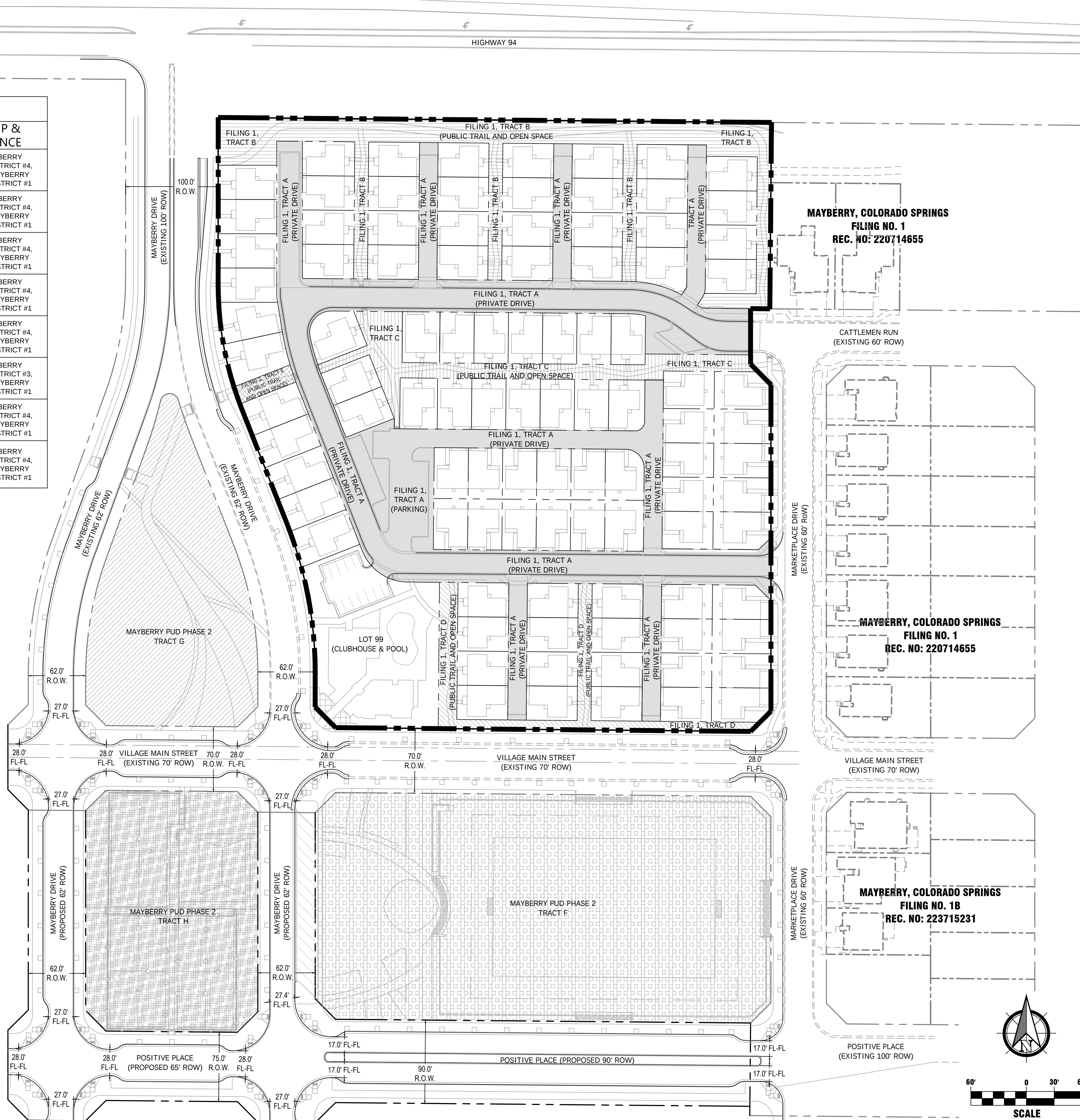
LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.

TRACT SUMMARY TABLE				
MAYBERRY PHASE 2 TRACT NAME	SIZE (ACRES)	HATCH LEGEND	LAND USE	OWNERSHIP & MAINTENANCE
FILING 1, TRACT A	1.87		PRIVATE ROAD/SIGNAGE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS	OWNED BY MAYBERRY METROPOLITAN DISTRICT #4, MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1
FILING 1, TRACT B	0.63		PARK/OPEN SPACE/SIGNAGE/HARDSCAPING/ENTRY FEATURE/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS/ACCESS	OWNED BY MAYBERRY METROPOLITAN DISTRICT #4, MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1
FILING 1, TRACT C	0.25		PARK/OPEN SPACE/SIGNAGE/HARDSCAPING/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS/ACCESS	OWNED BY MAYBERRY METROPOLITAN DISTRICT #4, MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1
FILING 1, TRACT D	0.20		PARK/OPEN SPACE/SIGNAGE/HARDSCAPING/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS/ACCESS	OWNED BY MAYBERRY METROPOLITAN DISTRICT #4, MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1
FILING 1, TRACT E	0.03		PARK/OPEN SPACE/SIGNAGE/HARDSCAPING/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS/ACCESS	OWNED BY MAYBERRY METROPOLITAN DISTRICT #4, MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1
TRACT F (EXISTING TRACT O, MAYBERRY, COLORADO SPRINGS, FILING NO. 1)	2.75		PARK/OPEN SPACE/ACTIVE & PASSIVE RECREATION/TEMPORARY EVENTS & VENDORS/SEASONAL ACTIVITIES/SIGNAGE/HARDSCAPING/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS	OWNED BY MAYBERRY METROPOLITAN DISTRICT #3, MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1
TRACT G (EXISTING TRACT A, MAYBERRY, COLORADO SPRINGS, FILING NO. 1)	1.04		PARK/OPEN SPACE/ACTIVE & PASSIVE RECREATION/TEMPORARY EVENTS & VENDORS/SEASONAL ACTIVITIES/SPORT COURTS/CONCESSION STAND/SIGNAGE/HARDSCAPING/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS	OWNED BY MAYBERRY METROPOLITAN DISTRICT #4, MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1
TRACT H	1.09		PARK/OPEN SPACE/ACTIVE & PASSIVE RECREATION/TEMPORARY EVENTS & VENDORS/SEASONAL ACTIVITIES/SPORT COURTS/CONCESSION STAND/SIGNAGE/HARDSCAPING/DRAINAGE/PUBLIC IMPROVEMENT/PUBLIC UTILITY/LANDSCAPING/SIDEWALKS	OWNED BY MAYBERRY METROPOLITAN DISTRICT #4, MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1

NOTES:
1. FILING 1 INCLUDES ONLY MAYBERRY, COLORADO SPRINGS PUD PHASE 1, FILING 1, TRACT K AND THE ABUTTING ROADWAY IMPROVEMENTS (SIDEWALK, CURB & GUTTER, LANDSCAPE, LIGHTING) OF MAYBERRY DRIVE, VILLAGE MAIN, AND MARKETPLACE DRIVE. ALL OTHER FILING BOUNDARIES AND TIMING ARE TBD.

2. ALL LANDSCAPE AREAS WITHIN PUBLIC ROW ARE TO BE MAINTAINED BY MAYBERRY METROPOLITAN DISTRICT #1, TYP.

— FILING 1 (MAYBERRY, COLORADO SPRINGS PUD PHASE 1, FILING 1, TRACT K)





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Rev. Date:						
Revision Type:						

WCK
Designed:
Prepared:
Approved:

AKM

Job No.: 8787-0001
Scale Horiz: 1" = 60'
Scale Vert: N/A

Sheet: 7 of 16
Date: August 21, 2026

Mayberry Phase 2
El Paso County
PUD Development Plan & Preliminary Plan

TRACT SUMMARY

Client:
Mayberry Communities, LLC

Address:
22108 Cattlemen Run
Calhan, CO 80808

Contact:
Scott Souders



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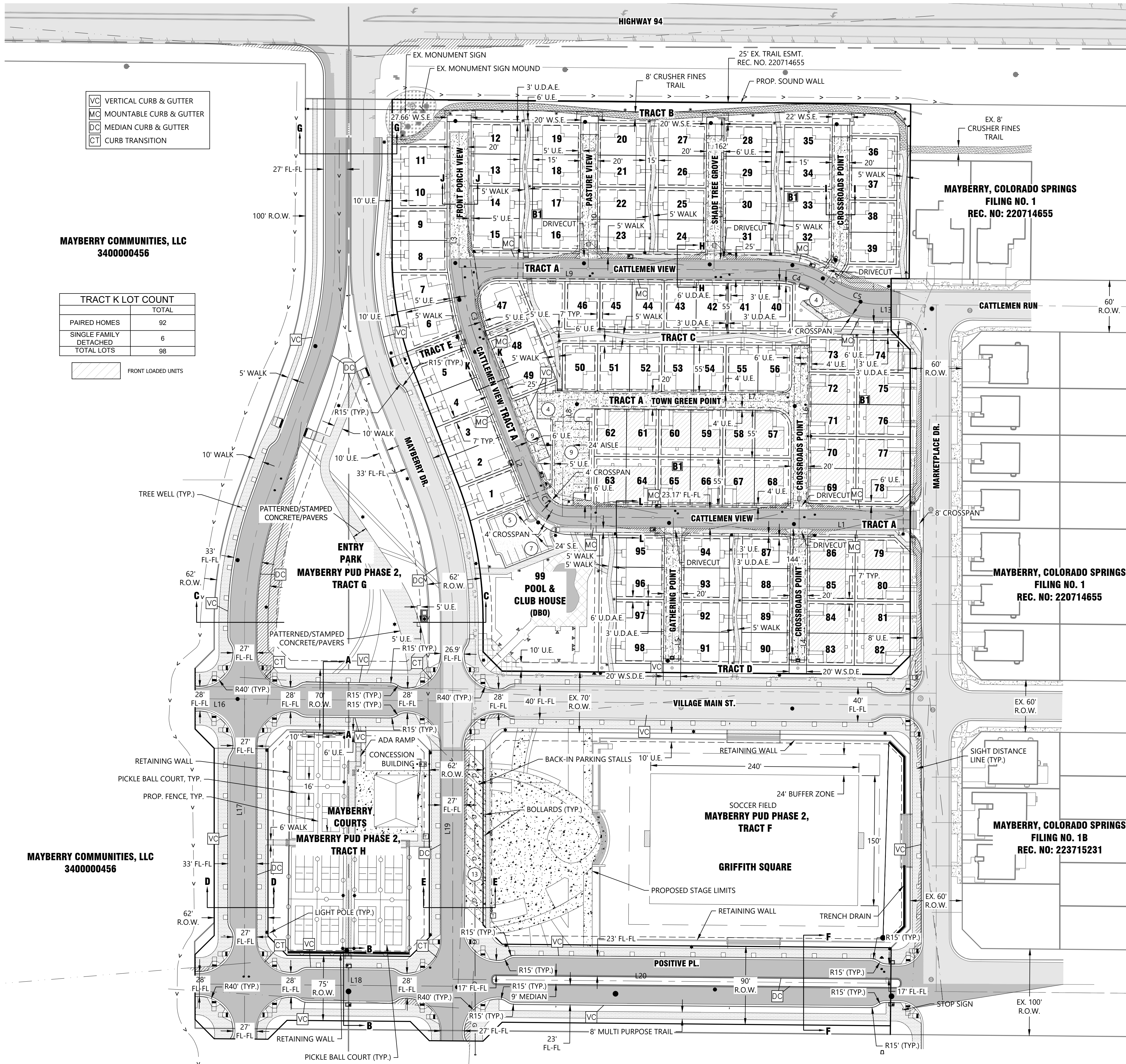
No. 7

S:\LAND\S\W\WEST-CO\8787 - MAYBERRY\8787-0001\PLA\01 ENTITLEMENTS\PU\SUBMITTAL 3\2026.08.17-MAYBERRY-PUD_3-TRACT SUMMARY PRINTED ON: 8/18/2026 3:39 PM

MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN

LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.



- VC VERTICAL CURB & GUTTER
- MC MOUNTABLE CURB & GUTTER
- DC MEDIAN CURB & GUTTER
- CT CURB TRANSITION

MAYBERRY COMMUNITIES, LLC
3400000456

TRACT K LOT COUNT	
	TOTAL
PAIRED HOMES	92
SINGLE FAMILY DETACHED	6
TOTAL LOTS	98

FRONT LOADED UNITS

MAYBERRY COMMUNITIES, LLC
3400000456

LINE TABLE		
NO.	LENGTH	DIRECTION
L1	397.09'	N89°28'59"W
L2	185.00'	N21°29'20"W
L3	156.72'	N00°01'09"E
L4	172.81'	S00°31'01"W
L5	172.81'	S00°31'01"W
L6	200.00'	S00°31'01"W
L7	271.72'	S89°28'59"E
L8	134.80'	S00°31'01"W
L9	367.19'	N89°28'59"W
L10	174.00'	S00°31'01"W
L11	174.00'	S00°31'01"W
L13	13.64'	N89°29'00"W
L14	28.94'	S34°36'11"W
L15	160.13'	S00°31'01"W
L16	57.00'	N89°28'55"W
L17	392.01'	N00°00'00"E
L18	297.01'	S89°28'59"E
L19	392.01'	S00°00'00"E
L20	505.04'	S89°28'59"E

CURVE TABLE					
NO.	DELTA	LENGTH	RADIUS	CHORD	CH. LENGTH
C1	063°58'24"	42.71'	38.25'	S53°35'00"E	40.52'
C3	018°52'26"	93.88'	285.00'	S12°03'07"E	93.46'
C4	036°02'03"	62.89'	100.00'	N71°27'58"W	61.86'
C5	036°02'03"	62.89'	100.00'	S71°27'58"E	61.86'
C6	034°05'10"	5.95'	10.00'	N17°33'36"E	5.86'

GENERAL ABBREVIATIONS

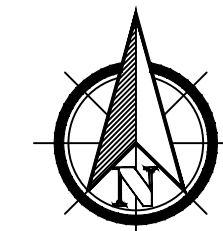
- A.E. ACCESS EASEMENT
- ARV AIR RELEASE VALVE
- BKL BIKE LANE
- BL BASELINE OF CONSTRUCTION
- B.O. BLOW-OFF
- BS BOTTOM ELEVATION OF RISE
- CDS CUL-DE-SAC
- CE CURB EXTENSION
- CL CENTERLINE
- CT CURB TRANSITION
- CWN CROWN
- DBO DESIGN BY OTHERS
- DC MEDIAN CURB & GUTTER
- D.E. DRAINAGE EASEMENT
- D.U.E. DRAINAGE & UTILITY EASEMENT
- ELEC ELECTRIC
- EOP EDGE OF PAVEMENT
- EX EXISTING
- EXCL. EXCLUSIVE
- FES FLARED END SECTION
- FGB FINISHED GROUND AT BOTTOM WALL ELEVATION
- FGT FINISHED GROUND AT TOP WALL ELEVATION
- FH FIRE HYDRANT
- FL FLOWLINE
- FO FIBER OPTIC LINE
- FV FIELD VERIFY
- G FINISHED GROUND ELEVATION
- GAS GAS LINE
- G.E. GAS EASEMENT
- GV GATE VALVE
- HP HIGH POINT
- I.W.E. IRRIGATION & WATER EASEMENT
- IWL IRRIGATION WATER LINE
- IWW IRRIGATION WATER VALVE
- LL LOT LINE
- LP LOW POINT
- MAINT. MAINTENANCE
- MC MOUNTABLE CURB & GUTTER
- MH MANHOLE
- (MOD.) MODIFIED
- MSE MECHANICALLY STABILIZED EARTH
- M.U.E. MULTI-USE EASEMENT
- P PAVEMENT
- PC POINT OF CURVATURE
- PCC POINT OF COMPOUND CURVATURE
- PCR POINT OF CURB RETURN

LEGEND

- Property Line
- Right of Way Line
- Centerline
- Lot Line
- Easement Line
- Setback Line
- Retaining Wall
- Swale Line
- Sight Triangle Line
- Storm Manhole
- Type 'R' Inlet
- Sanitary Sewer Manhole
- Fire Hydrant
- Water Valve
- Thrust Block
- Reducer
- Plug & Blow-off
- Street Light
- Bollard Light
- Sign
- Mail Kiosk
- Storm Sewer Line
- Water Line
- Sanitary Sewer Line
- Water Service Line & Meter
- Sanitary Sewer Service Line
- Ex. Sanitary Sewer Line
- Ex. Water Line
- Ex. Storm Sewer Line
- Ex. Gas
- Ex. Underground Electric
- Ex. Overhead Electric
- Proposed Major Contour
- Proposed Minor Contour
- Existing Major Contour
- Existing Minor Contour

- Ex. Asphalt Pavement
- Ex. Concrete Pavement
- Ex. Gravel
- Prop. Asphalt Pavement
- Prop. Mill & Overlay
- Prop. Concrete Pavement
- Prop. Concrete Walk
- Prop. Sight Triangle

- PGL PROFILE GRADE LINE
- PRC POINT OF REVERSE CURVATURE
- PT POINT OF TANGENCY
- R.O.W. RIGHT OF WAY
- RN RECORDING NUMBER
- (S) SUMP INLET
- S.E. SANITARY EASEMENT
- SEC SECTION LINE
- SL SANITARY LINE
- SS SANITARY SERVICE
- STBK SETBACK
- SW SIDEWALK
- S.W.I.E. SANITARY, WATER, AND IRRIGATION EASEMENT
- TB THRUST BLOCK
- TC TOP OF CURB
- TELE TELEPHONE LINE
- TRE TRANSPORTATION EASEMENT
- TR.U.E. TRANSPORTATION & UTILITY EASEMENT
- TS TOP ELEVATION OF RISER
- TYP. TYPICAL
- U.E. UTILITY EASEMENT
- U.G.E. UTILITY & GAS EASEMENT
- VC VERTICAL CURB & GUTTER
- W.E. WATER EASEMENT
- WL WATER LINE
- WS WATER SERVICE
- W.S.D.E. WATER SANITARY & DRAINAGE EASEMENT
- W.S.E. WATER SURFACE ELEVATION
- WV WATER VALVE



SCALE
1 inch = 60 ft.



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Revision Type:		Revision Date:		Revision Description:	
No.	1	2	3	4	5
Rev. Date:					
Rev. Description:					

Mayberry Phase 2		El Paso County	
PUD Development Plan & Preliminary Plan		Overall Site Plan	

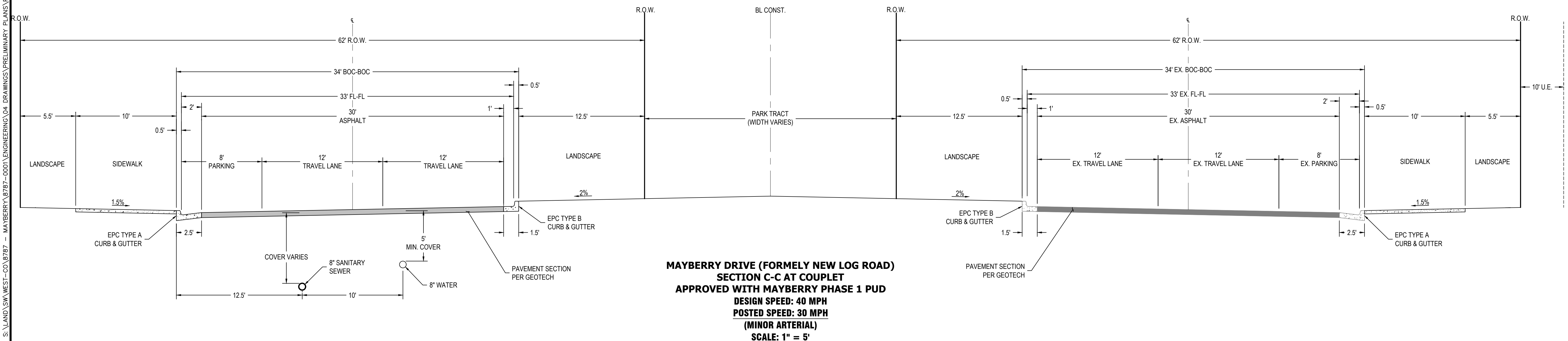
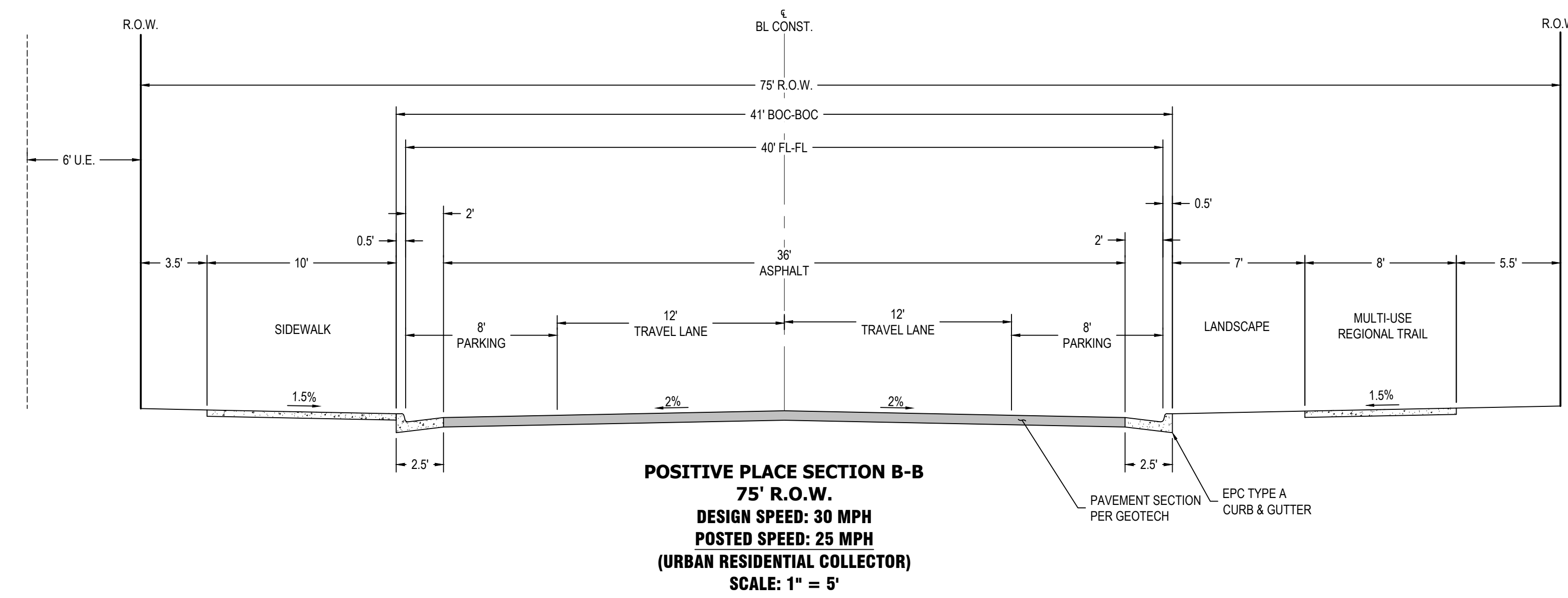
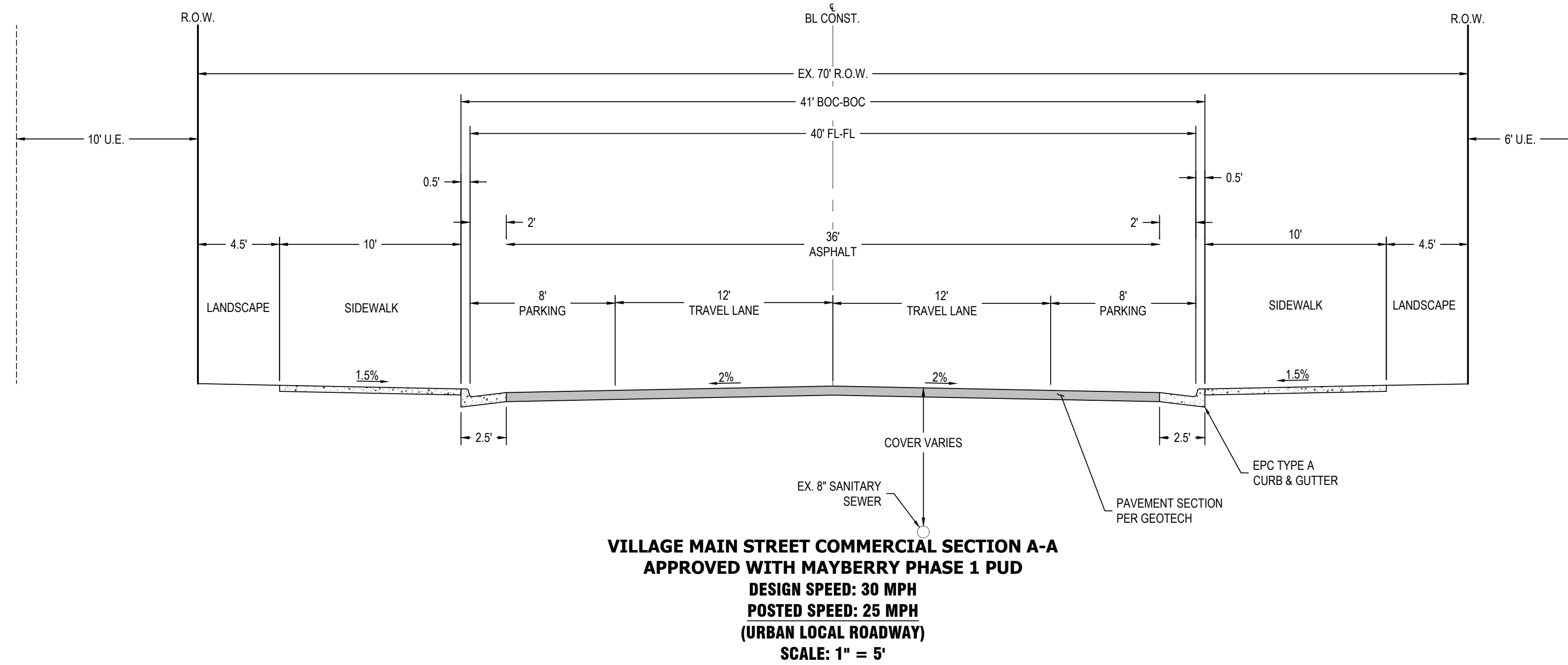
Client:	Mayberry Communities, LLC
Address:	22108 Cattleman Run Calhan, CO 80808
Contact:	Scott Souder



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No.	8
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S:\LAND\SIA\WEST-CO\8787 - MAYBERRY\8787-0001\ENGINEERING\04 DRAWINGS\PRELIMINARY PLANS\1\8787-0001 ROAD SECTIONS PRINTED ON: 8/21/2026 10:39 AM



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Revision Type:		Revision Type:		Revision Type:		Revision Type:		Revision Type:		Revision Type:	
No.	Rev. Date:	No.	Rev. Date:	No.	Rev. Date:	No.	Rev. Date:	No.	Rev. Date:	No.	Rev. Date:
1		2		3		4		5		6	
Designed: JAV		Job No.: 8787-0002		Sheet: 9 of 16		Date: August 21, 2026		Scale Horiz: N/A		Scale Vert: N/A	
Prepared: WCK		Approved: AKM									

Mayberry Phase 2 PUD, Filing 1

El Paso County
Construction Documents

Road Cross Sections

Proj Name:
Location:
Plan Set:
Sheet Name:

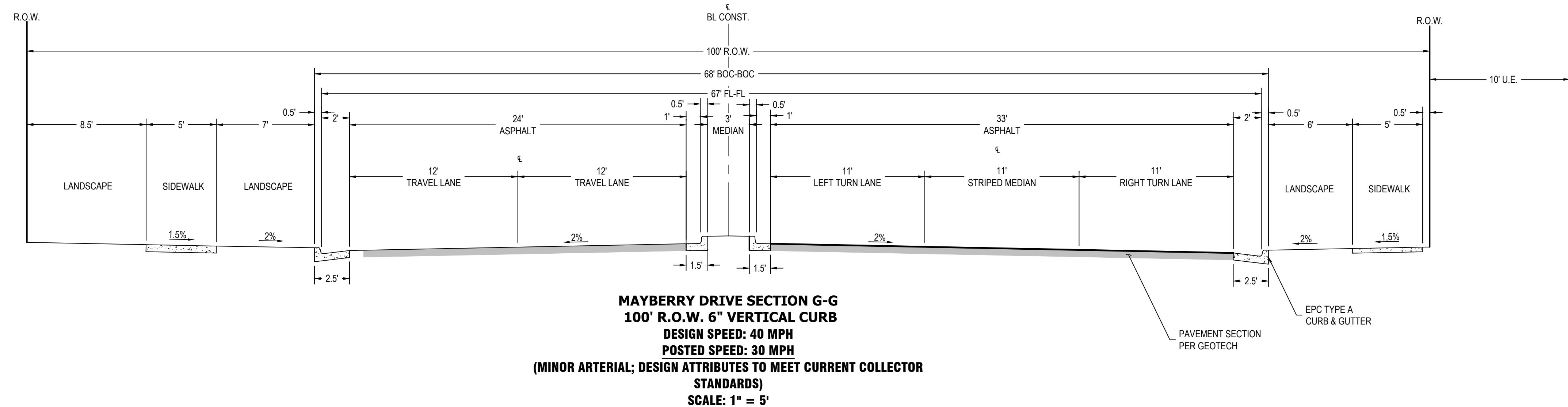
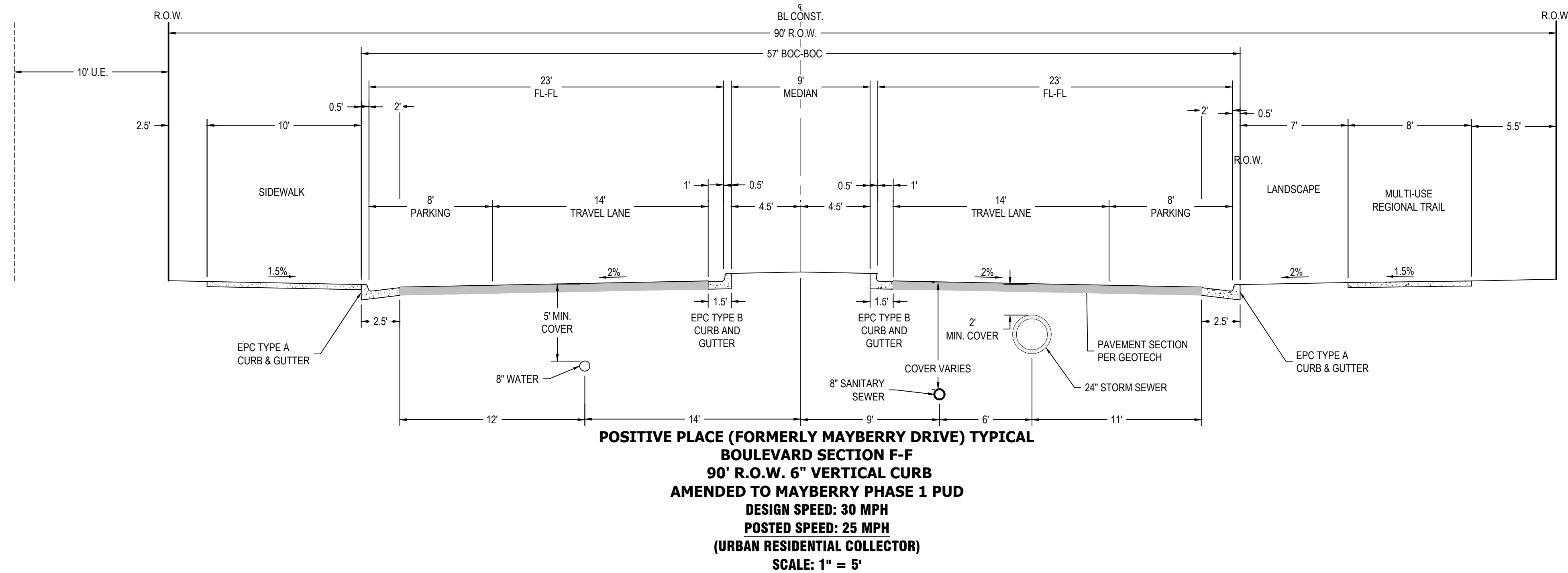
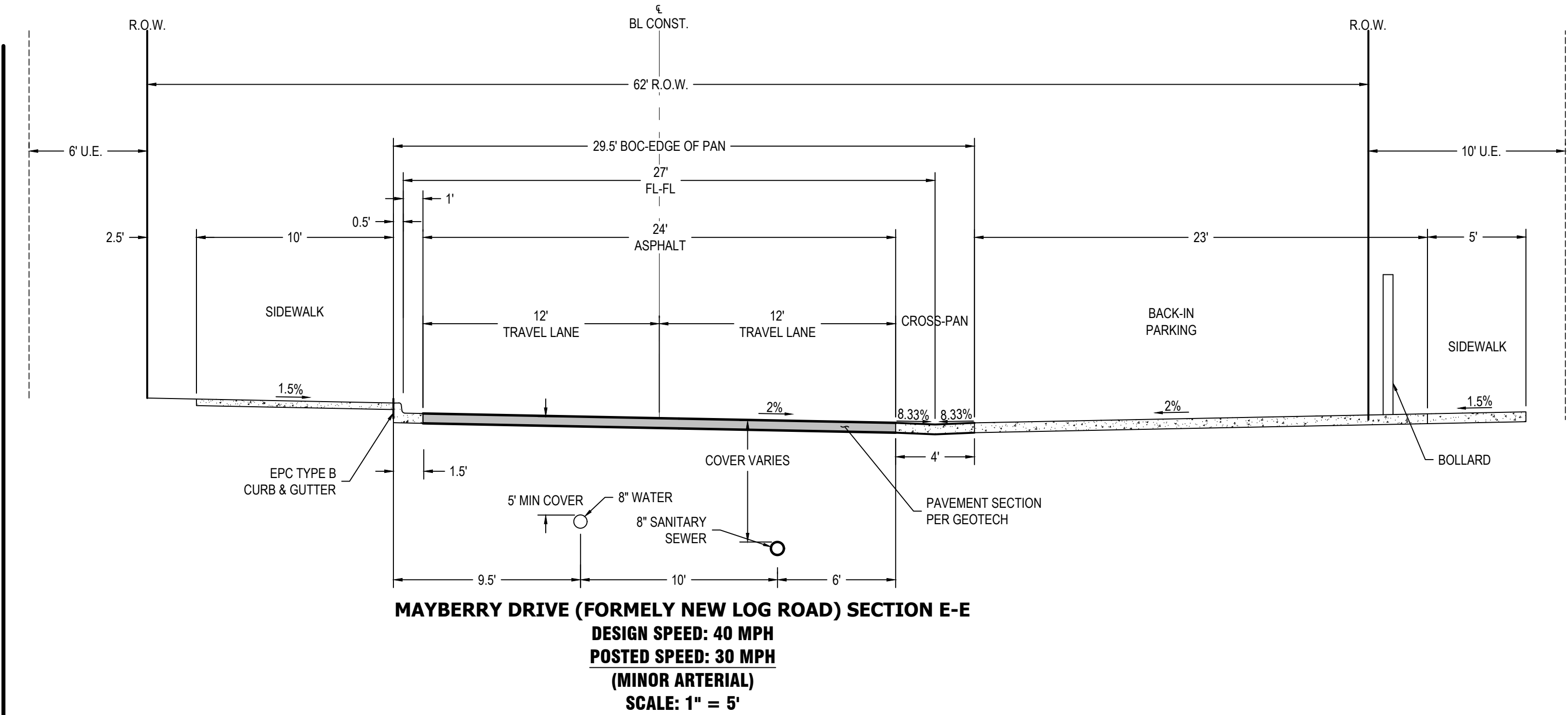
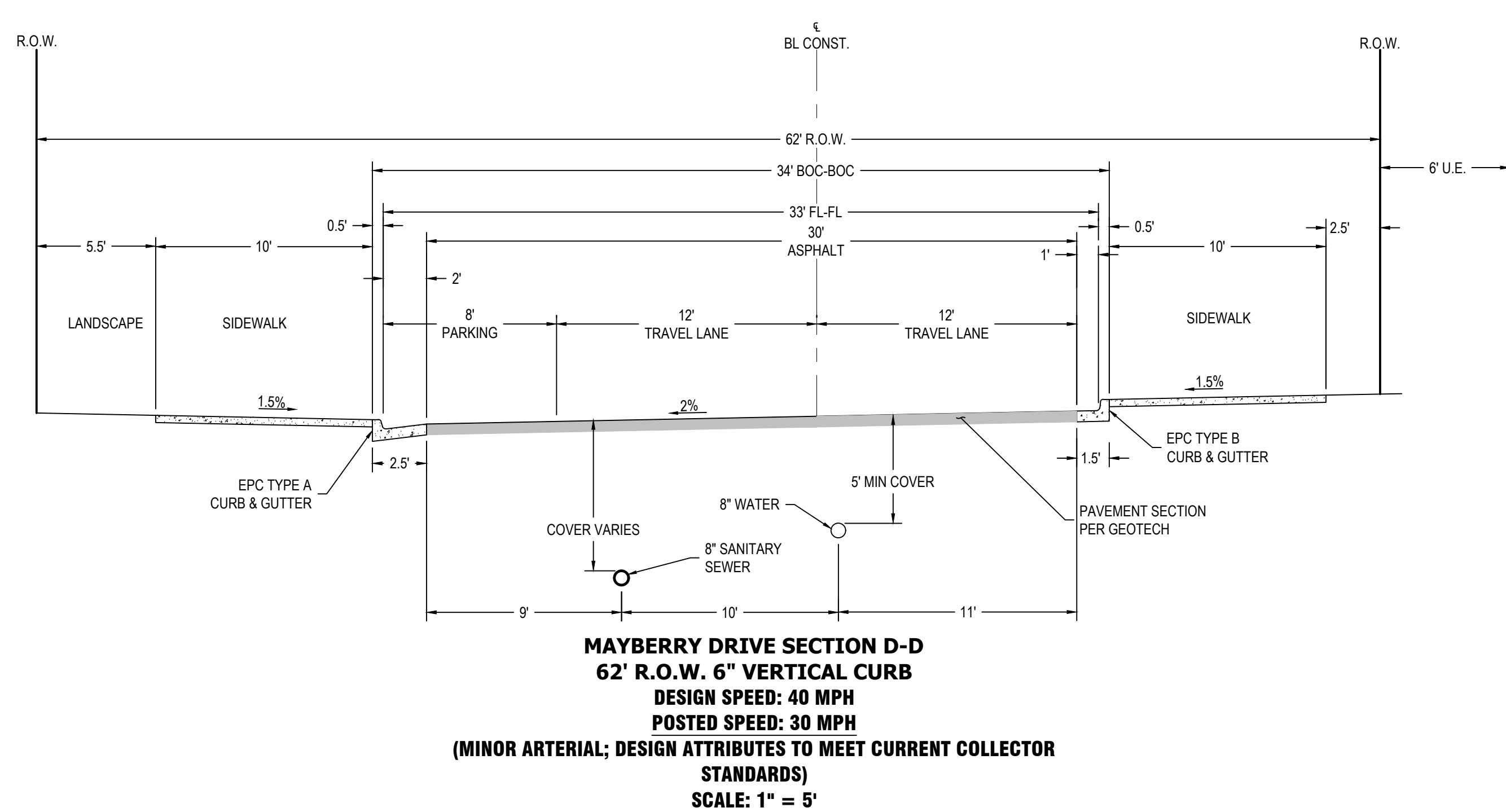
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No. 9

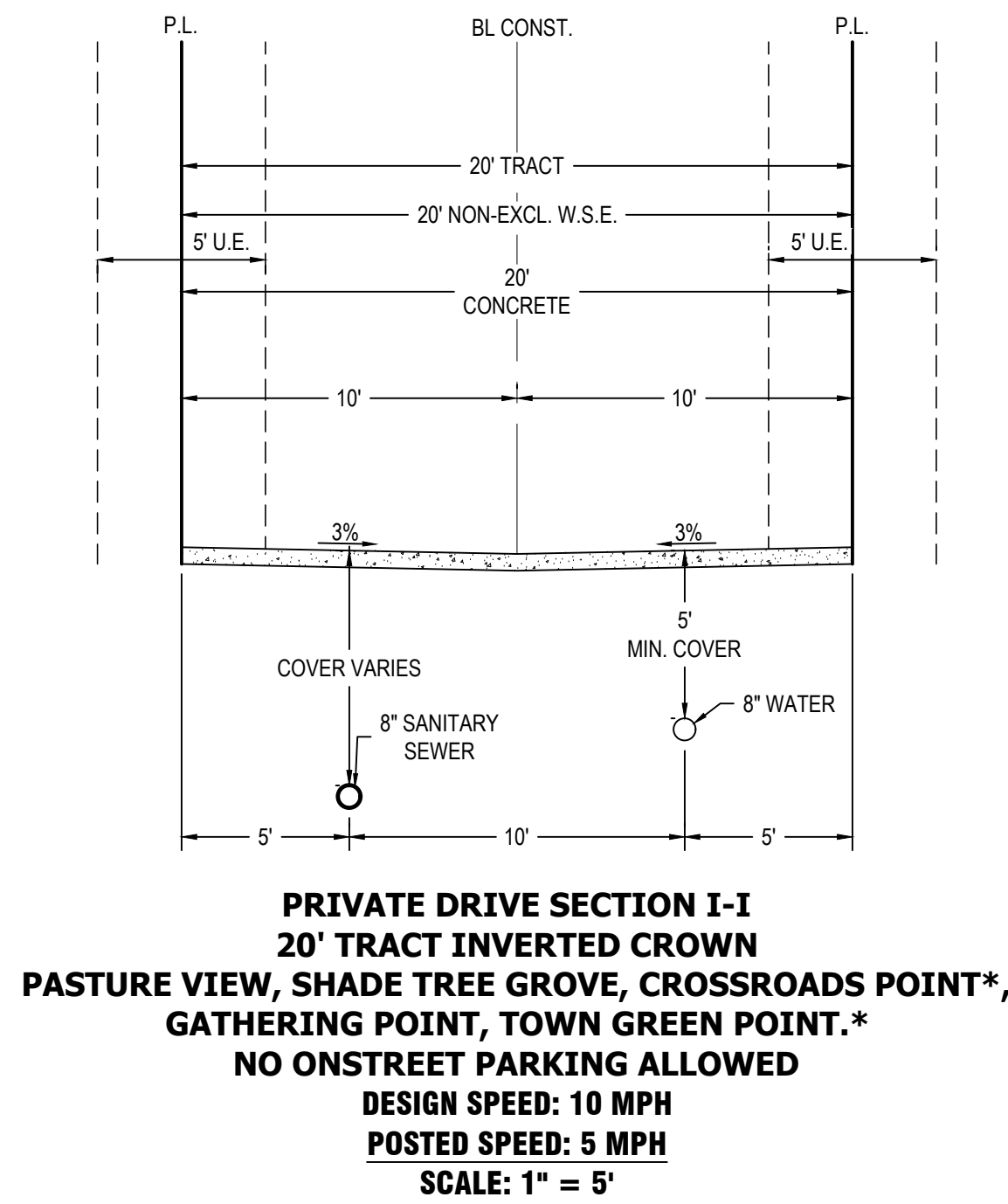
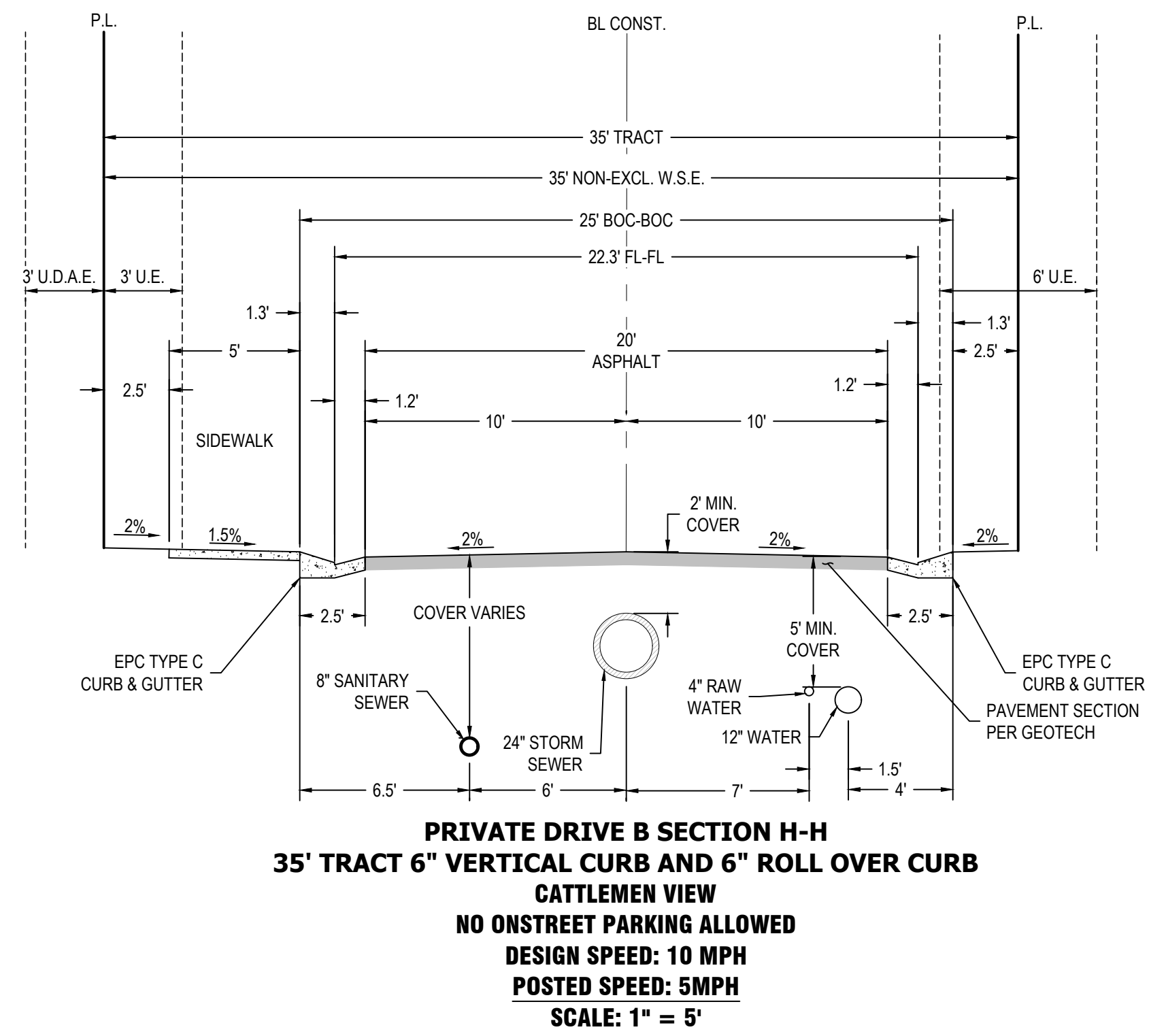
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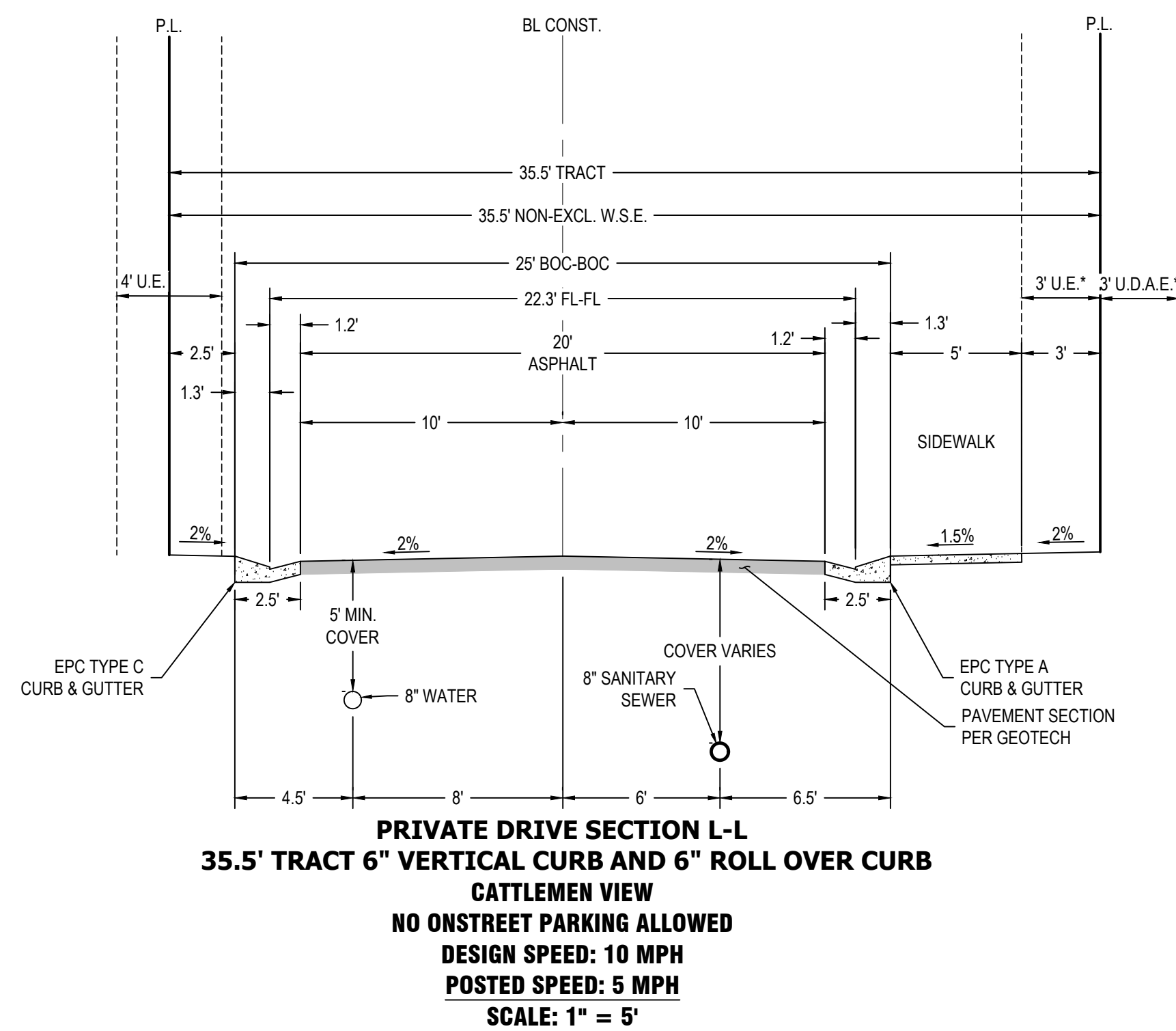
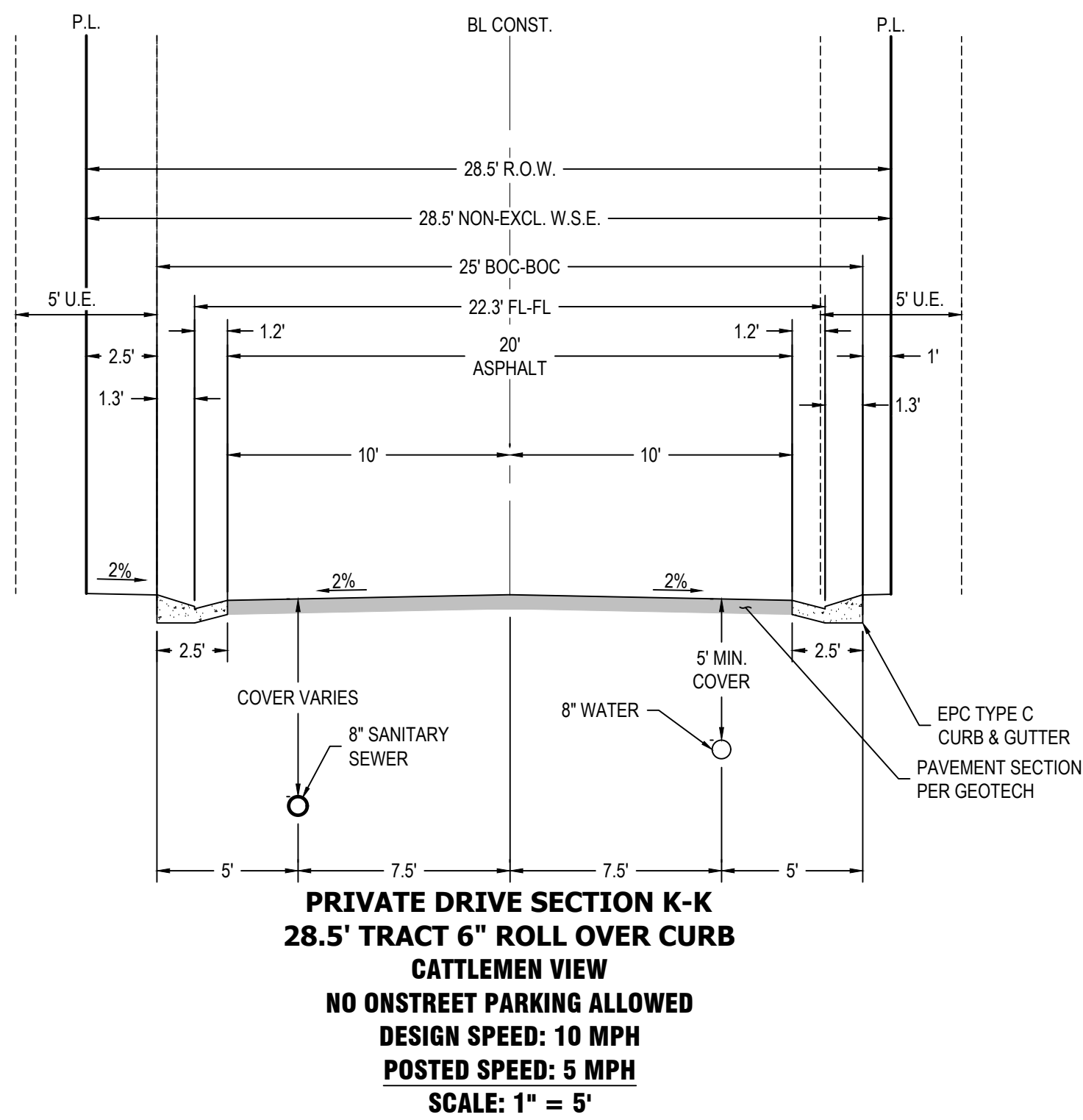
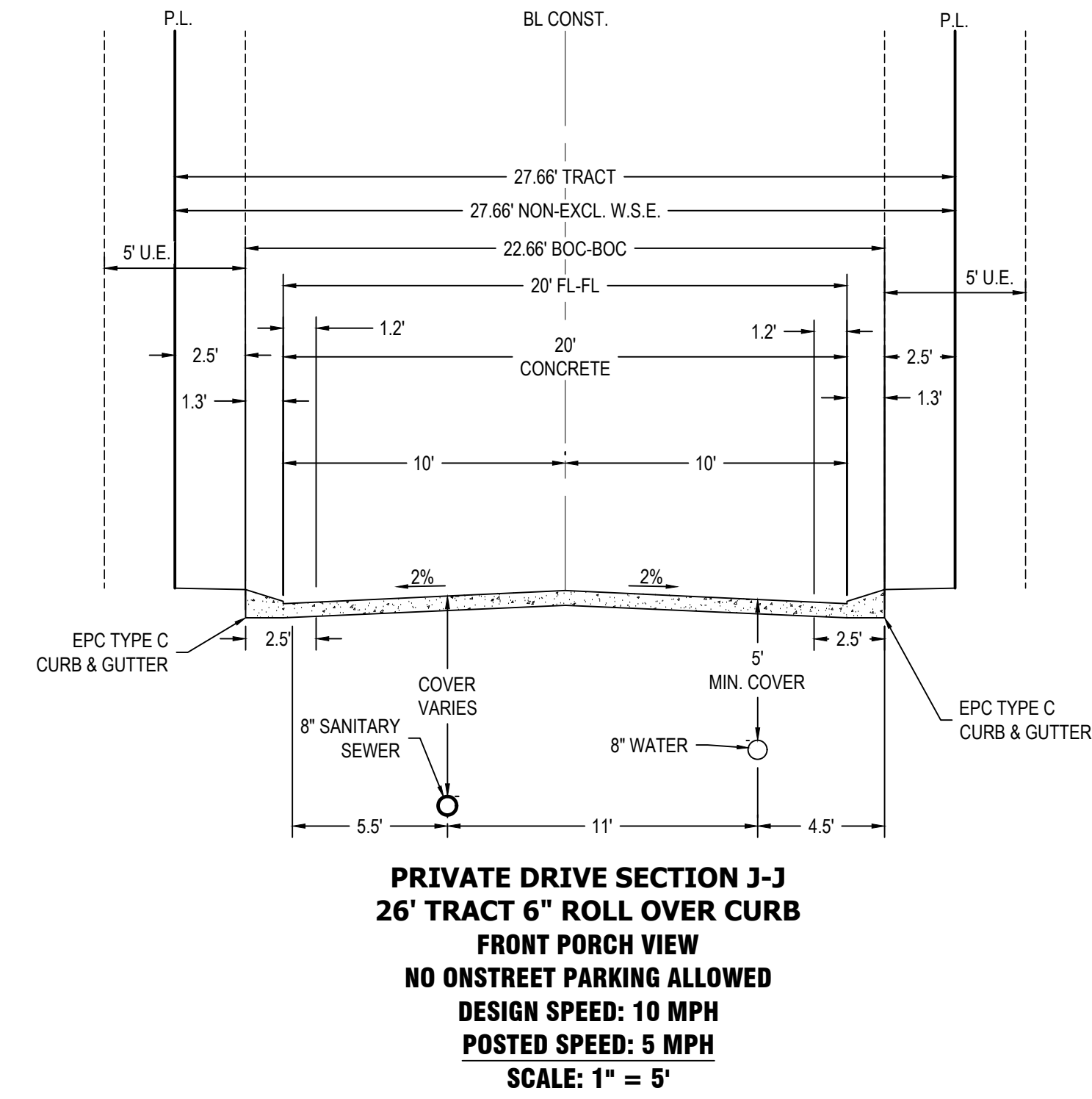
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Revision Type:		Rev. Date:		Job No.: 8787-0002		Sheet: 10 of 16
				Scale Horiz: N/A		Date: August 21, 2026
				Scale Vert: N/A		

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*TOWN GREEN POINT MAY HAVE 4' U.E. EITHER SIDE WHERE ALLEY LOADED. PORTION OF CROSSROADS POINT ENCOMPASSED BY CATTLEMEN VIEW MAY HAVE 6' U.E. ON WEST, 4' U.E. ON EAST.



*3' U.E. & 3' U.D.A.E. TO APPLY TO THIS SECTION WHERE SIDE OF HOUSE ABUTS STREET.



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1					
2					
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Designed: JAV		Job No.: 8787-0002		Sheet: 11 of 16	
Prepared: WCK		Scale Horiz: 1" = 40'		Date:	
Approved: AKM		Scale Vert: N/A		August 21, 2026	

Proj Name: Mayberry Phase 2 PUD, Filing 1

Location: El Paso County

Plan Set: Construction Documents

Sheet Name: Road Cross Sections

**NOT FOR
CONSTRUCTION**

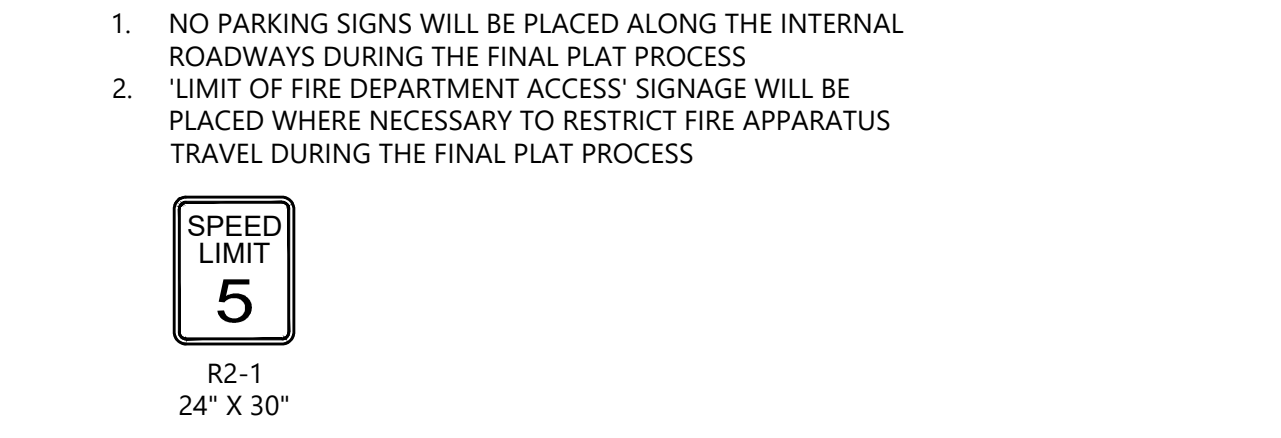
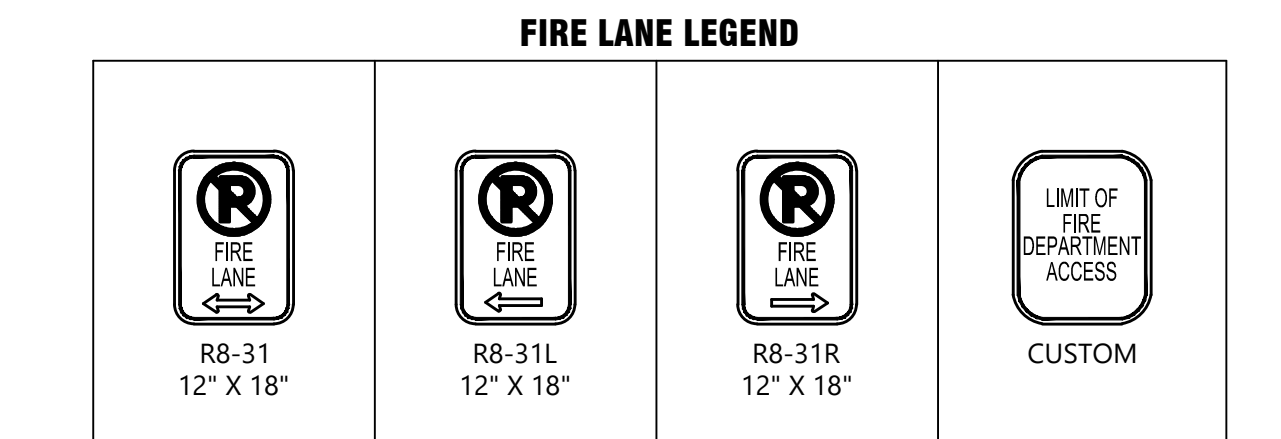
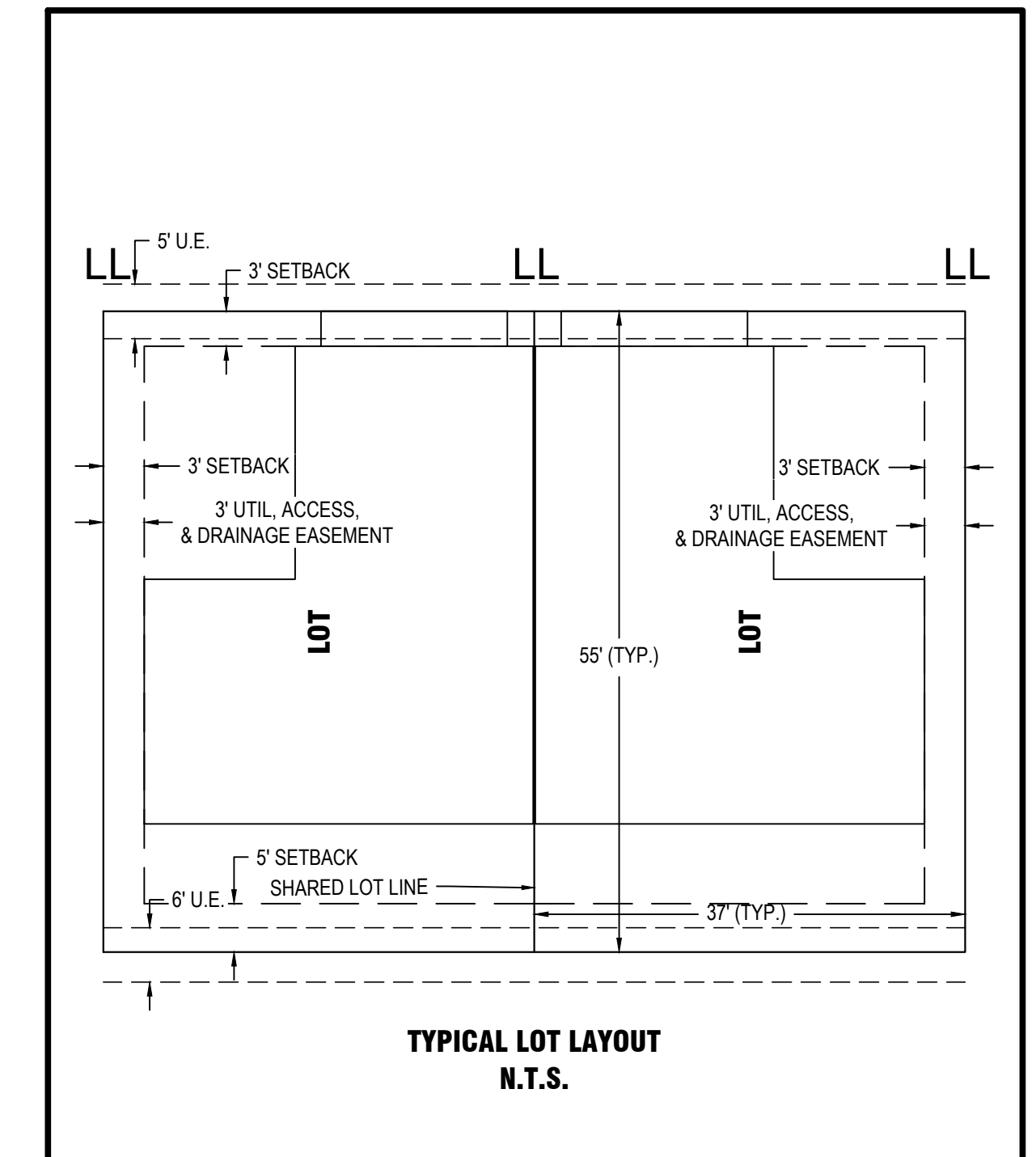
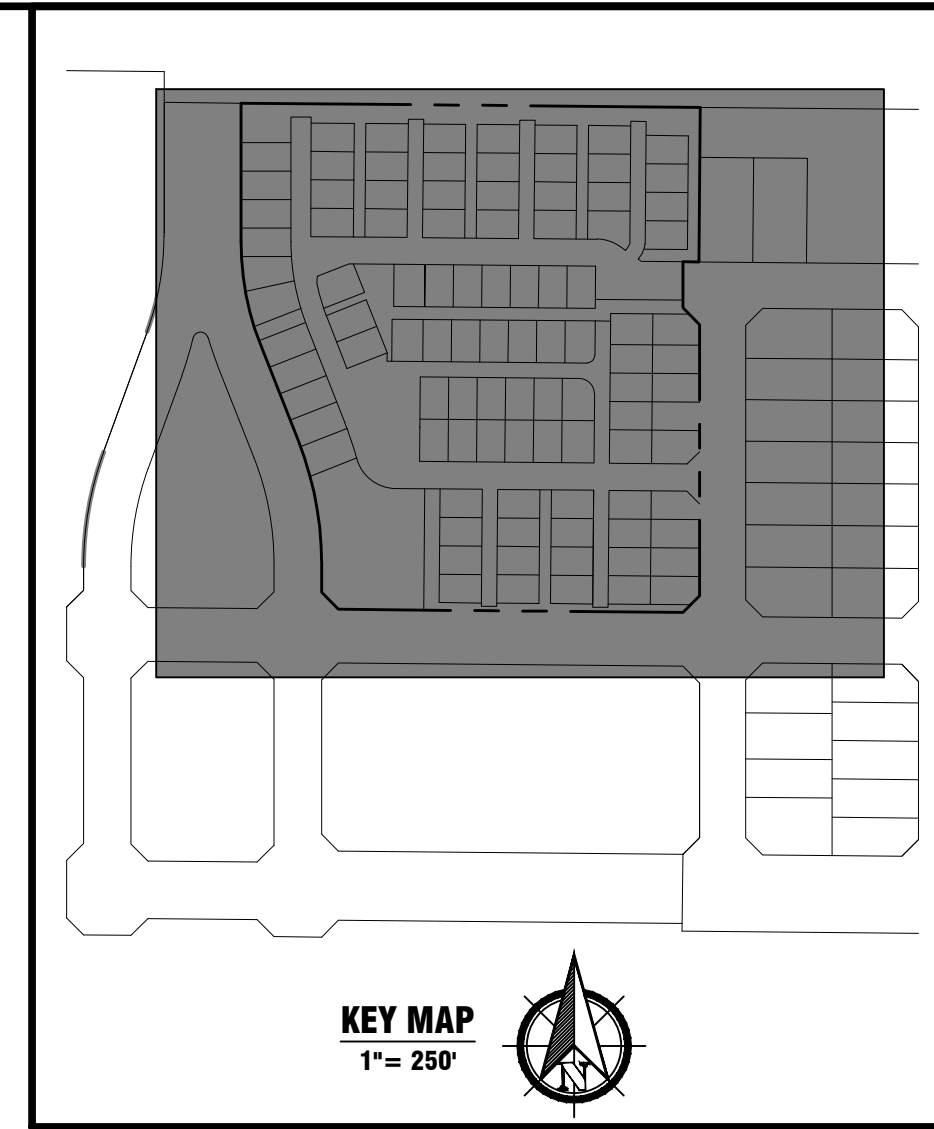
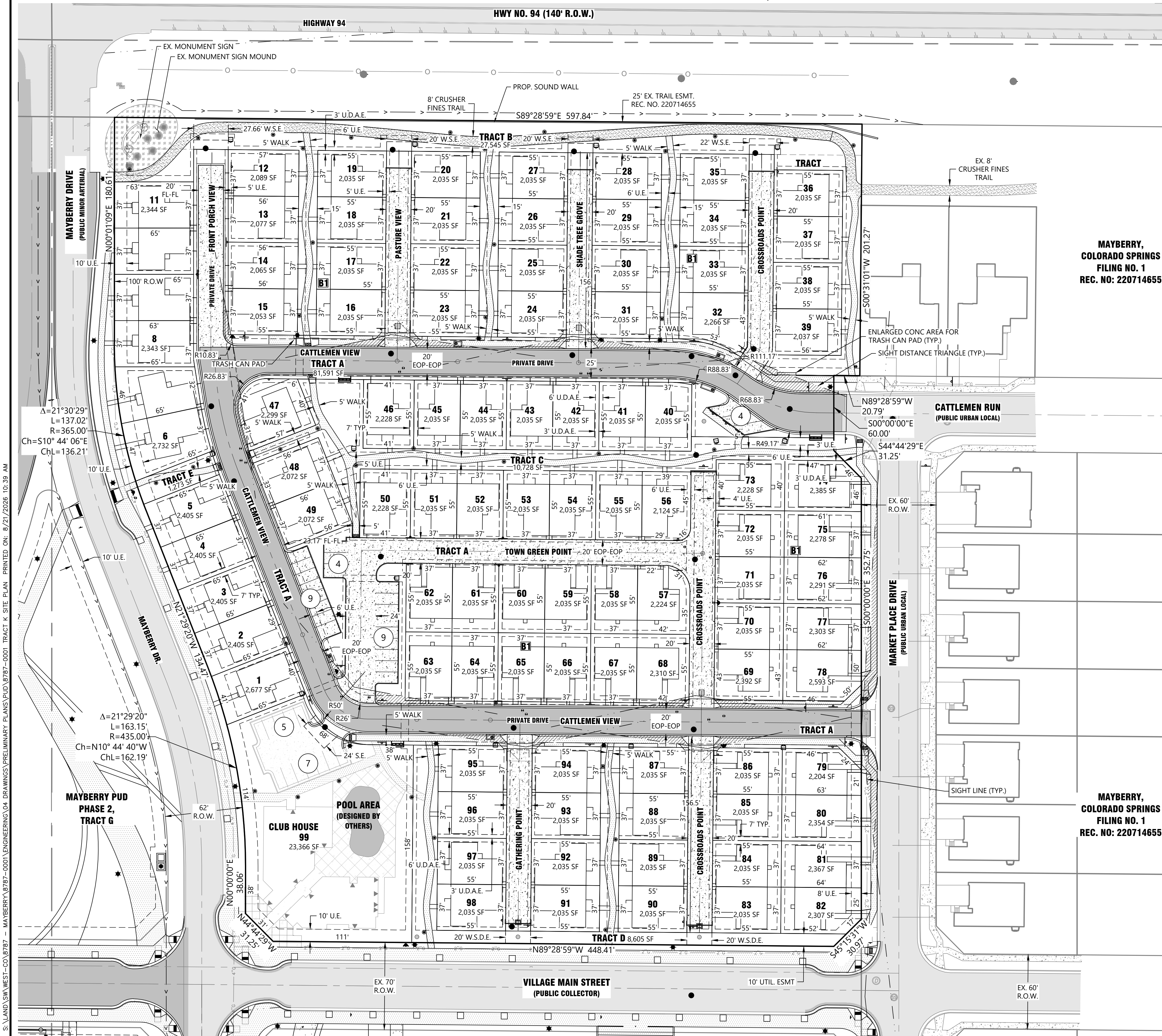


Know what's below.
Call before you dig.

No. 11

MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN
LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.



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No.	Rev.	Date:	Revision Type:
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5			
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Designed: WCK
Prepared: WCK
Approved: AKM

Job No.: 8787-0001
Scale Horiz: 1" = 40'
Scale Vert: N/A

Sheet: 12 of 16
Date: August 21, 2026

Mayberry Phase 2
El Paso County
PUD Development Plan & Preliminary Plan
Tract K Site Plan

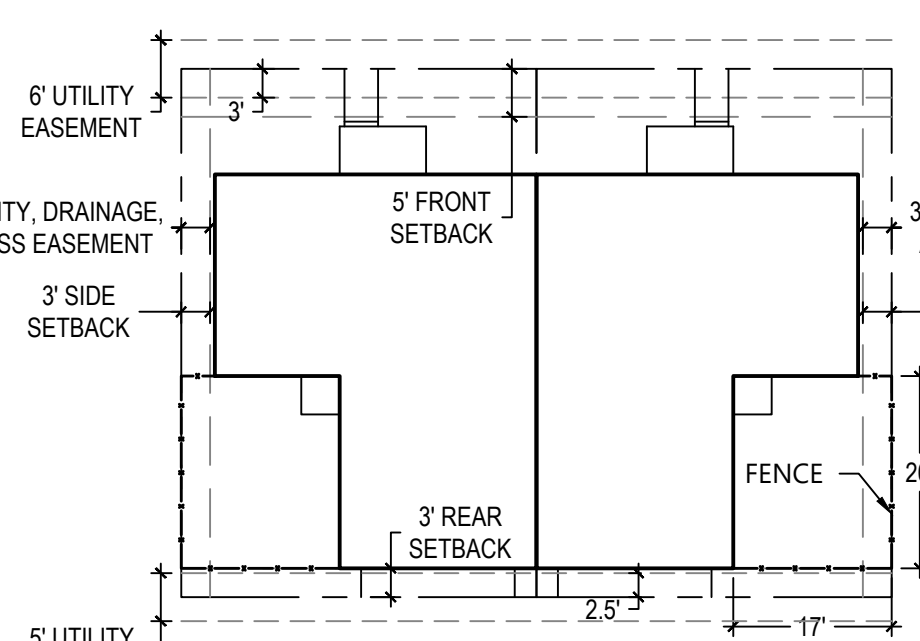
Client: Mayberry Communities, LLC
Address: 22108 Cattleman Run
Callahan, CO 80808
Contact: Scott Souder

Know what's below.
Call before you dig.

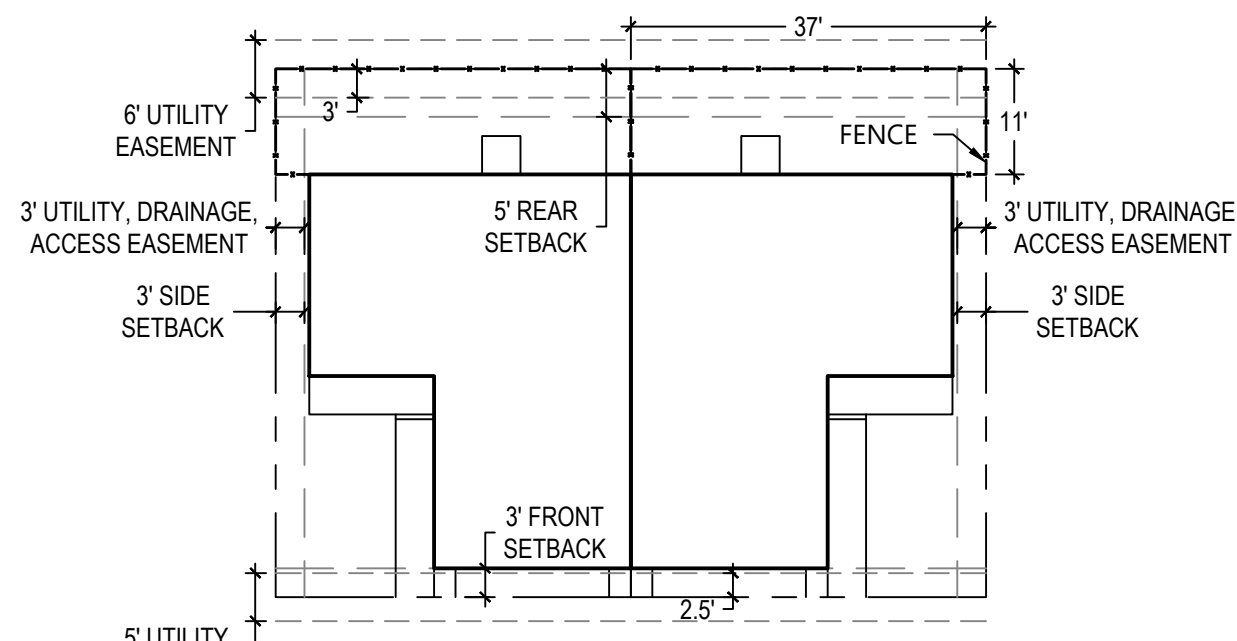
No. 12

MAYBERRY PHASE 2

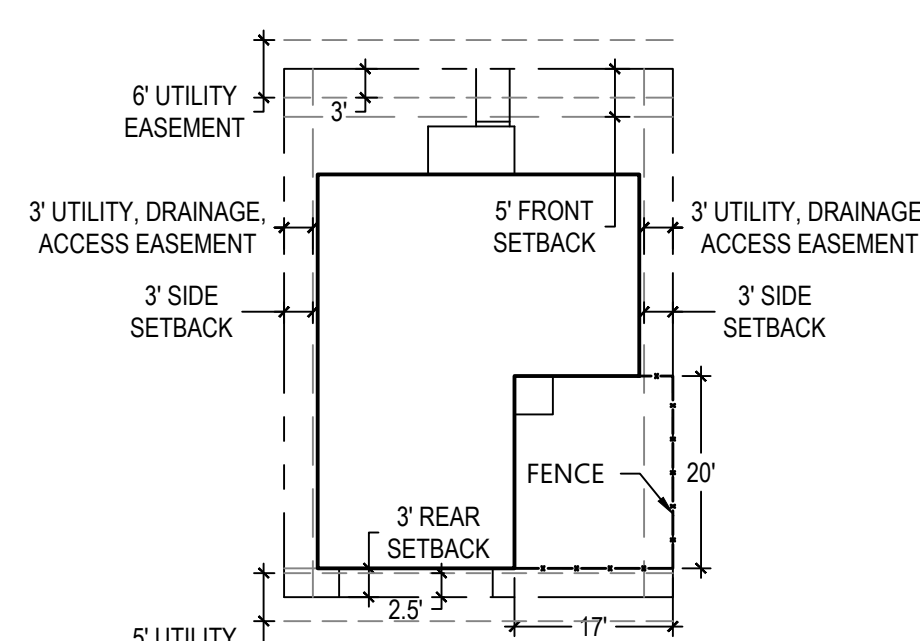
PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN
LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.



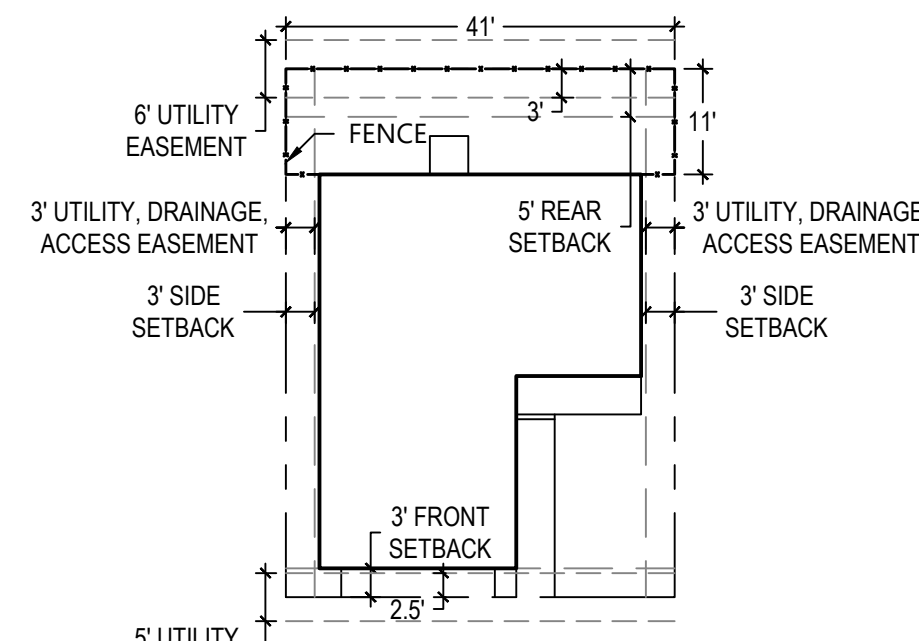
OPTION A
REAR-LOADED SINGLE-FAMILY ATTACHED
FENCE LAYOUT*
SCALE: NTS



OPTION B
FRONT-LOADED SINGLE-FAMILY ATTACHED
FENCE LAYOUT*
SCALE: NTS



OPTION C
REAR-LOADED SINGLE-FAMILY DETACHED
FENCE LAYOUT*
SCALE: NTS



OPTION D
FRONT-LOADED SINGLE-FAMILY DETACHED
FENCE LAYOUT*
SCALE: NTS

* SEE SHEET 7 OF THE MAYBERRY
PHASE 2 LANDSCAPE PLAN SET
FOR FENCE AND GATE DETAILS



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No.	Rev. Date	Revision Type
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Mayberry Phase 2	El Paso County	PUD Development Plan & Preliminary Plan
Location:	El Paso County	
Plan Set:	PUD Development Plan & Preliminary Plan	
Sheet Name:	LOT DETAILS	

Client:	Mayberry Communities, LLC
Address:	22108 Callaghan Run Callahan, CO 80808
Contact:	Scott Souder



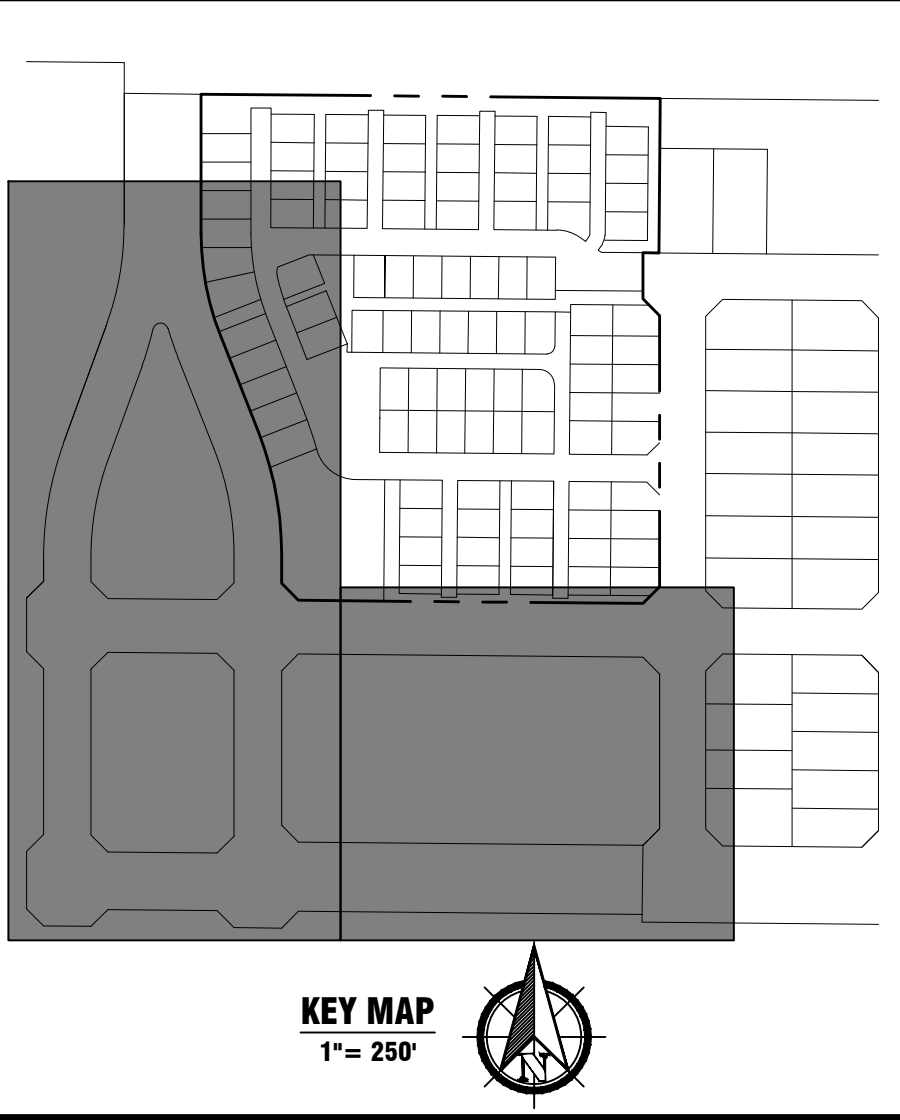
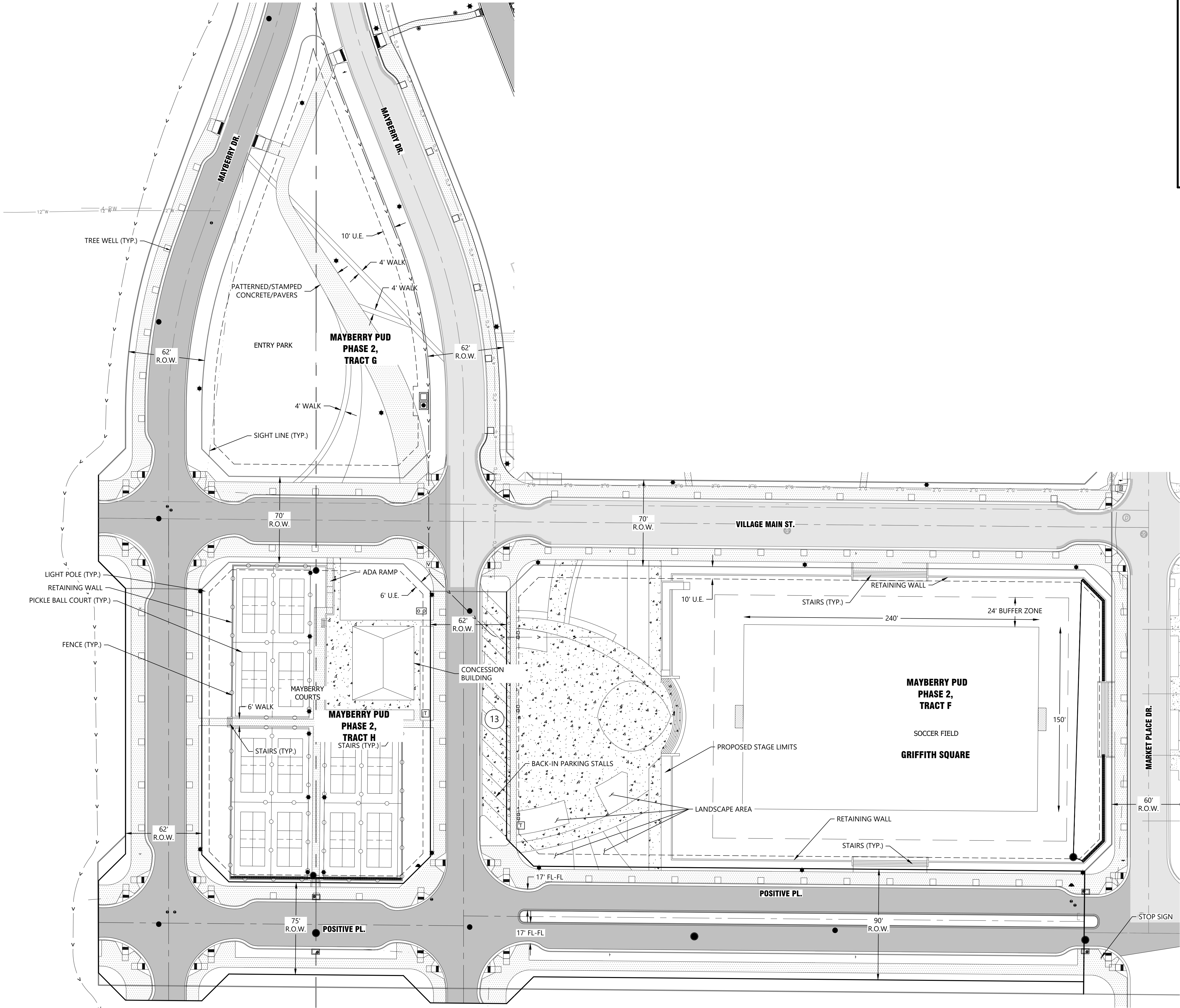
Know what's below.
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No.	13
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MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN

LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.





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No.	Rev. Date:	Revision Type:	Job No.:	Sheet:	Date:
1			8787-0001	14 of 16	
2					
3					
4					
5					
6					

Designed: WCK
Prepared: WCK
Approved: AKM

Scale Horiz: 1" = 40'
Scale Vert: N/A

Proj. Name: Mayberry Phase 2
Location: El Paso County
Plan Set: PUD Development Plan & Preliminary Plan
Sheet Name: Parks Site Plan

Client: Mayberry Communities, LLC
Address: 22108 Cattleman Run
Calhan, CO 80808
Contact: Scott Souder



Know what's below.
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No. 14

MAYBERRY PHASE 2

PUD DEVELOPMENT PLAN AND PRELIMINARY PLAN
LOCATED IN THE NW 1/4 OF SECTION 14 & THE NE 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO.



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No.	Rev. Date	Rev. Type	No.	Rev. Date	Rev. Type	No.	Rev. Date	Rev. Type
1			2			3		
4			5			6		
Designed: WCK			Job No.: 8787-0001			Sheet: 15 of 16		
Prepared: WCK			Scale Horiz: 1" = 60'			Date: August 21, 2026		
Approved: AKM			Scale Vert: N/A					

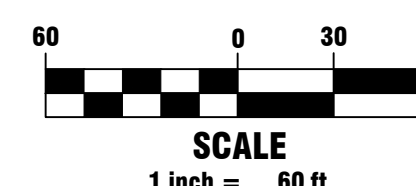
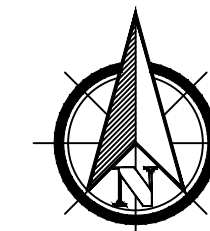
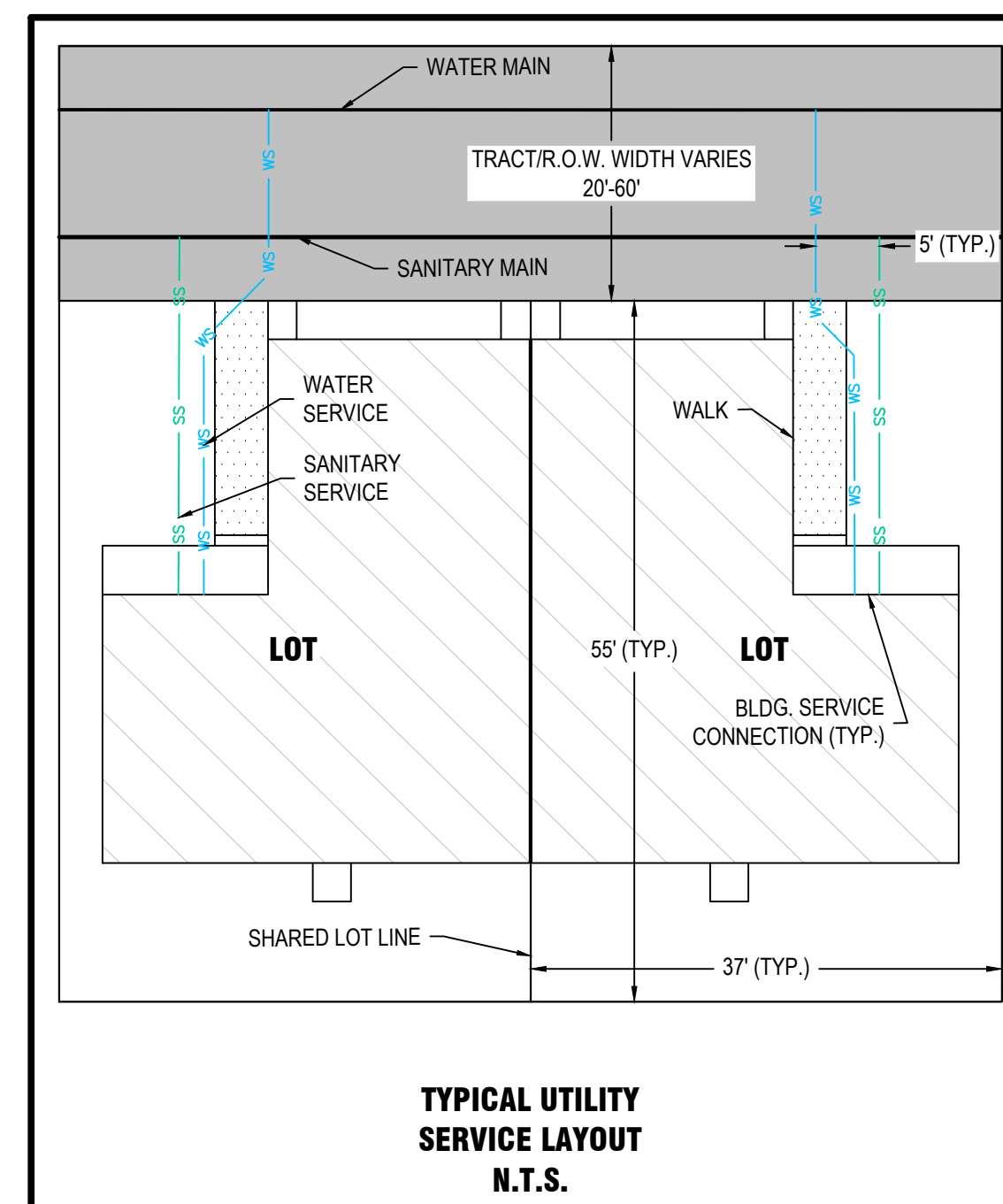
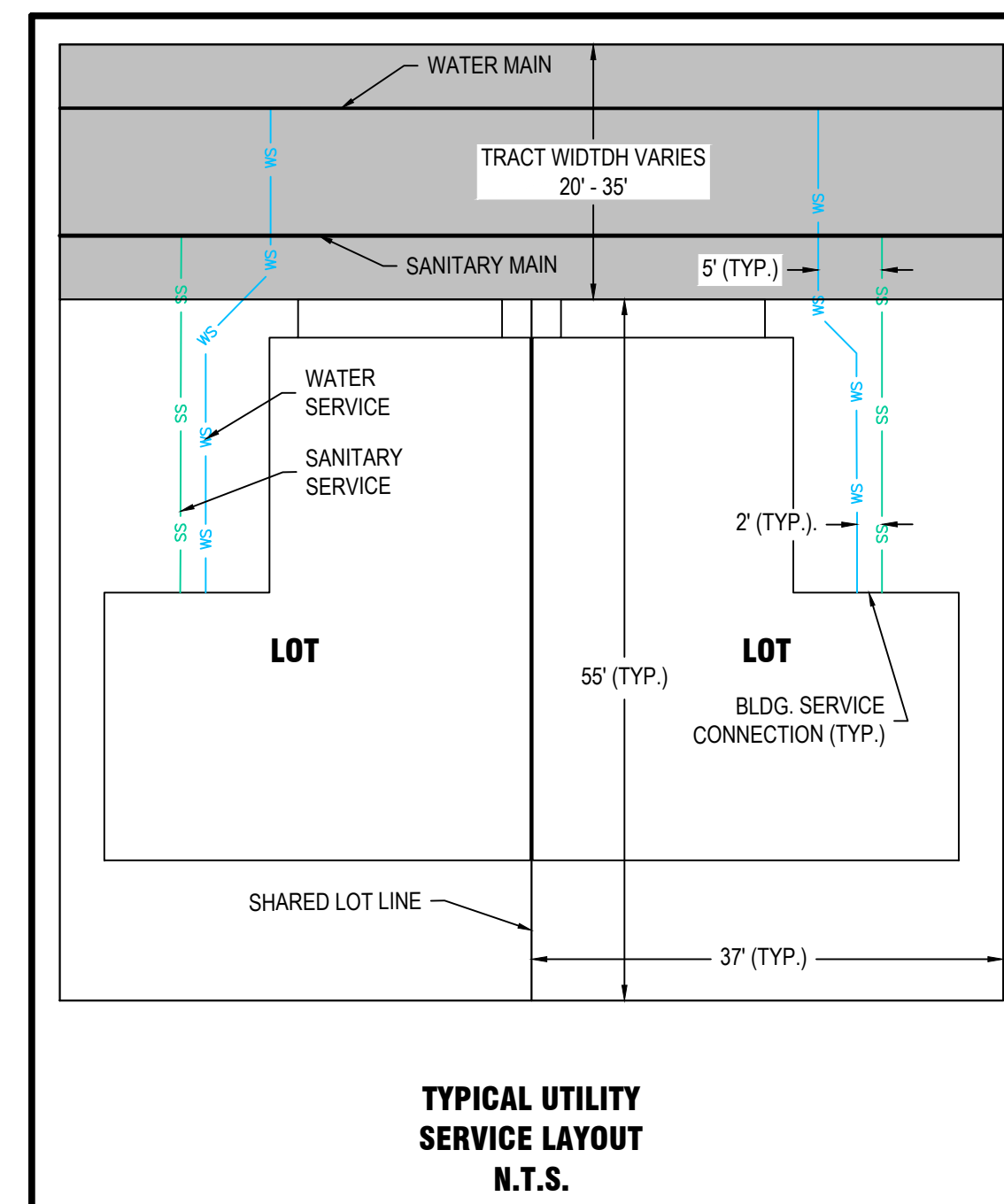
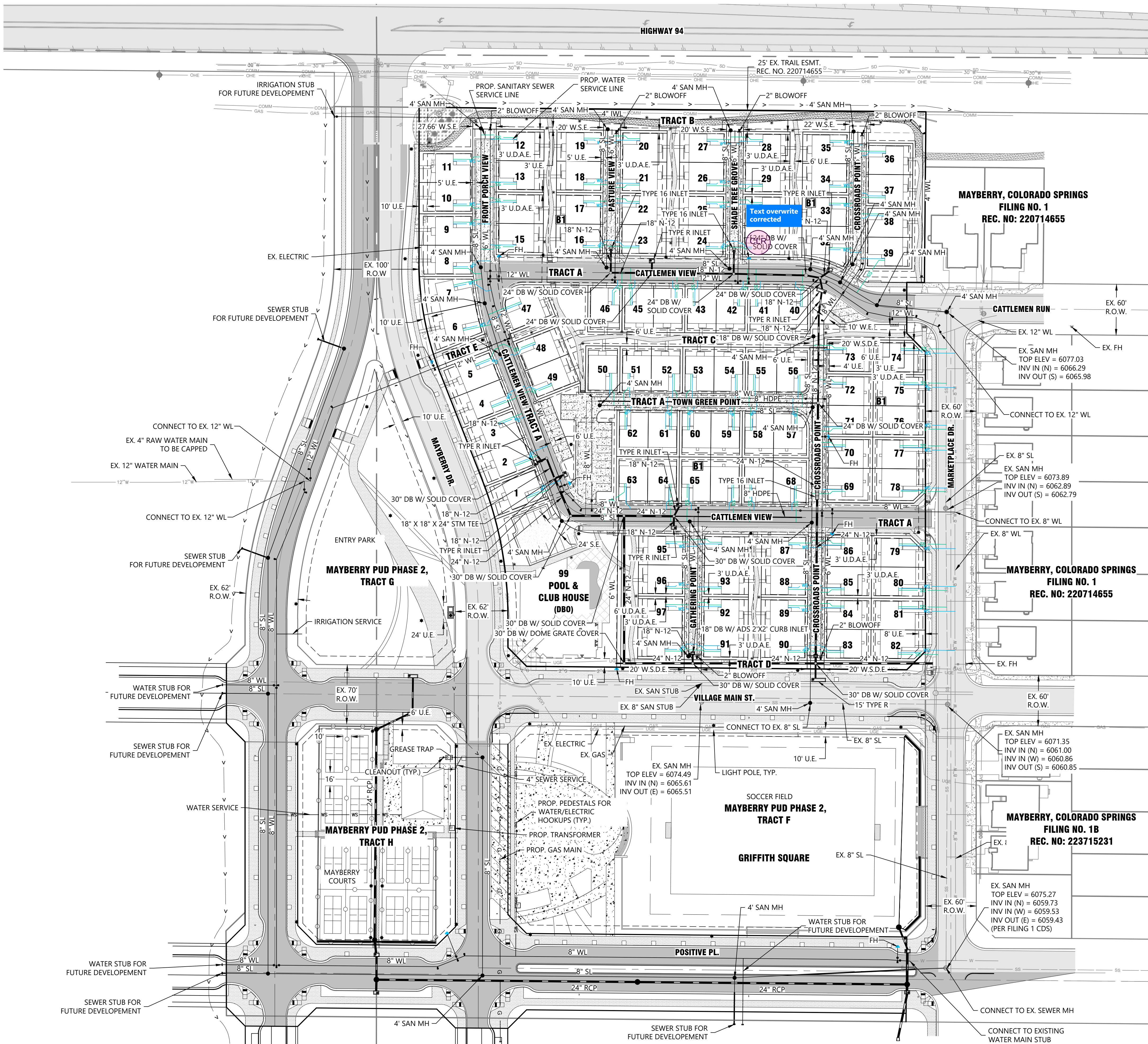
Mayberry Phase 2		
El Paso County		
PUD Development Plan & Preliminary Plan		
Overall Utility Plan		
Proj. Name:		
Location:		
Plan Set:		
Sheet Name:		

Client:	Mayberry Communities, LLC
Address:	22108 Cattlemen Run Calhan, CO 80808
Contact:	Scott Souder



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No. 15

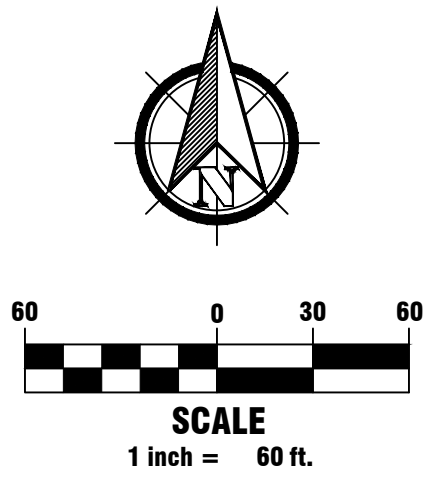


S:\LAND\SIN WEST-CO\8787 - MAYBERRY\8787-0001\ENGINEERING\04 DRAWINGS\PRELIMINARY PLANS\PU\8787-0001 UTIL PLAN PRINTED ON: 8/21/2026 10:40 AM

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Typical side swale section has been added.



Mayberry Phase 2 PUD, Filing 1
El Paso County
Construction Documents
Overall Grading Plan

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No. 16

No.	Rev.	Date:	Revision Type:
1			
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Designed: JAV Prepared: WCK Approved: AKM			
Job No.: 8787-0002 Scale Horiz: 1" = 60' Scale Vert: N/A			Sheet: 16 of 16 Date: August 21, 2026

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