

DRAWING INDEX

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VICINITY MAP

NOT TO SCALE

PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	BTD LLC 1445 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915
LEGAL DESCRIPTION:	LOT 2, CLAREMONT BUSINESS PARK FIL NO 1A
PARCEL NUMBER LOT 10:	54081-01-027
ZONING:	CS CAD-O
LOT SIZE LOT 10:	121,551 SF (2.93 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 02041C0156 F, DATED MARCH 17, 1997)
BUILDING INFORMATION	
GROSS BUILDING AREA:	10,000 SF
BUILDING OCCUPANCY:	20000 (2 bldg)
TYPE OF CONSTRUCTION:	11-B
FIRE SYSTEMS:	NONE
AREA SEPARATION WALLS:	NONE
DEVELOPED AREA:	30,363 S.F.
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	OFFICE/WAREHOUSE
STRUCTURAL COVERAGE:	2% - W/ PHASE II..... 16%
PAYMENT COVERAGE:	24% - W/ PHASE II..... 54%
STREET COVERAGE:	3%
BUILDING STRUCTURAL HEIGHT:	18'-7 3/8" (45'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	0'-0"
REAR YARD SETBACK:	0'-0"
REQUIRED PARKING SPACES:	
OFFICE-(1 SPACE/300 S.F.) (1,500 S.F. / 300 S.F.)	5
WAREHOUSE-(1 SPACE/1,000 S.F.) (8,500 S.F. / 1,000 S.F.)	1
H.C.-(1 SPACE/25 REQ)	1
TOTAL PARKING SPACES REQUIRED:	17
TOTAL PARKING PROVIDED:	15
STANDARD SPACES PROVIDED:	17
H.C. SPACES PROVIDED:	1
COMPACT SPACES PROVIDED:	0
LOADING SPACE PROVIDED:	1 (9'x18)
(SEE DETAIL 2 OF 1 FOR DIMENSIONS)	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	SPRING 2019
LANDSCAPING:	SPRING 2019
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPRS., CO 80915
PHONE NUMBER:	(719)-570-1544
FAX NUMBER:	(719)-570-1008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

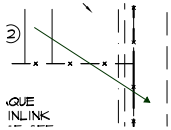
SITE LEGEND

— — — — —	PROPERTY LINE
— — — — —	RIGHT OF WAY
— — — — —	BUILDING SETBACK
— — — — —	LANDSCAPE SETBACK
— — — — —	UTILITY/DRAINAGE EASEMENT
— — — — —	ELECTRICAL EASEMENT
— — — — —	ACCESS EASEMENT
— — — — —	OPAQUE CHAINLINK FENCE
— — — — —	6' HIGH WROUGHT IRON FENCE
— — — — —	GAS LINE
— — — — —	WATER LINE
— — — — —	ELECTRICAL LINE
— — — — —	SANITARY SEWER LINE
— — — — —	STORM SEWER LINE
— — — — —	RETAINING WALL
— — — — —	NEW SIDEWALK LOCATIONS
— — — — —	W/ CONTROL JOINTS @ 5'-0" O.C.
■	PROPERTY CORNER
—	SIGN
—	TRAFFIC FLOW
□	WALL PACK LIGHTING
—	MANHOLE
—	ELECTRICAL TRANSFORMER
—	EXISTING FIRE HYDRANT
—	PROPOSED FIRE HYDRANT

	<p>HAMMERS CONSTRUCTION INC.</p> <p>COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD</p> <p>PRESIDENT: STEVE R. HAMMERS VICE PRES: DAVID J. HAMMERS 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915 (719) 570-1599 • FAX (719) 570-7008 www.hammersconstruction.com</p>
<p>THIS DRAWING CONTAINS MATERIAL & INFORMATION WHICH MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT OF HAMMERS CONSTRUCTION, INC. THESE DRAWINGS ARE INTENDED TO BE USED ONLY BY HAMMERS CONSTRUCTION & ITS REPRESENTATIVES. THESE DRAWINGS HAVE NOT BEEN PREPARED FOR ANY OTHER PURPOSE THAN TO INDICATE THE GENERAL FEATURES AND PLACEMENT OF THE PROPOSED PROJECT. COPYRIGHT © 2014 HAMMERS CONSTRUCTION</p>	
<p>GBP LOT 2-1A</p> <p>OFFICE/WAREHOUSE</p> <p>1495 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915 EL PASO COUNTY, COLORADO</p>	
<p>Use site data and engineering calculations to select what is proposed on lot. It currently appears to include one building and half the parking.</p> <p>Parking ratio for offices is 1.0 rather than 1/300 per LDC.</p> <p>Provided Bike Parking Calculations (required and approved) per LDC (F).</p>	
<p>DATE: JAN. 07, 2019 DRAWN BY: D. AQUINO PROJ. MGR: R. GREEN SCALE: SEE PLAN APPROVED BY: JOB NO.: 1115</p>	
<p>▲ SUBMITTALS:</p> <ul style="list-style-type: none"> ▲ _____ ▲ _____ ▲ _____ ▲ _____ ▲ _____ ▲ _____ ▲ _____ 	
<p>1 of 13</p>	

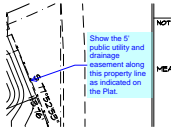
Markup Summary

Arrow (1)



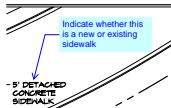
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Author: Lindsay Darden
Date: 2/6/2019 10:26:20 AM
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Callout (7)



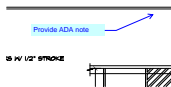
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Page Label: 1
Author: Daniel Torres
Date: 2/4/2019 4:29:24 PM
Color: ■

Show the 5' public utility and drainage easement along this property line as indicated on the Plat.



Subject: Callout
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Author: Daniel Torres
Date: 2/4/2019 4:47:24 PM
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Indicate whether this is a new or existing sidewalk



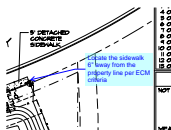
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Date: 2/5/2019 3:04:07 PM
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Provide ADA note



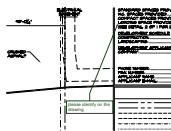
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Label the water quality facility as a sand filter basin per the drainage report.



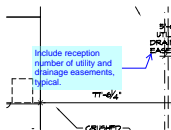
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Locate the sidewalk 6" away from the property line per ECM criteria



Subject: Callout
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Author: dsdruiz
Date: 2/6/2019 3:49:31 PM
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please identify on the drawing.



Subject: Callout
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Author: Daniel Torres
Date: 2/7/2019 8:08:25 AM
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Include reception number of utility and drainage easements, typical.

LOT 2, CLAREMONT BUSINESS PARK
PL. NO. 1A
SAC08-01-027
CB CARD-0
0.2789 SF (2.45 ACRES)
VACANT
ZONE X MAP NO. 0804-C7350 P.
DATED MARCH 11, 1991
10,000 SF
B-3-C
1-5
NONE
NONE
50,245 S.F.
20,000 (2 bldg)
OFFICE/WAREHOUSE
8% - IV PHASE I 14%
34% - IV PHASE II 54%

20000 (2 bldg)

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE EVIDENCE REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

Subject: Image

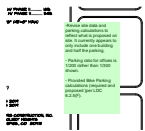
**ELECTRICAL
TRANSFORMER**

Add PCD File No. PPR192

Add PCD File No. PPR192

Label the proposed loading areas for each building and provide screening where visible from a public road or residential area.

Label the proposed loading areas for each building and provide screening where visible from a public road or residential area.



-Revise site data and parking calculations to reflect what is proposed on site. It currently appears to only include one building and half the parking.

- Parking ratio for offices is 1/200 rather than 1/300 shown.

- Provided Bike Parking calculations (required and proposed)per LDC 6.2.5(F).

(149)
Label location of
proposed bike
parking to serve
each bldg.

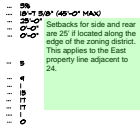
Label location of proposed bike parking to serve each bldg.

All parking must be on paved surfaces

All parking must be on paved surfaces

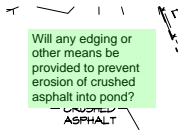
loading space size should be 14 x 18 per Table 6-6 in LDC.

loading space size should be 14 x 18 per Table 6-6 in LDC.



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Setbacks for side and rear are 25' if located along the edge of the zoning district. This applies to the East property line adjacent to 24.



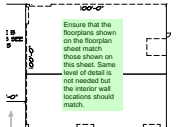
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Will any edging or other means be provided to prevent erosion of crushed asphalt into pond?



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Date: 2/6/2019 10:59:00 AM
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Label any dumpster locations and/or trash handling areas for each bldg.



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Author: Lindsay Darden
Date: 2/6/2019 7:53:56 AM
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Ensure that the floorplans shown on the floorplan sheet match those shown on this sheet. Same level of detail is not needed but the interior wall locations should match.