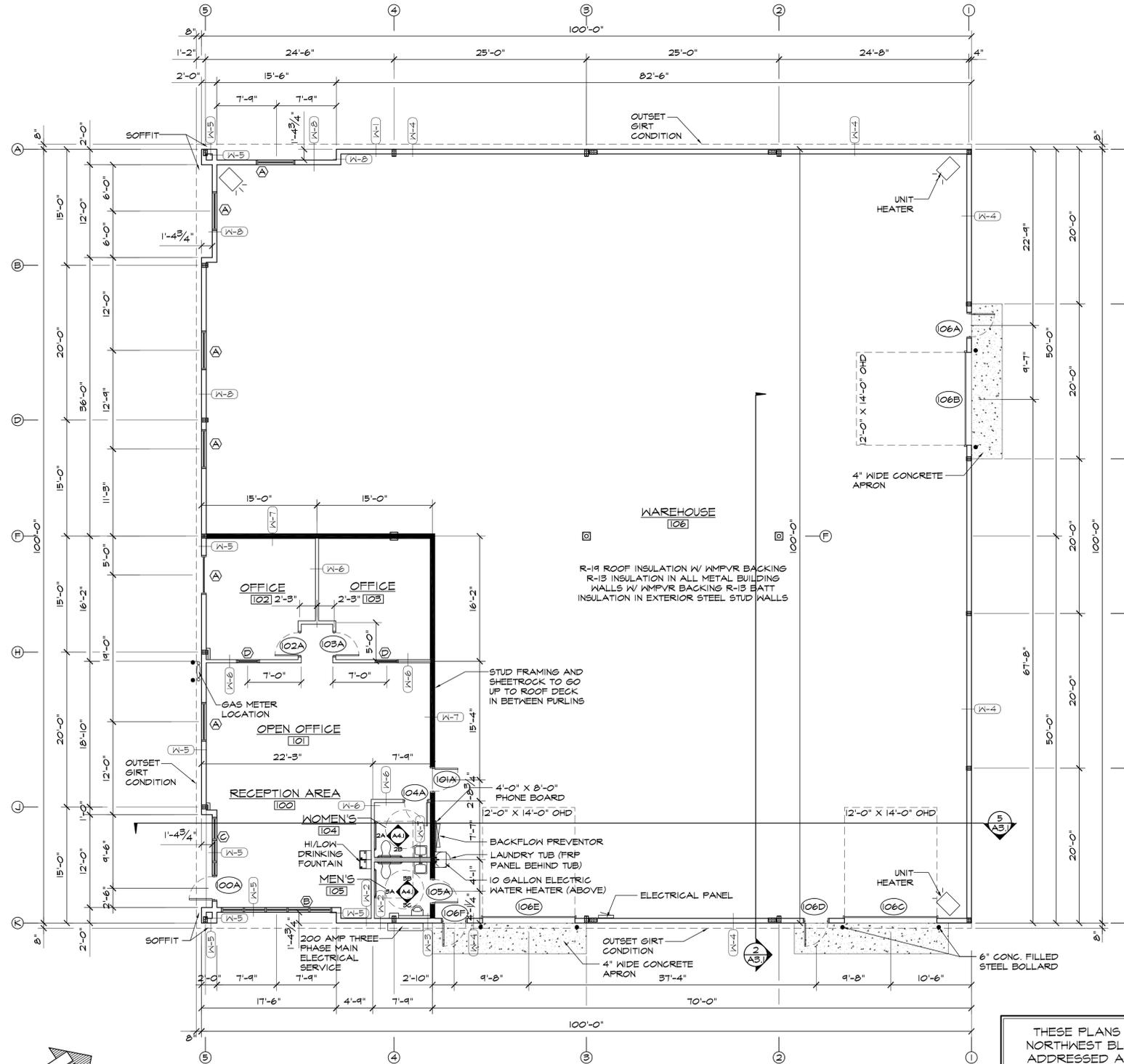
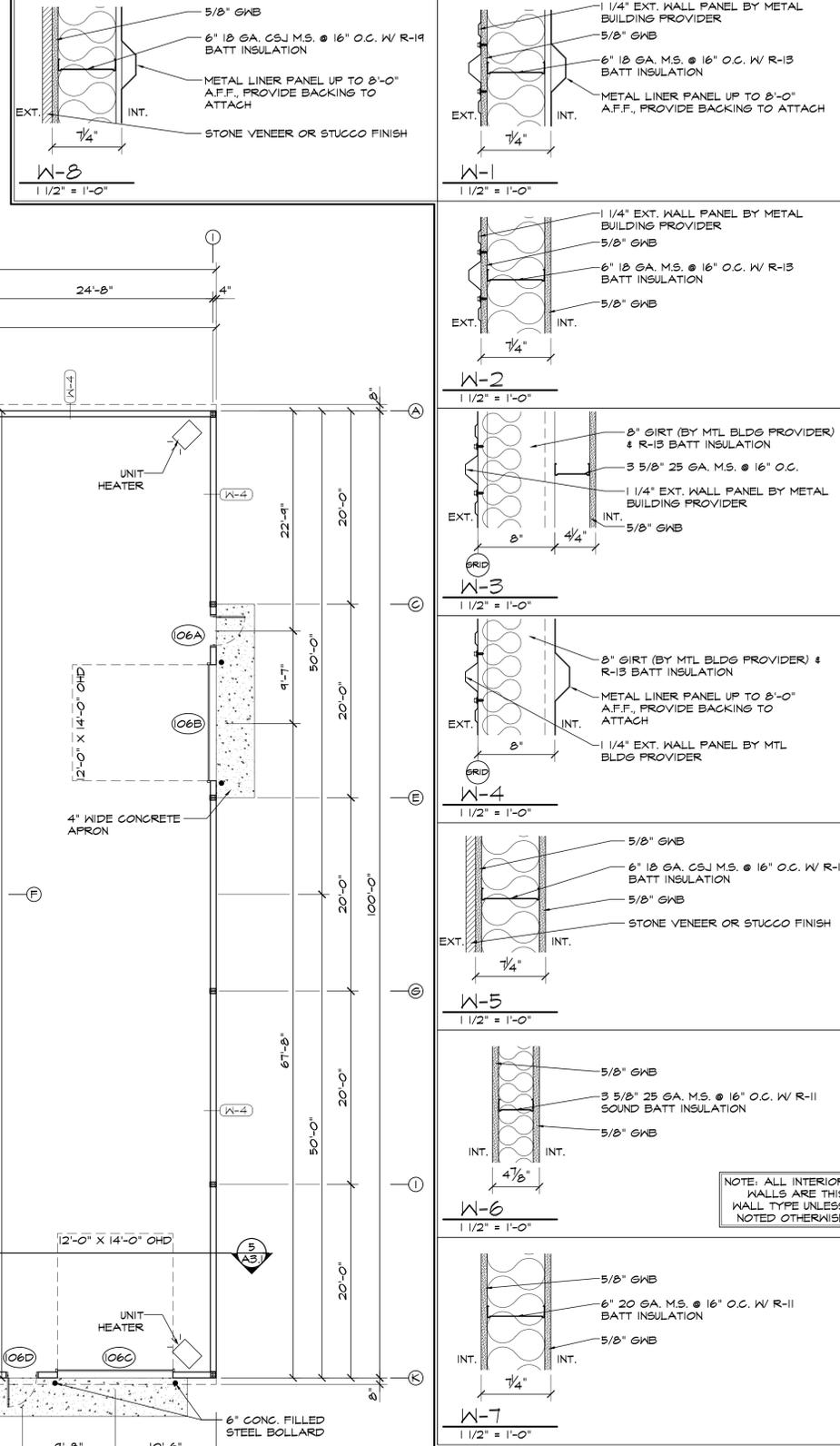


**GENERAL FLOOR PLAN NOTES**

- REFERENCE DOOR SCHEDULE FOR ALL DOOR TYPES, HARDWARE AND ETC.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE.
- ALL GLAZING IN DOORS OR WITHIN TWENTY FOUR INCHES (24") OF DOORS AND WITHIN EIGHTEEN INCHES (18") OF WALKING SURFACE SHALL BE TEMPERED.
- PROVIDE A DOOR CLOSERS AT ALL (1-HOUR WALL OR GREATER) DOORS AND RESTROOM DOORS.
- SPRING AND MOTOR MOUNTS AND RELATED SUPPORTS TO BE SUPPLIED AND INSTALLED BY OVERHEAD DOOR MANUFACTURE.
- PROVIDE CONTROL JOINTS AT A MIN. OF 30'-0" AT ALL GYP. BD. WALLS.
- PROVIDE TRANSITION STRIPS AT ALL FLOOR MATERIAL CHANGES.
- PROVIDE CAP TRIM AT ALL LINER PANEL.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE, UNLESS NOTED OTHERWISE. FLOOR SLABS ARE TO BE LEVEL WITHIN CLASS B TOLERANCES. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO PLUMBING PLANS FOR HOSE BIB LOCATIONS AND LANDSCAPE METER/STUB LOCATIONS
- DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED WITHIN 4" OF ADJACENT PERPENDICULAR PARTITION. PROVIDE 18" CLEAR AT STRIKE SIDE AND 12" ON PUSH SIDE OF DOOR OPENING.
- ALL INTERIOR WALLS AND PARTITIONS SHALL BE TAPED AND SANDED SMOOTH TO RECEIVE PAINT OR WALL FINISH MATERIAL.
- REFER TO ROOM FINISH SCHEDULE FOR WALL TEXTURE AND FINISH.
- FURNISH AND INSTALL 16 GAUGE METAL STRAP FOR WALL BACKING AT DOOR STOPS, HANGING WALL, EQUIPMENT, ETC. VERIFY EXACT BACKING LOCATIONS PRIOR TO INSTALLATION.
- PROVIDE AND LOCATE, ACCESS DOORS AND PANELS IN THE WALL AS REQUIRED TO PROVIDE ACCESS TO FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK.
- ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL CLEAN-OUT LOCATIONS WITH EQUIPMENT. PROPER CAPS MUST BE INSTALLED PRIOR TO COMPLETION OF INTERIOR AND EXTERIOR.
- PROVIDE AND INSTALL STIFFENERS, BRACING, BACK-UP PLATES AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED, ELECTRICAL AND MISC. EQUIPMENT.
- ALL EXTERIOR DOORS MUST OPEN OVER A LANDING NOT MORE THEN 1/2" BELOW THRESHOLD.
- PROVIDE A SLIP-TRACK ASSEMBLY AT ALL PARTITION WALLS THAT GO TO BOTTOM OF DECK OR STRUCTURE.
- PREPARE ALL FLOOR SURFACES AND WALLS AS REQUIRED TO RECEIVE FINISHES.
- REFER TO CIVIL AND AOJ FOR ALL EXTERIOR SIDEWALK LOCATIONS.
- ALL MECH, ELEC. & PLUMB. REQUIREMENTS FOR EQUIPMENT SHOWN TO BE VERIFIED & COORD. W/ S.C. PRIOR TO INSTALLATION.
- REFER TO MECH, ELEC. & PLUMB. FOR BUILDING SYSTEMS EQUIPMENT.
- PROVIDE SAW CUT IN CONCRETE SLAB AT A MIN. OF 10'-0" O.C.

**WALL TYPE DETAILS**



**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

THESE PLANS REFER TO NORTHWEST BLDG. AND 15 ADDRESSED AS 1495 PER SITE PLAN

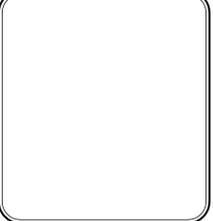
**FLOOR PLAN LEGEND**

- FULL HEIGHT WALL
- 6" MTL STUD, 9' HIGH WALL
- 9'-0" HIGH WALL

**HAMMERS CONSTRUCTION INC.**  
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD  
PRESIDENT: STEVE R. HAMMERS  
VICE PRES: DAVID J. HAMMERS  
1411 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
(719) 570-1599 FAX (719) 570-7008  
www.hammersconstruction.com

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**GBP LOT 2-1A**  
OFFICE/WAREHOUSE  
1495 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, COLORADO



DATE: JAN. 7, 2019  
DRAWN BY: D. AQUINO  
PROJ. MGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1115

**REVISIONS:**

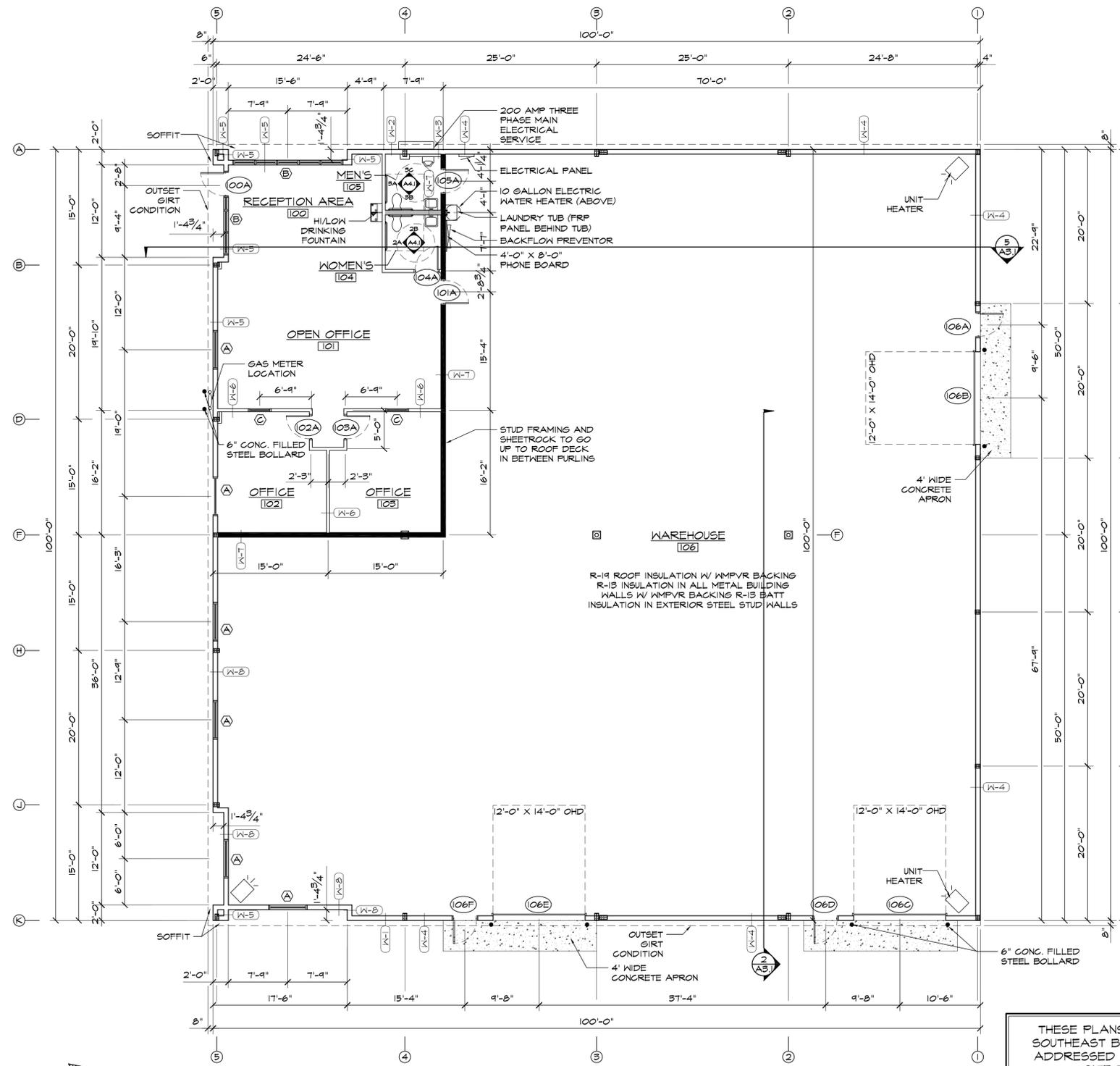
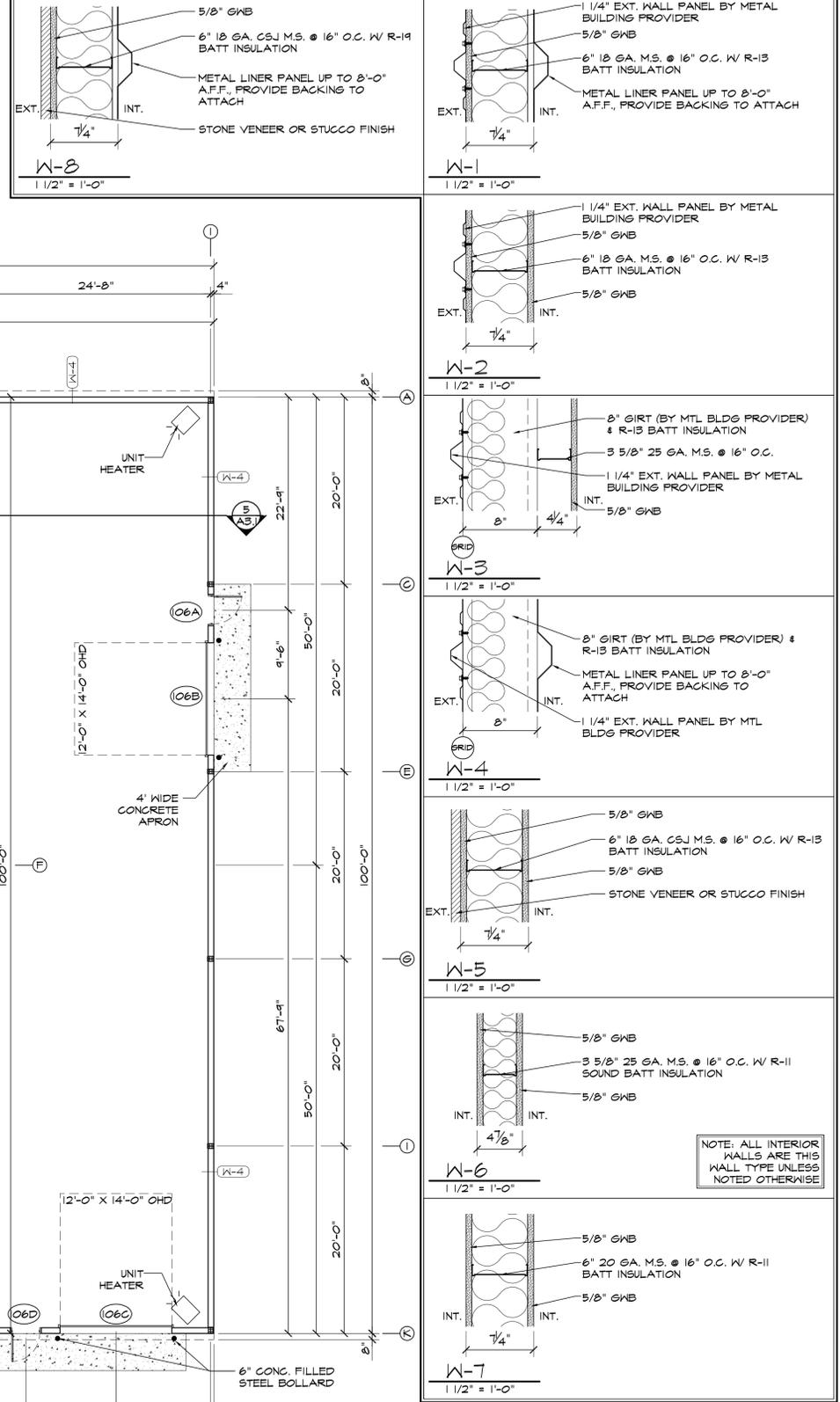
- 4/22/19 - COMMENTS - 2/10/19
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**A1.1**  
FLOOR PLAN

**GENERAL FLOOR PLAN NOTES**

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**WALL TYPE DETAILS**



**FLOOR PLAN**  
 SCALE: 1/8"=1'-0"

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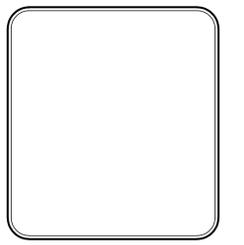
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**CBP LOT 2-1B**  
 OFFICE/WAREHOUSE  
 1491 WOOLSEY HEIGHTS  
 COLORADO SPRINGS, CO 80915  
 EL PASO COUNTY, COLORADO



DATE: JAN. 7, 2019  
 DRAWN BY: D. AQUINO  
 PROJ. MGR: R. GREEN  
 SCALE: SEE PLAN  
 APPROVED BY:  
 JOB NO: 1115

- REVISIONS:**
- ▲ 4/22/19- COMMENTS -2/10/19
  - ▲
  - ▲
  - ▲
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**A1.1**  
 FLOOR PLAN