



PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT  
Land Use Review Division

May 17, 2021

Butler Design Group  
Todd Lawrence  
5017 E. Washington St. #107  
Phoenix, AZ 85034

Property Owner: American Furniture Warehouse, Nolan Morrison

**RE: American Furniture Warehouse – Initial Review Comments**  
**File: CPC CP 07-00077-A5MN21, AR DP 21-00219, AR FP 21-00220**

City Land Use Review staff has completed its initial review of the above requested application. This letter is to inform you of the following concerns regarding the application and associated documents. Listed below are City Planning Department's review comments along with other departmental and external agency review comments that must be addressed prior to application approval.

**BROAD PROJECT INPUT**

The proposed project is a request by American Furniture Warehouse – Nolan Morrison, with representation by Butler Design Group – Todd Lawrence, for approval of a new Development Plan for establishment of a new 355,000 square foot American Furniture Warehouse along with a minor amendment to the Powers Professional Concept Plan to update development information. The site is zone PBC/AO (Planned Business Center with Airport Overlay) consisting of 25 acres located west of the intersection of Tutt Boulevard and Templeton Gap Road. Staff finds that the application is largely acceptable; however, the following technical modifications must be completed.

**TECHNICAL AND INFORMATIONAL ISSUES**

Address the comments and make corrections which are listed below. **A detailed letter needs to accompany the revisions. The letter must address each comment in this review letter. If necessary, contact the appropriate department directly if clarification is needed.** Be advised that due to necessary changes or proposed revisions to the subject plan, plat or other support documents, that new comments may be added to the review letter.

Please resubmit updated documents to the Dropbox shared folder (ensure documents are labeled with appropriate resubmittal name, are flattened and saved no larger than 25MB). Please note that the case planner will not be automatically notified when items are uploaded to Dropbox; once all items are uploaded to the shared folder email the case planner to notify them of the resubmittal.

### **Supplemental Information**

**Drainage Report:** The City Stormwater Enterprise (SWENT) has reviewed the drainage report and has forwarded the report to the consulting engineer. Refer to the SWENT reviewer's specific comments listed in this letter for comments on the drainage report that could affect this application. Please note that all resubmittals for the drainage reports shall be submitted directly back to SWENT via the ProjectDox online submittal website, not to Land Use Review Staff. The following is a link to SWENT's online submittal website: <https://coloradosprings.gov/stormwater-enterprise/page/electronic-review-system>.

**Posting Affidavit:** Affidavit to be submitted to Planning pursuant to City Code Section 7.5.902

**Public Notice:** Public comments were received by Planning through the internal review (see attached). A separate response letter should be included as part of your resubmittal to address these comments.

**PLDO Status:** N/A

**School District Status:** N/A

## **CONCEPT PLAN – CPC CP 07-00077-A5MN21**

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### **Land Use Review**

1. File Number – add the file number to the bottom right corner of each sheet
2. Ensure a clear and dedicated space for approval stamp
3. Amendment Table – update the amendment table to improve clarity on the scope of the proposed amendment. Also update the table to show all the amendments, reference the previously approved plan (CPC CP 07-00077-A4MN18, can be accessed on our websites database) to show the other amendments.
4. Remove the details for the AFW site area, this is a concept plan and should just show conceptual information not the details as shown. Please update
5. Remove building heights shown in the future building pad sites.
6. There should be clouded areas shown for just the areas of change for this minor amendment
7. General Notes: the notes that have been copied over from the previously approved plan should be re-reviewed as there are several missing letters/etc. that need to be captured.
8. Parking and Building Data table: the areas of change should be clouded and ensure to review and update the information related to the area's that are part of this concept plan update.
9. Building Data: remove this as it does not belong for level of detail on a concept plan
10. Remove the AFW logo/name. The sheet should be titled "Powers Professional Park Concept Plan"
11. For those parcels east of Tutt Blvd. label them as just 'existing' remove 'not a part'
12. Show and call out the use for the AFW lot (again removing the detailed site plan)
13. Show and call out the required 15-foot landscape buffer along the southern property line.
14. To staff's understanding there is a large retaining wall proposed, is this needed for grade as it is seen to be as quite significant. Can this be updated and reduces?

### **Engineering Development Review (Joel Dagnillo, 719-385-5412)**

1. The wording of General Note Number 5 will be revised when the geological hazard report is submitted to the City (see Development Plan comment Number 2).
2. On the development plan, there appears to be conflicting information whether a fourth access onto Tutt shown on the southeast point of the property will be added. Please show this consistently on all plans, and pending Traffic Engineering approval, call this out as To Be Constructed. Assume this would be right in-right out.
3. Please review General Notes 7-9 and eliminate them if they are no longer applicable with this development, or revise if needed.
4. Call out all the accesses onto Tutt Blvd. and label them as "Existing, Full Movement."
5. Label Powers Blvd. as "Colorado State Highway 21."
6. Label American Heights as "Private."

**Water Resource Engineering (Anna Bergmark, 719-385-5613)**

1. Call pond full spectrum detention pond.
2. Add Floodplain statement with FEMA FIRM panel number. FYI The final plat has the correct statement on it.
3. Add who will own and maintain full spectrum detention pond.

Additional information:

- Reviewed by Gajda Environmental Consulting. Please direct all comments to [Anna.bergmark@coloradosprings.gov](mailto:Anna.bergmark@coloradosprings.gov)

- A Final Drainage Report is required for this project and was submitted to planning. The Stormwater Enterprise may have additional comments on the CP once this report is submitted to ProjectDox and reviewed. See comment 3 below.

- All submittals to the Stormwater Enterprise (SWENT), Engineering Development Review Division (EDRD) and Traffic, must be submitted online via the new ProjectDox software. Information, including a user manual and the link to the website can be found here: <https://coloradosprings.gov/stormwater-enterprise/page/electronic-review-system>. Please note that this does not change the Planning department's submittal process in any way.

**Traffic Engineering (Zaker Alazzeah)**

1. Please add the following note to the concept plan general notes "The developer will be responsible to construct a northbound left turn lane at the proposed northern site access. This turn lane will need to be 50 feet in length with a 60 foot reverse taper

**Airport Overlay, Colorado Springs Airport (Kris Andrews)**

Please see enclosed comment letter. These items will be heard at the May 26, 2021 Airport Advisory Commission Meeting.

**El Paso County Development Services**

No comments received as of the date of this letter from this agency, pending any update.

**DEVELOPMENT PLAN – AR DP 21-00219**

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**Land Use Review**

1. File Number – add the file number to the bottom right corner of each sheet
2. Ensure a clear and dedicated space for approval stamp
3. Overall staff would encourage the design team to review the development plan checklist to ensure all items are included on the submitted development plan sheets. In addition please note that this will be a full size set (24"x36") and should be represented in a manner to accommodate this; if renderings and others are to be included please accommodate to be clearly represented on pages and include these additional sheets at the end of the entitlement sheet set.
4. Call out and label each lot on the site plan; include a note on each lot "future development will required major amendment"
5. Site Data – add or correct the following to the site data on sheet one of the plan, all the items shown here as an example should be included in your site data. No building information is needed.

LEGAL DESCRIPTION:

LOT 3 of HIGHLANDS AT BRIARGATE FILING NO. 3.

TO BE PLATTED AS: LOT 1 AND 2 OF HIGHLANDS AT BRIARGATE FILING NO. 5.

SITE DATA:

CONCEPT PLAN NAME:HIGHLANDS AT BRIARGATE (CPC CP 14-00115)

MASTER PLAN NAME: BRIARGATE MASTER PLAN

EXISTING ZONING: PBC (CPC ZC 14-00114, ORD. 15-16)

PHASE 4 TOTAL AREA: 7.3AC (319,984 SF)

DRAINAGE BASIN: PINE CREEK BASIN

PROPOSED USES: RETAIL AND OFFICE

TSN: 6233201013

DEVELOPMENT SCHEDULE: SPRING 2021

PHASE 4 AREAS:

PROPOSED BUILDING AREA (1st FLOOR): 39,398 SF (12%)

PROPOSED PAVEMENT AREA: 157,134 SF (49%)

PROPOSED LANDSCAPE AREA: 123,452 SF (39%)

PARKING DATA :

COMMERCIAL CENTER

BUILDING AREA (39,398 SF)

PARKING REQ: 1 SP/300 SF = 131 SP

TOTAL REQ: 131 SPACES

TOTAL PROV: 371 SPACES\*

ADA SPACES REQ: 8 SPACES (2 VAN ACCESSIBLE)

ADA SPACES PROV: 12 SPACES (6 VAN ACCESSIBLE)

\*REFERENCE NOTE 7

BUILDING SETBACKS: 25 FEET (BRIARGATE PKWY, RESEARCH PKWY, CHAPEL HILLS DR)

MAXIMUM BUILDING HEIGHT: 45 FEET

LANDSCAPE SETBACKS:

BRIARGATE PKWY- 25 FEET

RESEARCH PKWY- 25 FEET

CHAPEL HILLS DR- 20 FEET

6. As seen above provide a 'to be platted as' legal description
7. General Notes: a section of general notes should be included to include but not limited to the following.
  - a. Floodplain statement
  - b. Add note for airport overlay "THE PROPERTY BEING PLATTED HEREIN IN ITS ENTIRETY IS SUBJECT TO AN AVIGATION EASEMENT FOR PUBLIC AVIGATION PURPOSES. SAID EASEMENT SHALL BE CONSIDERED A PUBLIC EASEMENT AND SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED ON THE INSTRUMENT RECORDED AT RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.
  - c. Any covenants by entity called out just to identify as existing
  - d. Per City Code Section 7.4.102.D all exterior lighting shall be arranged to mitigate light directed away from adjacent properties and any public right-of-way. The exterior building lighting, including parking lot lights, shall be full cut-off fixtures with no sag lens.
  - e. Handicap access aisles, ramps, parking spaces and adjoining sidewalks shall meet all applicable City and ADA code requirements.
  - f. ADA standard note per the development plan checklist
  - g. A Coordinated Sign Plan (CSP) is being established with this development plan for all lots associated with this development plan. Future sign approvals and permitting will need to be consistent with this approved Coordinate Sign Plan.
  - h. Lot owners are responsible for the maintenance for shared common access drives and landscape areas fronting their property.
  - i. ALL ACCESS DRIVEWAYS, DRIVES, AISLE WAYS, MANEUVERING AND PARKING AREAS WITHIN THIS PLATTED LOT SHALL BE FOR THE COMMON USE OF ALL USERS, PUBLIC AND PRIVATE, AND OWNERS OF THIS PLANNED DEVELOPMENT.
  - j. Landscape improvements along all shared access shall be the responsibility of \_\_\_\_\_ for all maintenance.

- k. Note that the internal private roadway American Heights shall be built in it's entirety except for the southern portion to connect to Tutt at future development. Any area of future roadway shall still have an interim curb condition.
  - l. Future development of any lot as part of this overall development plan will require a major development plan amendment.
- 8. Buffering – As described below in the Landscaping comments, and with some comment here, staff has concern for the treatment of buffering specifically along the southern boundary line. Staff would suggest reevaluating options for landscape buffers and the alignment of the access roadway since there seems to be options for placement of this with site design.
- 9. Show and call out the required 15-foot landscape buffer along the southern property line.
- 10. To staff's understanding there is a large retaining wall proposed, is this needed for grade as it is seen to be as quite significant. Can this be updated and reduced? Staff would like to understand (and would ask) if there is a way to shift the building north as to use more of the 127-foot setback on the rear of the property.
- 11. Staff would like to better ensure and understand the layout and design for the loading area from the Warehouse and the truck entry. First suggestion from staff would be to ask if this can be moved to the northern side of the building at all to better establish a separation of the warehouse components to the surrounding neighborhood. For current location staff is understanding the site plan that the area of the loading is completely behind a full building façade; however the south elevations provided do not show this to be the southern elevation, rather showing the loading garage doors, which would be facing the south. This condition would not be favorable for any of the loading area to be seen to the south. Seems this screen wall would be missing from the elevations in all directions.
- 12. Dimension the stacking area from the loading dock gate. This needs to accommodate the planned number of trucks here so no stacking would result in blocking of the internal roadway.
- 13. Call out all surrounding subdivisions and land uses around the proposed property
- 14. Remove signage pages from the development plan, this is not part of the development plan approval and will require separate review and approval with the City Sign Specialist.
- 15. The eastern property line seems to cut into a portion of some landscape and curb/gutter areas for this AFW lot; staff would prefer these lots to be platted in a way that this would not be the case and would more clearly have the property line run down the middle of the internal roadway. Please update for the development plan and plat.
- 16. Please provide a typical accessible parking stall detail to illustrate the required accessible parking stall facilities (i.e. ramp, signage, dimensions, etc.).
- 17. Please provide a typical accessible parking stall detail to illustrate the required accessible parking stall facilities (i.e. ramp, signage, dimensions, etc.).
- 18. Show the ADA route from the public sidewalk (in this condition along Tutt Blvd) to the building entry. This should be shown with a specific line type (called out in legend) and shown on the provided sidewalk. Staff does not see where there is a sidewalk to Tutt, this will need to be added.

#### Landscape (Daniel Gould, 719-385-5375)

- 1. Informational Comments –
  - a. Based on the submitted plans, a Final Landscape and Irrigation Plan has been submitted and comments have been provided based on these type of submittals.
  - b. The Owner or Developer shall provide an inspection affidavits executed by both the qualified landscape and irrigation plan designers, which certifies that all components have been properly installed. This should require limited construction observation visits to accurately complete the affidavit. Please ensure the Contractor/Owner is brought up to speed on this requirement. City Planning shall inspect and verify the initial landscape and irrigation system installation subject to compliance with section 310.B.
- 2. Overall Comments:
  - a. Update the sheet index on the cover sheet to read "Final Landscape Plan" for sheets L.2 thru L.5

- b. Please add the following notes clarifying who will own and maintain all landscape improvements on the cover sheet of the Development Plan (if ever there is a question or enforcement action necessary - Preliminary Landscape Check List item 1.I).
  - "Landscape improvements and maintenance shall be the responsibility of Owner, and/or their assigns".
  - "All street trees and streetscape improvements located in the ROW will be maintained by the abutting property owner."
- c. Provide a "Certification of Professional Qualifications" Form. This will establish the project Designer of Record and who is to perform the landscape and irrigation inspections for the site. (Final Landscape Plan Checklist #1) [https://coloradosprings.gov/sites/default/files/planning/ad\\_pq\\_form.pdf](https://coloradosprings.gov/sites/default/files/planning/ad_pq_form.pdf)
- d. When will the applicant be providing the final soils analysis report (7.4.315)? With the overall size of this project, the required existing soils analysis report will need to be submitted with the Final Landscape Plan and soil preparation recommendations (amendment/fertilizer amounts and application rates) for each type of proposed landscaping (Shrub beds/Sod/Native Seed) will need to be shown on the plan set. Below is a link for soils lab and future landscape and irrigation affidavits. Let me know if you have questions on this.
  - <http://www.soiltestinglab.colostate.edu/> (soils lab)
  - <https://coloradolab.com/services/soil-analysis/> (soils lab – Complete Nutrient Test)
  - <https://coloradosprings.gov/planning-and-development/page/certificate-occupancy-and-financial> (FYI - these Affidavits (Landscape and Irrigation) will be required to be submitted (including soil amendment tickets) before the City will release final CO or FA for the project.

### 3. Sheet L.01 – Landscape Notes:

- a. Confirm all landscaping notes on this sheet reflect that this project is located Colorado, example, see general note 25. Also review and update the Specification section on sheet L.12 as needed.
- b. Site Category Calculation Chart comments, update the charts, plant list and plans as needed.
  - Powers Landscape setback trees - Only 25% of setback trees may be substituted with shrubs. A minimum of 30 trees are needed. Staff would ask we incorporate some evergreen trees along this setback area.
  - Powers Landscape setback trees - 1 tree may be substituted at a rate of 10 Shrubs (5 gallon minimum size – 7.4.320.D.7a)
  - Internal Landscape requirements – update the site coverage label to read "Internal Landscaping"
  - Internal Landscape requirements – per the provide site area, a total of 55,945 SF of open space is required and total of 112 trees/shrub substations are required (1 tree per 500 SF – 7.4.322)
  - Internal Landscape requirements – - 1 tree may be substituted at a rate of 10 Shrubs (5 gallon minimum size – 7.4.322.Policy.322)
  - Remove the east buffer information from the chart, this is not required between two commercial sites. We would still need to provide parking lot screening and would ask that some of the required internal landscape trees be provided along this boundary area.
- c. Update the evergreen tree minimum size in the plant list to 6 feet height.
- d. Provide the total amounts (SF) for sod, native seed and all mulches to the legend. (FLP check list #20)
- e. Per the currently revised City of Colorado Springs Stormwater Construction Manual (Dec. 2020), please update the following in the inert materials legend and seed mix(s) for the Native Seed. Remove the currently shown seed mixes from the chart.
  - Native Seed – El Paso County Conservation District All Purpose Mix (Detention Pond Areas, add a new hatch to the plans, groundcover legend and seed mix to the plan)
  - Native Seed – El Paso County All Purpose Low Grow Mix (All other areas other than the detention pond areas, provide a new hatch to the plans and legend).

Also add the seed mix tables for each of these seed mixes to the plan set. Highlight/mark the required seed rate (column) in both seed tables. Example, irrigated hydro seeded native seed would require 42 lbs PLS/ACREA for the low grow mix. See



the following link below for seed mixes (Chapter 5, page 51-53) <https://coloradosprings.gov/stormwater-enterprise/page/stormwater-criteria?mliid=6291> (under SCM tab in the manual section)

4. Overall Landscape Comments:

- a. Update the sheet title block on each sheet (L.2 thru L.5) to read "Final Landscape Plan".
- b. Provide a Schematic Landscape Diagram including hydrozones. (FLP check list #4 and Appendix E in landscape Manual)
- c. Staff would ask that we use some other larger evergreen tree species (Ponderosa/Austrian) then just Eastern White Pine to have more species diversity. Update the plans and plant list to reflect this.
- d. The required 36 required motor lot trees need to be located within parking islands and be located within five to eight feet (5'-8') of the paved motor vehicle spaces (7.4.321.3.E). Also provide larger shade trees (Hackberry/Honeylocust/Maple/Linden/ect.) to provide shading (7.4.321.A.5)
- e. 50% of the require south buffer trees need to be evergreen (7.4.323.F.2). Work with any proposed retaining walls.
- f. Based on the proposed locations and massing, staff would ask we look at using a different ornamental grass for the proposed *Hilaria jamesii* "Galleta" based on the overall small size 8" to 12" wide, some options would be Indiangrass, Feather Reed Grass and Big Bluestem.
- g. Provide shrub and tree labels/callouts for all proposed plantings onsite. (Final Landscape Plan Check List item 6). Staff will provide comments on plantings with the next submittal.
- h. Confirm all buffers and landscape setbacks are labeled and dimensioned on the landscape plans. Example, Powers Blvd should be 25' wide. (FLP check list #9)
- i. Label all adjacent uses and zoning on the landscape sheets. (FLP check list #10)
- j. Label all proposed retaining walls (include general heights) and any fencing (on the landscape plans. Also include a detail of each. (FLP check list #18) Also confirm all proposed trees and shrubs work with all wall locations.
- k. Show the limits of asphalt for Powers Road and provide landscape treatment (native seed) to all disturbed areas along this roadway. Show a hatch and update the totals (SF) for these areas on the plans and legends. Send the existing grading (dashed) to the back and confirm the proposed grading is a solid line.

5. Irrigation Sheets:

- a. Staff would recommend contacting CSU ([cca@csu.org](mailto:cca@csu.org) or 719-668-8111) regarding sub-metering the irrigation system. There could significant long-term cost savings. Currently commercial projects are allowed to be sub-metered.
- b. See CSU service standards for backflow location within the building, Detail B1-22. If you are planning on having the backflow located within the building. Replace detail I10 with the above CSU detail and update the irrigation legend and plans as needed.  
[https://www.csu.org/extrix/util\\_dev\\_svcs/svc\\_standards/water/chapter/2018\\_Water\\_LESS.pdf](https://www.csu.org/extrix/util_dev_svcs/svc_standards/water/chapter/2018_Water_LESS.pdf)
- c. With the overall size of this project, Staff would like an "irrigation schedule" be included and part of the irrigation set. Please contact me directly and I can provide an example. This information is beneficial for the initial installation, long term maintenance and water budgeting. (7.4.314.E)
- d. Provide readable callouts for the locations for the proposed water meter, system controller, backflow preventer and rain sensor on the irrigation plans (irrigation check list # 11, 12, 14, 15)
- e. Provide the static water pressure at point of connection and minimum pressure needed to run the system. Note, a maximum of 80 PSI will be available after the water meter.
- f. Provide the total Irrigated area (SF) for the project.
- g. Provide a detail for the Hunter pop ups to the plan set.
- h. What is the proposed use of the quick couplers located in the gravel area adjacent to the screen wall by the truck parking area? No landscaping is proposed in this area.
- i. Confirm we are meeting the 3 day watering window, see following link below for more information :  
<https://www.csu.org/Pages/waterwiserules.aspx>
- j. Add the following note the irrigation set:

The City has adopted permanent water-wise regulations at the start of 2020 which will affect the overall operation of the irrigation system.

- From May 1 to October 15, sprinklers can be operated before 10 a.m. and after 6 p.m.
  - Watering is limited to three days a week (Drip irrigation is allowed at any time).
  - Establishment permits are required from Colorado Springs Utilities for customers who need to temporarily water more than three days a week to establish new landscapes.
  - Allocation plans are available for customers who need more watering schedule flexibility from Colorado Springs Utilities.
- k. Confirm if the proposed temporary irrigation laterals will be permanent in-ground piping. Permanent in ground pipe and heads would be needed for all native seed areas adjacent to Powers Blvd. (FLP check list #45)

Sign Specialist (Kurt Schmitt, 719-385-5072)

\*See enclosed redlines and further comments

1. City of Colorado Springs Sign Ordinance regulates allocation based on the “Use” of the property. In this case the property would fall under the “Commercial” use classification.

Standard code for Commercial use is as follows:

Wall Signs are regulated up to 1.5sf per linear foot of tenant wall frontage (length) per elevation however there is a “bonus” of an additional .5sf, so a total of 2sf per linear foot for elevations that meet a 200'-00 + setback from ROW. Per supplied plans each elevation on the principle building structure would meet this setback requirement and would be allocated accordingly:

- West and East elevations identify building length – 350'-8” = 702sf of wall signage
- North and South elevations identify building length – 951'-6” = 1904sf of wall signage

After reviewing the “Elevation” plan (page 8) and the “Plan Image” details (page 14) there is missing information required to identify total square footage proposed.

- On the East wall, there are (2) two signs identified. (1) as “Open 10-10 Daily” and (1) as “Lifestyle Furniture” that does not show dimension details. – Please provide
- In addition, the elevation drawings show the main “American Furniture Warehouse” signs with a “white” backer which would require the whole dimension of the sign panel to be calculated however on the plan image (page 14) it appears that the signage is individual lettering and may use up to (3) three geometric shapes to provide allocation. (see attached document for reference)

Freestanding Ground Signs are regulated by the length of property frontage along property right of way. This property has frontage along Powers Blvd. and would be allocated signage based on the length that equals – 782'-0” linear feet

- Property frontage over 160 linear feet multiplied by .35 (not to exceed 150sf) calculates the area
- Property frontage over 160 linear feet multiplied by .07 (not to exceed 30ft overall height) calculates the overall height of the sign.

This property would be permitted up to a 150sf x 30ft overall height sign with the ability to have an “Electronic Message” center up to 50% of the proposed area (50% static, 50% EMC)

Per proposed plans there are (2) two ground signs, (1) Pylon Sign off of powers and a monument sign (location not shown)

2. Pylon Sign = 551sf x 60'-0 overall height with 253sf static and 303sf EMC – NOT COMPLIANT WITH CITY CODE.
3. Monument Sign = 62.13sf x 12'-0” overall height with 28sf static and 33sf EMC – SIZE AND HEIGHT COMPLIANT, STATIC TO EMC RATIO NOT COMPLIANT



4. Additional signage allocations may be addressed under a formal Coordinated Sign Plan review. Criteria for a CSP review would require (2) two additional "Commercial, Civic and or Office" uses combined to create a "Commercial Center" and have unified signage within the CSP boundaries.

This would allow the properties on the eastern frontage along Tutt Blvd. to be combined with AFW and would allow additional ground signage and the ability to aggregate square footage and overall height of ground signs as well as allowing AFW to display signage along Tutt where standard code would not permit. Please contact reviewer for questions or to set any meeting to discuss.

#### **Engineering Development Review (Joel Dagnillo, 719-385-5412)**

1. Please add the following notes to the Cover Sheet:
  - "All existing curb, gutter, sidewalk, pedestrian ramps and crosspans posing a safety hazard, damaged, exhibiting excessive deterioration or not meeting current City Engineering Standards along Tutt Blvd. adjacent to the site will need to be removed and replaced prior to issuing the certificate of occupancy (C.O.). An on-site meeting can be set up with the Engineering Development Review Inspector to determine what, if any, improvements are required. The Inspector can be reached at 719-385-5977."
  - "Accessible routes, including ramps and sidewalks, within the public right-of-way shall be per the City's Standard drawings and Specifications. City's Engineering Development Review Inspector will have the final authority on accepting the public improvements."
2. Due to steep slopes on the north portion of this lot and next to the proposed detention pond, a geological hazard report will be required for this lot. Verbiage for a note to be included on the DP and the plat will be provided in future reviews.
3. Label Powers Blvd. as "Colorado State Highway 21" on all site plans.
4. Label American Heights as "Private" on all site plans.
5. Call out each of the three accesses onto Tutt Blvd. as Existing. In addition, label and call out the existing public sidewalk, pedestrian ramps and curb/gutter along Tutt.
6. On Sheet EX01, there appears to be a fourth access onto Tutt shown on the southeast point of the property. From other sheets, it appears this will not be added. Please show this consistently on all sheets and pending Traffic Engineering approval, call this out as To Be Constructed.
7. Submit construction plans to Engineering Development Review and Traffic Engineering for any added public turn/decal lanes and any alterations that will be made to public access points.
8. On the Grading and Utility Plan Sheets, clearly show and label which section of the existing 42" storm pipe running under the building footprint will be removed and which (if any) will be left in place.
9. Revise the label for this storm pipe on Sheet GD01 to read "Ex. 42" Pipe to be Removed" instead of 48".
10. Add the following note (as shown on the Concept Plan) to the Cover Sheet: "The access to the south of the roundabout on Tutt Blvd. will be allowed to be a full movement access until such time as the City of Colorado Springs Public Works Director, or their designated representative, determines that the full movement intersection is creating an unsafe condition. At that time, the full movement intersection will be modified to a 3/4 movement at the expense of the owner of the lot."

#### **Water Resource Engineering (Anna Bergmark, 719-385-5613)**

DP 1st Review (review completed by Gajda Consulting. Contact Anna Bergmark [anna.bergmark@coloradosprings.gov](mailto:anna.bergmark@coloradosprings.gov) and Erin Powers [Erin.Powers@coloradosprings.gov](mailto:Erin.Powers@coloradosprings.gov) with any questions)

Informational note sheet three or four please add:

1. Floodplain statement with FEMA FIRM panel number. FYI The final plat has the correct statement on it.
2. Who will own and maintain full spectrum detention pond.

Site plan:

3. Callout full spectrum detention pond.

Applicable Grading plan sheets:

4. Call pond full spectrum detention pond.

5. Does the permanent easement in any way preclude new pond construction?

6. Add some existing elevations to western edge.

7. Access Rd should be called a maintenance access road since it is for the whole pond. It also is required per DCM to reach within 24' of all four bays.

8. Not required per DCM, because it is not part of the pond (out of pond elevations). Please consider installing a railing for safety. FYI If the retaining wall was part of the pond the DCM would require railing for any wall greater than 30".

9. Add storm drain type and private to each pipe callout. You can just add one note if they are all the same.

Applicable Utility plan sheets:

10. Callout pond as private full spectrum detention pond.

11. Add storm drain type and private to each pipe callout. You can just add one note if they are all the same.

Applicable Landscape and irrigation plan sheets:

12. Callout full spectrum detention pond

13. North access road is not shown on grading plans. If there is one here, please show on both.

14. Please label storm drain either proposed or to be removed.

15. Please remove seeding texture from forebays, trickle channels and outlet structure.

16. Tutt Boulevard is spelled wrong in title block.

Additional information:

1. A Final Drainage Report is required for this project and was submitted to planning. The Stormwater Enterprise may have additional comments on the DP once this report is submitted to ProjectDox and reviewed. See comment 3 below.

2. All submittals to the Stormwater Enterprise (SWENT), Engineering Development Review Division (EDRD) and Traffic, must be submitted online via the new ProjectDox software. Information, including a user manual and the link to the website can be found here: <https://coloradosprings.gov/stormwater-enterprise/page/electronic-review-system>. Please note that this does not change the Planning department's submittal process in any way.

3. The proposed project disturbs greater than an acre and will therefore require a separate Grading, Erosion, and Stormwater Quality Control Plan (GESQCP). This plan will need to meet the requirements listed in the City's New Stormwater Construction Manual (SCM) and should be submitted directly to the Stormwater Enterprise for review and approval. Assurances in the amount of the total cost of the temporary BMPs will be required prior to the approval of the GESQCP. The plans should be submitted directly to the SWENT reviewer. These must be approved and included in the building permit set prior to the issuance of a building permit for this project.

4. The proposed Permanent Control Measure (PCM) will require an Inspection and Maintenance (IM) Plan and a Statement of Authority (SOA) to be submitted to the City with the Grading, Erosion and Stormwater Quality Control Plan (GESQCP) submittal. The IM & SOA documents must be finalized prior to approval of the GESQCP. The Maintenance Agreement component of the IM Plan, when finalized, will be recorded with the El Paso County Clerk & Recorder and will require processing fees. For more information go to: <https://coloradosprings.gov/public-works/page/operations-and-maintenance-permanent-bmps>. Direct additional questions to: Jeanie Duncan at 385-6017 or at [Jeanie.duncan@coloradosprings.gov](mailto:Jeanie.duncan@coloradosprings.gov).

5. The proposed Permanent Control Measure (PCM) will require a separate set of construction plans to be submitted to the Stormwater Enterprise (SWENT) for review and approval. Please contact the SWENT reviewer for a copy of the requirements of this plan. Please note that water quality assurances in the amount of the total cost of the permanent BMP will be required prior to the approval of the construction plans. Plans must be submitted directly to the SWENT reviewer. These plans must be approved and included in the building permit set prior to the issuance of a building permit on the project. These plans must also be approved prior to the Final Phase of the Grading and Erosion Control Plan.

6. Construction Plans for the proposed storm sewer larger than 12" will need to be submitted to Engineering Development Review and Stormwater Enterprise for review and approval prior to construction.

**Colorado Springs Fire Prevention (Steven Smith, 719-385-7362)**

1. On Sheet 5 (EX01) identify the objects/area in which the apparatus turning radius crosses as shown at the northeast corner of the building. Adjust the plans accordingly if needed to allow adequate apparatus turning movements.
2. Detail 1 on Sheet 6 (EX02) indicates its an automatic gate however there is reference to a Knox padlock. Padlocks are not allowed on automatically operated gates. Knox Override switches are required. Please clarify.
3. Identify all drives to be used as fire lanes on the plans. Currently the drive in the back of the building is the only one identified.
4. Coordinate the utility plans and the fire hydrant locations with the landscaping plans. There is one hydrant on the west side of the building that is shown in different locations between the two plans.
5. No Fire Department Connection location (FDC) was found on the plans. Please show the location of the FDC and ensure the landscaping plans do not indicate any obstructions.

**Colorado Springs Utilities (Stefan Manning, 719-668-1854, smanning@csu.org)**

**Action Items:**

Modify the Preliminary Utility and Public Facility Plan to address the following comments:

1. Submit a wastewater master facility form (WWMFF) to [wwmasterplansubmit@csu.org](mailto:wwmasterplansubmit@csu.org). Link is <https://www.csu.org/CSUDocuments/wwmasterfacilityform.pdf>. Once the report has been received, it will be used to determine if additional modeling, utility reconfigurations, and/or additional mainline extensions are required. If all requirements from the resulting reports are met, this action item will have been addressed.
2. Relabel Preliminary Utility Plan to Preliminary Utility and Public Facilities Plan
3. Final Plat indicates the public easement will extend to the proposed hydrants but they are not shown on this development plan. Ensure to coordinate that all easements are shown on development plan submittal.
4. Call out existing sanitary sewer main on west side of property, including whether or not it is a main or service line, size, material, and any manholes and manhole sizes. Show how this existing infrastructure ties back into the infrastructure on/along Powers Blvd. Note: Sanitary sewer mains are required to connect to a stub-out or to a manhole and cannot be tapped into an existing main.
5. Keep sanitary sewer out of west water quality and detention basin (ie, ensure it is outside of the "top of basin" line) to prevent any grading and access conflicts.
6. Indicate if the proposed water loop connection on northeast corner of lot is connecting to an existing stub or not. Provide stub size and material. If no stub, indicate how it will connect to existing water main and provide material and size of main
7. Need details on retaining wall as sanitary sewer runs underneath it to the northwest of the property
8. Use general notes provided by CSU. Should be 11 general notes. Available on CSU.org
9. Are the circle callouts on the proposed sanitary sewer main manholes? If so, provide size of proposed manholes
10. Show existing manhole at end of existing sanitary sewer main at northwest corner of property. Clearly indicate existing conditions and what is to be removed and modified.
11. Water main is required to be outside of parking stalls. Semi trailer parking stalls are being placed over water main on South/Southwest corner of building. Adjust main to south to avoid these stalls.
12. Fire hydrant in NW corner of property appears to be located on retaining wall. hydrant shall be located 5' from any structures.
13. A second point of connection to the water main just east of the AFW building will be required. This connection must be made north of the service lines.
14. The water main on the northeast corner of the building does not meet the 15' horizontal separation requirement.
15. What is the need for the sand/oil interceptor. We only require these on parking garage, mechanic shops, etc.
16. Call out the service connection for the sanitary service line. Include size and material.

17. It appears that there is an existing wastewater stub off of roundabout access on center east side of property, but exact location of this stub is not called. Clearly indicate existing stub location/materials/size/ etc, and clearly indicate how the new work will modify the existing conditions. Note that a manhole will be required for connection of the two new sanitary stubs. Also, it appears the existing sewer appears to be mislabeled as a storm main, not a sanitary sewer main.
18. Clearly show existing sanitary and water main stubs that are located at the SE corner of future development property on drawing. It appears the alignment of these stubs are incorrect. sanitary stub is south of water stub.
19. Indicate whether or not hydrants will be public or private
20. It appears that the road on the south end of the property is currently Jakes View, not American Way, is the intent to change the name of this road?
21. Ensure FH locations are consistent between landscaping and utility plans.
22. Show ALL proposed utility easements on this drawing as they are proposed on the final plat to ensure they match up with the proposed utility infrastructure. For example, the sanitary sewer does not have its proposed utility easement shown to ensure the easement and sewer are co-located.
23. HS-20, 16' wide access road required to access manholes in northwest corner of lot
24. Water main that is looping around AFW building (lot 1) is required to be private per Water LESS 2.3.C table; main that loops Lot 2 is required to remain public to avoid daisy chaining.
25. Remove all easements associated with private mains. Only public mains required to have easements (see note regarding public vs private water mains required on Lots 1 & 2).
26. FYI: A notice of private water and a notice of private wastewater system will be required to be recorded with El Paso County Clerk and Recorder prior to construction drawing approval.
27. Will the water/electric/gas meters be installed inside the buildings? If outside, indicate where on utility plan and building elevations.

**FYI:** A notice of private water and a notice of private wastewater system will be required to be recorded with El Paso County Clerk and Recorder prior to construction drawing approval.

#### **Information Items:**

- Please click [here](#) for 2018 Development Charges or contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement charges or other utility related costs that may apply to this development. In instances where metered water and/or wastewater connections existed on the property, please contact UDS to discuss distribution of Water and/or Wastewater Development Charges to eligible lots.
- Please contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement Charges or other utility related costs that may apply to this development.
  - In instances where metered water and/or wastewater connections existed on the property, please contact UDS to discuss distribution of Water and/or Wastewater Development Charges to eligible lots.
- When new water meters are proposed to serve the project or additional demand added to existing water meters, a Commercial Water Meter Sizing form will be required to be submitted to CSU prior to Service Contract issuance and building permit approval.
- CSU requires an Application for Gas and Electric Line Extension to be submitted along with a Load Data form or an Application for Gas Service Line Approval and/or Application for Elevated Pressure Approval prior to electric and natural gas system design for service to the project. Refer to the CSU Line Extension and Service Standards or contact Field Engineering at 719-668-4985.
- CSU may require an extension contract and payment of contributions-in-aid of construction (or a Revenue Guarantee Contract) for the extension of electric facilities needed to serve the development. Regarding natural gas extensions, CSU may require an extension contract and an advance payment for the estimated cost to construct the necessary gas extensions.

- Improvements, structures and trees must not be located directly over or within 6 feet of any underground gas or electric distribution facilities and shall not violate any provision of the National Electric Safety Code (NESC) or any applicable natural gas regulations or Colorado Springs Utilities' policies.
- Improvements, structures and trees shall not be located under any overhead utility facility, shall not violate NESC clearances, and shall not impair access or the ability to maintain utility facilities.
- Landscaping shall be designed to provide the required clearances for utility facilities, to allow continuous access for utility equipment, and to minimize conflicts with such facilities.
- Colorado Springs Utilities requires wastewater and water construction drawings when new wastewater and water facilities are proposed. Plans can be submitted electronically to Utilities Development Services via [www.csu.org](http://www.csu.org).
- The water distribution system facilities must meet the Colorado Springs Utilities' criteria for fire flow, water quality, service interruption and pressure. To meet service interruption criteria, no more than fifty (50) homes on a dead-end water main line are permitted. The static pressure of the water distribution system shall be a minimum of 60 psi. CSU will assess the need for a Water Quality Plan based on information presented in the Development Plan. CSU may require a new or updated Water Quality Plan where construction phasing or the water system design differ from the approved Development Plan.

#### **City Traffic Division (Zaker Alazzeah, 719-385-5468)**

1. Please add the following note to the development plan "The developer will be responsible to construct a northbound left turn lane at the proposed northern site access. This turn lane will need to be 50 feet in length with a 60 foot reverse taper and all construction completed prior to final CO for Lot 1 American Furniture Warehouse.
2. Please show and callout "on sheet EX1 of the Development Plan" the speed line of sight with the adequate sight distance length (footage) for all access points along Tutt Boulevard.
3. The first internal access west of the roundabout will need to be spaced at a minimum of 150 feet from the roundabout.
4. Inadequate Driveway Stem Length "Driveway Throat" is available at the proposed southern access along Tutt Boulevard with the internal driveway. Please relocate the internal driveway to provide a minimum of 100 foot Driveway Stem.
5. It is recommended to construct an exclusive eastbound right-turn lane at proposed southern access to accommodate the expected eastbound traffic queue at this access.
6. Please update the traffic study. Please provide more details of the percentage increase used to the collected traffic counts on September 2018.
7. The details of the signing and striping of the future roadway improvements will be addressed during the construction plans review.

#### **CSPD, Street Name Administrator (Bootsy Jones, 719-385-5362)**

1. American Heights is not an acceptable street name please contact for further discussion.

Standard Comment: All street name submissions must be approved by this department and reserved prior to an approved Development Plan. Street designations (Public or Private) must be included on all plans. Private streets can only be assigned the following suffixes; Point (PT), Grove (GV), Heights (HTS), or View (VW). Please contact this department for street name approvals prior to re-submittal, or any questions.

#### **Enumerations (Amy Vanderbeek, 719-327-2880)**

Standard Comments:

- For assignment of addressing, place (xxx) where the lot or tract are intended to be utilized. For lots, the (xxx) typically should be placed where the front door is getting access. For tracts, the (xxx) should be placed where the tract will be accessed.
- Provide a 100 scale copy, or larger, of the entire APPROVED development plan to the Enumerations department at the Pikes Peak Regional Building Department. Once received, the DP will be placed on a list to be addressed.



- Provide an email from the City's Public Safety Street Naming division which indicates that the street names are reserved. The correspondence may be emailed to the Enumerations department of the Pikes Peak Regional Building Department at Amy@pprbd.org or Brent@pprbd.org.
- If underground service is needed prior to plat, submit a Utilities Addressing Plan (UAP), to Colorado Springs Utilities via the related link at <https://www.csu.org/Pages/mapping.aspx>. For more information contact: KCARLTON@CSU.ORG or SWELCH@CSU.ORG.

#### **Airport Overlay, Colorado Springs Airport (Kris Andrews)**

Please see enclosed comment letter. These items will be heard at the May 26, 2021 Airport Advisory Commission Meeting.

#### **El Paso County Development Services**

See enclosed comment letter.

### **FINAL PLAT – AR FP 21-00220**

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#### **Land Use Review (Katie Carleo, 719-385-5060)**

1. File Number – add the file number to the bottom right corner of each sheet
2. Ensure a clear and dedicated space for approval stamp
3. Per note above can lot lines be updates to have the division running through the internal roadways rather than cutting through landscape areas.
4. Add note: ALL ACCESS DRIVEWAYS, DRIVES, AISLE WAYS, MANEUVERING AND PARKING AREAS WITHIN THIS PLATTED LOT SHALL BE FOR THE COMMON USE OF ALL USERS, PUBLIC AND PRIVATE, AND OWNERS OF THIS PLANNED DEVELOPMENT.

#### **Land Use Surveyor (Cory Sharp, 719-385-5098)**

\*pending comment which will be included as part of this letter once received.

#### **Engineering Development Review (Joel Dagnillo, 719-385-5412)**

1. Please call out N. Powers Blvd. as Colorado State Highway 21.
2. Since access to Lot 1 is being obtained off Tutt Blvd., does there need to be a cross lot access easement agreement so Lot 2 is allowed to be passed through?
3. Add a General Note on the Cover Sheet stating that direct access from Lot 1 to Powers Blvd. will not be permitted.
4. Include address numbers for each lot if they are known at this time.
5. Add a public improvement easement along the southeastern portion of Lot 2 next to Tutt Blvd. where the existing sidewalk and pedestrian ramps appear to be outside of City right-of-way.

#### **Water Resource Engineering (Anna Bergmark, 719-385-5613)**

1. Does the permanent easement in any way preclude new pond construction?

Additional information:

1. Reviewed by Gajda Environmental Consulting. Please direct all comments to [Anna.bergmark@coloradosprings.gov](mailto:Anna.bergmark@coloradosprings.gov)
2. Please see CP and DP for comments on FDR.

#### **Colorado Springs Utilities (Stefan Manning, 719-668-1854, smanning@csu.org)**

##### **Action Items:**

1. The 30' permanent (rec. no. 210052759) easement is indicated to be abandoned per development plan; this easement will be required to be vacated.

2. New utility easement appears to be offset of existing permanent easement (rec. No 208056763) and water stub out to the northeast. Ensure that they are aligned such that the water main will be in the center of the 30' proposed easement.
3. Portion of new permanent easement that is connecting to the existing easement (rec. no. 208056764) to the south don't line up. The existing easement is 50', the new easement is 30' and are offset. As the development plan indicates both water and wastewater through a portion of this easement, this new easement shall be 50' in width when both water and wastewater are run in the same easement. Adjust width to 50' and center this portion to the existing easement.
4. If sanitary sewer is private, then this easement is not required. vehicle access is still required, however.
5. The water main that is looped around AFW on Lot 1 is required to be a private system per CSU standards; therefore, easement is not required to be provided where the water main is a private system
6. Provide street names of new roads in development and indicate if they will be public/private roads.
7. Remove all easements associated with private mains. Only public mains required to have easements (see note regarding public vs private water mains required on Lots 1 & 2).

**LBS COMMENTS:**

1. Please describe all the corner monuments along Powers Blvd.
2. Please verify the spelling of "Iron"; some callouts appear to indicate "Irod"
3. Unsure of the term "Section reference corner". Are you implying that this corner is more important than the other corners? If so, please provide additional information in the Legend.
4. Basis of Bearings in legal does not match that described in Note 1, nor on the drawing. Please review and revise as appropriate.
5. Sheet 2: Duplicate Line and Curve tables? Please review and revise as appropriate.

**Information Items:**

- Please contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement Charges or other utility related costs that may apply to this development.
  - In instances where metered water and/or wastewater connections existed on the property, please contact UDS to discuss distribution of Water and/or Wastewater Development Charges to eligible lots.
- When new water meters are proposed to serve the project or additional demand added to existing water meters, a Commercial Water Meter Sizing form will be required to be submitted to CSU prior to Service Contract issuance and building permit approval.
- CSU requires an Application for Gas and Electric Line Extension to be submitted along with a Load Data form or an Application for Gas Service Line Approval and/or Application for Elevated Pressure Approval prior to electric and natural gas system design for service to the project. Refer to the CSU Line Extension and Service Standards or contact Field Engineering at 719-668-4985.
- CSU may require an extension contract and payment of contributions-in-aid of construction (or a Revenue Guarantee Contract) for the extension of electric facilities needed to serve the development. Regarding natural gas extensions, CSU may require an extension contract and an advance payment for the estimated cost to construct the necessary gas extensions.
- Improvements, structures and trees must not be located directly over or within 6 feet of any underground gas or electric distribution facilities and shall not violate any provision of the National Electric Safety Code (NESC) or any applicable natural gas regulations or Colorado Springs Utilities' policies.
- Improvements, structures and trees shall not be located under any overhead utility facility, shall not violate NESC clearances, and shall not impair access or the ability to maintain utility facilities.
- Landscaping shall be designed to provide the required clearances for utility facilities, to allow continuous access for utility equipment, and to minimize conflicts with such facilities.
- Colorado Springs Utilities requires wastewater and water construction drawings when new wastewater and water facilities are proposed. Plans can be submitted electronically to Utilities Development Services via [www.csu.org](http://www.csu.org).



### **Enumerations (Amy Vanderbeek, 719-327-2880)**

Informational:

- Enumerations will review the mylar prior to plat for address placement, street names, and title block.
- \$10.00 per lot & tract platting fee will be due at the time of the review of the mylar, (2 addresses per lot and tract). If an address is not needed on a tract then no fee applies. Check should be made out to PIKES PEAK REGIONAL BUILDING DEPARTMENT or PPRBD. Paid directly to the Enumerations Department.
- A copy of the final recorded plat is required prior to plan submittal for RESIDENTIAL. A copy of the final recorded plat is required prior to approval in the Enumerations department on any COMMERCIAL plan submittal. Amy@pprbd.org or Brent@pprbd.org

### **Real Estate Services (Barb Reinardy)**

1. Ownership Statement ("Know All Men..."): American Furniture Warehouse Co., is a Colorado corporation, not a limited liability company. Please update wherever shown.
2. Owners' Signature block: It's showing "Confluent Development, LLC?"
3. Easement Statement: Please change, "the current land owner" with, "the property owner".
4. For any easement to be dedicated to the City by this plat, it must have the word "Public" in front of it. "Public Utility Easement", "Public Storm Water Easement". Please update wherever shown on the depictions.

### **Floodplain (Keith Curtis, 719-327-2898)**

Standard comment: The El Paso County floodplain maps have been updated. The new map series is "G." The new effective date is December 7, 2018.

Informational: Floodplain will review the mylar prior to plat for accurate floodplain information and floodplain statement.

Please note that failure to submit revised plans/reports/information within 180 days will result in your application being formally withdrawn from consideration. Once withdrawn, any subsequent re-submittal will require the filing of a new application and payment of application fees.

If you have any questions please contact me at [katie.carleo@coloradosprings.gov](mailto:katie.carleo@coloradosprings.gov) or by phone at 719-385-5060.



Catherine Carleo, AICP

Principal Planner

p: 719.385.5060

e: [katie.carleo@coloradosprings.gov](mailto:katie.carleo@coloradosprings.gov)

C: File  
Property Owner

Enclosure: Public Comment  
El Paso County Comment Letter  
Airport Advisory Commission  
City Sign Specialist Comments + Red-lines

April 30, 2021

City of Colorado Springs  
Land Use Review Division  
30 S. Nevada, Floor 701  
Colorado Springs, CO 80903

Attn: Katie Carleo, AICP, Principal Planner

RE: Proposed American Furniture Warehouse (AR DP 21-00219)

Dear Katie:

Based upon our receipt of the notification of the aforementioned proposal, Classic Companies has several concerns about the proposed site plan design. While the use as a warehouse furniture retail establishment is not a concern, the impacts to the residents of the directly adjacent community to the south, Pathways, is an area where we feel that some site adjustments should be made.

Areas of concern include:

1. While not dimensioned on any of the Development Plan sheets, it does not appear that the required 15' landscape buffer per City landscape code section 323.E.1 is proposed along the southerly boundary.
2. It appears that a maximum 15' tall retaining wall is proposed within 6' of the Pathways north boundary. The landscape plan appears to reflect trees being proposed in this 6' area with gravel base. As proposed a tight 6' tunnel will be created between the Pathways approved screen wall and the proposed retaining wall that is not appropriate, or safe, for this setting.
3. Per City Development Plan checklist requirements, reflecting the approval Pathways community should be shown (AR PUP 19-897). As this site was approved 7-9-2020 and platted, accurately representing impacts to the directly adjacent residential community should be required. Sections along the south boundary would assist in understanding the extreme and undesirable vertical and horizontal relationship.
4. Proposed American Heights runs adjacent to the Mezzanine portion of the proposed Building. We would request that it be shifted north and be parallel the semi-truck receiving area to provide a larger buffer between the two uses. It's unclear why the road is shifted as far south as it is as the proposed gravel slope between the south drivell aisle and semi-truck area could be narrower.
5. Overall, it appears the building is shifted south in a way that produces a preventable negative impact to the Pathways community. If the building was shifted north approximately 50', the south retaining wall could be removed and a landscaped slope could be proposed instead.

6. The Development Plan graphics reflect palm trees which do not survive Colorado winters.
7. We could not locate on the Development Plan details of the semi-truck area screen wall. Please provide as views into this area are of a concern.
8. The legend on the landscape plan does not reflect the native grass treatment. Please add.

We'd respectfully request your consideration of requiring site plan adjustments to provide a more compatible and reasonable interface between the proposed facility and the southerly existing residential community.

We have not heard from the developer of this site, but would be happy to provide Pathways CAD files to assist in their site plan and Development Plan modifications.

Sincerely,



Jim Boulton  
Vice President  
Classic Companies

**From:** [Chris Covey](#)  
**To:** [Carleo, Katie](#)  
**Subject:** American Furniture Warehouse  
**Date:** Thursday, April 29, 2021 9:59:31 AM

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**CAUTION! - External Email. Malware is most commonly spread through unknown email attachments and links. DO NOT open attachments or click links from unknown senders or unexpected email!**

Hi my name is Chris Covey the file numbers I am contacting you about are CPC CP 07-0007-A5MN21 AR DP [21-00219](#) AR FP [21-00220](#). I live in the neighborhood that would have a direct view of this building.

I feel that adding this warehouse to this location is going to be detrimental to the community. It will increase traffic on a street that has bad traffic at certain times. It will increase the crime in the surrounding neighborhoods. And it will be an eyesore to the houses that can see it. All these things will most likely reduce property value in a booming neighborhood. I am against this proposal.

Christopher Covey

Sent from my iPhone



Wall signs = 2sf per linear (all walls meet 200+ linear foot setback from right of way)

North and South walls = 951'-6" = 1904sf Allocation  
East and West walls = 350'-8" = 702sf Allocation

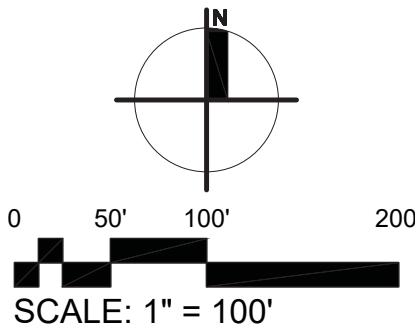
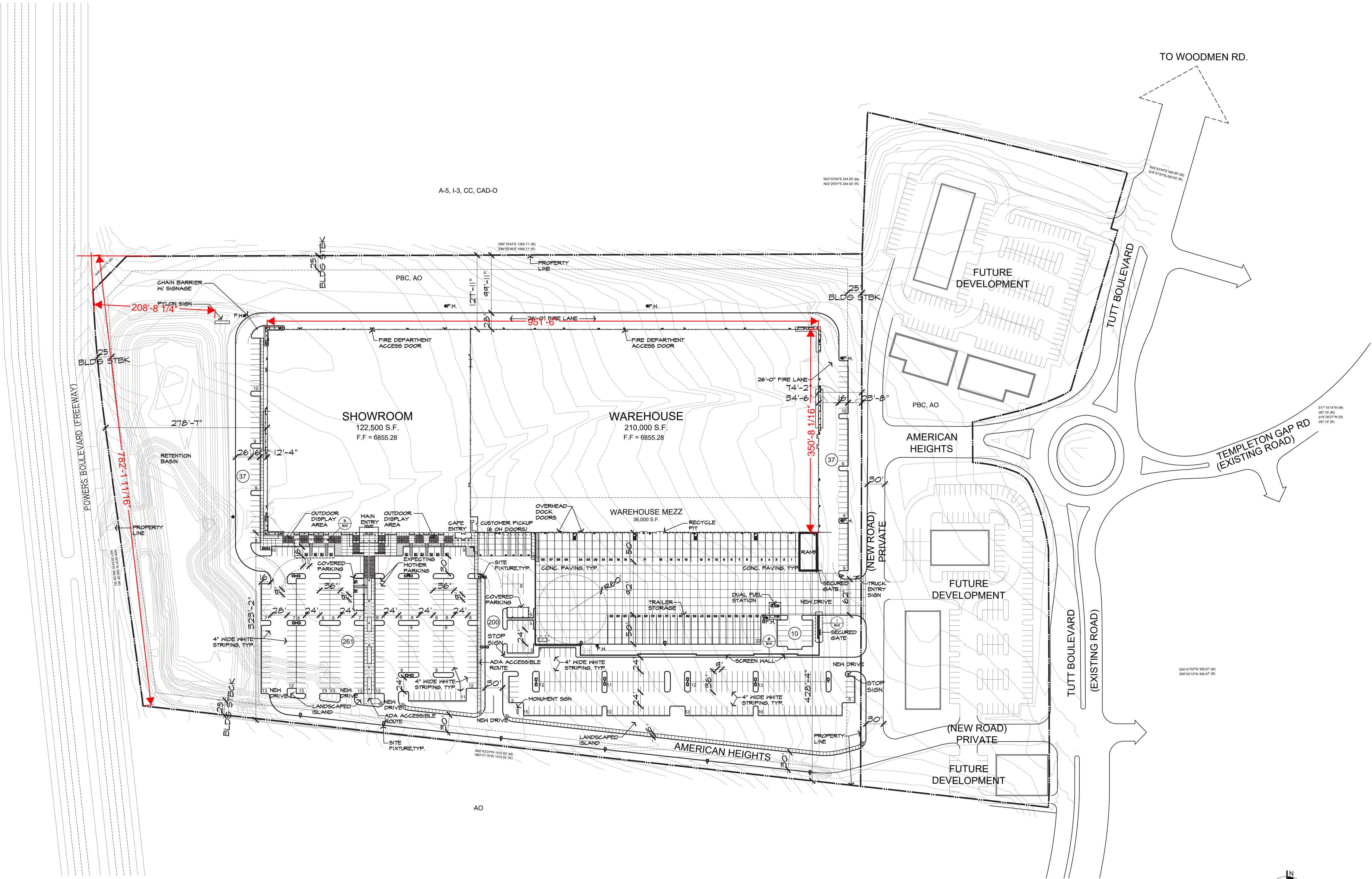
Standard code for Ground Signs = (1) quantity determined by Western frontage  
782 linear feet = 150sf x 30ft OAH with EMC allocation up to 50% or proposed total (50% Static) - No frontage on East side so no ground signs permitted other than directional or directory signs.

Possible CSP with multiple properties on the east frontage:

Criteria is (3) or more individual parcels or (3) or more in-line tenants ( Commercial, Office and or Civic Use) to combine to create a unified Coordinated Sign Plan.

Frontage along East = 1306'  
Frontage along West= 782'

Totalling 2088 linear feet which would allow up to (3) Ground signs not to exceed 150sf x 35' in overall height with the ability to aggregate up to 30% not to exceed 195sf for any individual ground sign and the reduction of the 30% off of another ground sign (105sf).



Site Data

Site Area:	1,088,836 S.F. (25 AC.)
Parcel Number:	5307300003.
Building Area:	368,500 S.F.
Coverage:	30%
Parking Required:	
Showroom 1/600	250 Spaces
Warehouse 1/1000	210 Spaces
	460 Spaces
Parking Provided:	545 Spaces
Trailer Pkg Provided:	50 Spaces

Building Data

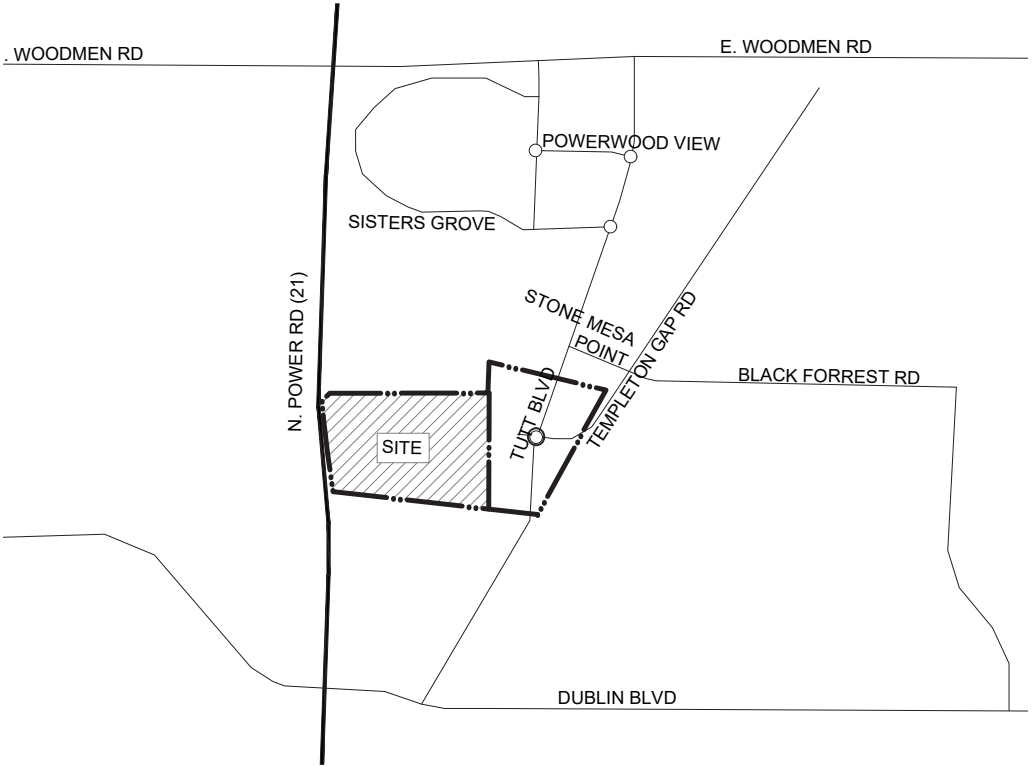
Building Occupancy:	M / S-1 / F-1
Construction Type:	IIB
Showroom:	122,500 GSF
Height:	38'-0"
Warehouse	210,000 GSF
Height:	45'-0"
Warehouse Mezz	36,000 GSF



American Heights & Tutt Boulevard  
COLORADO SPRINGS, COLORADO

1 SITE PLAN  
SCALE: 1" = 100'-0"

KEY PLAN



EX 01

02-14-21  
20068\_SITE PLAN



Butler Design Group, Inc  
architects & planners



Sign A

Sign E

Sign B

37.22sf

10-0"

CAFE / CHECK-IN

10.2299 sf

82.18sf

Sign C

87.14sf

Sign D

78.72sf

66.07sf



*Your* **LIFESTYLE FURNITURE** *Store*

Sign F

551sf x 60ft OAH

MONUMENT SIGN TYPE "A"

Sign G

62sf x 12ft OAH

28.3333 sf      STATIC

62.136 sf

32.7856 sf    EMC

MONUMENT SIGN TYPE "B"

## Signage

## EX 10

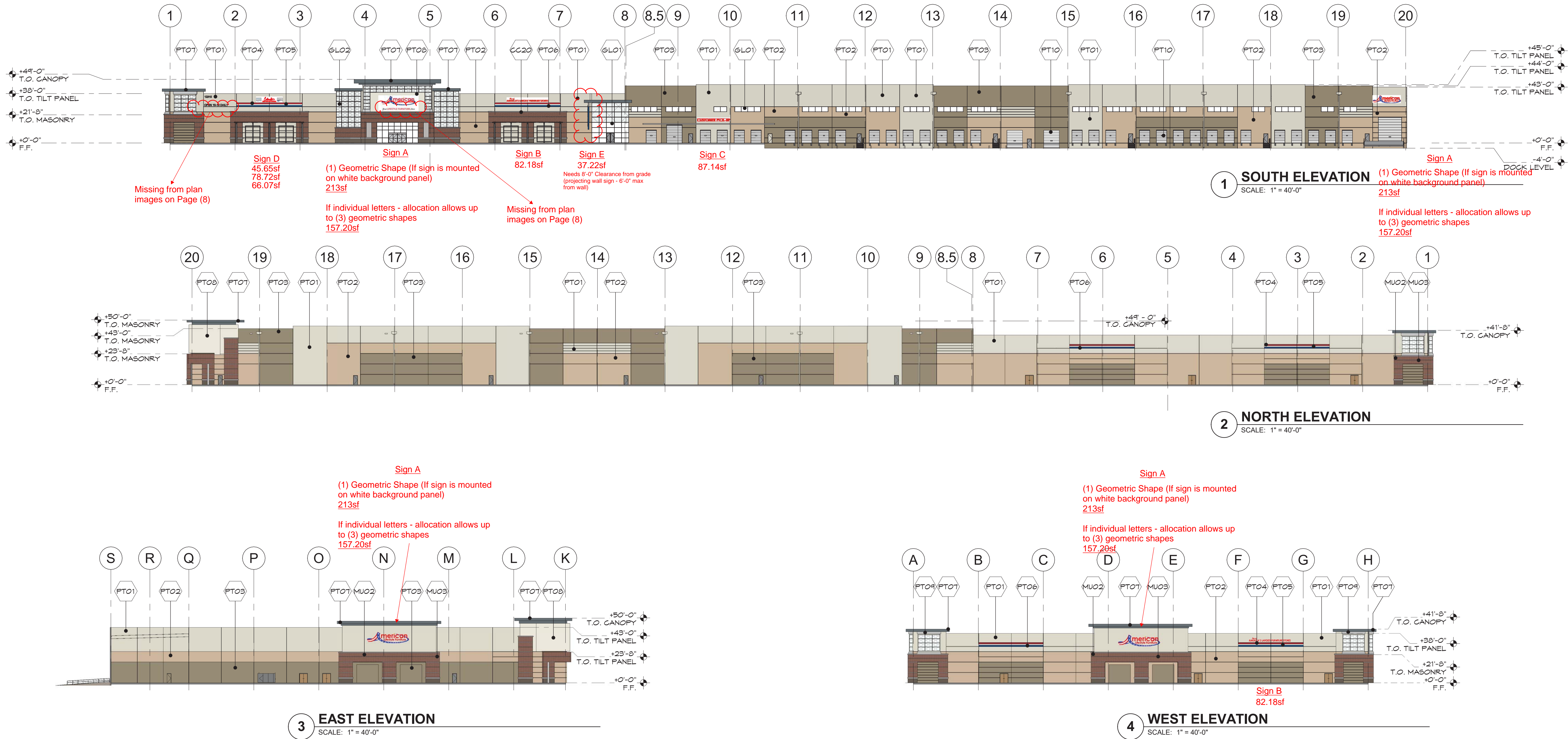


Butler Design Group, Inc.  
architects & planners



Wall signs = 2sf per linear (all walls meet 200+ linear foot setback from right of way)

North and South walls = 951'-6" = 1904sf Allocation  
East and West walls = 350'-8" = 702sf Allocation



FINISH SCHEDULE					#
MARK	DESCRIPTION	FINISH/COLOR	MODEL	MANUFACTURER	COMMENTS
CC20	CONCRETE WALL CAP		OUTBACK 6TT	DAVIS COLORS	PRECAST CONCRETE CAP
GL01	GLAZING		VNEI-63	VIRACON	GLAZING
GL02	GLAZING		VNEI-63	VIRACON	GLAZING WITH TRANSLUCENT FILM
MU02	MASONRY		FUEGO RED	TRENNYTH	SANDBLASTED 8X8X16 BLOCK
MU03	MASONRY		MESASTONE	TRENNYTH	BURNISHED 8X8X16 BLOCK
PT01	CONCRETE TILT PANEL		SM 6169	SHERWIN WILLIAMS	PAINTED CONC. TILT PANEL
PT02	CONCRETE TILT PANEL		SM 6107	SHERWIN WILLIAMS	PAINTED CONC. TILT PANEL
PT03	CONCRETE TILT PANEL		SM 6151	SHERWIN WILLIAMS	PAINTED CONC. TILT PANEL
PT04	CONCRETE TILT PANEL		SM 6868	SHERWIN WILLIAMS	PAINTED CONC. TILT PANEL
PT05	CONCRETE TILT PANEL		SM 7005	SHERWIN WILLIAMS	PAINTED CONC. TILT PANEL
PT06	CONCRETE TILT PANEL		SM 6966	SHERWIN WILLIAMS	PAINTED CONC. TILT PANEL
PT07	METAL		SM6236	SHERWIN WILLIAMS	METAL FASCIA GLADDING
PT08	EIFS FINISH		DE6232	DUNN EDWARDS	PAINTED EIFS
PT09	EIFS FINISH		5237	DAVIS COLORS	PAINTED EIFS
PT10	FACTORY FINISH		-	-	OVERHEAD DOOR
PT11	HOLLOW METAL DOOR		SM 6151	SHERWIN WILLIAMS	HOLLOW METAL DOOR
R	6		Y-175	VIRACON	SPANDREL GLAZING



AMERICAN HEIGHTS & TUTT BOULEVARD  
COLORADO SPRINGS, COLORADO

20068.100 - Elevations



Butler Design Group, Inc  
architects & planners

EX 04



**Colorado Springs Airport Advisory Commission Meeting  
To Be Heard May 26, 2021  
Land Use Review Item #02**

<b>City of Colorado Springs Buckslip Number(s):</b> CPC CP 07-00077-A5MN21, AR DP 21-00219, AR FP 21-00220 <b>COMMERCIAL CONCEPT PLAN, DEVELOPMENT PLAN AND PLAT</b>	<b>TAX SCHEDULE #(S):</b> 5307300003
<b>DESCRIPTION:</b> <p>Request by Butler Design Group on behalf of American Furniture Warehouse for approval of a minor amendment to the Powers Professional Park Concept Plan with slight adjustments to lot configuration. The site is zoned PBC/AO (Planned Business Center with Airport Overlay) and consists of 34 acres. The property is located west of the intersection of Tutt Boulevard and Templeton Gap Road, northeast of Powers Boulevard and Dublin Boulevard. <b><u>Concurrent Request:</u></b> Request for approval of a development plan for establishment of a new 355,000 square foot American Furniture Warehouse. <b><u>Concurrent Request:</u></b> Request for approval of the American Furniture Warehouse Subdivision Plat subdividing the existing land into 2 lots.</p>	
<b>CONSTRUCTION/ALTERATION OF MORE THAN 200 FEET ABOVE GROUND LEVEL?</b>  No	<b>DISTANCE/DIRECTION FROM COS:</b>  7.4 miles north of 17R
<b>TOTAL STRUCTURE HEIGHT AT THE ESTIMATED HIGHEST POINT:</b>  49 feet above ground level; 6,904 feet above mean sea level	<b>COMMERCIAL AIRPORT OVERLAY SUBZONES PENETRATED:</b>  None
<b>ATTACHMENTS:</b> <a href="https://web1.coloradosprings.gov/LUISPlanner/uploaded/LUISPlanner/Documents/App/138273.pdf">https://web1.coloradosprings.gov/LUISPlanner/uploaded/LUISPlanner/Documents/App/138273.pdf</a> <a href="https://web1.coloradosprings.gov/LUISPlanner/uploaded/LUISPlanner/Documents/App/138277.pdf">https://web1.coloradosprings.gov/LUISPlanner/uploaded/LUISPlanner/Documents/App/138277.pdf</a> <a href="https://web1.coloradosprings.gov/LUISPlanner/uploaded/LUISPlanner/Documents/App/138281.pdf">https://web1.coloradosprings.gov/LUISPlanner/uploaded/LUISPlanner/Documents/App/138281.pdf</a>	

**STAFF RECOMMENDATION/CONDITIONS OF APPROVAL**

***Subject to Airport Advisory Commission Action***

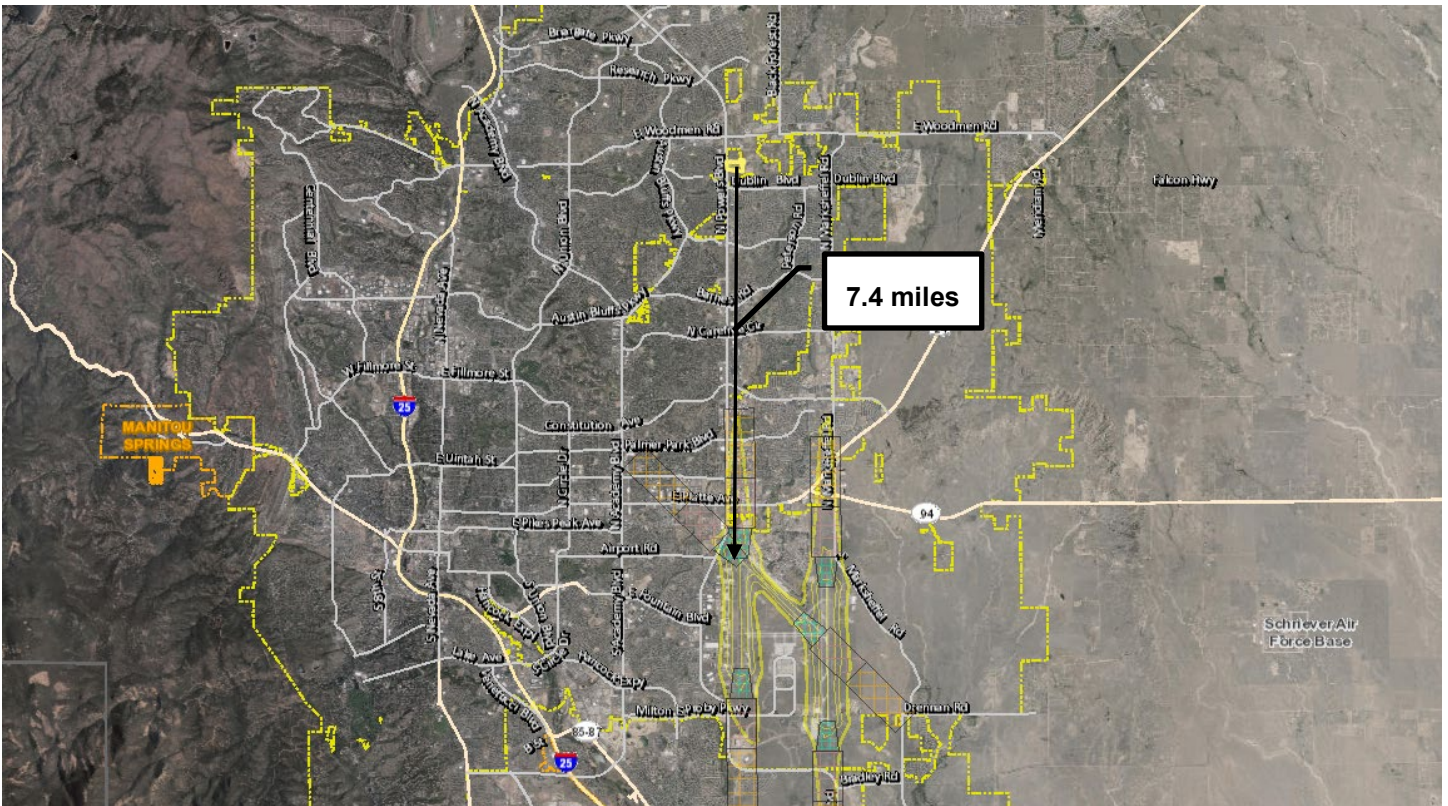
*Airport staff recommends **no objection** with the following conditions:*

- **Avigation Easement:** An avigation easement is requested or provide proof of previous recording (book/page or reception number).
- **FAA Form 7460-1:** If use of temporary construction equipment will exceed 200 feet above ground level in height at this site, the applicant is to file an airspace evaluation case with the Federal Aviation Administration (FAA) and provide the results to the Airport before the commencement of construction activities; FAA's website (<https://oeaaa.faa.gov/oeaaa/external/portal.jsp>).



**Colorado Springs Airport Advisory Commission Meeting  
To Be Heard May 26, 2021  
Land Use Review Item #02**

**PROJECT LOCATION EXHIBIT:**





May 2, 2021

County File: OAR-21-031

Re: American Furniture Warehouse Final Plat - CPC CP 07-00077-A5MN21, AR DP 21-00219, AR FP 21-00220

To: Katie Carleo; Katie.Carleo@coloradosprings.gov

**Planning Division**

Review 1 comments:

1. Verify that proposed development provides sufficient buffers between existing EPC residential and rural uses (RR-5, five-acre min. lot size and A-5, five-acre min. lot size), specifically those to the north and south of the subject site.
2. The required buffer shall be a minimum of 15 feet deep. The minimum number of trees in the buffer shall be 1 tree for every 15 feet of the road frontage. A minimum of 1/3 of the trees shall be evergreen trees (reference Section 6.2.2. Landscape Requirements of the LDC).

Reviewed by: Mercedes Rivas, Planner II  
mercedesrivas@elpasoco.com

**Engineering Division**

Review 1 Comments:

PCD-Engineering has the following comments:

1. The Traffic Impact Study estimates that approximately 450 ADT will use Templeton Gap Road northeast of the site, which includes a County-owned and maintained segment. A link analysis was not found in the TIS; however, it is apparent that repairs and improvements are needed to Templeton Gap Road to provide the appropriate standard cross-section needed for the additional traffic.
2. County permits and plan review will be needed for construction of the necessary improvements to the County-owned and maintained portion of Templeton Gap Road unless there is another agreement between the City and the County, or the City annexes the County segment.

(No comments on drainage.)

Additional comments may be provided by the County Engineer.

-- Jeff Rice - 719-520-7877

**County Engineer (Public Works)**

Additional comments may be provided by the County Engineer.

Mercedes Rivas, Planner II  
El Paso County Development Services  
2880 International Circle, Colorado Springs, CO, 80910  
(719) 520-6447