

**HAMMERS CONSTRUCTION INC.**

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS  
VICE PRES: DAVID J. HAMMERS  
1411 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
(719) 570-1599 FAX (719) 570-7008  
www.hammersconstruction.com

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**CBP LOT 2**

CLAREMONT BUSINESS LOT 2 - 1A

1491 & 1495 WOOLSEY HEIGHTS

COLORADO SPRINGS, CO 80915

EL PASO COUNTY, COLORADO

DATE: JAN. 07, 2019  
DRAWN BY: D. AQUINO  
PROJ. MGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1115

△ SUBMITTALS:  
△ 4/22/19 - COMMENTS - 2/10/19  
△ 7/1/19 - COMMENTS - 6/12/19  
△ 7/30/19 - COMMENTS - 7/22/19  
△  
△  
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△  
△  
△



HALLGREN PROPERTIES INC.  
1110 MEADOWBROOK PKWY  
PARCEL NO: 54081-02-056  
ZONE: CS CAD-O  
USE: DISTRIBUTION  
WAREHOUSE

MEADOWBROOK PARKWAY  
80'-0" R.O.W.

$$\begin{aligned} L &= 219.05' \\ \Delta &= 46^{\circ}06'30'' \\ R &= 605.00' \end{aligned}$$

- NEW 5' DETACHED  
CONCRETE SIDEWALK,  
MIN. 6" AWAY FROM  
PROPERTY LINE

KBH LLC  
1490 WOOLSEY HTS  
PARCEL NO: 54081-01-045  
ZONE: CS CAD O  
USE: WAREHOUSE/STORAGE

WOOLSEY HEIGHTS  
47'-8" EASEMENT

47'-8"  
ROADWAY  
EASEMENT  
RECEP NO. 207712506

PROPOSED  
BUILDING  
10,000 SF

5' PUBLIC  
UTILITY &  
DRAINAGE  
EASEMENT  
RECEP NO.  
207712506

5'-0"  
UTILITY  
DRAINAGE  
EASEMENT  
RECEP NO.  
207713506

CASE L G  
1111 MEADOWBROOK PKWY  
PARCEL NO: 54081-01-053

5'-0"  
DRAINAGE  
EASEMENT  
RECEP NO.  
207712506

PROPOSED  
BUILDING  
10,000 SF

HOILES TIMOTHY C  
TRUST OF 1995  
1483 WOOLSEY HTS  
PARCEL NO: 54081-01-028  
ZONE: CS CAD O  
USE: WAREHOUSE/STORAGE

## GENERAL NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

25'-0"  
BUILDING  
SETBACK

UTILITY  
EASEMENT  
RECEP NO.  
207712506

$$\begin{aligned} L &= 135.85^\circ \\ \Delta &= 00^\circ 40' 19'' \\ R &= 11584.00' \end{aligned}$$

120.44'  
S 33°32'48" W

STANDARD PROPERTIES INC  
0 HIGHWAY 24 E  
PARCEL NO: 54080-01-052  
ZONE: 1-2 CAD-0  
USE: VACANT INDUSTRIAL  
LOTS

1 SITE PLAN  
SCALE: 1"=30'-0"

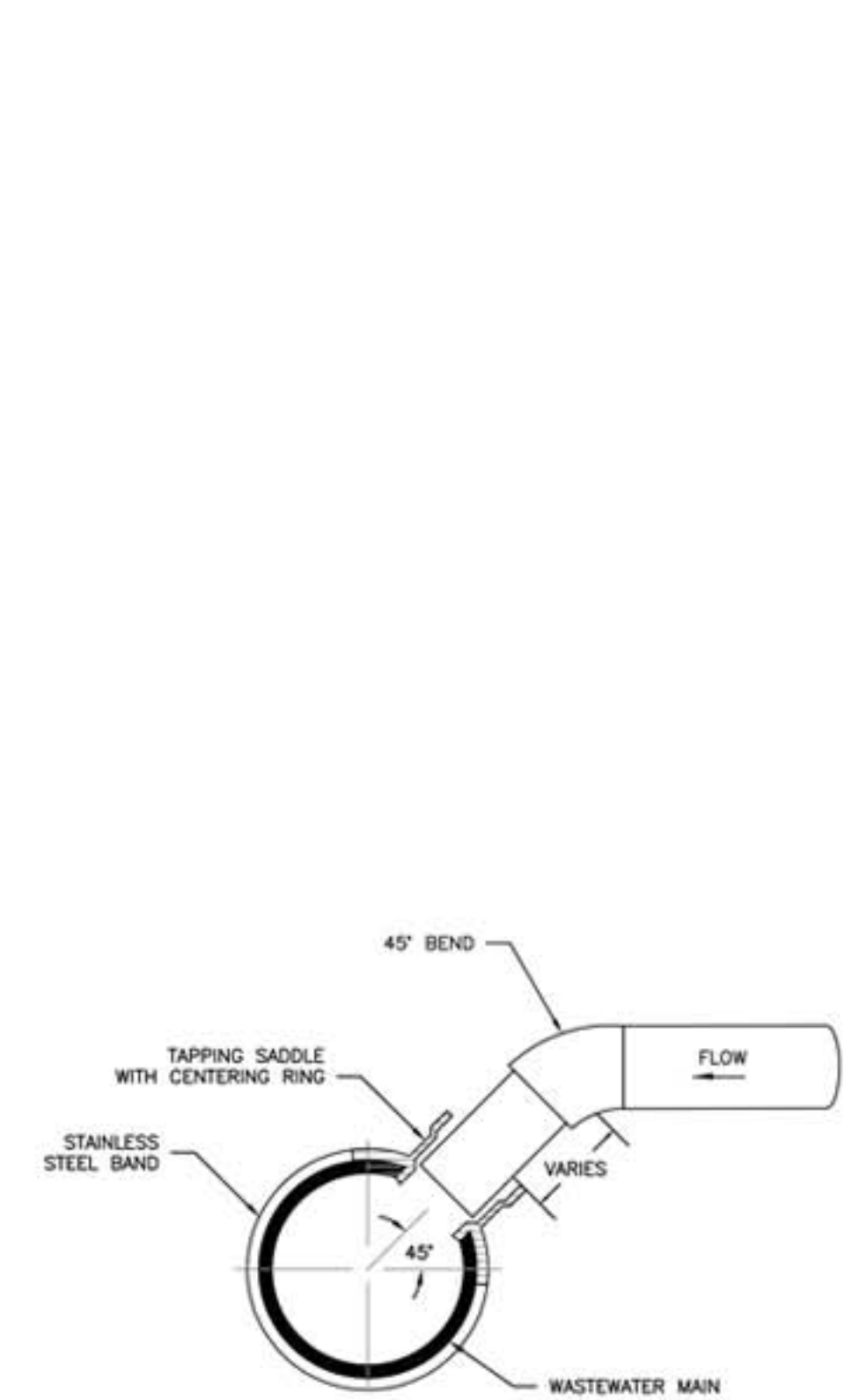
HWY 24  
R.O.W. VARIES

COLORADO SPRINGS CITY OF  
O HIGHWAY 24 E  
PARCEL NO: 54000-00-273  
ZONE: PF AP22 AO  
USE: POLITICAL SUBD.



WATER AND SANITARY SEWER SERVICE INSTALLATIONS GENERAL NOTES:

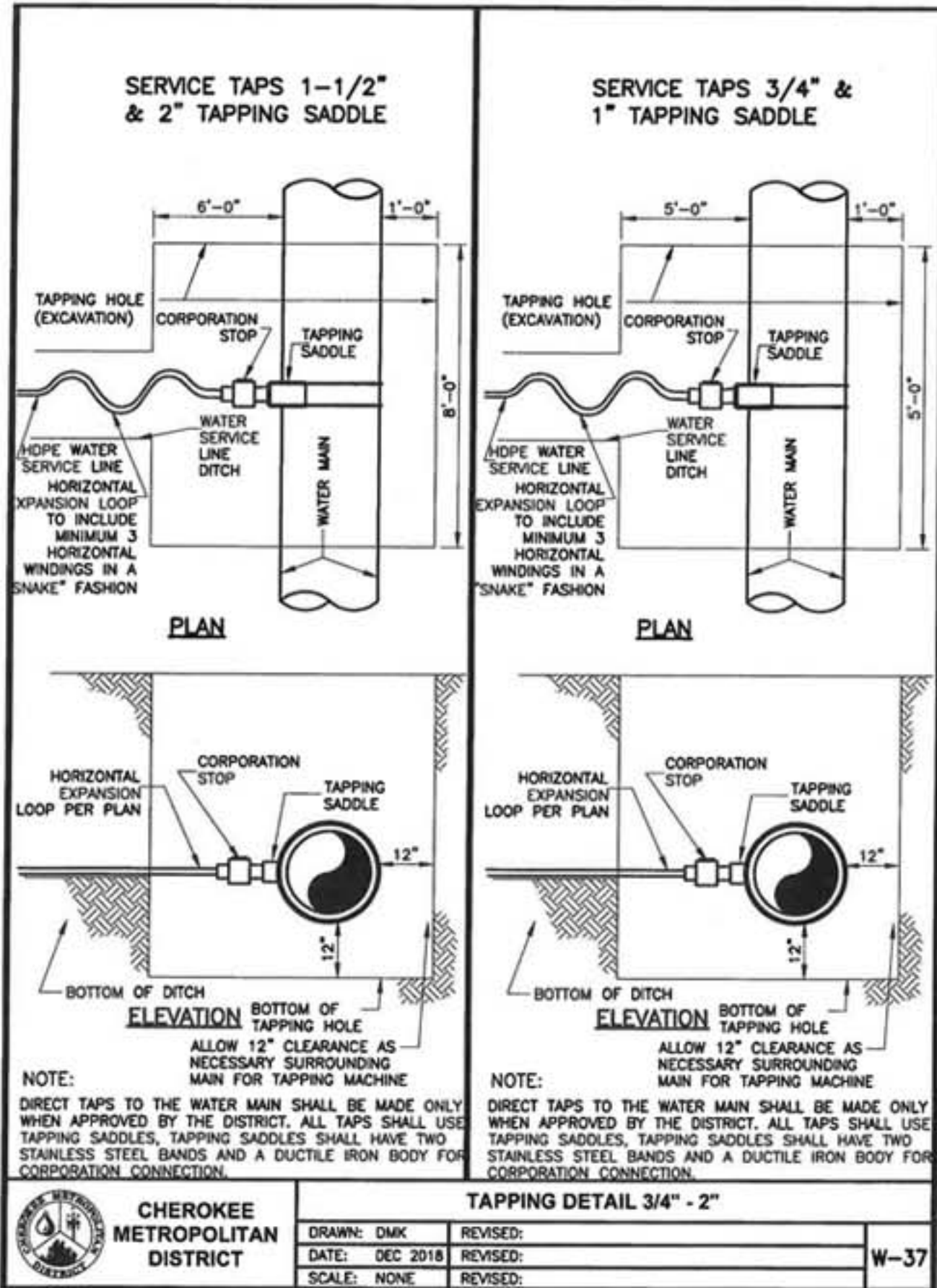
1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE CHEROKEE METROPOLITAN DISTRICT STANDARDS AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS OTHERWISE NOTED. IN THE EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN.
2. ALL WATER SYSTEM MAINS PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 200 (DR-14) PER AWWA C-900 AND AWWA D241 SPECIFICATIONS, EXCEPT WHERE NOTED. SPECIFICALLY, SECTIONS OF WATER PIPE THAT CROSS UNDER MAJOR DRAINAGE WAYS (SAND CREEK) OR MAJOR THOROUGHFARES SHALL BE DUCTILE IRON PIPE.
3. ALL FITTINGS SHALL BE CONSTRUCTED OF GRAY-IRON MATERIAL AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL BE WRAPPED WITH A 9-MIL THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD C105.
4. ALL WATER PIPES SHALL BE INSTALLED AT A MINIMUM DEPTH OF FIVE (5) FEET BELOW FINISHED GRADE.
5. ALL BENDS, TEES FIRE HYDRANTS, BLOW-OFF, AND PLUGS AT DEAD END MAINS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
6. VALVE BOXES SHALL BE TYLER SLIP; TYPE "C" CAST IRON VALVE BOX ASSEMBLY SERIES 6860 WITH NO. 160 OVAL BASE OR APPROVED EQUAL.
7. ALL WATER SYSTEM COMPONENTS SHALL BE FLUSHED AND CHLORINATED PER AWWA C-601, "DISINFECTING WATER MAINS" PRIOR TO ACCEPTANCE. THE CONTRACTOR SHALL PRODUCE A 25 MG/L SOLUTION BY ADHERING CHLORINE TABLETS TO THE PIPE SECTION WITH PERMATEX CLEAR TRV INSIDE THE SYSTEM. CHLORINATION SHALL OCCUR PRIOR TO HYDROSTATIC TESTING. THE CONTRACTOR SHALL OBTAIN A BACTERIOLOGICAL SAMPLE AFTER THE SYSTEM HAS BEEN FLUSHED. A CLEAN BACTERIOLOGICAL SAMPLE MUST BE OBTAINED PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE.
8. HYDROSTATIC TESTING: ALL WATER SYSTEM MAINS SHALL BE FILED PRESSURE TESTED TO A MINIMUM OF 150 PSI OR 1 1/2 TIMES THE STATIC OPERATING PRESSURE, WHICHEVER IS GREATER. MAXIMUM ALLOWABLE LEAKAGE FOR EACH SECTION OF PIPE BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING: \*10 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY.
9. ALL VALVES SHALL CONFORM TO OPEN LEFT CONVENTION PER CHEROKEE METROPOLITAN DISTRICT STANDARDS.
10. WHEN IT IS NECESSARY TO RAISE OR LOWER WATER MAINS AT OTHER UTILITY CROSSINGS THE CONTRACTOR SHALL INSURE A MINIMUM CLEARANCE OF 18" WHERE POSSIBLE BETWEEN THE OUTSIDE DIAMETERS OF PIPES.
11. WHILE CONSTRUCTING THE WATER AND WASTE WATER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION" SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO THE PLAN SETS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE WATER SYSTEM.
12. PRIOR TO TAPPING ANY EXISTING WATER MAIN THE CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL FOR SAID TAP IN ACCORDANCE WITH THE CHEROKEE METROPOLITAN DISTRICT STANDARDS.
13. ALL NONMETALLIC PIPES SHALL HAVE TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 COPPER CONNECTIONS AND SHALL BE PERMANENTLY AFFIXED TO THE TOP OF THE PIPE USING TAPE AT 4' INTERVALS. TRACER WIRE SHALL BE JOINED 3-WAY OR 4-WAY LOCKABLE MECHANICAL CONNECTORS SPECIFICALLY MANUFACTURED FOR USE IN UNDERGROUND TRACER WIRE INSTALLATIONS. NON-LOCKING FRICTION FIT, TWIST-ON, OR TAPED CONNECTIONS ARE NOT PERMITTED. THE TRACER WIRE SHALL ALSO BE CORROSION BY EPOXY OR SILICON COATING. ROUTE TRACER WIRES TO SURFACE AT ALL VALVE BOXES.
14. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING.
15. SANITARY SEWER PIPE SHALL CONFORM TO ASTM D3034 SDR35 PVC.
16. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM.
17. ALL SANITARY SEWER MANHOLES, LIDS, BASES AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH (AWW) COLORADO SPRINGS DETAILS STANDARD MANHOLE DETAIL 1, EXCEPT AS NOTED ON THESE PLANS. WHERE REQUIRED ON THESE PLANS, WATER TIGHT MANHOLES, LIDS AND CONNECTIONS SHALL BE PROVIDED BY COLORADO SPRINGS STANDARDS.
18. SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL ON THE UTILITY SERVICE PLAN, OR AT THE DIRECTION OF THE INSPECTOR.
19. OVERLOT GRADING AND STREET SUB-GRADE MUST BE WITHIN +/- ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION.
20. TRACER WIRE IS TO BE INSTALLED WITH ALL SANITARY SEWER MAIN LINES AND SERVICES (FROM THE MAIN LINE TO THE BUILDING STRUCTURE), AS OUTLINED IN COMMENT #13.
21. MINIMUM DEPTH OF SANITARY SEWER IS 6 FEET OF COVER. IF THIS MINIMUM CANNOT BE ACHIEVED DUE TO SHALLOW SEWER STUB THEN THE FOLLOWING APPLIES: OTHERWISE THE SEWER SERVICE MUST HAVE 6 FEET OF COVER:  
DEPTH GREATER THAN 6 FEET: MATERIAL TYPE SDR 35  
DEPTH BETWEEN 4 FEET AND 6 FEET: MATERIAL TYPE SCH 40 OR CAST IRON (CIP)  
DEPTH LESS THAN 4 FEET: MATERIAL TYPE SCH 40 OR CIP WITH CONCRETE CAP.
22. WATER SERVICE MUST BE OVER THE SEWER AT ALL TIMES, SEWER SERVICE PIPE LOCATED WITHIN ONE FOOT OF THE WATER SERVICE LINE MUST BE CONSTRUCTED WITH SCH 40 PIPE OR CIP.
23. ALL EXTERIOR SEWER CLEAN OUTS (CO) MUST HAVE A CAST IRON, TRAFFIC RATED COVER, OR EQUIVALENT CONCRETE COLLAR.
24. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE BY THE DISTRICT, TWO (2) COPIES OF "AS-CONSTRUCTED" PLANS AND TWO (2) SETS OF ELECTRONIC DATA FILES OF THE PLANS SHALL BE SUBMITTED TO THE DISTRICT FOR RECORD.  
a. THE TWO (2) COPIES SHALL BE COMPLETE WITH ALL "AS-CONSTRUCTED" INFORMATION TOGETHER WITH A CERTIFICATION BY THE PARTY RESPONSIBLE FOR CONSTRUCTION THAT ALL DATA THEREON IS ACCURATE AND REPRESENTS ACTUAL CONSTRUCTED CONDITIONS.  
b. THE TWO PLAN SETS SHALL BE SUBMITTED ON SHEETS THAT ARE 24" X 36" IN SIZE.  
c. THE PLAN SET SHALL BE ON A DURABLE MEDIA THAT CAN BE RUN THROUGH PHOTOCOPYING EQUIPMENT.  
d. THE TWO ELECTRONIC DATA FORMATS SHALL BE SUBMITTED. THE FIRST ELECTRONIC DATA FILE SET SHALL BE IN AUTOCAD 2006 OR NEWER FORMAT WITH NO EXTERNAL REFERENCE DRAWINGS. ALL EXTERNAL REFERENCES MUST BE BOUND INTO THE DRAWING SET. THE SECOND SET OF ELECTRONIC DATA FILES SHALL BE IN ADOBE ADOBE ACROBAT .PDF FORMAT.  
e. "AS-CONSTRUCTED" PLANS SHALL BE SUBMITTED WITHIN TWO WEEKS OF COMPLETION OF THE WATER AND/OR SANITARY SEWER UTILITIES.  
f. NO AUTHORIZATION TO CONNECT TO THE SYSTEM OR DISCHARGE TO THE SYSTEM WILL BE ALLOWED UNTIL THE "AS-CONSTRUCTED" DOCUMENTS HAVE BEEN RECEIVED AND ACCEPTED BY THE DISTRICT.  
g. ALL PLANS, SPECIFICATIONS AND SUPPORTING DOCUMENTS SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF COLORADO. ALL PLANS AND SPECIFICATIONS SHALL BEAR THE SEAL AND SIGNATURE OF SAID LICENSED PROFESSIONAL ENGINEER.



TYPICAL WASTEWATER SERVICE TAPPING SADDLE

NOTES:

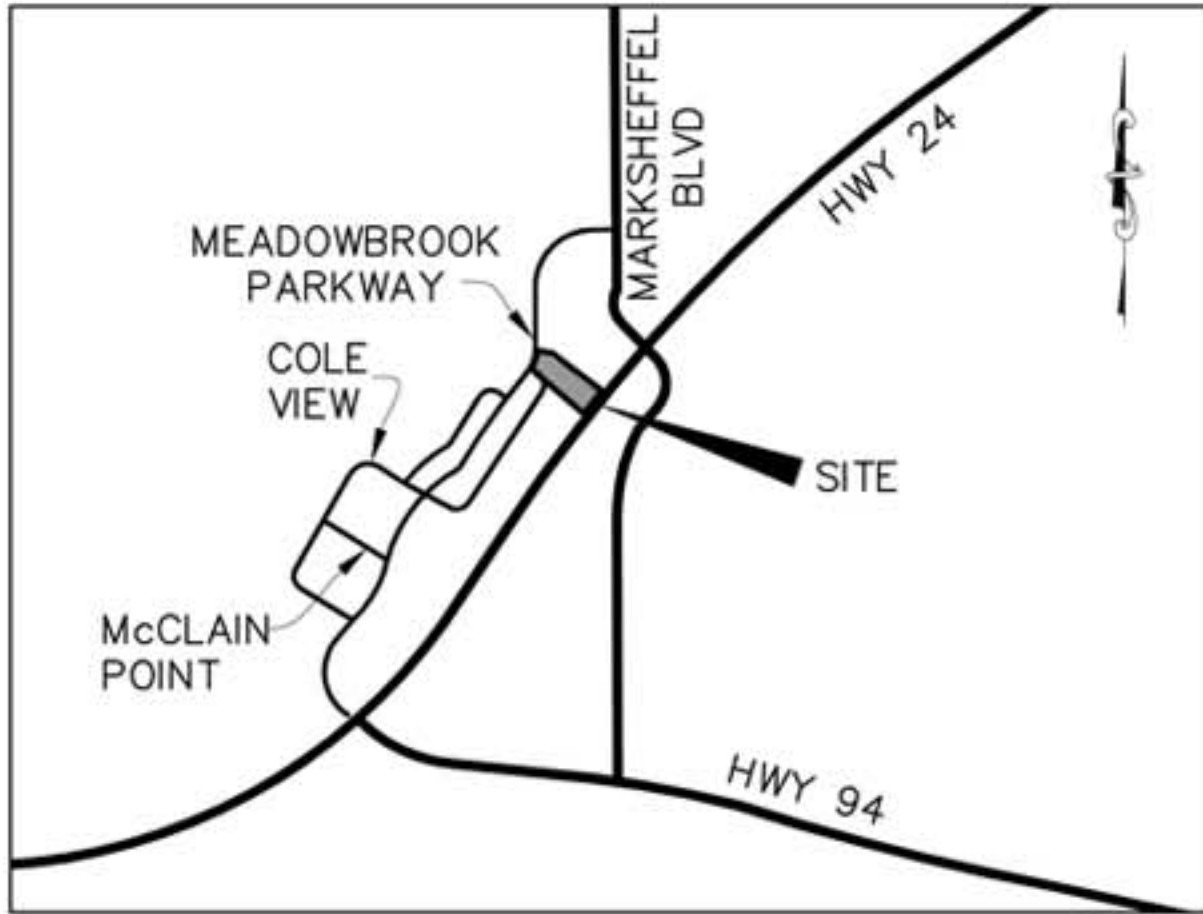
1. WHEN THE WASTEWATER MAIN IS VCP, USE THE SDR 35 PVC SADDLE WITH A LARGER SKIRT. SADDLE SHALL BE ONE NOMINAL SIZE LARGER THAN THE WASTEWATER MAIN.
2. PIPE WILL BE CUT WITH AN O.D. HOLE SAW OR TAPPING MACHINE. A 4-1/2" O.D. HOLE SAW SHALL BE USED FOR 4" TAPS AND A 6-1/2" O.D. HOLE SAW SHALL BE USED FOR 6" TAPS.
3. ONLY 4" AND 6" TAP SIZES ARE ALLOWED.
4. WASTEWATER TAPPING SADDLES SHALL HAVE A CENTERING RING.
5. A GASKET SHALL BE USED TO ENSURE AN AIRTIGHT SEAL BETWEEN THE SADDLE AND THE PIPE.



# CBP LOT 2-1A

## EL PASO COUNTY, STATE OF COLORADO

### UTILITY SERVICE PLAN



VICINITY MAP  
N.T.S.

### CONTACTS

OWNER	HAMMERS CONSTRUCTION INC. 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915
CIVIL ENGINEER	MS CIVIL CONSULTANTS, INC. 20 BOULDER CRESCENT, ST. 110 COLORADO SPRINGS, CO 80903 VIRGIL A. SANCHEZ, P.E. 719-491-0818
WATER AND WASTEWATER	CHEROKEE METROPOLITAN DISTRICT 6250 PALMER PARK BOULEVARD COLORADO SPRINGS, CO 80915-1721 JEFF MUNGER 719-597-5080
FIRE DEPARTMENT	CIMARRON HILLS FIRE DEPARTMENT 1835 TUSKEGEE PLACE COLORADO SPRINGS, CO 80915 719-591-0959
TELEPHONE COMPANY	U.S. WEST COMMUNICATIONS (LOCATORS) 800-922-1987 ATA&T (LOCATORS) 719-635-3674

### WATER INSTALLATION CORROSION CONTROL REQUIREMENTS

REQUIRED, DESCRIBED AS FOLLOWS: PROVIDE CATHODIC PROTECTION & WRAP ALL METAL JOINTS, VALVES, PIPES AND HYDRANTS.

### CHEROKEE METROPOLITAN DISTRICT WATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

### CHEROKEE METROPOLITAN DISTRICT WASTEWATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

### CIMARRON HILLS FIRE DEPARTMENT

ACCORDING TO THE MODELED CALCULATIONS REVIEWED BY THE GOVERNING WATER DISTRICT AND/OR COLORADO REGISTERED CIVIL ENGINEER/DESIGNER, THE THEORETICAL AVAILABLE FIRE FLOW AT NODE "A" IS 0000 GALLONS AT NODE "B" IS 0000 GALLONS PER MINUTE UNDER MAXIMUM DAILY DEMAND CONDITIONS AT 20PSI RESIDUAL. THE ACTUAL FIRE FLOW MAY VARY DUE TO VARIOUS PARAMETERS. UPON DETAILED REVIEW OF THE AVAILABLE WATER SUPPLY, FIRE HYDRANT LOCATIONS AND HOSE LAY DISTANCES, THESE PLANS ARE HEREBY CONSIDERED APPROVED.

FIRE DEPARTMENT SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

### PRIVATE WATER MAIN EXTENSIONS

THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THE INSTALLATION OF THESE PROPOSED WATER FACILITIES WILL BE MADE IN ACCORDANCE WITH THE DISTRICTS SPECIFICATIONS AND SHALL PROVIDE A MINIMUM OF FIVE FEET (5' 0") AND A MAXIMUM OF SIX (6' 0") OF COVER OVER THE WATER MAIN(S). THE UNDERSIGNED UNDERSTANDS THAT ALL WATER MAINS, FIRE HYDRANTS, AND APPURTENANCES AS INDICATED ON THIS INSTALLATION PLAN SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE MAINTAINED BY THE OWNER.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

DBA: HAMMERS CONSTRUCTION

ADDRESS: 1411 WOOLSEY HEIGHTS, COLORADO SPRINGS, CO 80915

### ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLANS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CHEROKEE METROPOLITAN DISTRICT. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS REPORT.



VIRGIL A. SANCHEZ, COLORADO P.E. #37160  
FOR AND ON BEHALF OF M & S CIVIL CONSULTANTS, INC. DATE: \_\_\_\_\_



UTILITY SERVICE PLAN  
CBP LOT 2-1A  
JOB NO. 44-034  
DATE PREPARED: JANUARY 2, 2019  
DATE REVISED: JUNE 28, 2019

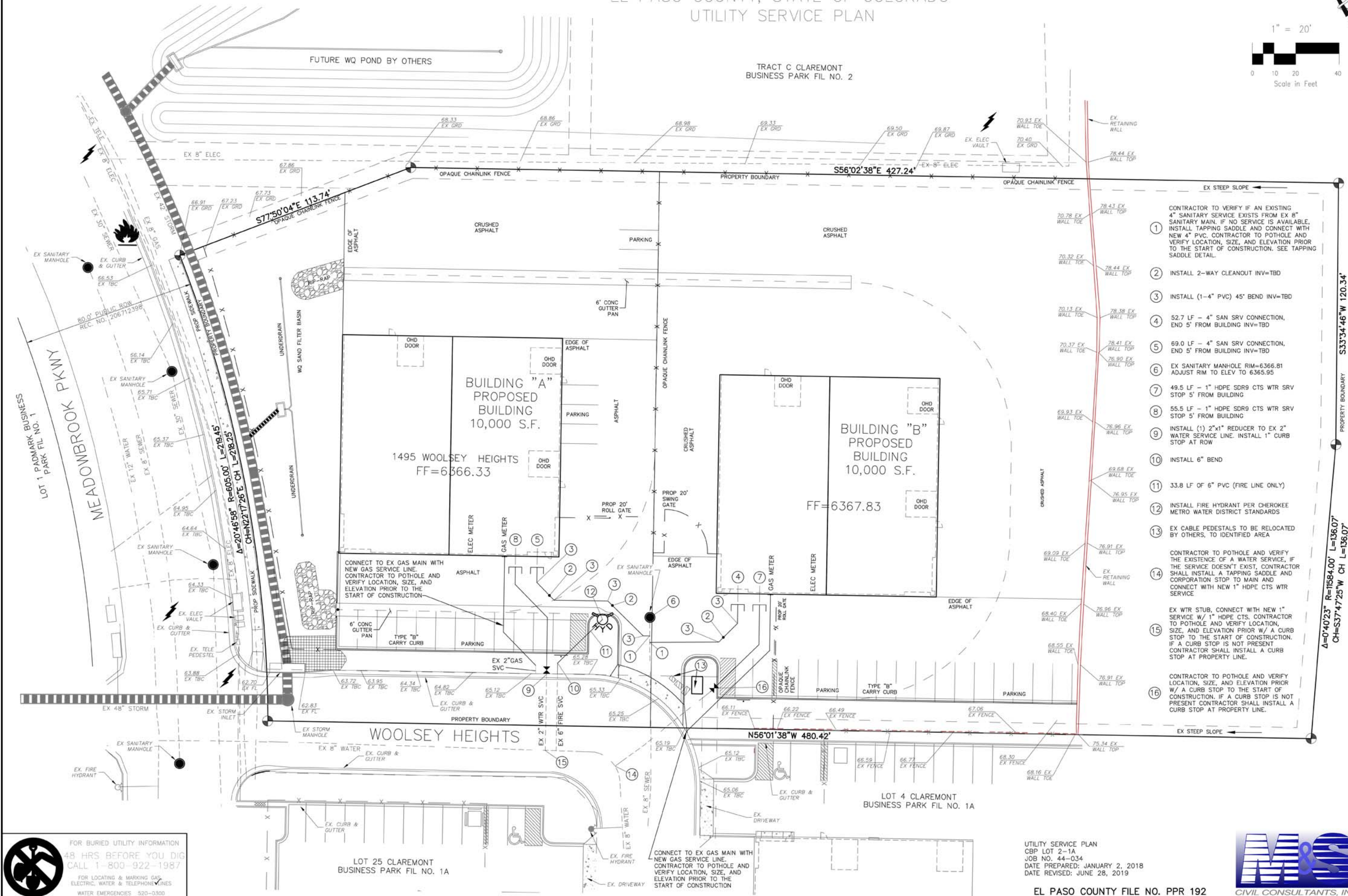
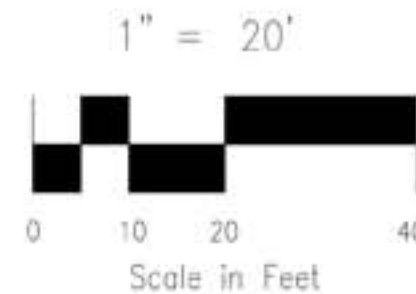
EL PASO COUNTY FILE NO. PPR 192

SHEET 7 OF 16



# CBP LOT 2-1A

EL PASO COUNTY, STATE OF COLORADO  
UTILITY SERVICE PLAN



FOR BURIED UTILITY INFORMATION  
48 HRS BEFORE YOU DIG  
CALL 1-800-922-1987  
FOR LOCATING & MARKING GAS,  
ELECTRIC, WATER & TELEPHONE LINES  
WATER EMERGENCIES 520-0300

UTILITY SERVICE PLAN  
CBP LOT 2-1A  
JOB NO. 44-034  
DATE PREPARED: JANUARY 2, 2018  
DATE REVISED: JUNE 28, 2019

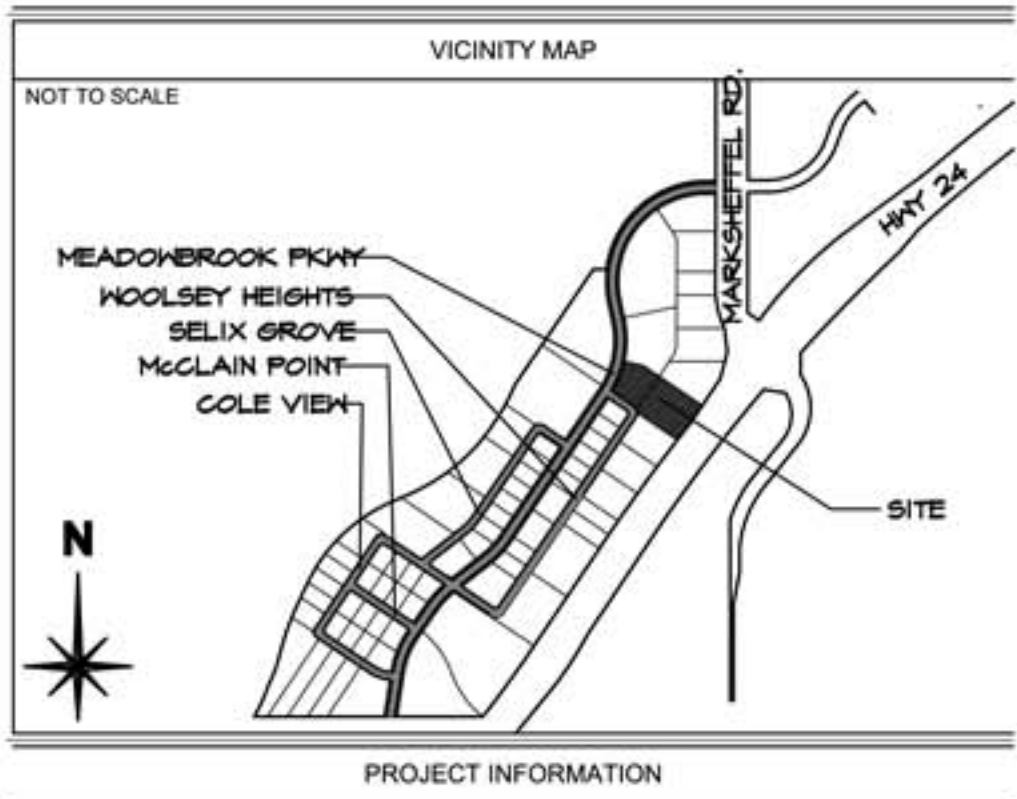
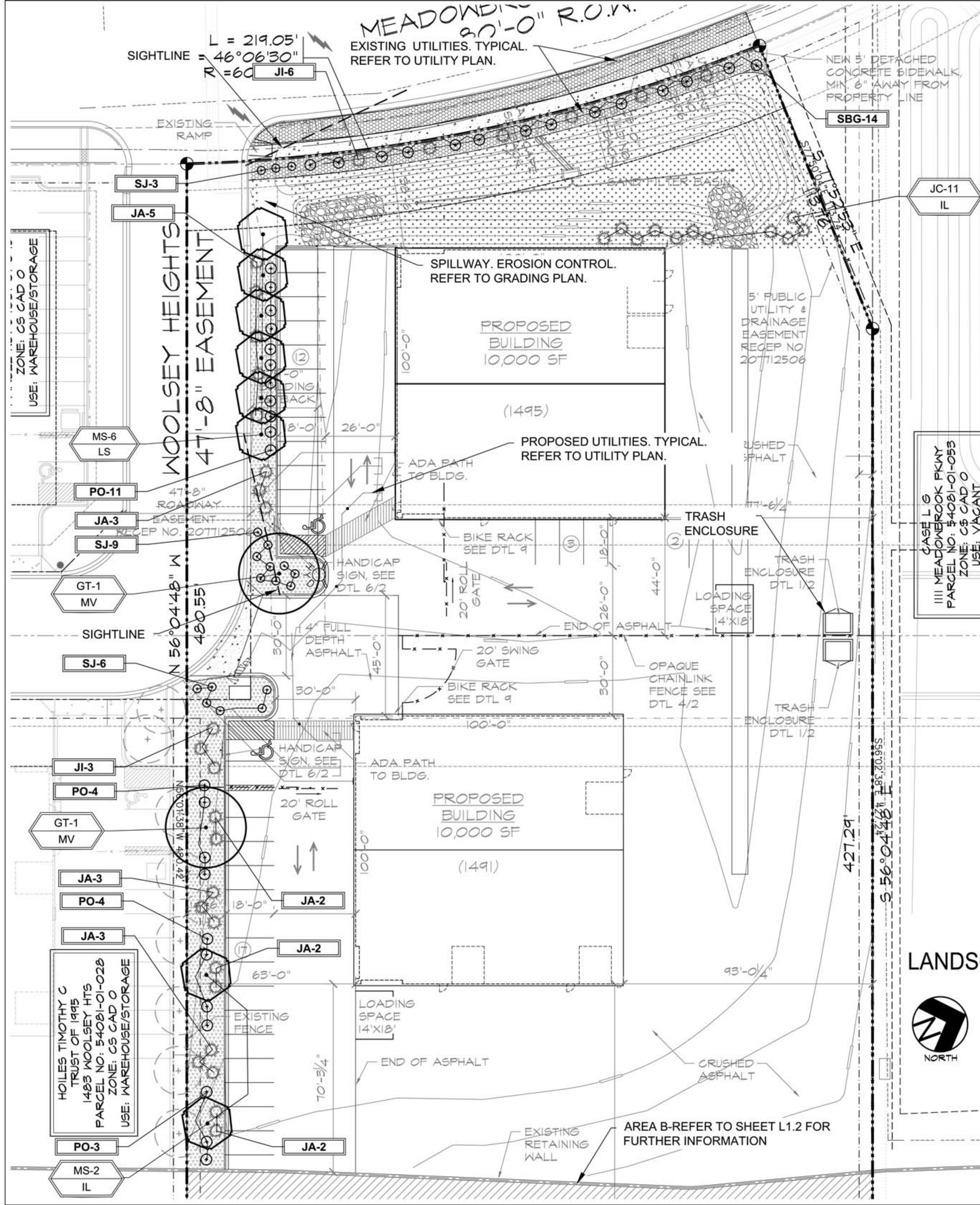


20 BOULDER CRESSCENT, SUITE 110  
COLORADO SPRINGS, CO 80903  
PHONE: 719.555.5485

EL PASO COUNTY FILE NO. PPR 192

SHEET 8 OF 16





GROUND COVER LEGEND		
SYMBOL	DESCRIPTION	APPROX. SF
[Symbol]	Seed Mix 'A': Refer to Notes	11,640 SF
[Symbol]	Rock: Arkansas Tan, 1.5" Diameter (with weed barrier) Submit sample to Owner for approval.	2,907 SF
[Symbol]	Rock: Denver Granite, .75" Diameter (with weed barrier) Submit sample to Owner for approval.	4,242 SF
NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN. VERIFY ROCK TYPE, COLOR AND SIZE WITH OWNER PRIOR TO INSTALLATION. SUBMIT SAMPLES TO OWNER AS REQUIRED.		

LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REG./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REG./PROVIDED
WOOLSEY HTS	NON-ARTERIAL	10/10 FT	195	1/30 FT	6/6
MEADOWBROOK	NON-ARTERIAL	10/10 FT	215	1/30 FT	7/1
MCCLELLAN	ARTERIAL	20/20 FT	235	1/30 FT	1/1
SEE ALTERNATIVE PLAN REQUEST REFER TO LETTER BY 1400					
MOTOR VEHICLE LOTS (MV)					
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/10 SPACES) REG./PROV.	VEHICLE LOT FRONTAGE (S)	FRONTAGE (FT)	2/3 LENGTH OF FRONTAGE (FT)	
34	2/2	WOOLSEY SOUTH PROPERTY	156 LF	11 LF	
			156 LF	1/4 LF	
MIN. 3' HT. SCREENING PLANTS REG./PROV.		EVERGREEN PLANTS REG. 50% PROV.			
14/14		7/8			
2/24		1/3			
INTERNAL LANDSCAPING (IL)					
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS.					
NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REG./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)		
17,555 SF	NON-RESIDENTIAL	6,375 SF / 1,000 SF	13/13		
SHRUB SUBSTITUTES (50%) REG./PROV.	INTERNAL PLANT ADD. DENOTED ON PLAN		PERCENT GROUND PLANE VEG. REG./PROV.		
0/0	IL		50%/50%		
LANDSCAPE BUFFERS AND SCREENS (LB)					
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE	SETBACK BUFFER REG. / PROV.FENCE	BUFFER TREES (1/20') REG./PROV. - NA	EVERGREEN TREES (1/3) REG./PROV. - NA	

CODE REQUIREMENTS

PLANT SCHEDULE					
Symbol	Abbr.	Botanical Name	Common Name	Mature Width X HT.	Planting Size
DECIDUOUS TREES:					
GT	2	Gleditsia triacanthos	Skyline or Shademaster Honeylocust	30'X25'	1-1/2" cal. B & B
MS	8	Malus 'Spring Snow'	Spring Snow Crabapple	15'X15'	1-1/2" cal. B & B
EVERGREEN TREES:					
JC	11	Juniperus scopulorum 'Cologreen'	Cologreen Juniper	6-8' x 12-15'	6' ht. B & B
EVERGREEN SHRUBS:					
JJ	8	Juniperus sabinia 'Sierra Spreader'	Sierra Spreader Juniper	6-8' x 12-18'	#5 cont
JA	8	Juniperus sabinia Tamariscifolia	Tamarix Juniper	6-8' x 4-6'	#5 cont
DECIDUOUS SHRUBS:					
SBG	14	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	3-4' x 2-3'	#5 cont
SJ	18	Spiraea japonica 'Majic Carpet'	Majic Carpet, Spiraea	1-2' x 1-2'	#5 cont
PO	22	Potentilla fruticosa 'Abbotswood'	Abbotswood Potentilla	2-4' x 2-4'	#5 cont
NOTE: QUANTITIES SHOWN IN SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.					

IRRIGATION SYSTEM NOTE

NOTE: IRRIGATION SYSTEM TO BE DESIGNED FOR ALL PLANTING AREAS WITH DRIP FOR ALL PLANTS. COORDINATE WITH GENERAL CONTRACTOR AND OWNER.

LAYOUT NOTES

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 8" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10" FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER EL PASO COUNTY. ALL SHRUBS TO BE LOCATED 7' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

DOCUMENT NOTE

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LANDSCAPE PLAN - AREA 'A'



**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
5350 NORTH ACADEMY BLVD. STE 207  
COLORADO SPRINGS, CO 80918  
Phone 719-477-1646  
Fax 719-268-1122

**HIGHER GROUND DESIGNS**

1495 WOOLSEY HEIGHTS  
CLAREMONT BUSINESS PARK, LOT 2  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, CO

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

PREPARED FOR:  
HAMMERS CONSTRUCTION

NOT FOR CONSTRUCTION

JOB NUMBER  
**818-18**

REVISIONS	DATE	PER	COMMENTS
04-10-19		PER	COMMENTS
06-27-19		PER	COMMENTS
08-01-19		PER	COMMENTS
08-22-19		PER	COMMENTS

ORIGINAL DATE  
**01-07-19**

DRAWN BY:  
**JM**

DESCRIPTION:  
**LANDSCAPE PLAN**

SHEET NO.  
**L1.1**

9 OF 16



1. CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR SITE CONSTRUCTION INCLUDING BUT NOT LIMITED TO DRAINAGE, IRRIGATION, LIGHTING, AND ELECTRICAL. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL BE SLEEVED (CL 200 PVC) FOR DRIP IRRIGATION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
4. ALL MATERIALS, WORKSMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH LOCAL STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
6. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL, TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCAMP CLASS 1 COMPOST.

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION BY THE OWNER.

LANDSCAPE CONTRACTOR SHALL NOTIFY OWNER IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS IN PLANTING BEDS BROADCAST GREEN PLANT SAFE PRE-EMERGENT WEED CONTROL IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. [WWW.PREEM.COM](http://WWW.PREEM.COM)

STEEL EDGING TO BE ROLL-TOP GALVANIZED (1/8" X 4" X 10") WITH SPINS (4 PER SECTION) OR APPROVED EQUAL. EDGING TO BE EXPOSED 12" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH POLYSPUN WEED BARRIER WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

**SOL PREPARATION FOR UNDISTURBED AND/OR COMPACTED AREAS:**

**A. RIP EXISTING SOL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 2' DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.**

**B. REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.**

ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY FIRE LANE SIGNAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH SIGNAGE.

**ON-GOING MAINTENANCE DURING CONSTRUCTION:**

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL, MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING, REPLANTING AS REQUIRED THROUGHOUT CONSTRUCTION PERIOD. RE-MULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

**ONE-YEAR WARRANTY**

AS AGREED WITH OWNER CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL AND IRRIGATION SYSTEM.

REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH FOR THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WATERING MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCO SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

SEED MIX 'A': NATIVE SEED AS SPECIFIED ON THIS SHEET.

DEPENDING ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DORMANT SEEDING); SPRING THRU UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).

FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC TACKIFIER.

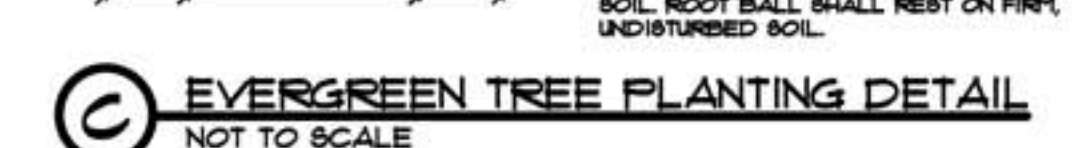
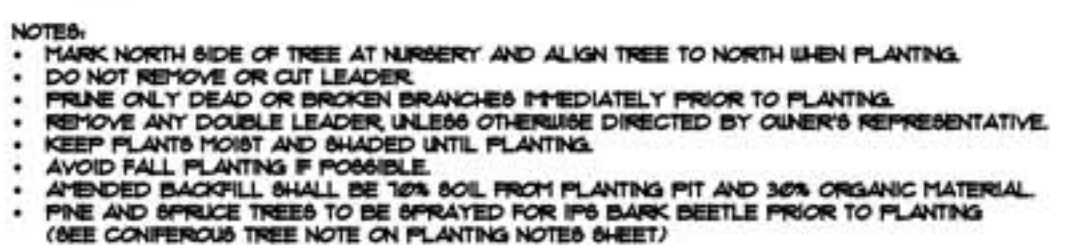
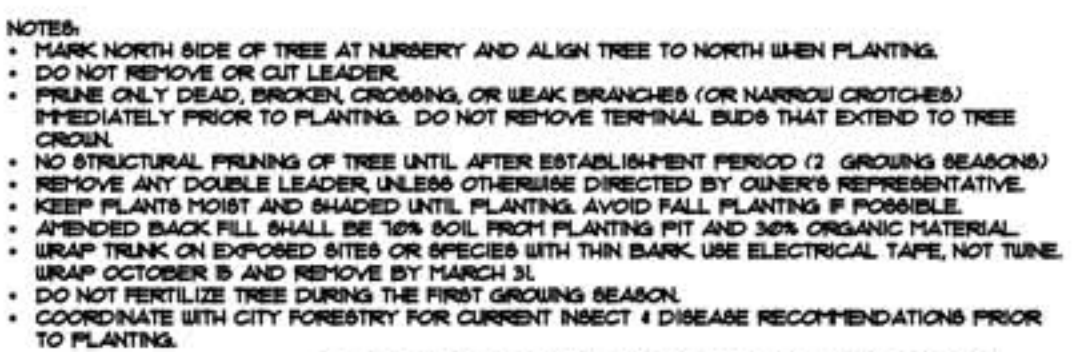
SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN 6" (6) SQUARE INCHES 15 DAYS AFTER GERMINATION.

DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. A RANGELAND DRILL CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR DRAG CHAINS.

THE SEED SHALL BE DRILLED APPROXIMATELY 7" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION DO NOT DRILL OR SOW SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.

ALL SEEDED AREAS LESS THAN 3" SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDBED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRIMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADES SPACED 8-INCHES APART (MIN.) AND SHALL HAVE SUFFICIENT WEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.

- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AMENDED BACK FILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- FOR ROOT BIND AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



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M:\McShea Consulting\Projects\Claremont Lot 2 - 2x10k bldgs -- HAMMERS -- 18-1094\Drawings\MEP\2019\1001\_Claremont Lot 2-1A&B - MEP.dwg 10/1/2019 12:55:56 PM, AutoCAD PDF (General Documentation).pc3

CALCULATION ZONE 1 STATISTICS					
DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN
CALCULATION ZONE	+	0.5 fc	9.7 fc	0.0 fc	N/A

LIGHT FIXTURE SCHEDULE										
TYPE	MFGR.	CATALOG NO.	LAMPS			MTG.	DESCRIPTION	NOTES	VOLTS	TOTAL WATTS
			QUAN	WATT	TYPE					
C	LITHONIA	LDN6 35/05 LO6AR LD	1	7.6	LED	RECESSED	6IN LDN, 3500K, 500LM, 80CRI, CLEAR, MATTE DIFFUSE REFLECTOR		120	7.6
WP1	LITHONIA	DSXW1 LED 20C 530 40K T4M MVOLT HS	1	34.9	LED	SURFACE	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 530mA		120	34.9
WP2	LITHONIA	DSXW1 LED 20C 530 40K T2M MVOLT	1	34.9	LED	SURFACE	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 530mA		120	34.9

1

LDN6 LED DOWNLIGHT (C)

ES0.1

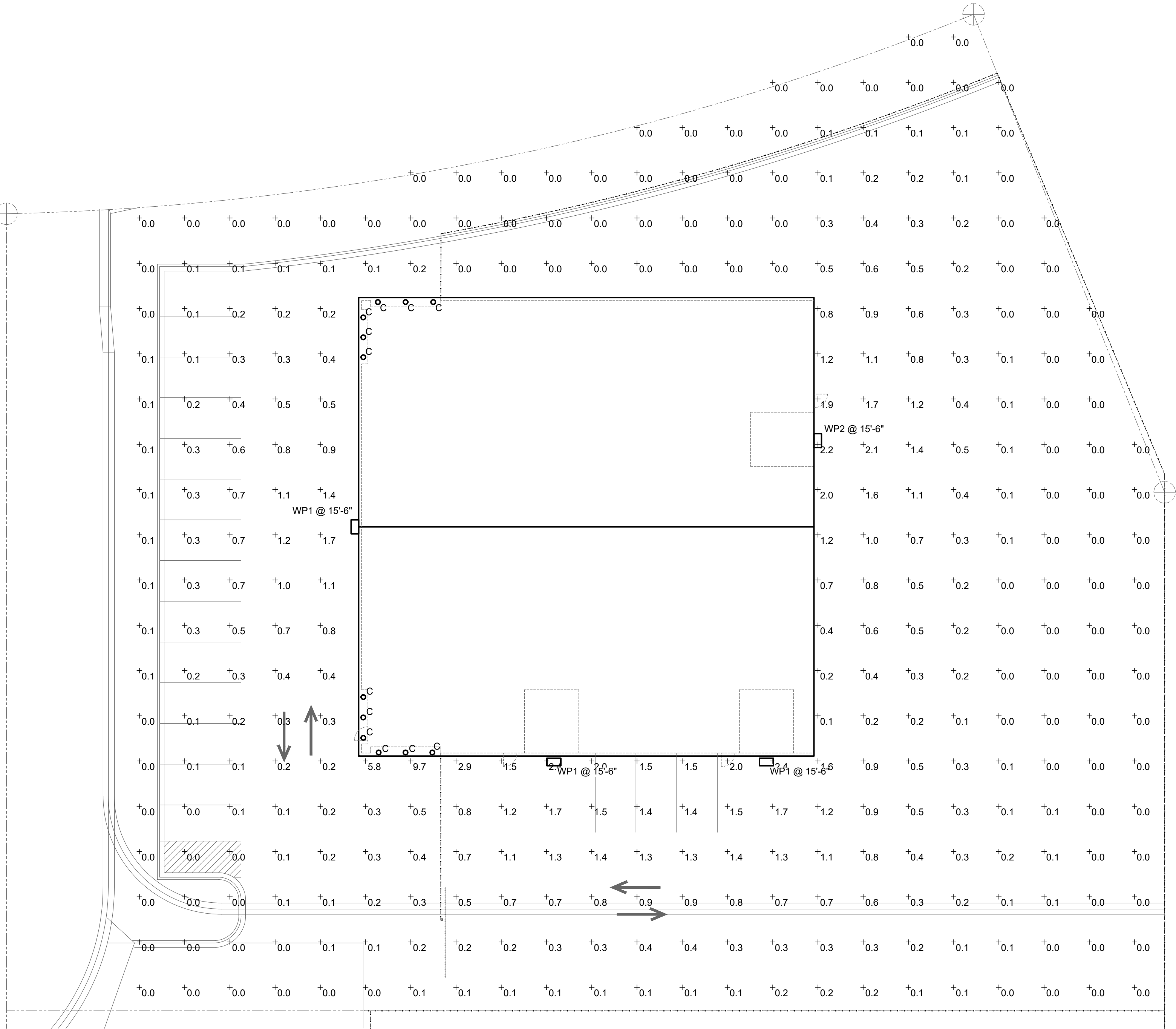
SCALE: NONE

2

DSXW1 LED WALLPACK LUMINAIRE (WP1&2)

ES0.1

SCALE: NONE



1

SITE PHOTOMETRIC PLAN

ES0.1

SCALE: 1/16" = 1'-0"

HAMMERS

CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS

VICE PRES: DAVID J. HAMMERS

1495 WOOLSEY HEIGHTS

COLORADO SPRINGS, CO 80915

(719) 570-1499 FAX (719) 570-7008

www.hammersconstruction.com

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CBP LOT 2-1A

CLAREMONT BUSINESS LOT 2-1A

1495 WOOLSEY HEIGHTS

COLORADO SPRINGS, CO 80915

EL PASO COUNTY, COLORADO

McShea Consulting, LLC

MECHANICAL + ELECTRICAL + PLUMBING

4445 Northpark Dr. Suite 200

Colorado Springs, CO 80907

mcsheaconsulting.com

Project: 18-1094

DATE: NOV. 28, 2018  
DRAWN BY: C.C.F.  
PROJ. MNGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 18-1094

RESUBMITTALS:







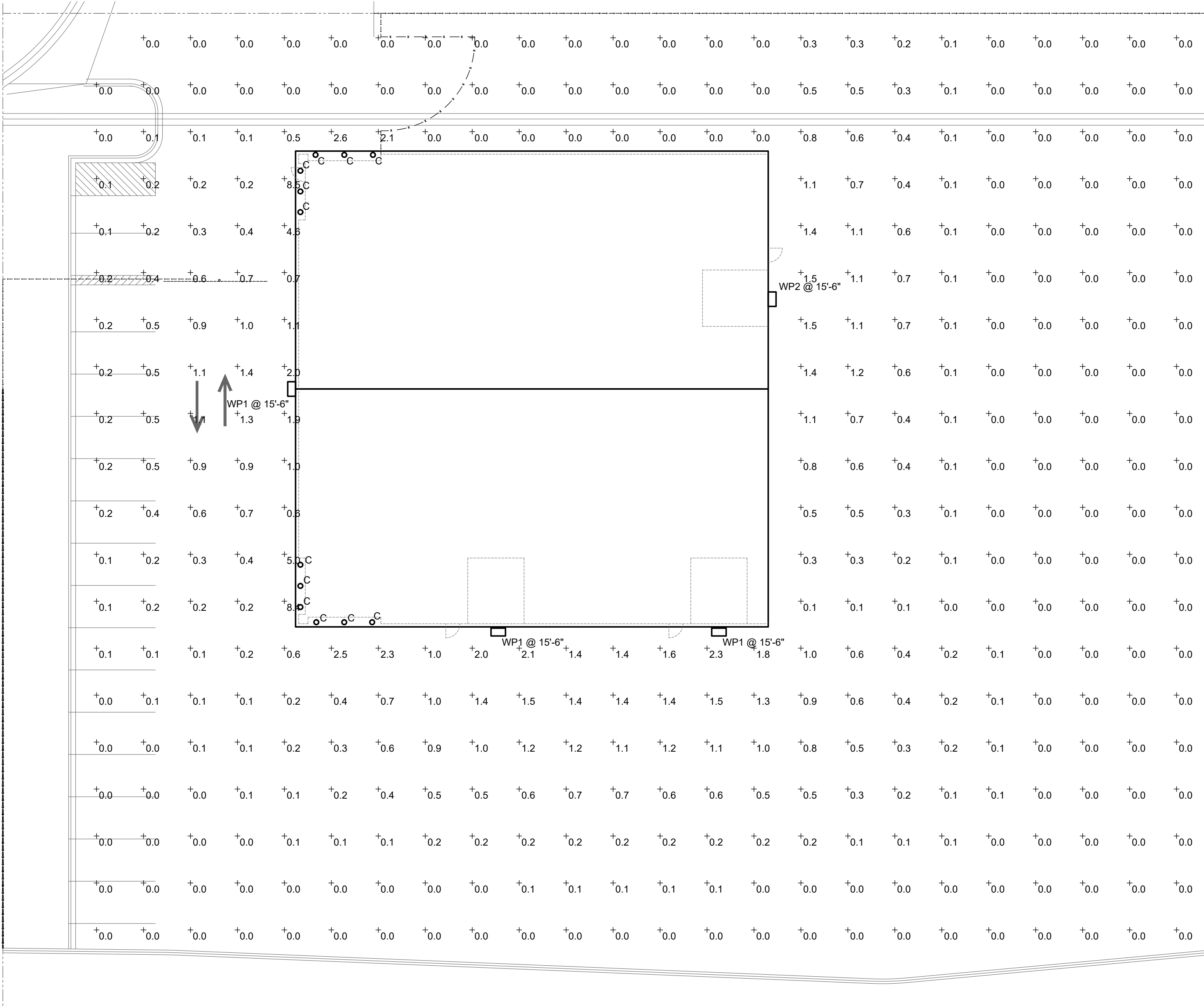
1 LDN6 LED DOWNLIGHT (C)  
ES0.1 SCALE: NONE



2 DSXW1 LED WALLPACK LUMINAIRE (WP1&2)  
ES0.1 SCALE: NONE

CALCULATION ZONE 1 STATISTICS					
DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN
CALCULATION ZONE	+	0.4 fc	8.5 fc	0.0 fc	N/A

LIGHT FIXTURE SCHEDULE										
TYPE	MFGR.	CATALOG NO.	LAMPS			MTG.	DESCRIPTION	NOTES	VOLTS	TOTAL WATTS
			QUAN	WATT	TYPE					
C	LITHONIA	LDN6 35/05 LO6AR LD	1	7.6	LED	RECESSED	6IN LDN, 3500K, 500LM, 80CRI, CLEAR, MATTE DIFFUSE REFLECTOR		120	7.6
WP1	LITHONIA	DSXW1 LED 20C 530 40K T4M MVOLT HS	1	34.9	LED	SURFACE	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 530mA		120	34.9
WP2	LITHONIA	DSXW1 LED 20C 530 40K T2M MVOLT	1	34.9	LED	SURFACE	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 530mA		120	34.9



1 SITE PHOTOMETRIC PLAN  
ES0.1 SCALE: 1/16" = 1'-0"

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CBP LOT 2-1B

CLAREMONT BUSINESS LOT 2-1B  
1491 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, COLORADO

MECHANICAL + ELECTRICAL + PLUMBING  
4445 Northpark Dr. Suite 200  
Colorado Springs, CO 80907  
mcsheaconsulting.com  
Project 18-1094

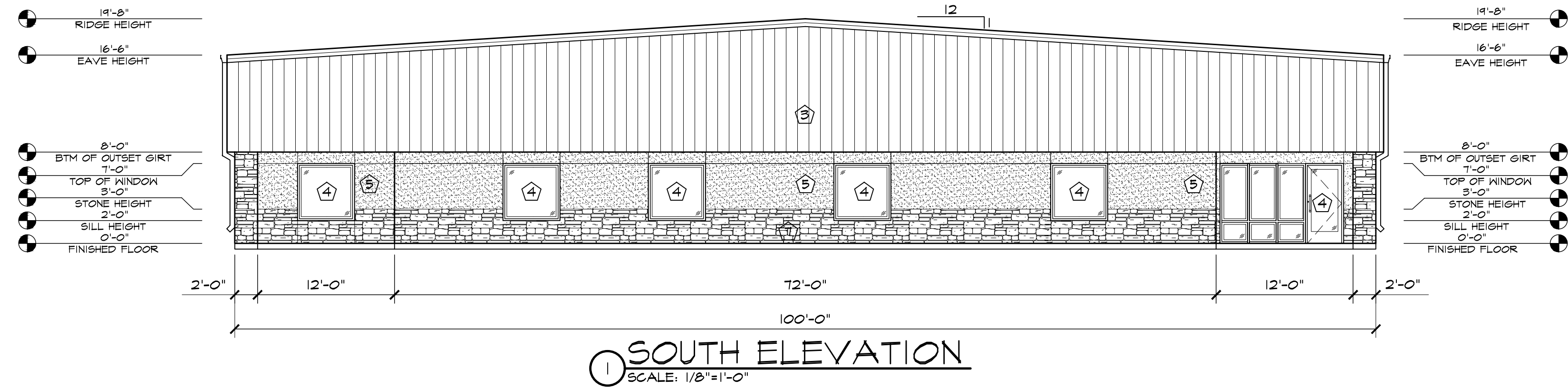
DATE: NOV. 28, 2018  
DRAWN BY: C.C.F.  
PROJ. MNGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 18-1094

RESUBMITTALS:

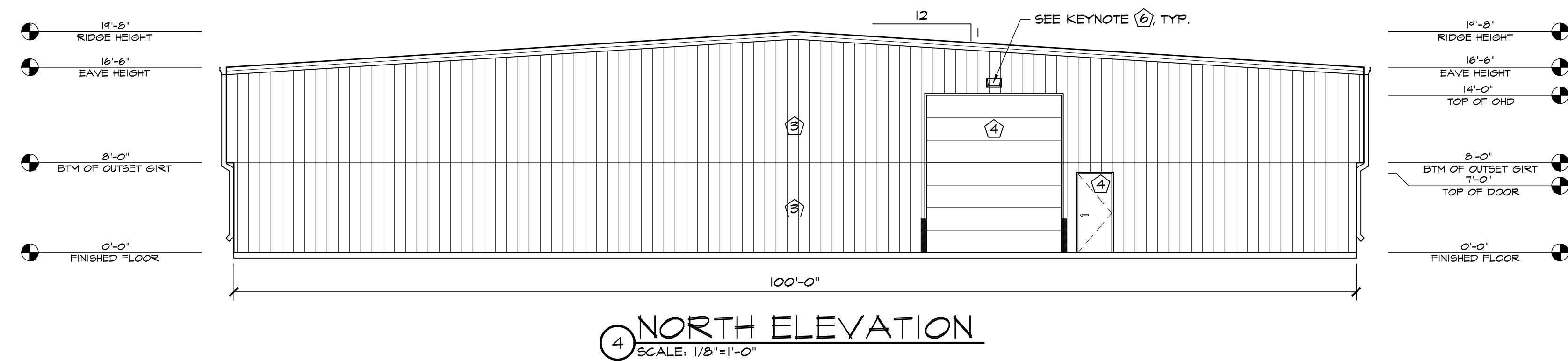
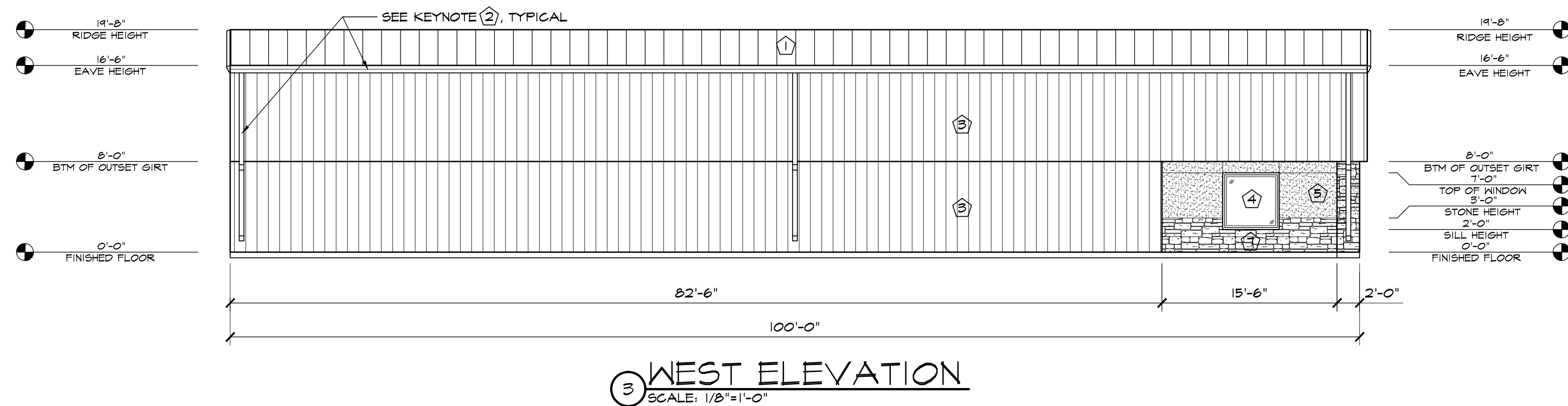
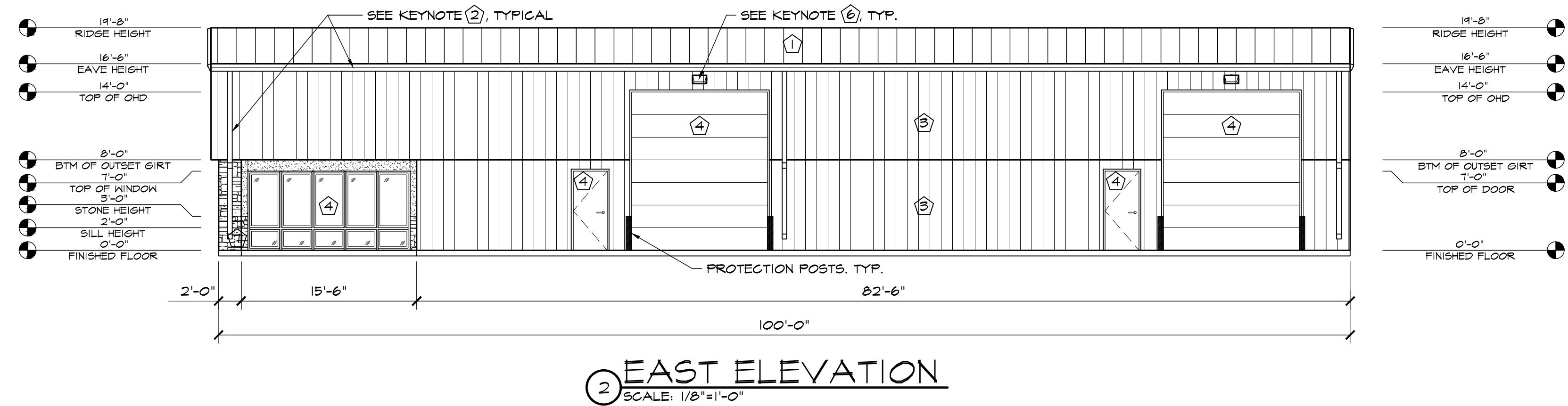






ELEVATION KEY NOTES	
1	PREFINISHED 24 GA. "PBR" METAL ROOF PANELS BY METAL BUILDING PROVIDER
2	PREFINISHED GUTTER & DOWNSPOUTS BY METAL BUILDING PROVIDER
3	PREFINISHED 26 GA. "PBR" METAL WALL PANELS BY METAL BUILDING PROVIDER
4	SEE SCHEDULES ON "A" SHEETS FOR ALL DOOR INFORMATION
5	3/4" STUCCO FINISH SYS. W/ EXPANSION JOINT-120 SF MAX AREA
6	WALL PACK LIGHT TOP OF LIGHT @ 15'-6" A.F.F. SEE ELECT. PLANS
7	STONE VENEER W/2 2" CAP INSTALLED W/ SCHLUTER TRIM



THESE ELEVATIONS REFER TO NORTHWEST BLDG. AND IS ADDRESSED AS 1495 PER SITE PLAN

EL PASO COUNTY FILE NO. PPR-19-002

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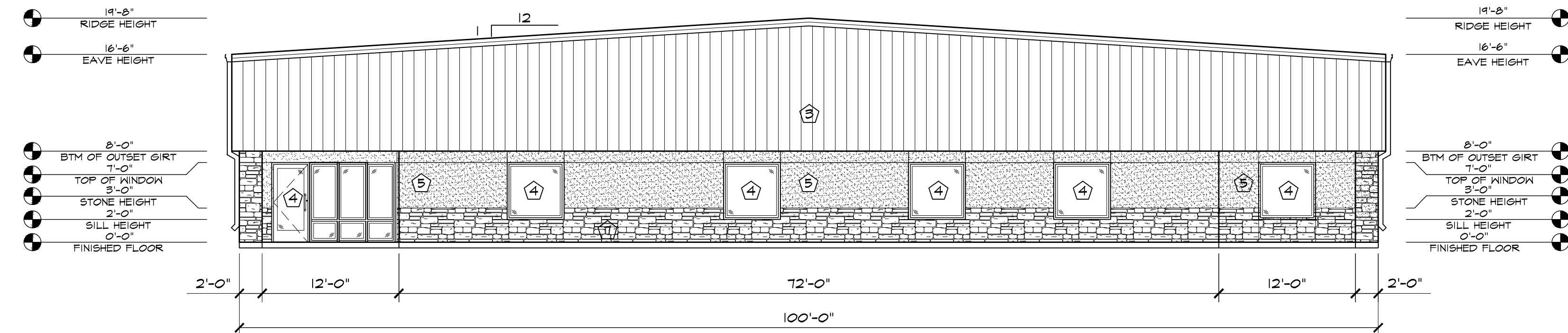
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**CBP LOT 2**  
CLAREMONT BUSINESS LOT 2 - 1A  
1491 & 1495 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, COLORADO

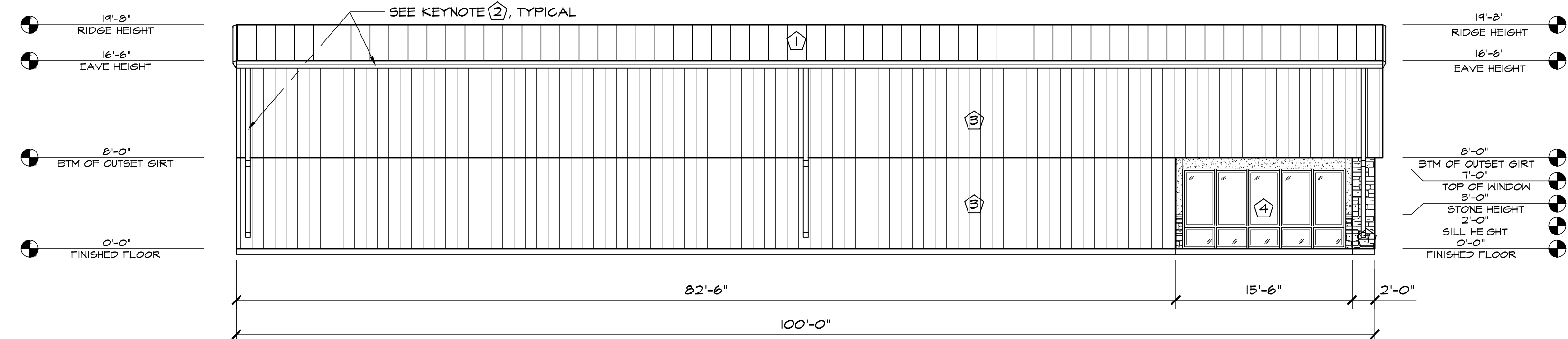
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DRAWN BY: D. AQUINO  
PROJ. MGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1115

SUBMITTALS:	
4/22/19	COMMENTS - 2/10/19
7/1/19	COMMENTS-6/12/19

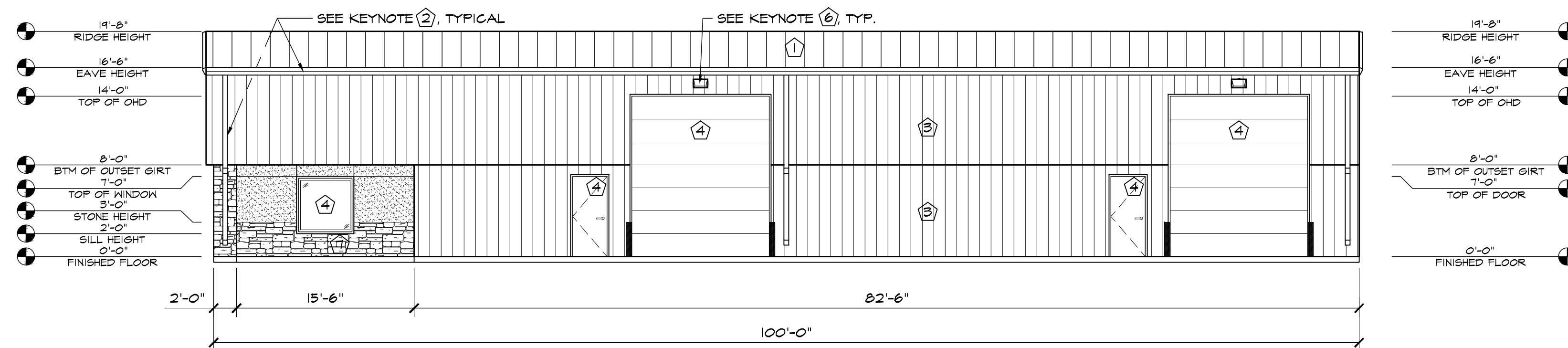




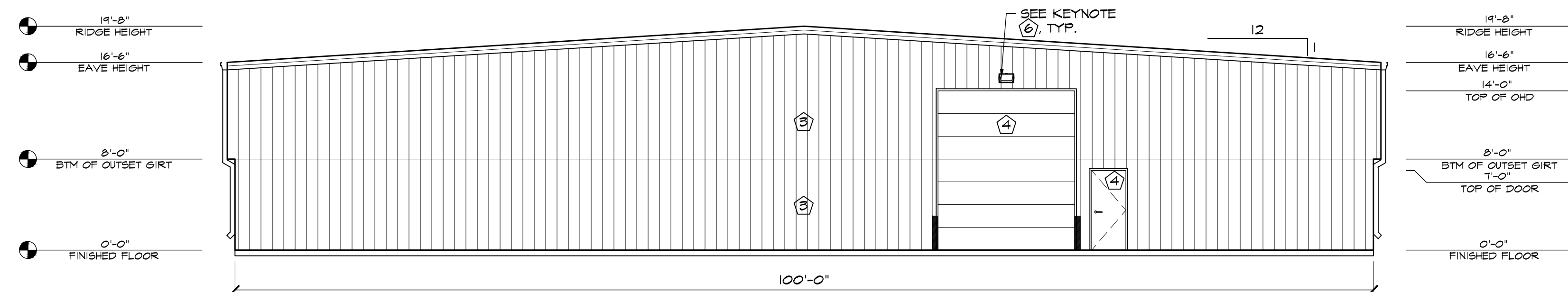
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SCALE: 1/8"=1'-0"



2 WEST ELEVATION  
SCALE: 1/8"=1'-0"



3 EAST ELEVATION  
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION  
SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES	
1	PREFINISHED 24 GA. "PBR" METAL ROOF PANELS BY METAL BUILDING PROVIDER
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3	PREFINISHED 26 GA. "PBR" METAL WALL PANELS BY METAL BUILDING PROVIDER
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**CBP LOT 2**  
CLAREMONT BUSINESS LOT 2 - 1A  
1491 & 1495 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, COLORADO

DATE: JAN. 07, 2019  
DRAWN BY: D. AQUINO  
PROJ. MGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1115

SUBMITTALS:	
4/22/19	COMMENTS - 2/10/19
7/1/19	COMMENTS-6/12/19

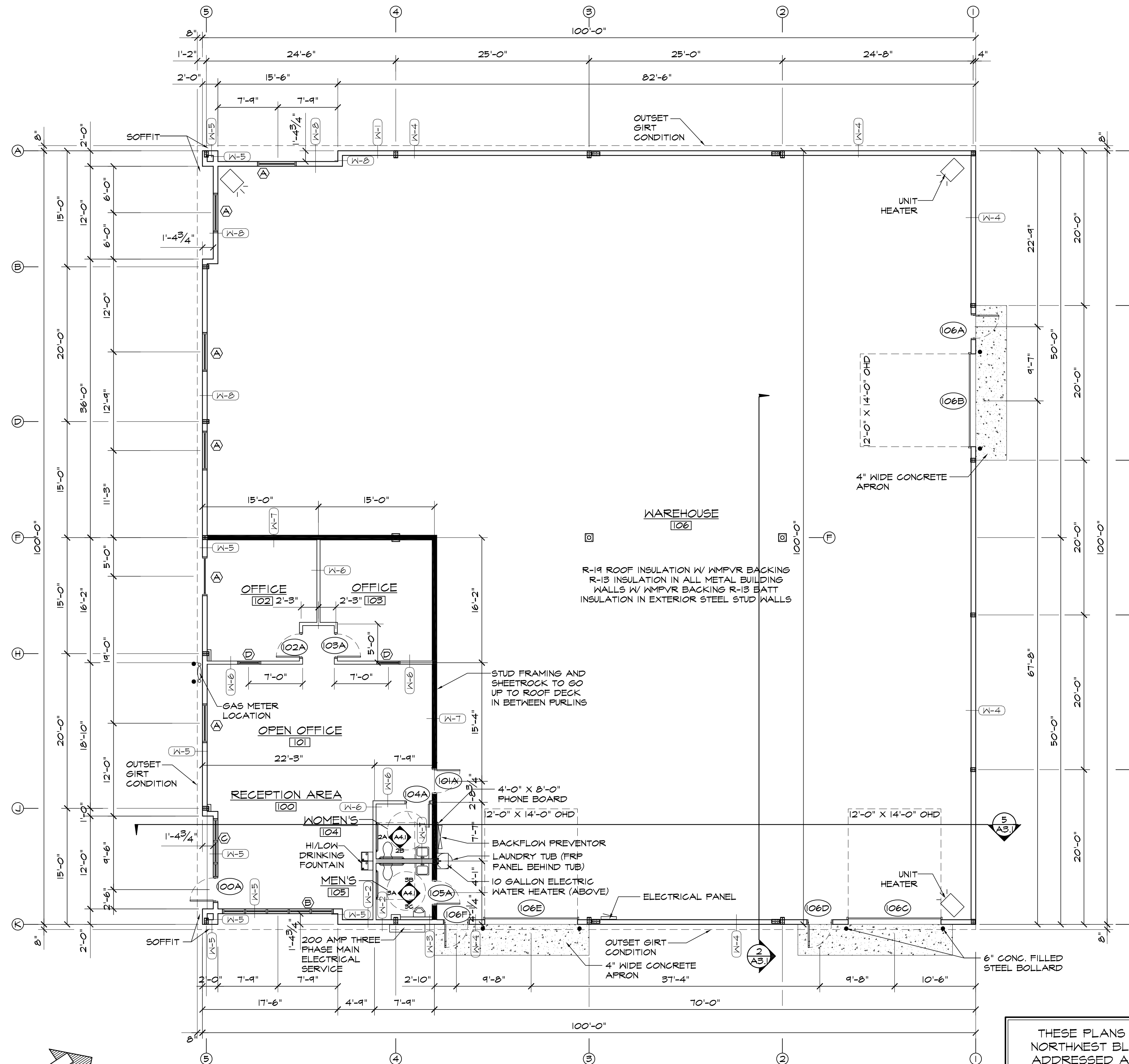
THESE ELEVATIONS REFER TO  
SOUTHEAST BLDG. AND IS ADDRESSED  
AS 1491 PER SITE PLAN

EL PASO COUNTY FILE NO. PPR-19-002



## GENERAL FLOOR PLAN NOTES

- REFERENCE DOOR SCHEDULE FOR ALL DOOR TYPES, HARDWARE AND ETC.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE.
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- PROVIDE A DOOR CLOSERS AT ALL (1-HOUR WALL OR GREATER) DOORS AND RESTROOM DOORS.
- SPRING AND MOTOR MOUNTS AND RELATED SUPPORTS TO BE SUPPLIED AND INSTALLED BY OVERHEAD DOOR MANUFACTURER.
- PROVIDE CONTROL JOINTS AT A MIN. OF 30'-0" AT ALL GYP. BD. WALLS.
- PROVIDE TRANSITION STRIPS AT ALL FLOOR MATERIAL CHANGES.
- PROVIDE CAP TRIM AT ALL LINER PANEL.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE, UNLESS NOTED OTHERWISE. FLOOR SLABS ARE TO BE LEVEL WITHIN CLASS B TOLERANCES. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO PLUMBING PLANS FOR HOSE BIB LOCATIONS AND LANDSCAPE METER/STUB LOCATIONS.
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- REFER TO ROOM FINISH SCHEDULE FOR WALL TEXTURE AND FINISH.
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- PREPARE ALL FLOOR SURFACES AND WALLS AS REQUIRED TO RECEIVE FINISHES.
- REFER TO CIVIL AND A.O.I. FOR ALL EXTERIOR SIDEWALK LOCATIONS.
- ALL MECH., ELEC. & PLUMB. REQUIREMENTS FOR EQUIPMENT SHOWN TO BE VERIFIED & COORD. W/ S.C. PRIOR TO INSTALLATION.
- REFER TO MECH., ELEC. & PLUMB. FOR BUILDING SYSTEMS EQUIPMENT.
- PROVIDE SAW CUT IN CONCRETE SLAB AT A MIN. OF 10'-0" O.C.



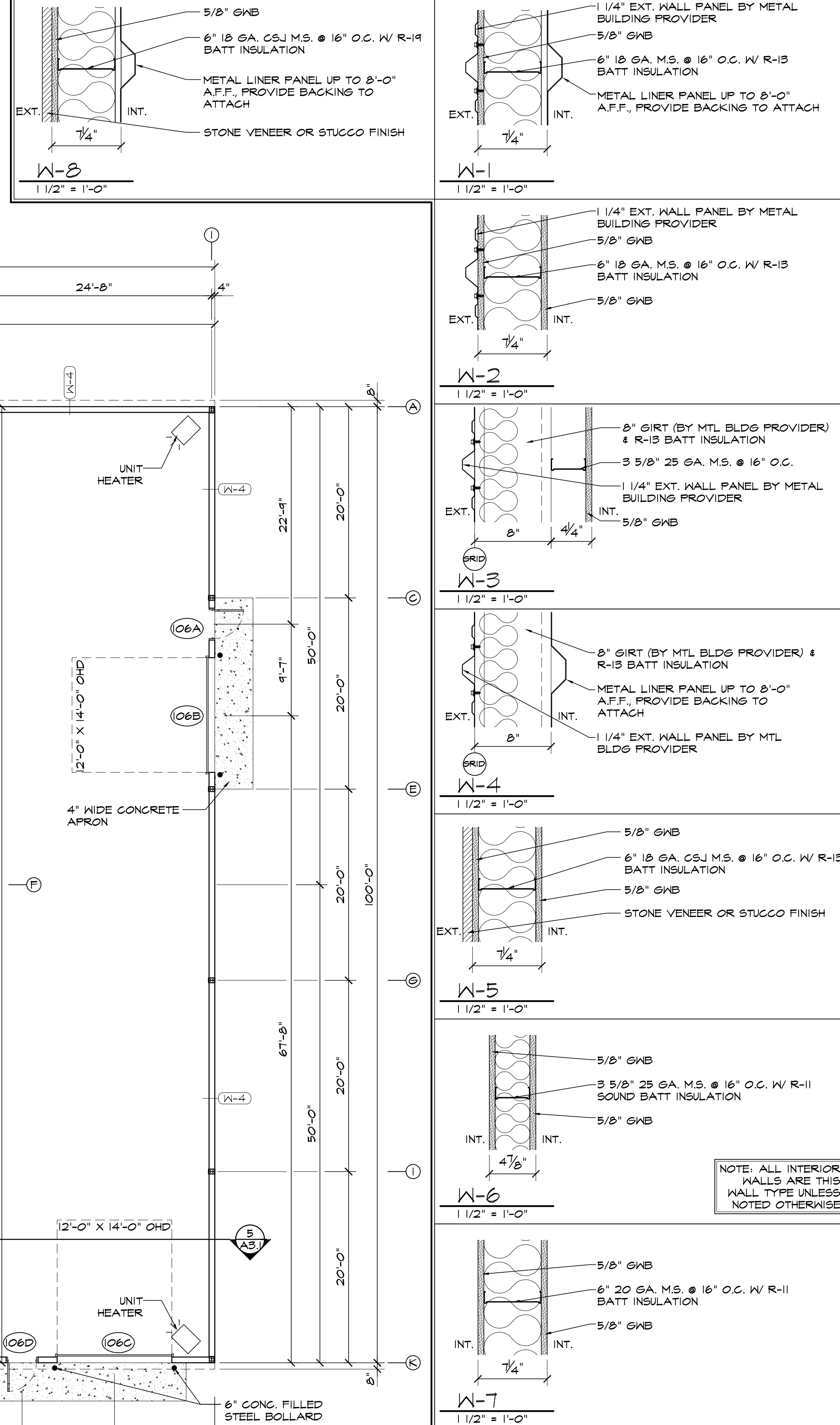
1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"

THESE PLANS REFER TO  
NORTHWEST BLDG. AND IS  
ADDRESSED AS 1445 PER  
SITE PLAN

## FLOOR PLAN LEGEND

- FULL HEIGHT WALL
- 6" MTL STUD, 9' HIGH WALL
- 9'-0" HIGH WALL

## WALL TYPE DETAILS



**HAMMERS**  
CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS  
VICE PRES: DAVID J. HAMMERS  
1411 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
(719) 570-1599 FAX (719) 570-7008  
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CBP LOT 2-1A  
OFFICE/WAREHOUSE  
1445 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, COLORADO

DATE: JAN. 7, 2019  
DRAWN BY: D. AQUINO  
PROJ. MGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1115

REVISIONS:  
4/22/19 - COMMENTS - 2/10/19  
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FLOOR PLAN

EL PASO COUNTY FILE NO. PPR-19-002



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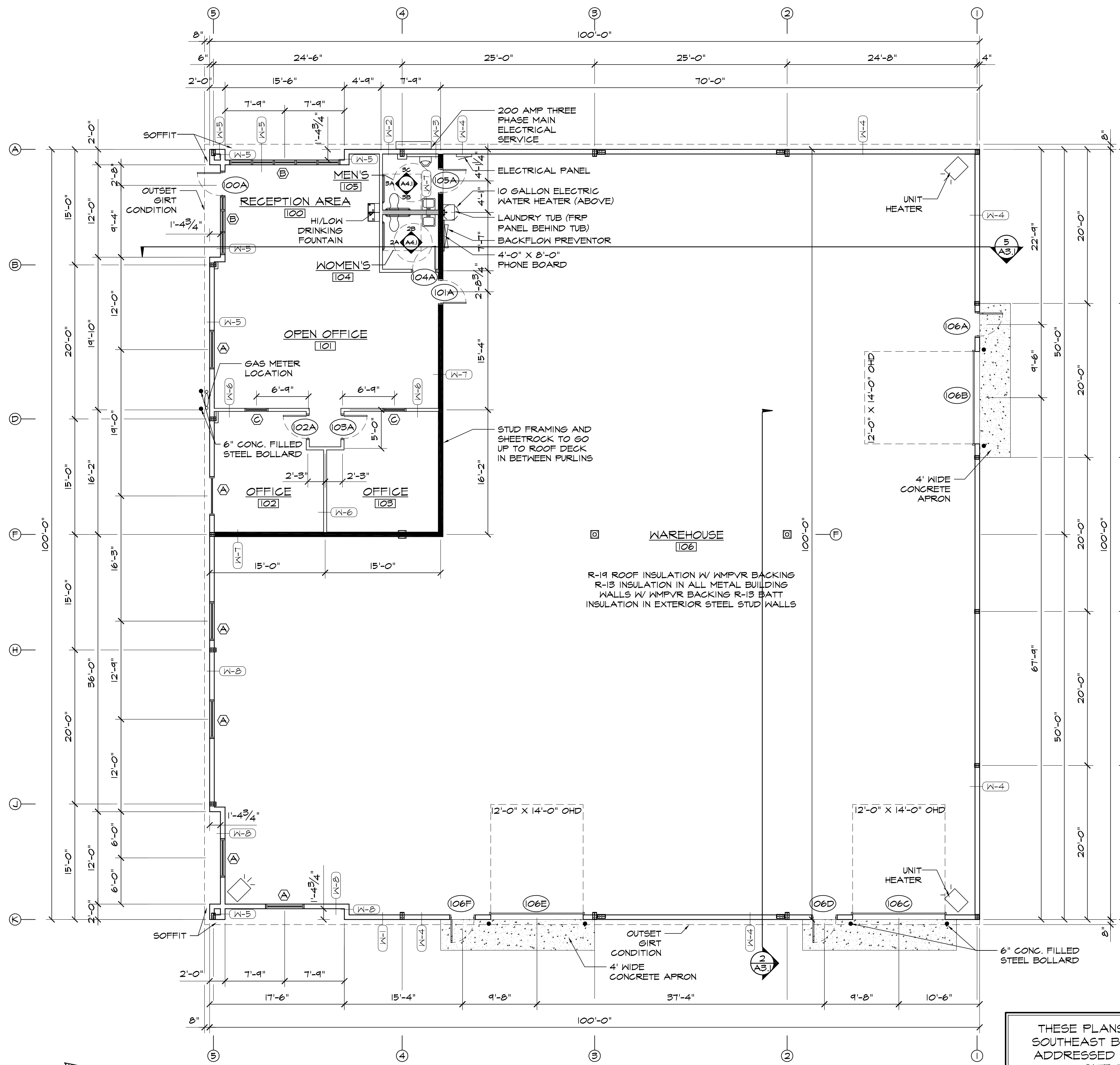
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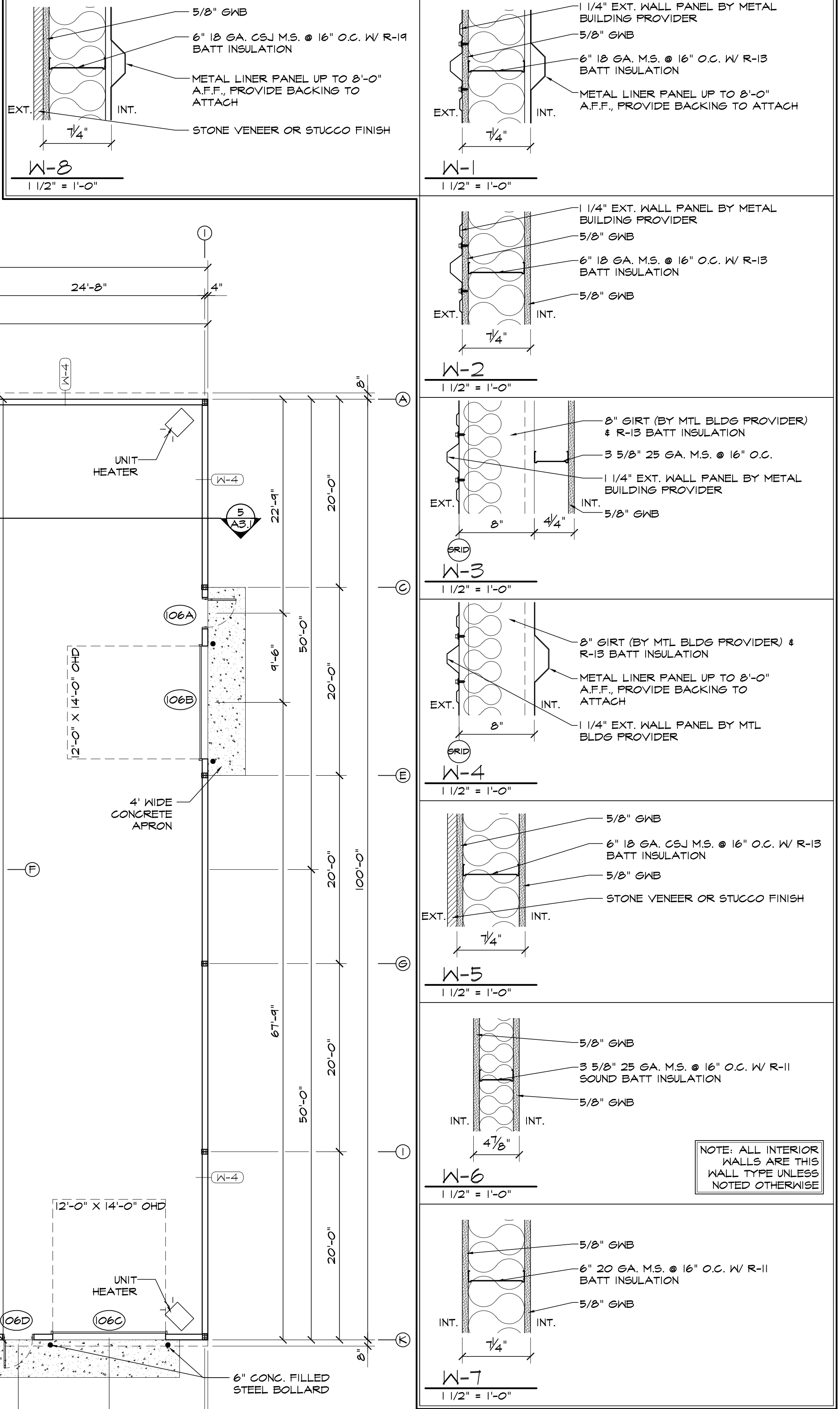
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1 FLOOR PLAN  
SCALE: 1/8"=1'-0"

THESE PLANS REFER TO SOUTHEAST BLDG. AND IS ADDRESSED AS 1491 PER SITE PLAN

WALL TYPE DETAILS



FLOOR PLAN LEGEND

—	FULL HEIGHT WALL
—	6" MTL STUD, 9' HIGH WALL
—	9'-0" HIGH WALL

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**CBP LOT 2-1B**  
OFFICE/WAREHOUSE  
1491 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
EL PASO COUNTY, COLORADO

DATE: JAN. 7, 2019  
DRAWN BY: D. AQUINO  
PROJ. MGR: R. GREEN  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1115

REVISIONS:

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