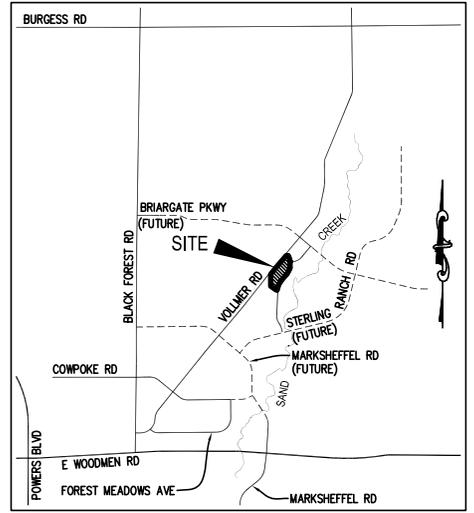


SUPERINTENDENT NOTES

1. MANAGER SIGNATURE _____
2. CURB DAMAGE _____
3. DIG START DATE _____
4. DIG FINISH DATE _____
5. SUPER/OPERATOR MEETING DATE _____
6. OPEN HOLE CALL DATE _____
7. FOUNDATION BRACED & WINDOW WELL INSTALLATION DATE _____
8. SUPER INSPECTION OF BACKFILL DATE _____
9. GRADE OF BACKFILL _____

SFD19942



VICINITY MAP
N.T.S.

ALL AREAS COVERED BY ROOF ARE ALWAYS INCLUDED IN LOT COVERAGE.
LOT COVERAGE MAXIMUM FOR 2 STORY HOMES IS 40%.

TRACT J

10' PUBLIC UTILITY & DRAINAGE EASEMENT

APPROVED Plan Review
07/29/2019 10:50:20 AM
dsdrangel
EPC Planning & Community Development Department

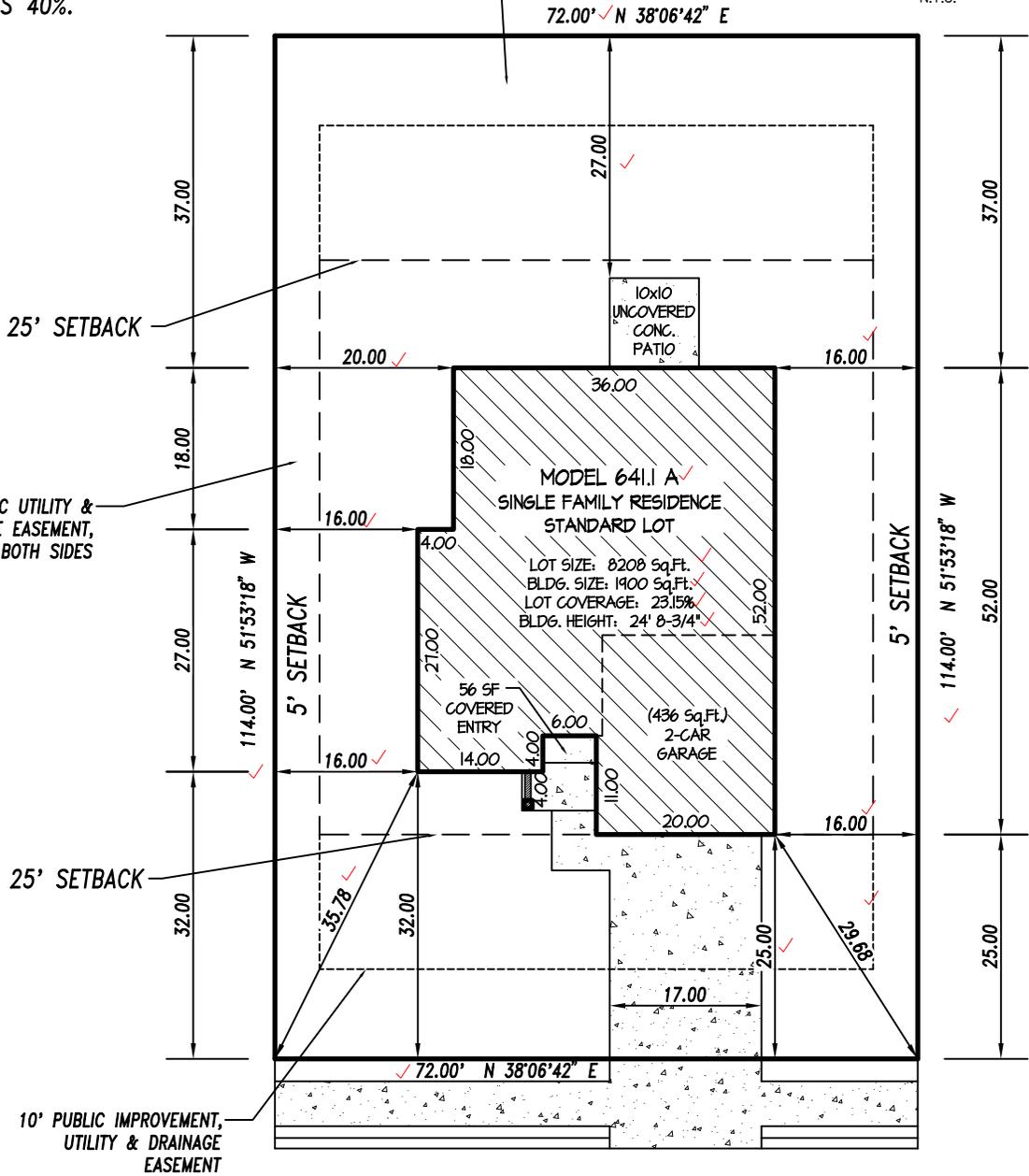
ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBLIVATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION.
Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.
Diversion of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department.

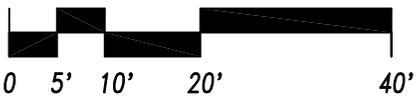
APPROVED BESQCP
07/29/2019 10:50:29 AM
dsdrangel
EPC Planning & Community Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

Released for Permit
07/17/2019 10:47:46 AM
brent
ENUMERATION



SCALE 1"=20'



WHEATLAND DRIVE
(50' R.O.W.)



NOTICE: Approval of this site plan, which includes County authorization of the associated building permit, shall only be valid until October 10, 2019, unless the developer has successfully connected the wastewater infrastructure serving this lot and the associated subdivision to a central wastewater treatment system. The determination of whether the infrastructure has been "successfully connected" shall be made by the El Paso County Planning and Community Development Department Director, at his or her sole discretion. If such connection has not been successfully made by October 10, 2019, then the County will request that the associated building permit be placed on locked status by the Pikes Peak Regional Building Department.

PLAT 14279
RS-5000

TAX ID #5233202030 ✓

LEGAL DESCRIPTION

ADDRESS: 8192 WHEATLAND DRIVE ✓
DESCRIPTION: FILING I, LOT II ✓
HOMESTEAD AT STERLING RANCH ✓
COLORADO SPRINGS, COLORADO ✓
EL PASO COUNTY ✓

CLASSIC
HOMES

6385 Corporate Drive Colorado Springs, Colorado 80919 (719) 542-4333

PLOT PLAN

Drawn by: NAH

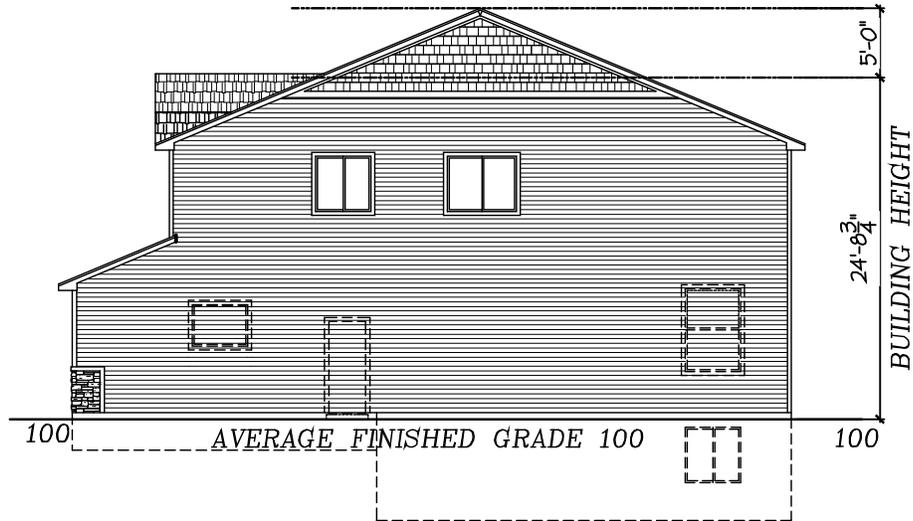
RS-5000

MAY 31, 2019

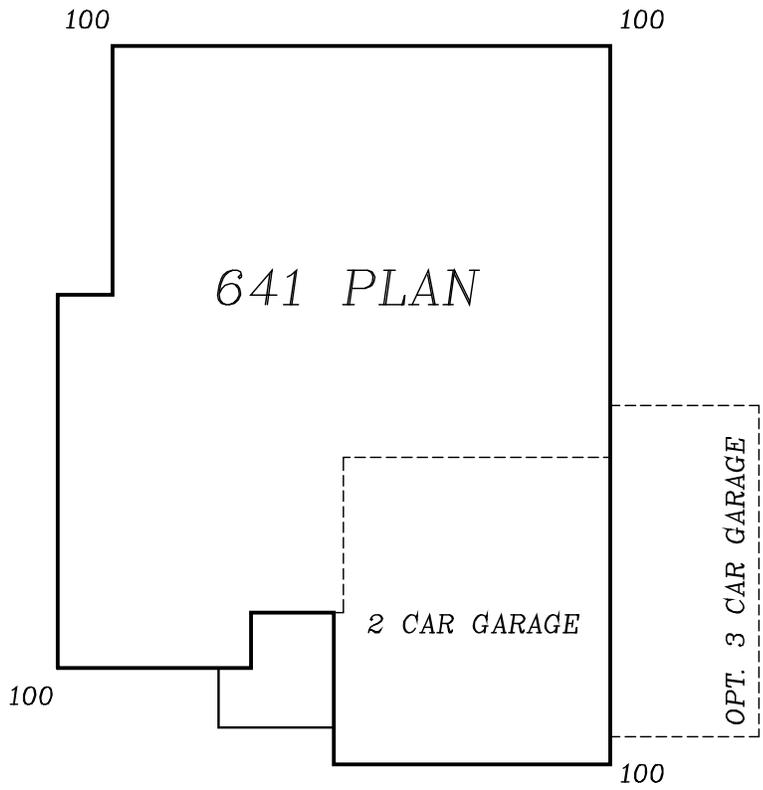
**APPROVED
Plan Review**

07/29/2019 10:48:50 AM
dsdrangel

EPC Planning & Community
Development Department



HEIGHT CALCULATIONS
4 CORNERS @ 100 = 400
TOTAL: 400
400 ÷ 4 = 100
(AVERAGE FINISHED GRADE)



HEIGHT CALCULATIONS
STANDARD BLDG. SITE

CLASSIC
HOMES

6385 CORPORATE DRIVE
Colorado Springs, CO 80919
(719) 592-9333

MODEL 641.1

DRAWN BY: ED

EL PASO COUNTY

ROAD IMPACT FEE PROGRAM - Credit Use Authorization Receipt

Form Valid until 12/31/2019

To use your credits to offset the Road Impact fee applied as part of the Site Plan Review process: ① Complete this form and send to RoadFee@elpasoco.com for an approval signature by a County Representative. ② The signed form will be returned to you via email. ③ Include this form with the Site Plan document package submitted for review. ④ The credits will be applied after the Site Plan Review approval and when you pay associated fees for building permits. **A separate form is required for each lot. *Credits are deducted when this form is signed. *You cannot use credits without this signed form and a valid parcel and schedule number.*

**Site Plan document packages may be submitted either by using Regional's online Building Department Assistant program or by taking a paper copy of your Site Review document package to the Development Services Department front desk.*

6/26/19

Date Submitted:

Owner of Credits

Authorized Representative (if applicable)

Elite Properties of America
 Company
 Doug Stimple
 Name
 (719) 592-9333
 Phone number
 dstimple@classichomes.com
 Email address
 6385 Corporate Drive, Ste. 200
 Address
 Colorado Springs, CO 80919
 City State Zip

Classic Homes
 Company
 Rebecca Clark
 Name
 (719) 785-3318
 Phone number
 rclark@classichomes.com
 Email address
 6385 Corporate Drive, Ste. 200
 Address
 Colorado Springs, CO 80919
 City State Zip


 Signature Date
 6/26/19

Credit Holder Signature

Property Information

Address: 8192 Wheatland Drive

Parcel # 5233202030

Legal Description: Lot 11 Blk _____ Homestead at Sterling Ranch Filing No. 1

Type of land use: Single family dwelling

Other _____

Fee/Unit category In a PID: Yes No

Mill Levy: 5 mills 10 mills

Credit amount to be used: \$ 1,221.00 Credit Balance: \$ 122,421.00

COUNTY USE ONLY BELOW THIS LINE

Credit Use Approval	Site Plan Review
Authorization tracking # <u>EP138</u>	Date Received <u>7/29/2019</u>
Date Approved <u>6/26/19</u>	Received by <u></u>
Approved by <u>DS</u>	SFD <u>SFD19942</u>
Credit balance before use \$ <u>123642</u>	Other _____
Credit use amount per lot \$ <u>1221</u>	
Credit balance after use \$ <u>122421</u>	



Parcel: 52333202030
Map #: 533G

Address: 8192 WHEATLAND DR, COLORADO SPRINGS

Plan Track #: 118939  **Received: 17-Jul-2019 (BRENT)**

Description: **RESIDENCE** **Required PPRBD Departments (2)**

Type of Unit:

Garage	436
Lower Level 2	1411
Main Level	1407
Upper Level 1	1728
Total Square Feet	
	4982

Enumeration

APPROVED

BRENT

7/17/2019 10:47:58 AM

Floodplain

(N/A) RBD GIS

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

dsdrangel

07/29/2019 10:50:39 AM

EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.