

TF=90.4 FRONT ELEVATION "B1" AFG=89.7

1884 B1 ELEVATION
 AVERAGE FINISH GRADE = (AFG)
 $AFG = \frac{89.9(2)+89.4(2)}{4} = 41.6$
 BUILDING HEIGHT = 20.4 + (TF - AFG) =
 BUILDING HEIGHT = 20.4 + (90.4 - 89.7) = 21.1

Released for Permit

06/11/2026 2:17:46 PM



ENUMERATION

SFD26534

APPROVED
 Plan Review

06/12/2026 10:10:43 AM
 dsdyounger

EPC Planning & Community
 Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

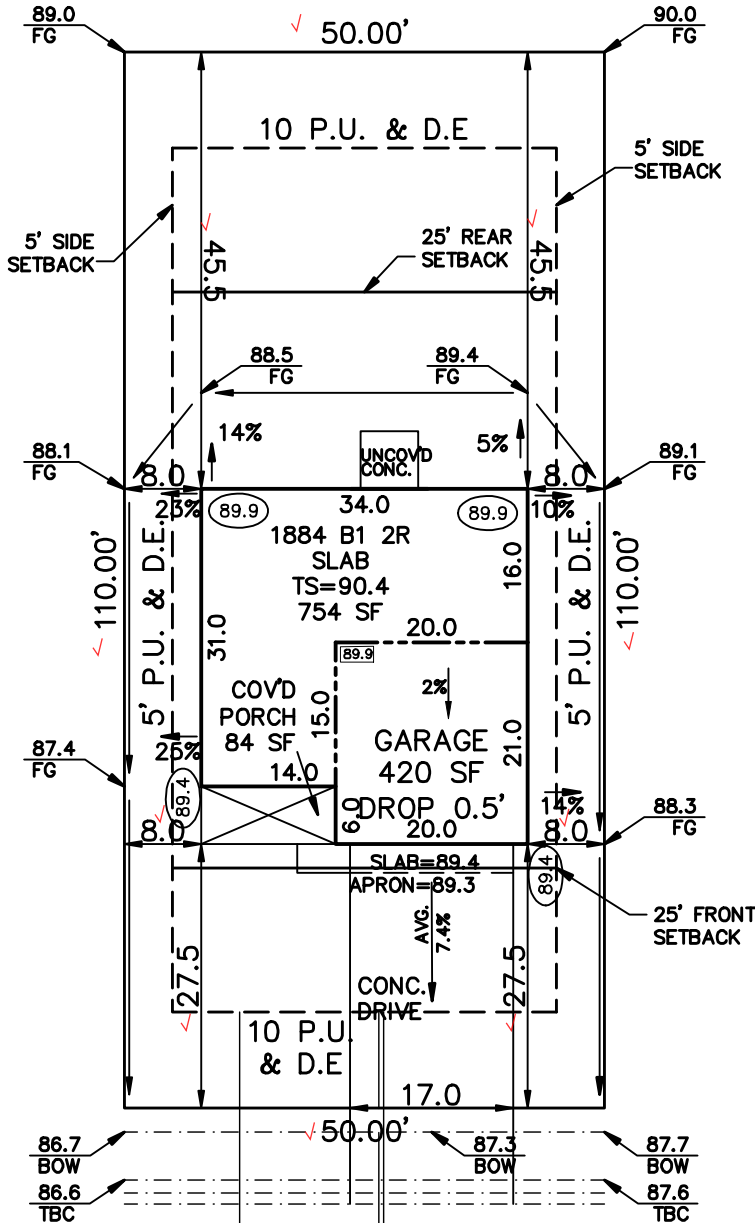


ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBVIATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION

Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department



LOT 33

LOT 35

PLAT

ZONING RS-5000 CAD-O
 SCHEDULE No. 5233300001

PENDROY STREET
 (50' R.O.W.)

WARNING!

1. LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2. THIS PLOT PLAN SHOWS IMPROVEMENTS AT GRADE ONLY. SEE FOUNDATION PLANS FOR STRUCTURAL INFORMATION

SITE DATA

LOT SQ. FT. = 5500
 HOUSE SQ. FT. = 1258
 COVERAGE = 22.9%
 BLDG. HEIGHT = 21.1

LEGEND

○ FINISH GRADE
 □ CONC. GRADE

SCALE: ...1"=20'

DRAWN BY: TAP

FLAT WORK:

- 4" DRIVEWAY 595 SF
- 6" DRIVEWAY SF
- 4" SIDEWALK 165 SF
- 6" SIDEWALK 85 SF
- PATIO 36 SF,
- WALK 17 SF,
- PORCH 84 SF

CHALLENGER HOMES
 8605 EXPLOYER DRIVE
 COLORADO SPRINGS, COLORADO 80920

(IN FEET)
 1 inch = 20 ft.



PLOT PLAN

LEGAL DESCRIPTION

LOT 34
 STERLING RANCH FILING No. 4
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

ADDRESS

7868 PENDROY STREET

PREPARED FOR
 CHALLENGER
 HOMES

TITLE CO. FILE NO.

DRAWING NAME

SR4-34

DATE

06-05-26

PROJECT NO.

SITE



2023 PPRBC
2021 IECC Amended

Address: 7868 PENDROY ST, COLORADO SPRINGS

Parcel: 5233300001

Plan Track #: 214188 

Received: 11-Jun-2026 (AMY)

Description:

RESIDENCE

Type of Unit:

| | | |
|---------------|------|-------------------|
| Garage | 580 | |
| Lower Level 2 | 760 | |
| Main Level | 760 | |
| Upper Level 1 | 1124 | |
| | 3224 | Total Square Feet |

Required PPRBD Departments (3)

Enumeration

APPROVED

AMY

6/11/2026 2:18:04 PM

Floodplain

(N/A) RBD GIS

Construction

N/A

06/12/2026 7:43:30 AM

Fikes Peak
REGIONAL
Building Department

shelley

CONSTRUCTION

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

06/12/2026 10:11:22 AM

dsdyounger

**EPC Planning & Community
Development Department**

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.