

CONSTRUCTION DOCUMENTS
FALCON MARKETPLACE
SE 1/4 OF THE SE 1/4 OF SECTION 1, T13S, R65W OF THE 6TH P.M.
11680 E. WOODMEN ROAD
FALCON, COLORADO

AGENCY CONTACTS

COUNTY	EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT KARI PARSONS, PROJECT MANAGER/PLANNER II 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 (719) 520-6300
FIRE	FALCON FIRE DEPARTMENT TRENT HARWIG, FIRE CHIEF 7030 OLD MERIDIAN ROAD FALCON, CO 80831 (719)495-4050
WATER	WOODMEN HILLS METROPOLITAN DISTRICT JERRY JACOBSEN, DIRECTOR OF WATER & WASTEWATER 8046 EASTONVILLE ROAD FALCON, CO 80831 (719) 495-2500
WASTEWATER	WOODMEN HILLS METROPOLITAN DISTRICT GENE COZZOLINO, DIRECTOR OF WATER & WASTEWATER 8046 EASTONVILLE ROAD FALCON, CO 8083 (719) 495-2500
ELECTRIC	MOUNTAIN VIEW ELECTRIC ASSOCIATION LES ULFERS 11140 E. WOODMEN ROAD FALCON, CO 80831 (719) 495-2283
GAS	COLORADO SPRINGS UTILITIES TODD STURTEVANT 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80947 (719) 668-3556
TELEPHONE	CENTURY LINK SALLY KLEIN (719) 636-4329 (LOCATORS) (719) 597-8418 AT&T (LOCATORS) (719) 635-3674
CABLE	COMCAST DALE STEWART 213 N. UNION BLVD COLORADO SPRINGS, CO 80909 (719) 442-4733
PETROLEUM	NUSTAR CHAD RENSLow 7810 DRENNAN ROAD COLORADO SPRINGS, CO 80925 (719) 391-0942
OTHER	WOODMEN ROAD METROPOLITAN DISTRICT TERRY SCHOOLER 20 BOULDER CRESCENT, SUITE #200 COLORADO SPRINGS, CO 80903 (719) 447-1777

**CONDITIONS OF APPROVAL:

- Documentation of all easements necessary for offsite construction shall be provided prior to issuance of a construction permit. Provide updated plan sheets showing the easements when available.
- Outlet structure construction requires separate written notification from PCD staff. Additional information regarding outlet grate/trash rack design is required for verification of velocities.
- Additional information is required on how groundwater will be handled during pond construction. Provide additional geotechnical study/potholing information on groundwater levels and the geotechnical engineer's concurrence with these CDs when available. Provide monitoring well details.
- Additional requirements for the inflow pipe from the northwest (class of pipe, anchoring/support, and watertight joints) may apply. Construction of this pipe and appurtenant items shall not begin without written County approval.
- Approval of the sheets struck out above, which will be added back to this plan set, is required prior to issuance of a construction permit. Additional PCD and DPW comments will be provided as applicable on those sheets.
- An access permit with conditions will be issued for the proposed access from Woodmen Road.
- An Operations and Maintenance Manual provided by EPC will be required for preliminary acceptance of Pond SR4.
- The timing of replacement of speed limit signage on Meridian Road shall be coordinated with the County Engineer.
- Repairs to the water quality outlet structure of offsite Pond MN are required due to the addition of paved surfaces on Woodmen Road, Eastonville Road, and Meridian Road. EPC will coordinate correspondence with the pond owner if requested by Developer.



VICINITY MAP
NOT TO SCALE



BENCHMARK

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29).

LEGAL DESCRIPTION

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH THAT PORTION OF BLOCK 1, TOWN OF FALCON, LYING WITHIN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

EXCEPT THOSE PORTIONS CONVEYED TO WOODMEN ROAD METROPOLITAN DISTRICT BY WARRANTY DEED RECORDED APRIL 19, 2004 AT RECEPTION NO. 204062427 AND PERSONAL REPRESENTATIVE'S DEED RECORDED SEPTEMBER 7, 2007 AT RECEPTION NO. 207116129, EL PASO COUNTY, COLORADO RECORDS.

FLOODPLAIN STATEMENT

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A CLOMR TO MODIFY THE FLOODPLAIN HAS BEEN SUBMITTED AND APPROVED BY FEMA, CASE NO. 17-08-0074R (MAY 26, 2017).

TIMING

ANTICIPATED STARTING AND COMPLETION TIME PERIOD OF SITE GRADING: SUMMER 2019-SUMMER 2020

AREAS

TOTAL AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED: APPROXIMATELY 36.4 ACRES

RECEIVING WATERS

FALCON WATERSHED - UNNAMED TRIBUTARY TO UPPER BLACK SQUIRREL CREEK

SOILS

HYDROLOGIC TYPE A: BLAKELAND LOAMY SAND (NO. 8) AND BLAKELAND-FLUVAQUENTIC HAPLAQUOLIS (NO. 9)

SHEET INDEX

COVER & NOTES
C1.10 COVER SHEET
C1.11 NOTES
C1.12 STANDARD DETAILS
C1.13 STANDARD DETAILS
C1.14 DEMOLITION/UTILITY RELOCATION PLAN
C1.15 PROPOSED UTILITY PLAN
C1.16 SURVEY CONTROL

GRADING & EROSION CONTROL

C2.10 FINAL GRADING & EROSION CONTROL PLAN
C2.11 FINAL GRADING & EROSION CONTROL PLAN
C2.12 GRADING & EROSION CONTROL DETAILS

FALCON MARKET PLACE ROADWAY PLANS

C3.10 FALCON MARKET PLACE PLAN & PROFILE
C3.11 FALCON MARKET PLACE PLAN & PROFILE
C3.12 FALCON MARKET PLACE PLAN & PROFILE
C3.13 SITE CONCRETE PLAN
C3.14 SIGNAGE & STRIPING

FALCON MARKET PLACE ROUNDABOUT PLANS

C4.10 SOUTHWEST ROUNDABOUT
C4.11 SOUTHWEST ROUNDABOUT
C4.12 SOUTHWEST ROUNDABOUT
C4.13 NORTHEAST ROUNDABOUT
C4.14 SW ROUNDABOUT SIGNAGE & STRIPING
C4.15 NE ROUNDABOUT SIGNAGE & STRIPING

NOTE SHEETS STRIKED OUT ARE TO BE ISSUED AT A LATER DATE ONCE REVISED

LANDSCAPE PLANS

LP-01 LANDSCAPE PLAN
LP-02 LANDSCAPE PLAN
LP-03 LANDSCAPE PLAN
LP-04 LANDSCAPE PLAN

OFFSITE WIDENING PLANS

C5.10 MERIDIAN ROAD TURN LANE EXTENSION
C5.11 MERIDIAN ROAD PLAN & PROFILE
C5.12 MERIDIAN ROAD PLAN & PROFILE
C5.13 MERIDIAN ROAD PLAN & PROFILE
C5.14 MERIDIAN ROAD MEDIAN PLAN & PROFILE
C5.15 MERIDIAN ROAD SIGNAGE & STRIPING
C5.16 MERIDIAN/EASTONVILLE SIGNAGE & STRIPING
C5.17 EASTONVILLE ROAD TURN LANE EXTENSION
C5.18 GUARDRAIL PLANS
C5.19 GUARDRAIL DETAILS

EASTONVILLE TRAFFIC SIGNAL

C6.10 SIGNAL PLAN
C6.11 SIGNAL PLAN

STORM SEWER PLANS

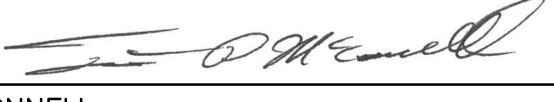
C7.10 STORM PLAN & PROFILE
C7.11 STORM PLAN & PROFILE
C7.12 STORM PLAN & PROFILE
C7.13 STORM PLAN & PROFILE
C7.14 STORM PLAN & PROFILE
C7.15 POND #2 PLAN & DETAILS
C7.16 POND #2 DETAILS
C7.17 POND #3 PLAN & DETAILS
C7.18 STORM SEWER DETAILS

NOTE

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

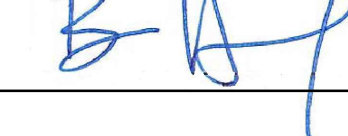
DESIGN ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO CRITERIA ESTABLISHED BY THE COUNTY FOR THE DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.


TIM D. MCCONNELL
P.E.# 33797
DATE 12-18-19

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.


BEN HUMMEL
DATE 12-18-19

EL PASO COUNTY

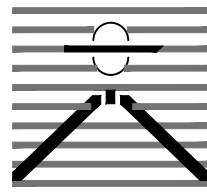
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JENNIFER IRVINE, P.E.
COUNTY ENGINEER
* See conditions of approval to the left.



PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. MCCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR
FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	20988-CD-CVR



PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

COVER SHEET

PROJECT NO. 20988-00CSCV
DRAWING NO.

C1.10

SHEET: 1 OF 46

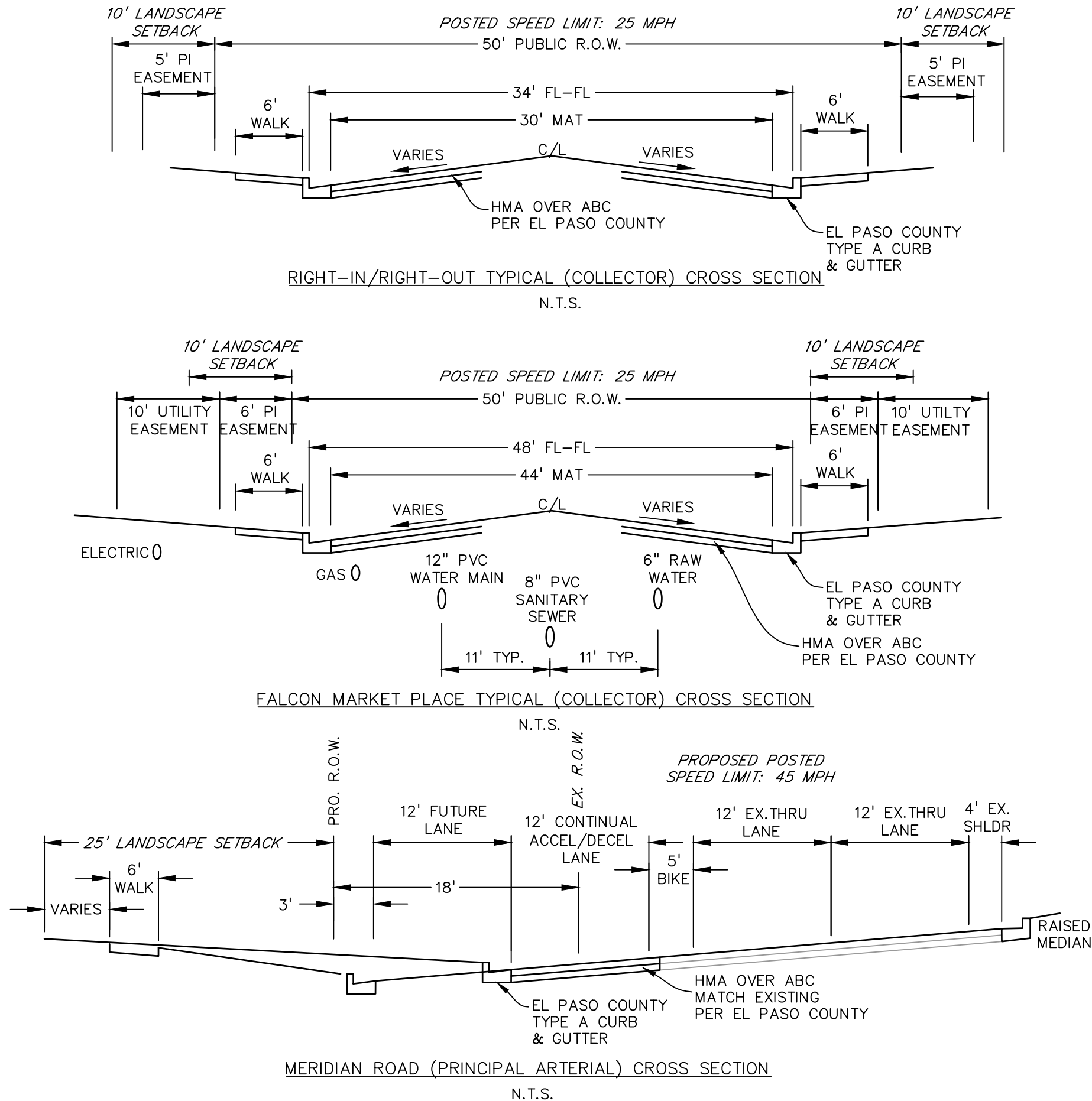
STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SMWP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SMWP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A 'NOTICE TO PROCEED' HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE EGM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SMWP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE EGM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE 'COLORADO WATER QUALITY CONTROL ACT' (TITLE 25, ARTICLE 8, CRS), AND THE 'CLEAN WATER ACT' (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE EGM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY GROUND ENGINEERING, DATED AUGUST 25, 2015, WITH ADDENDA #1, DATED MARCH 17, 2017, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SMWP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SMWP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD. WATERTIGHT JOINTS SHALL BE PROVIDED ON THE SPECIFIED PIPES.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.



SIGNAGE AND STRIPING NOTES

- SIGNING AND STRIPING NOTES:
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE 'D' SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

PREPARED BY:

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BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC

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CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	20988-CD-NTS

PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

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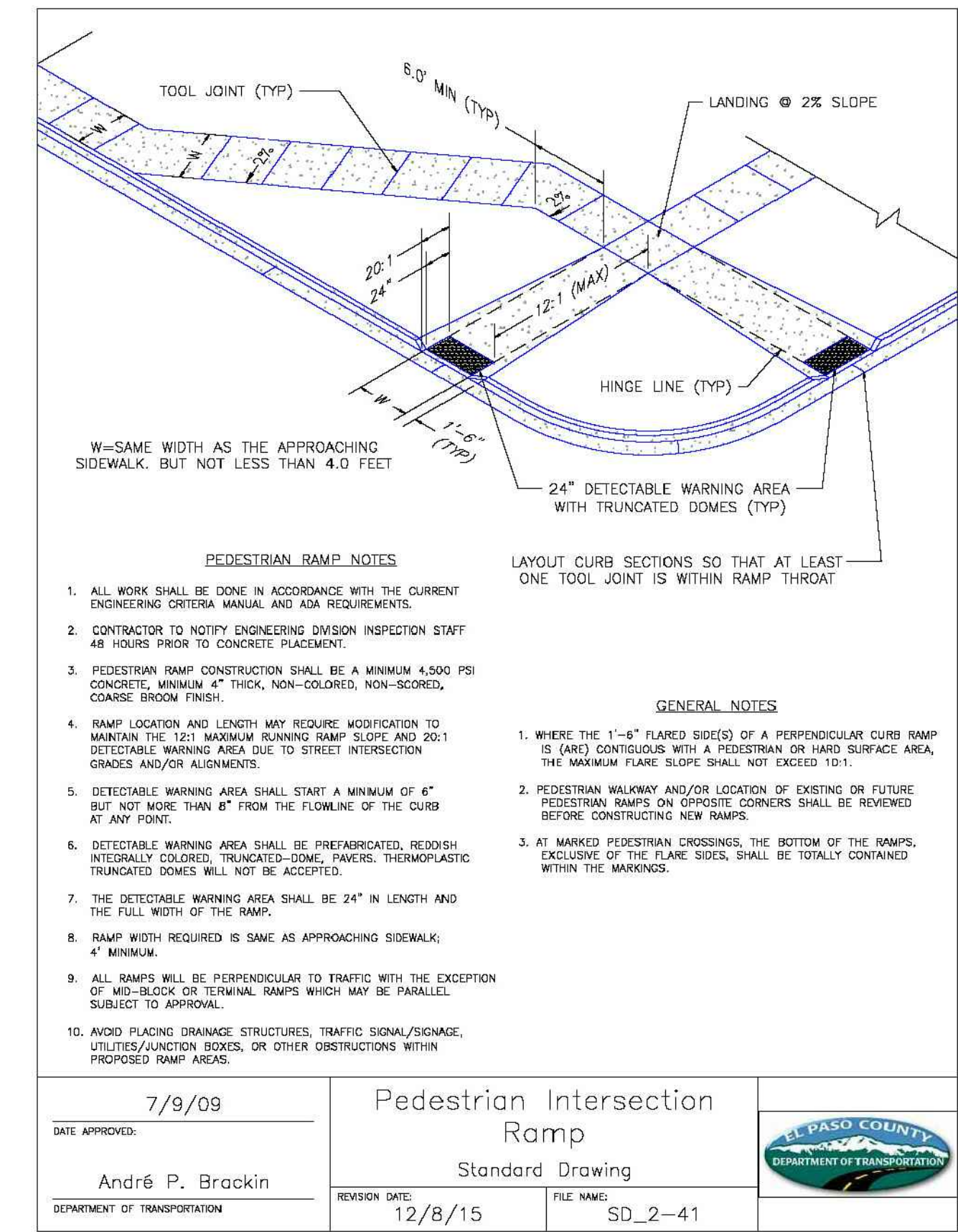
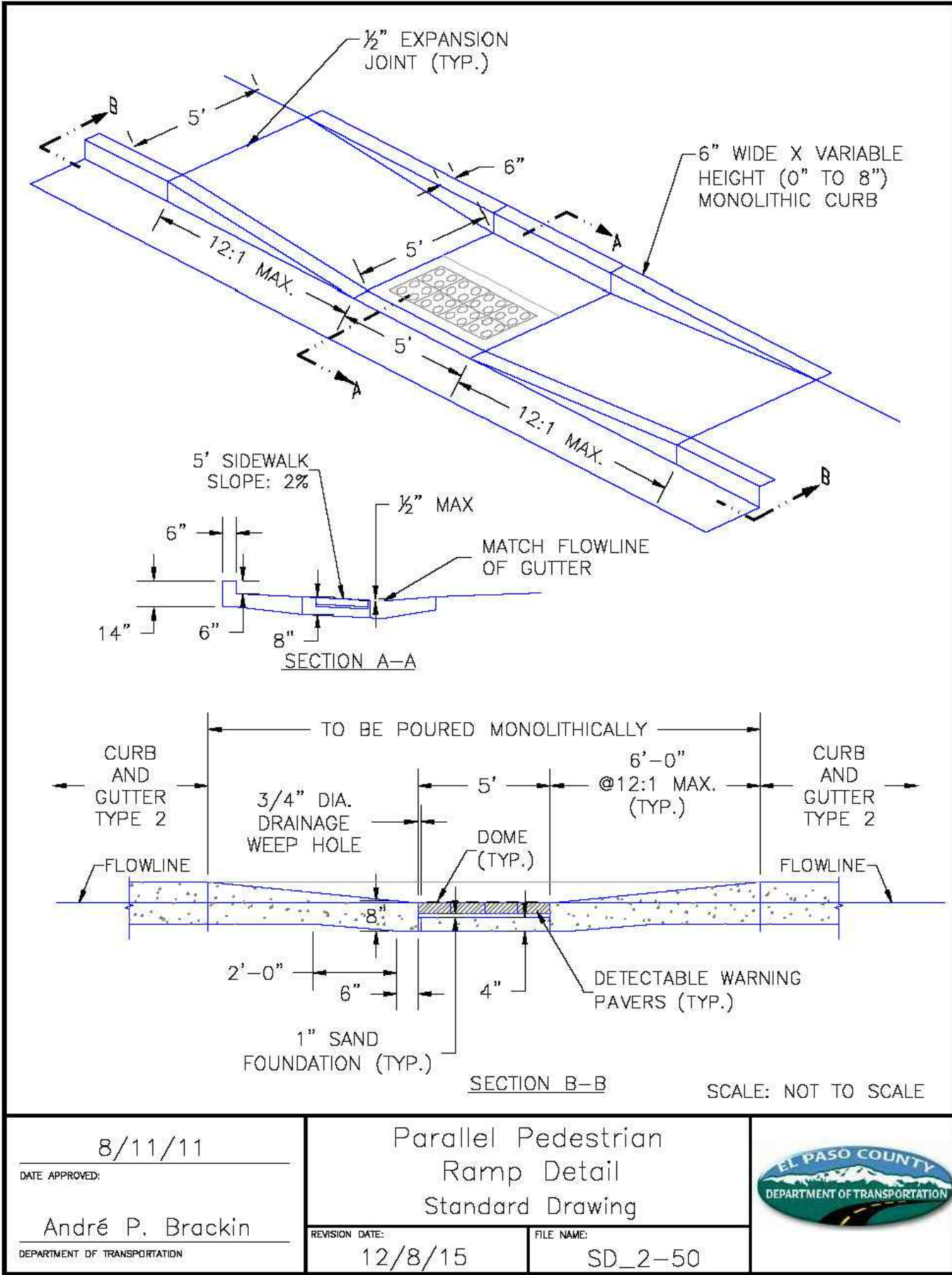
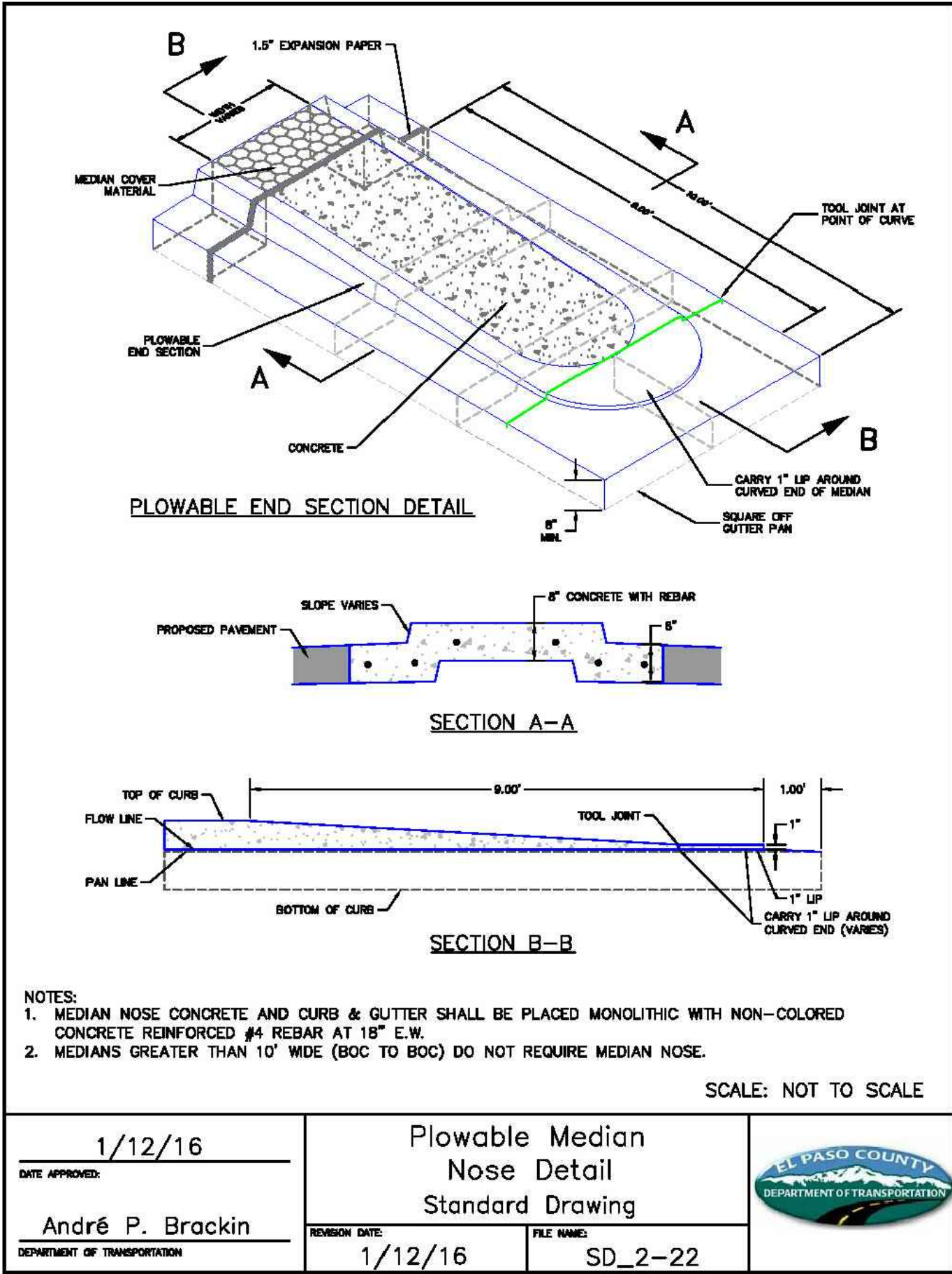
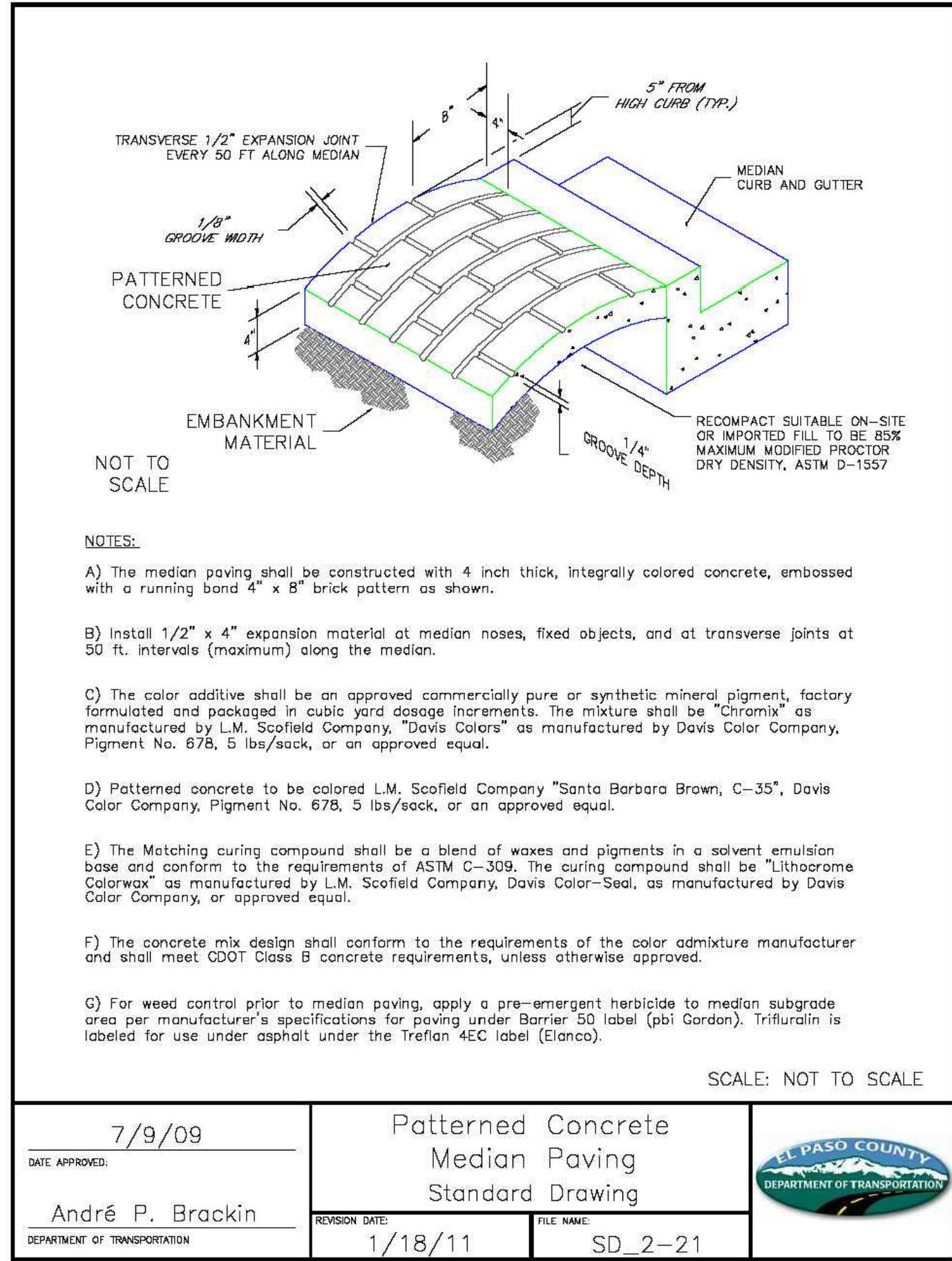
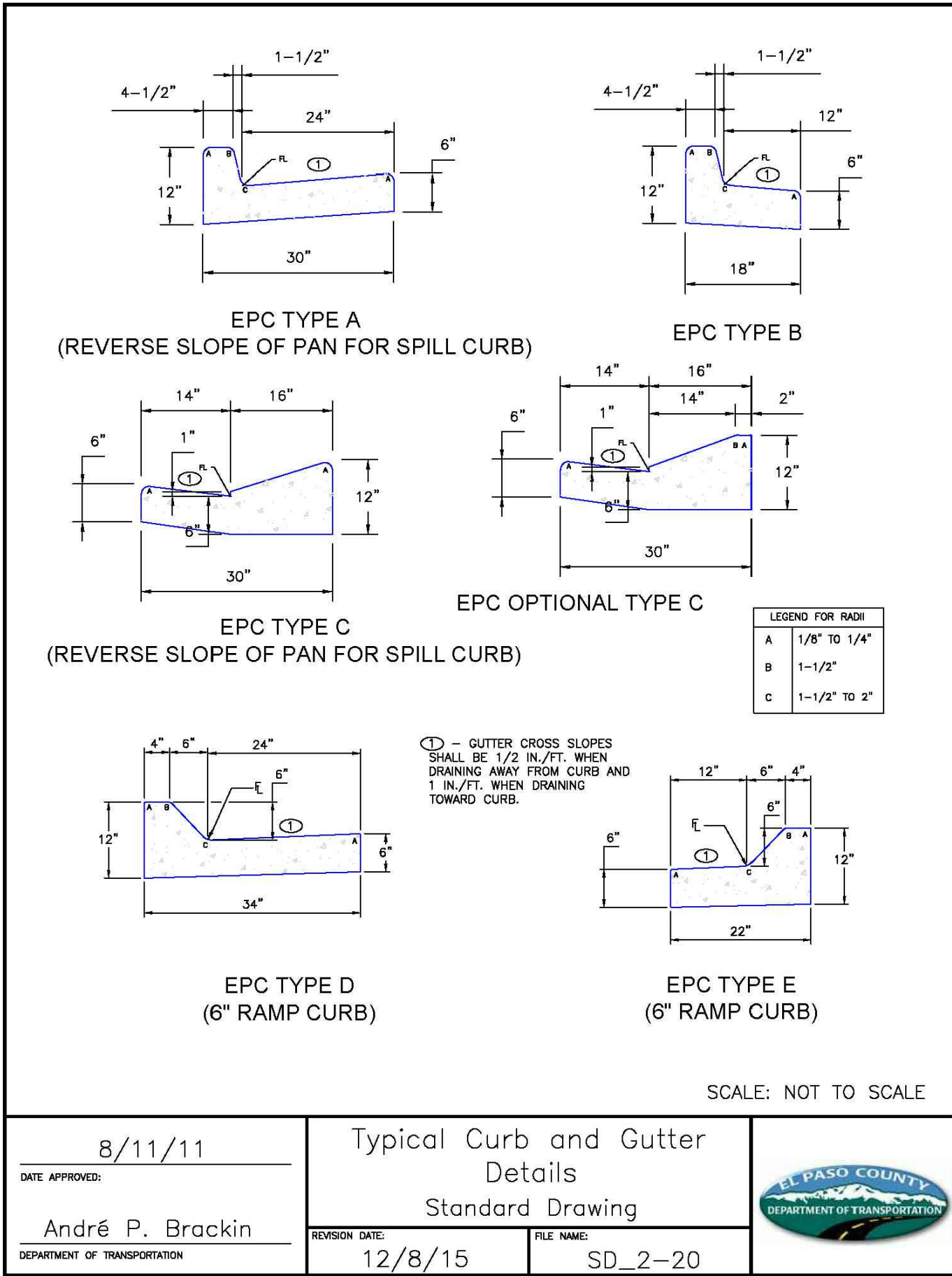
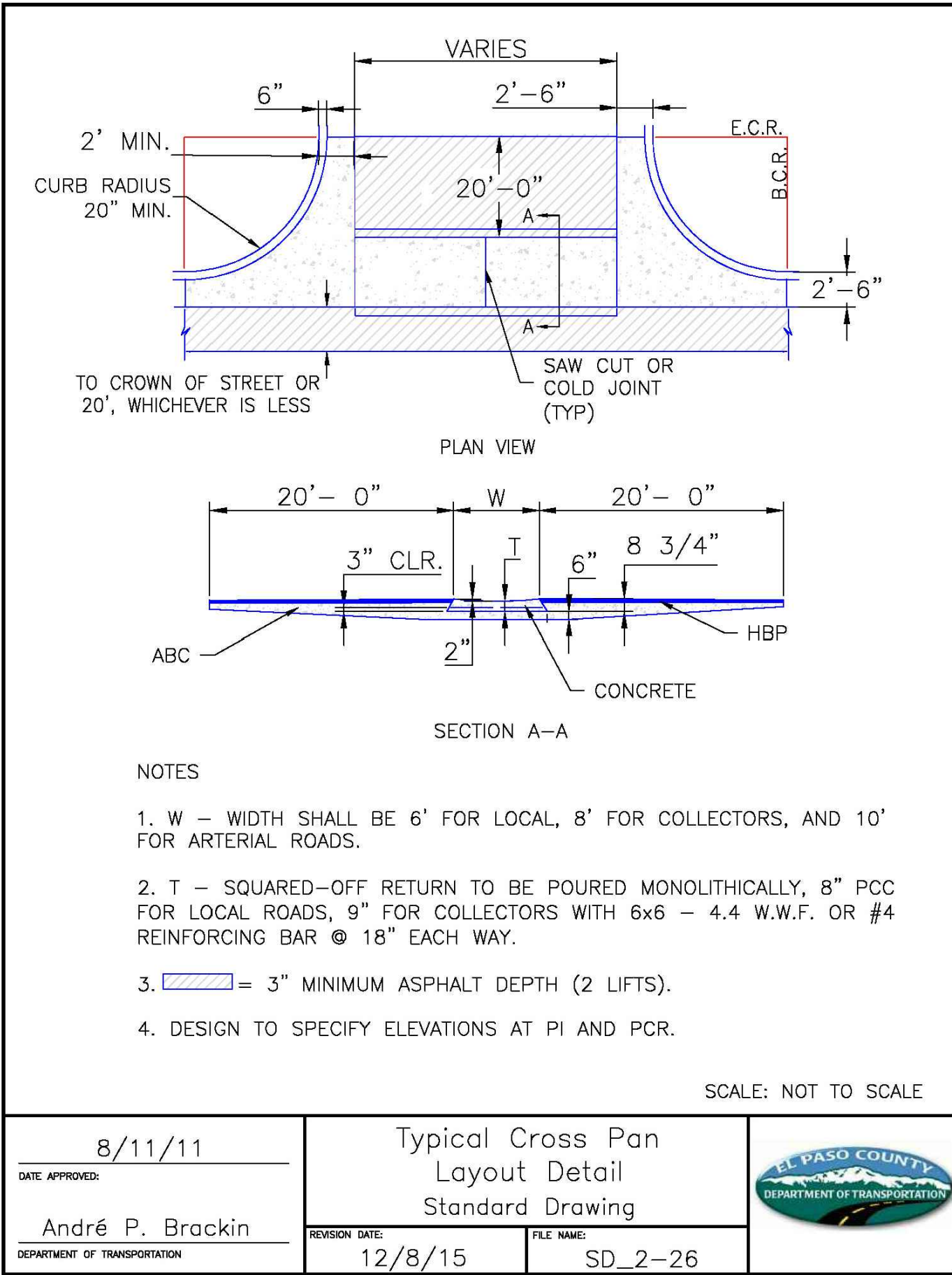
HORIZONTAL: N/A
VERTICAL: N/A

NOTES

PROJECT NO. 20988-00CSGV
DRAWING NO.

C1.11

SHEET: 2 OF 46



PREPARED BY:

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CONSTRUCTION DRAWINGS FOR

FALCON MARKETPLACE

FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	20988-CD-DTL

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:

HORIZONTAL: N/A

VERTICAL: N/A

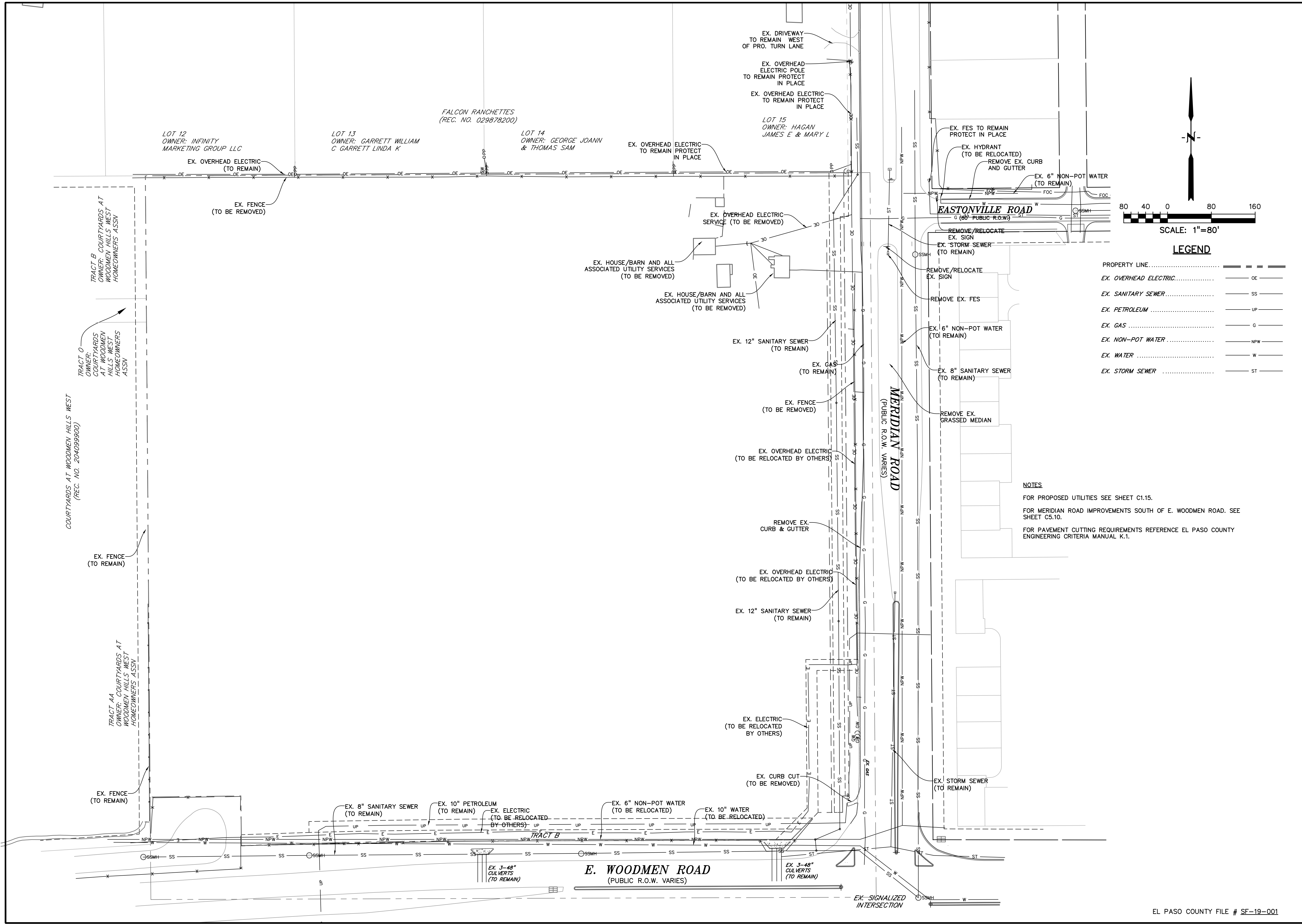
STANDARD DETAILS

PROJECT NO. 20988-00CSCV

DRAWING NO.

C1.12

SHEET: 3 OF 46



PREPARED BY:

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CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT
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OF DREXEL, BARRELL & CO.

DRAWING SCALE:

HORIZONTAL: 1"=80'
VERTICAL: N/A

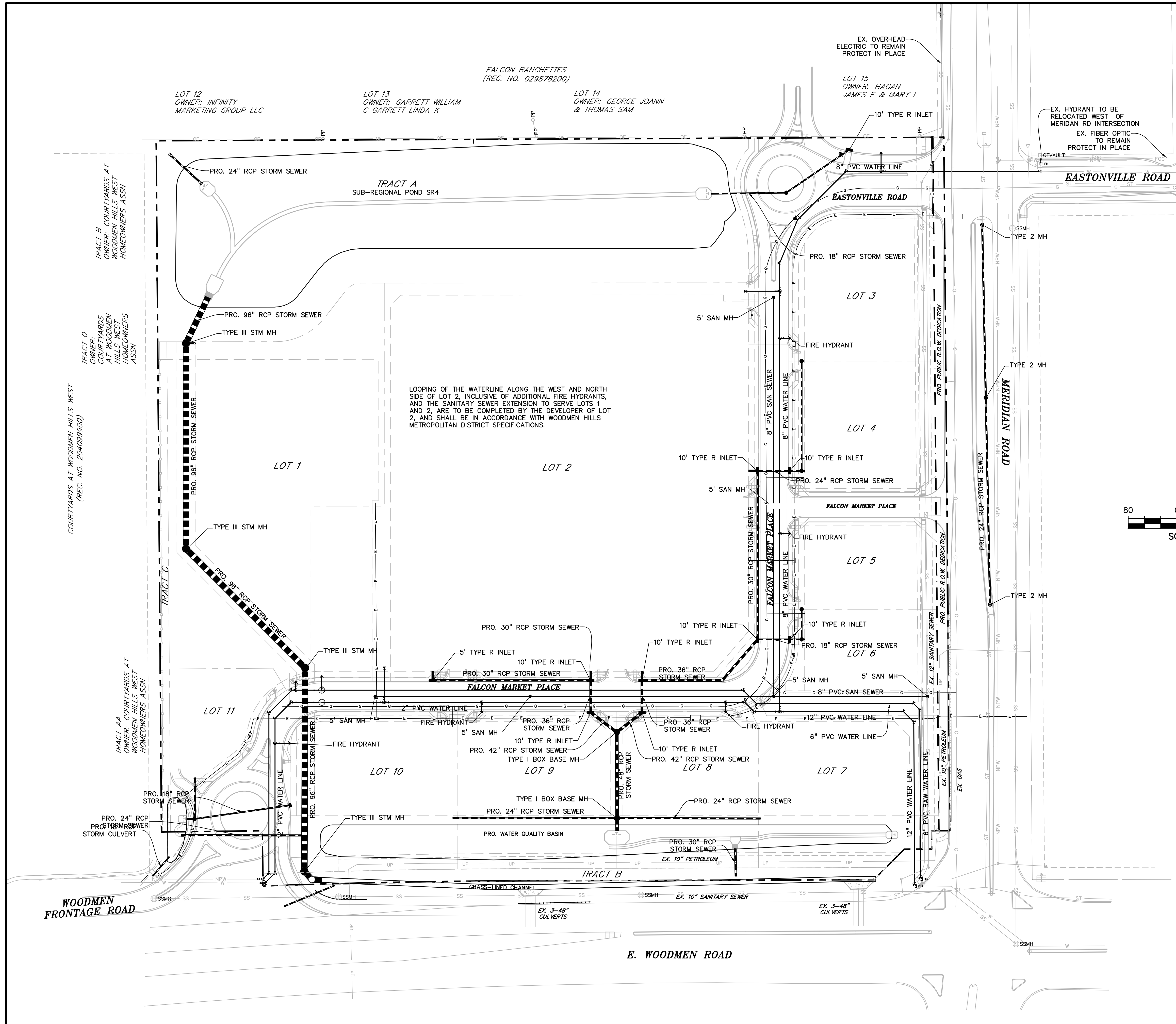
DEMO & UTILITY
RELOCATION
PLAN

PROJECT NO. 20988-00CSV

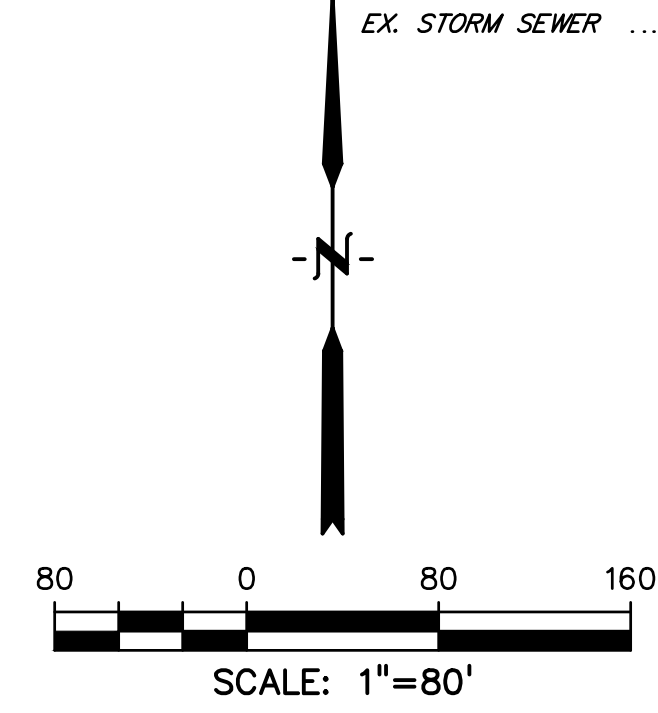
DRAWING NO.

C1.14

SHEET: 5 OF 46



LEGEND	
PROPERTY LINE	---
LOT LINE	---
EASEMENT	---
CURB & GUTTER	---
SIDEWALK	---
PRO. WATER LINE	---
PRO. FIRE HYDRANT	---
PRO. NON-POT WATER	---
PRO. SANITARY SEWER	---
PRO. GAS	---
PRO. ELECTRIC	---
PRO. STORM SEWER	---
EX. OVERHEAD ELECTRIC	---
EX. SANITARY SEWER	---
EX. PETROLEUM	---
EX. GAS	---
EX. NON-POT WATER	---
EX. WATER	---
EX. STORM SEWER	---



PREPARED BY:

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CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	

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SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

DRAWING SCALE:

HORIZONTAL: 1"=80'
VERTICAL: N/A

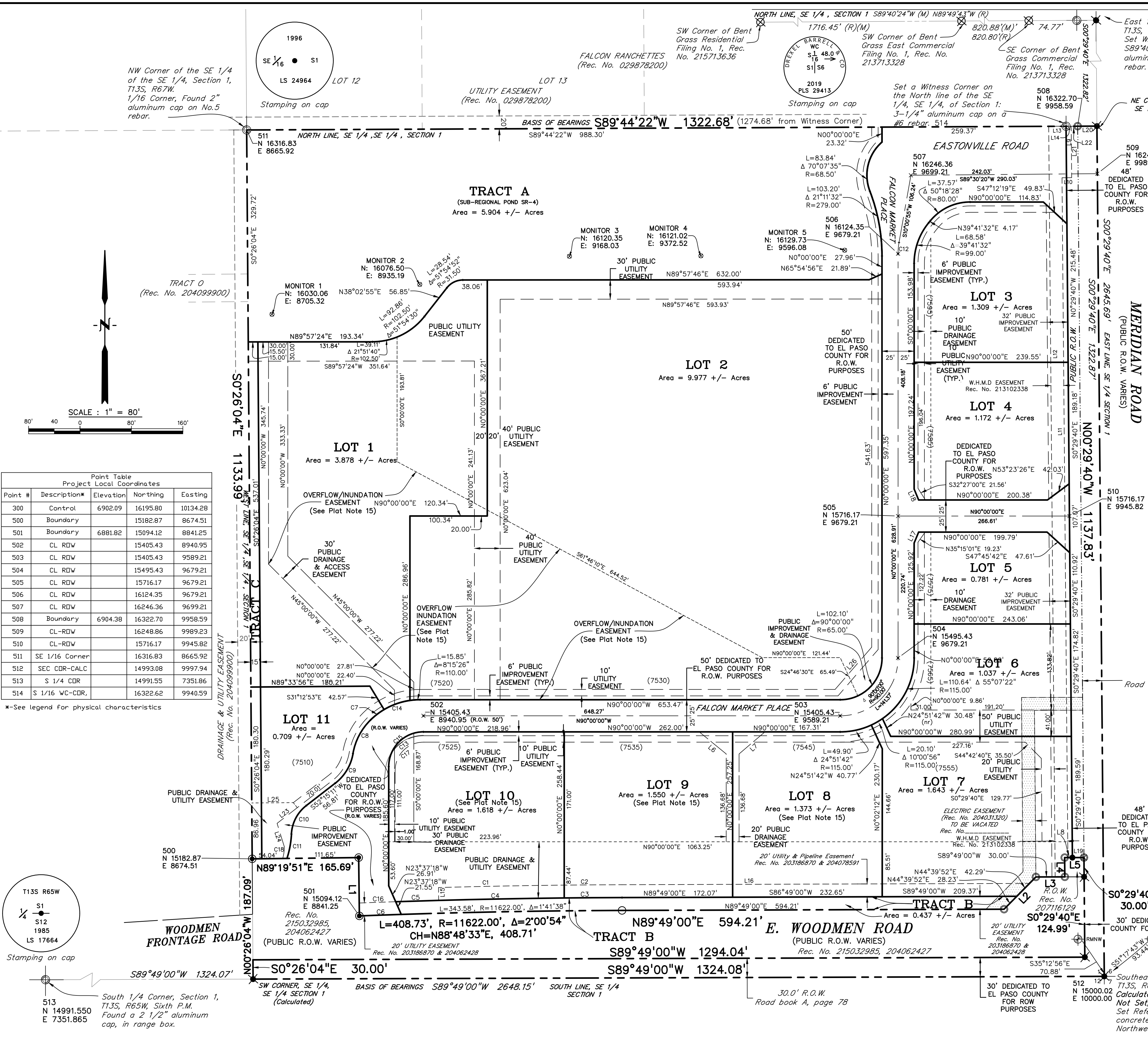
PROPOSED
UTILITY
PLAN

PROJECT NO. 20988-00CSV

DRAWING NO.

C1.15

SHEET: 6 OF 46



LINE TABLE			
LINE #	LENGTH	DIRECTION	
L1	80.69'	S0°40'09"E	
L2	70.52'	N44°39'52"E	
L3	45.00'	N89°49'00"E	
L4	30.00'	N0°29'16"W	
L5	30.01'	N89°49'00"E	
L6	54.17'	N50°40'36"W	
L7	52.92'	N49°33'54"E	
L8	12.01'	N89°49'00"E	
L9	80.00'	S0°29'40"E	
L10	15.00'	S89°25'55"W	
L11	1057.72'	S0°29'40"E	
L12	1167.77'	N0°29'40"W	
L13	27.01'	N89°44'22"E	
L14	7.99'	N89°44'22"E	
L15	20.00'	S00°40'09"E	

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	195.56'	11662.00'	0°57'39"
C2	89.86'	11662.00'	0°26'29"
C3	89.93'	11642.00'	0°26'33"
C4	195.33'	11642.00'	0°57'41"
C5	66.92'	11642.00'	0°19'46"
C6	65.15'	11622.00'	0°19'16"
C7	26.53'	110.00'	13°49'03"
C8	60.15'	96.00'	35°53'50"
C9	54.98'	74.00'	42°33'56"
C10	51.56'	60.00'	49°14'05"
C11	38.72'	148.00'	14°53'15"
C12	17.48'	100.00'	10°00'55"
C13	57.95'	59.00'	56°16'30"
C14	42.89'	110.00'	22°20'26"
C15	84.82'	54.00'	90°00'00"
C16	56.75'	11642.00'	00°16'45"
C17	69.12'	44.00'	90°00'00"
C18	18.47'	68.00'	15°33'47"

LEGEND

FOUND #5 REBAR WITH 1.5" YELLOW PLASTIC CAP PLS 31548

FOUND NAIL WITH 1.5" WASHER PLS 31548

FOUND 1.5" ALUMINUM CAP ON A #5 REBAR, STAMPED "CCES LLC PLS 30118"

SECTION CORNER REFERENCE MONUMENT

FOUND 3.25" ALUMINUM CAP STAMPED: EL PASO COUNTY ROW MONUMENT PLS 35585 2005

SET #5 REBAR & 1.5" ALUMINUM CAP OR NAIL & STEEL DISC "PLS 29413"

SECTION CORNER MONUMENT AS INDICATED

FOUND 1" DIAMETER PIPE, SET 2.5" ALUMINUM CAP STAMPED "DREXEL BARRELL PLS 29413"

CALCULATED CORNER, NOT SET, FALLS INTO TRAFFIC LANE

CALCULATED CL ROW POINT

SURVEY CONTROL-SET #5 REBAR WITH 2" ALUMINUM CAP

BENCHMARK

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29). LOCAL PROJECT COORDINATES = N:14851.96, E: 10104.91

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CONSTRUCTION DRAWINGS FOR

FALCON MARKETPLACE

FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: JCD

DRAWN BY: KGV

CHECKED BY: TDM

FILE NAME:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

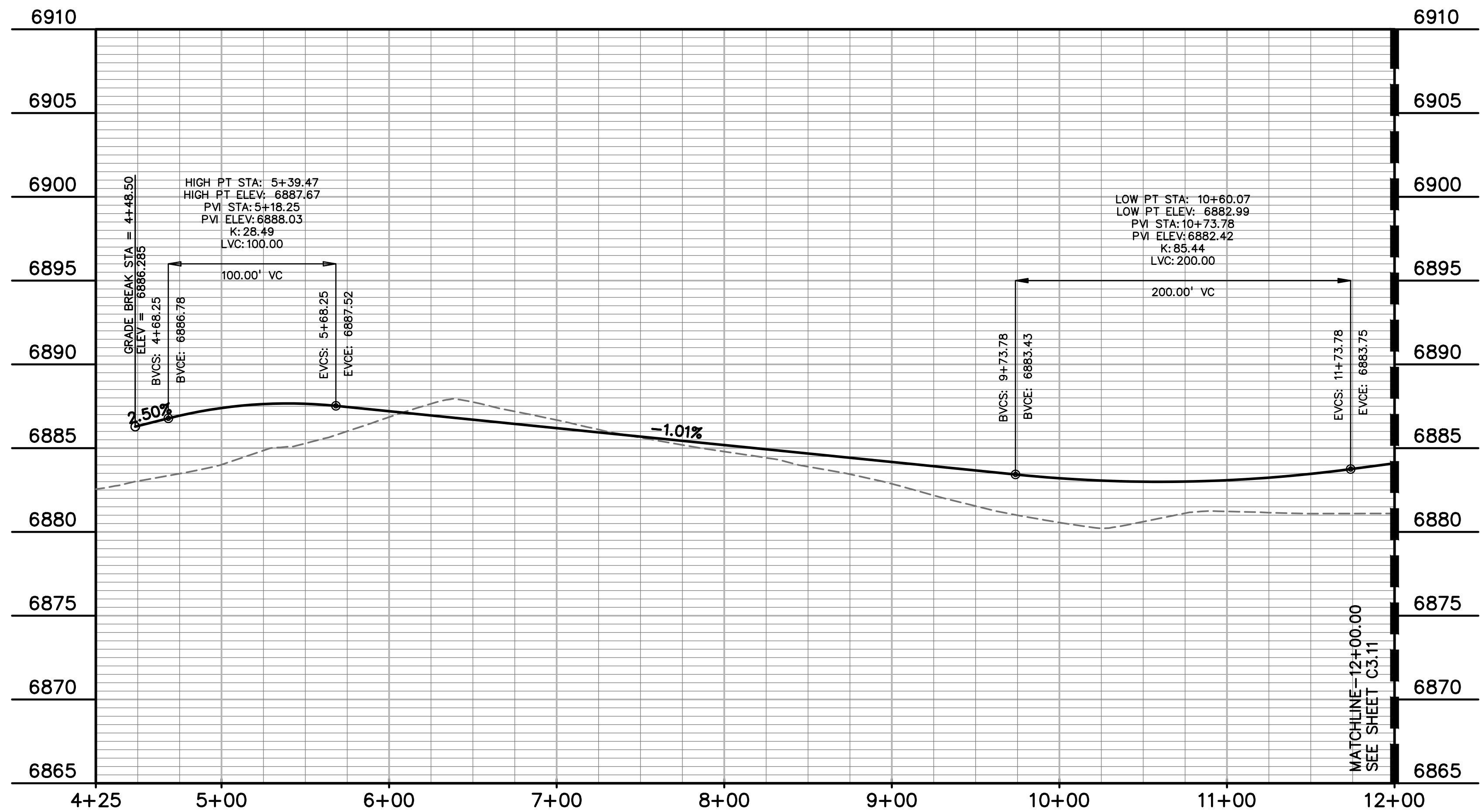
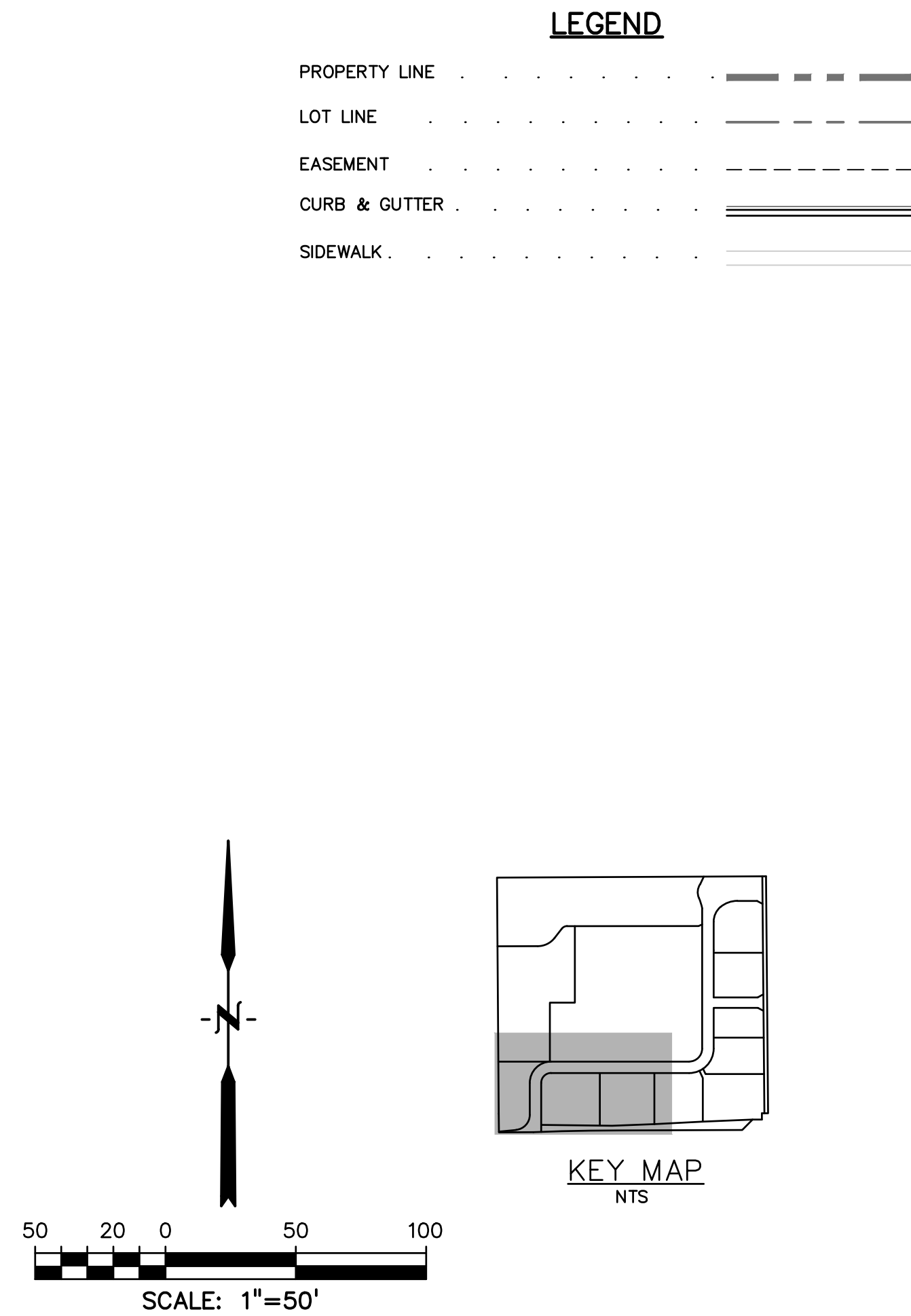
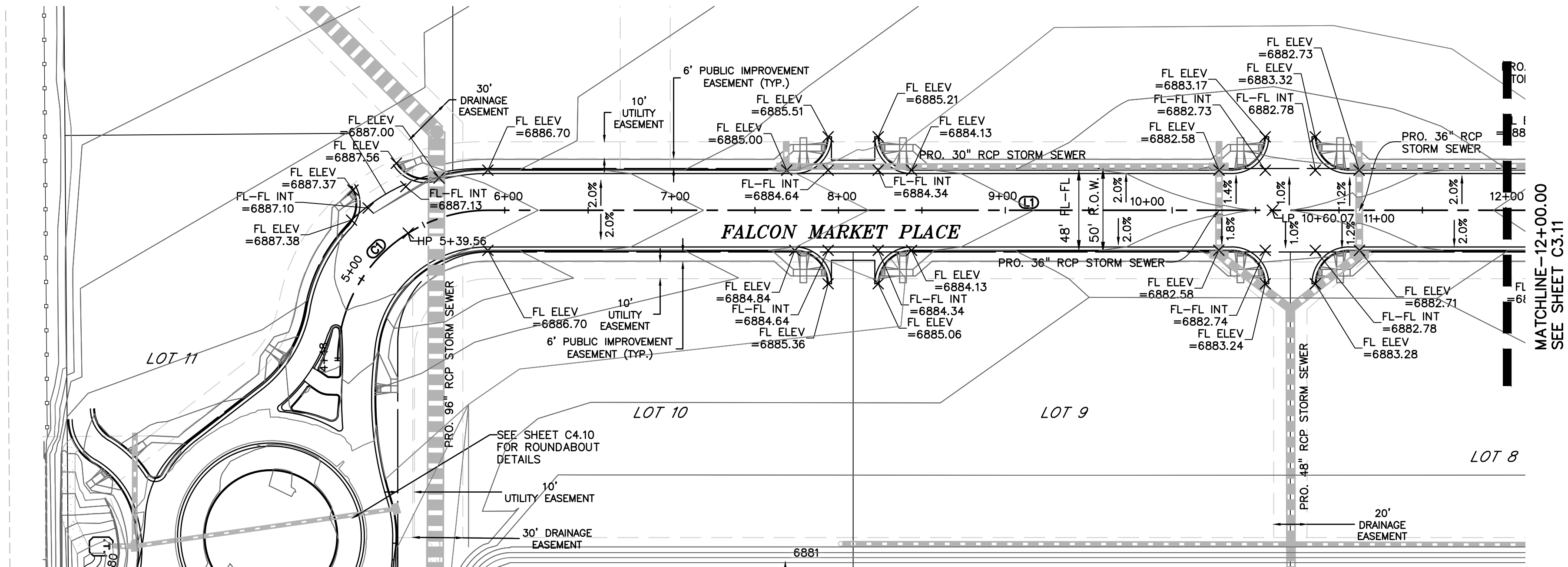
SURVEY CONTROL

PROJECT NO. 20988-00CSCV

DRAWING NO.

C1.16

SHEET: 7 OF 46



CL LINE TABLE		
LINE #	LENGTH	BEARING
L1	648.27'	N90°00'00"E
L2	633.27'	N0°00'00"E
L3	332.81'	N90°00'00"E

CL CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	141.37'	90.00'	90°00'00"	N45°00'00"E	127.28'
C2	141.35'	90.00'	90°00'00"	N45°00'00"E	127.26'

PREPARED BY:



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CONSTRUCTION DRAWINGS FOR

**FALCON
MARKETPLACE**
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	SBN
DRAWN BY:	SBN
CHECKED BY:	TDM
FILE NAME:	



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SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

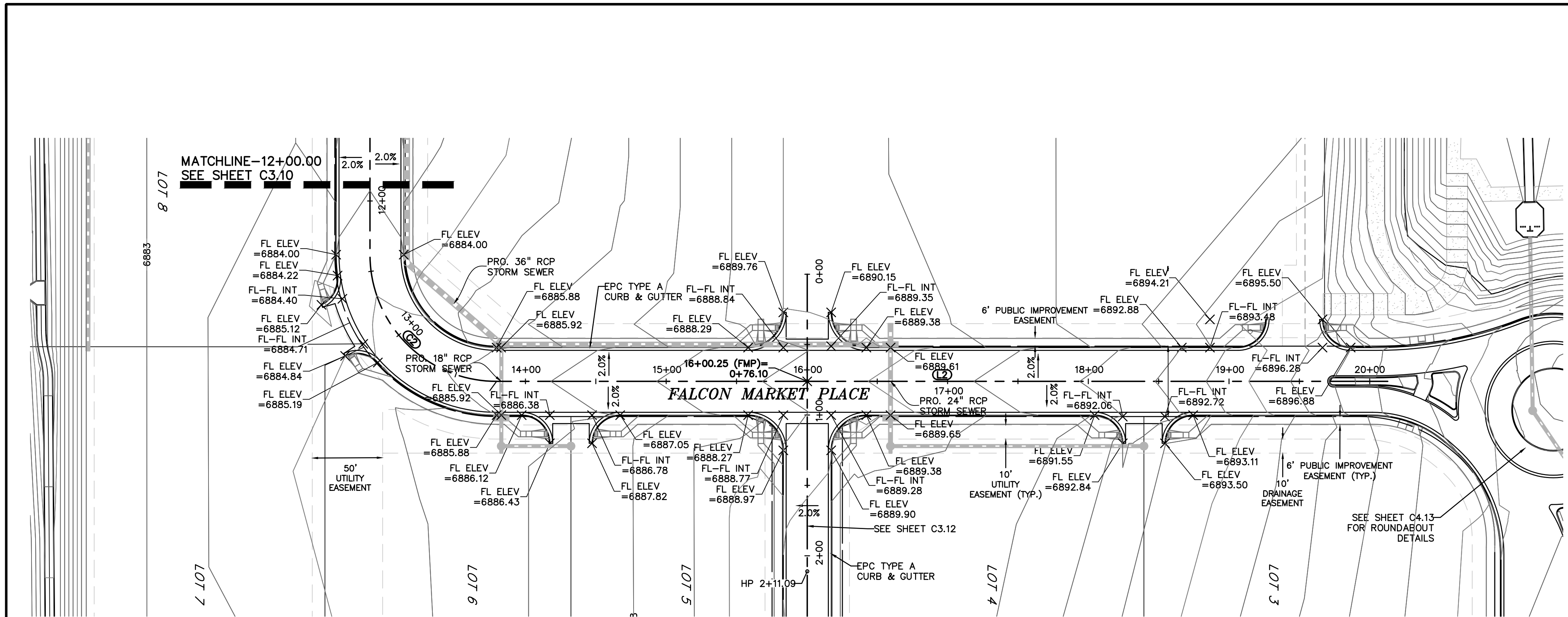
DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

**FALCON
MARKETPLACE
PLAN & PROFILE**

PROJECT NO. 20988-00CSCV
DRAWING NO.

C3.10

SHEET: 11 OF 46



LEGEND

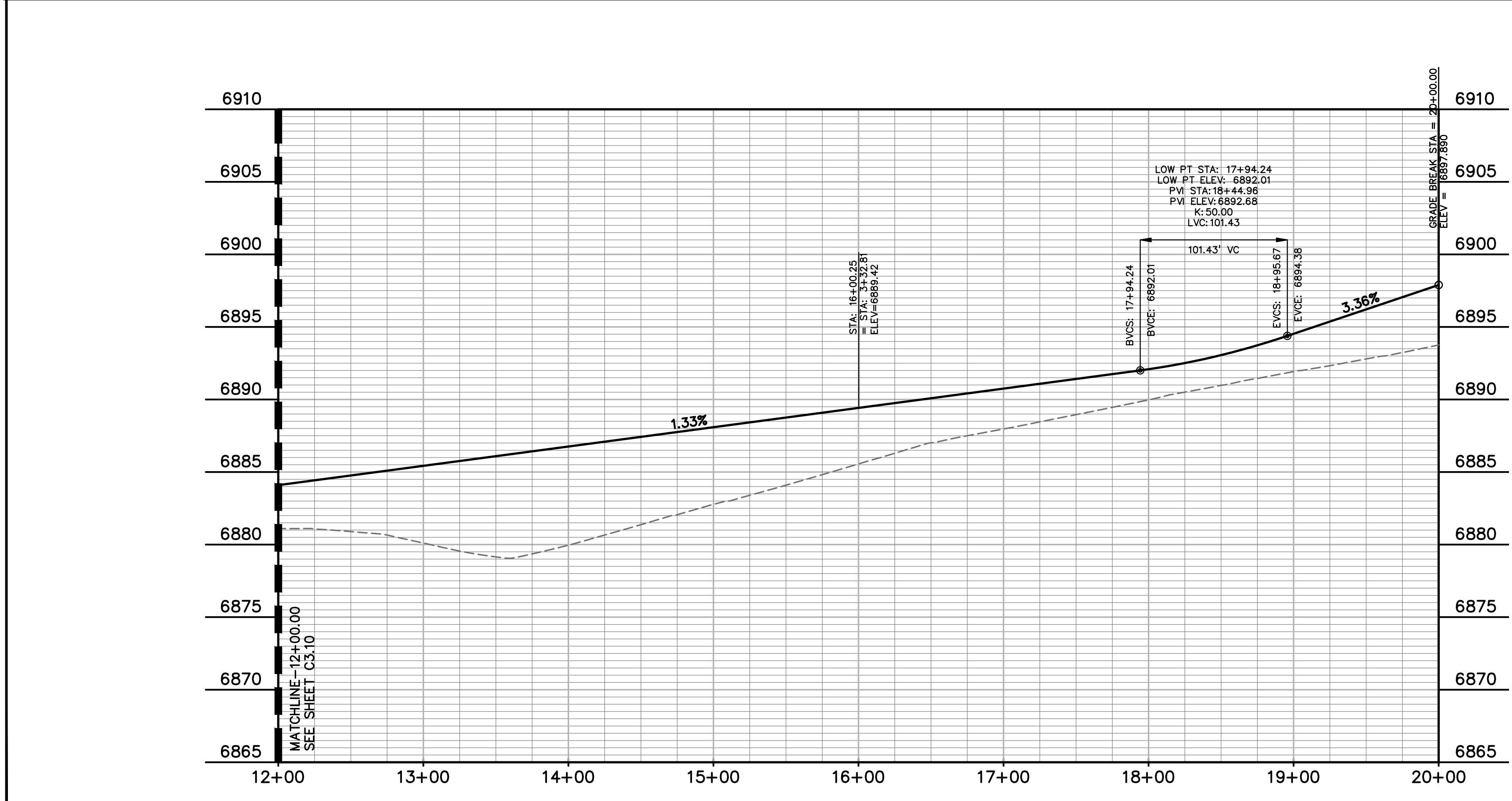
PROPERTY LINE

LOT LINE

EASEMENT

CURB & GUTTER

SIDEWALK



CL LINE TABLE		
LINE #	LENGTH	BEARING
L1	648.27'	N90°00'00"E
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CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	SBN
DRAWN BY:	SBN
CHECKED BY:	TDM
FILE NAME:	

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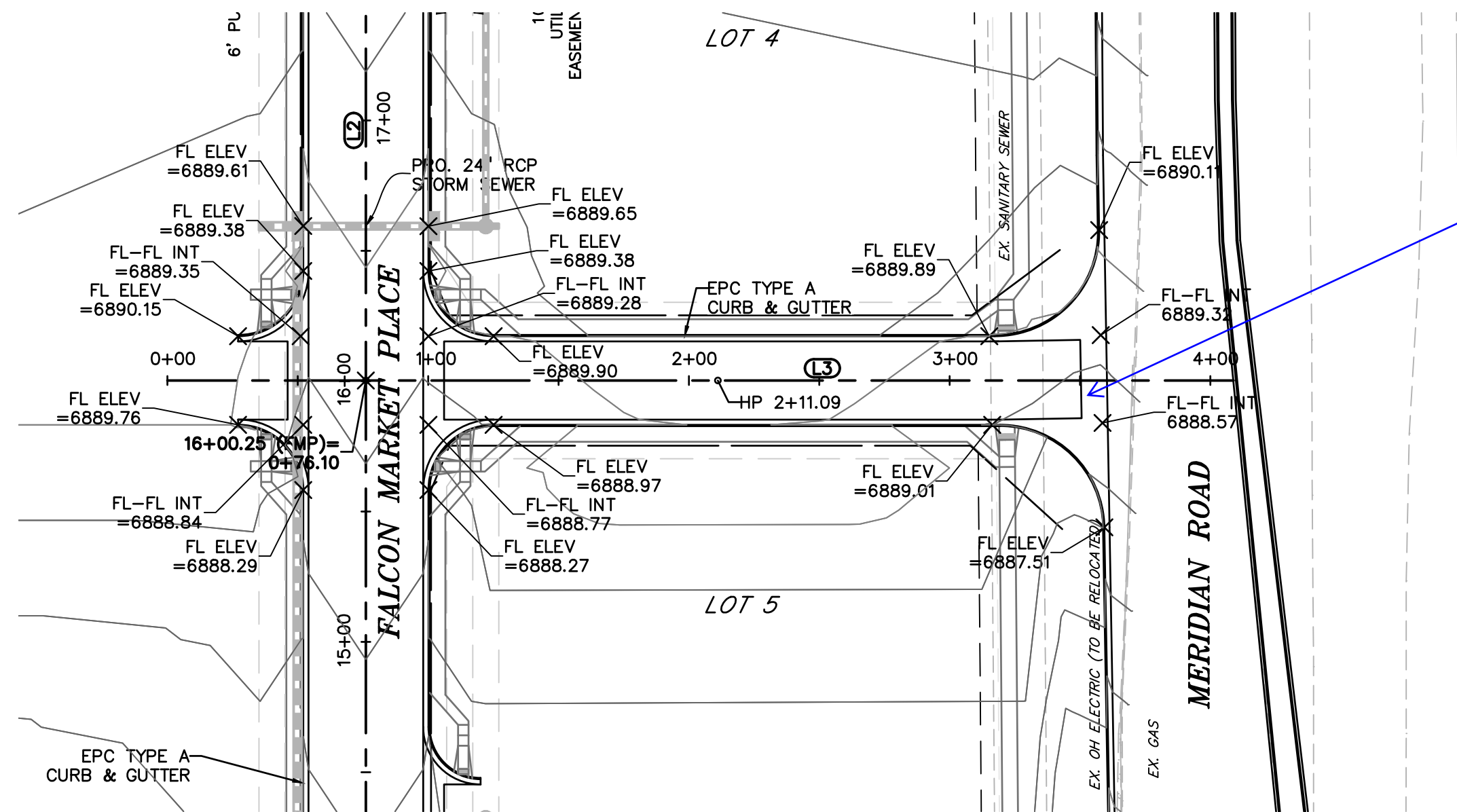
DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

FALCON
MARKETPLACE
PLAN & PROFILE

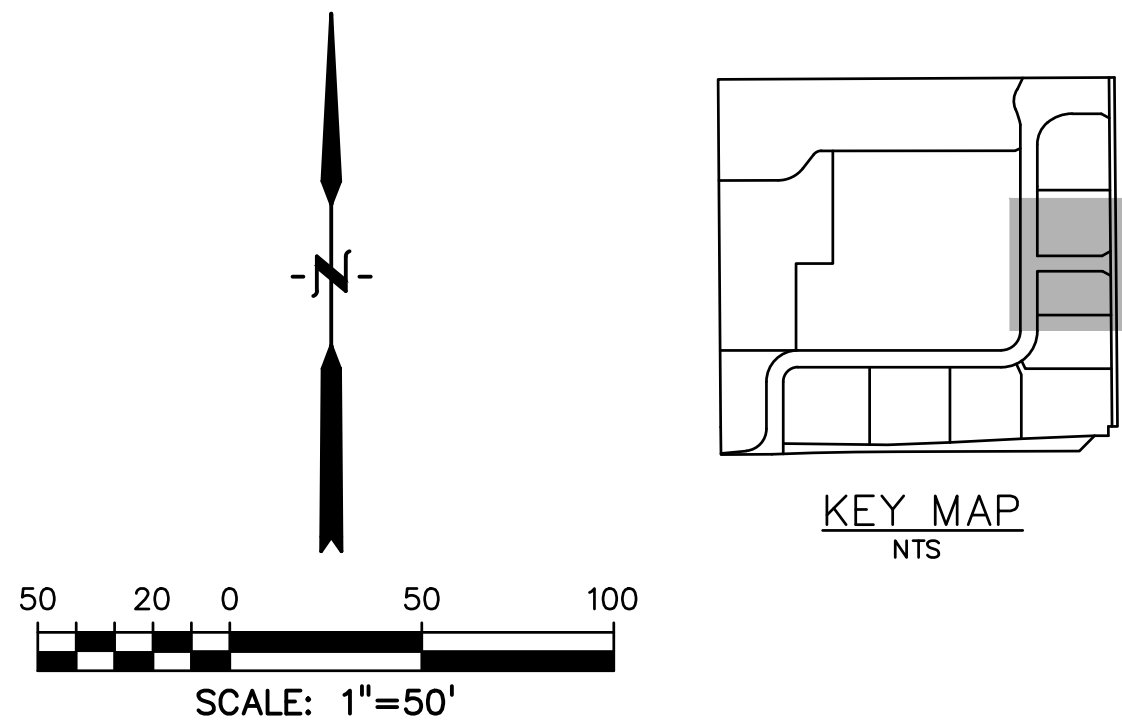
PROJECT NO. 20988-00CSCV
DRAWING NO.

C3.11

SHEET: 12 OF 46

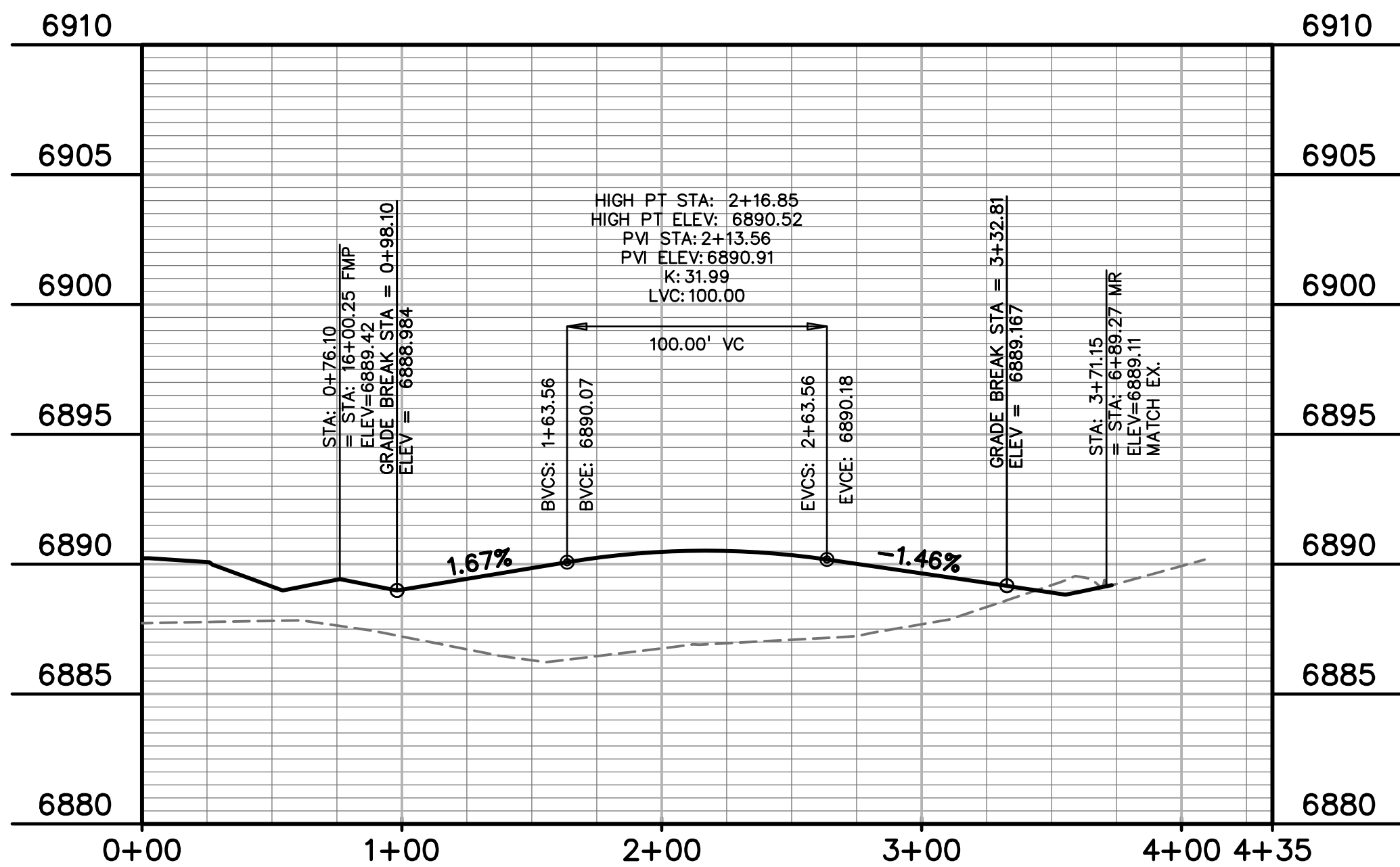


LEGEND	
PROPERTY LINE	---
LOT LINE	- - -
EASEMENT	---
CURB & GUTTER	==
SIDEWALK	---




CL LINE TABLE		
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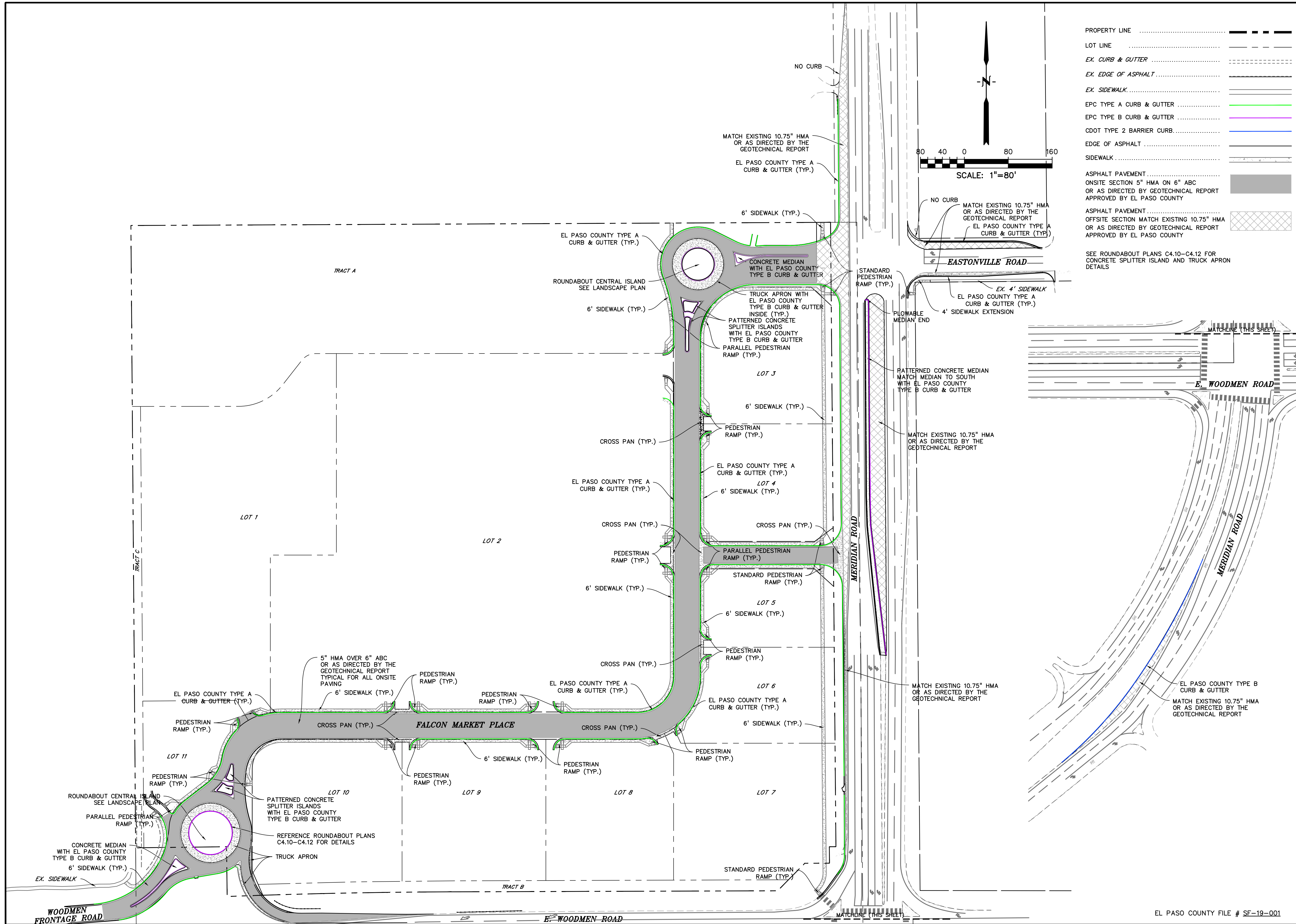
DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

ACCESS DRIVE
PLAN & PROFILE

PROJECT NO. 20988-00CSCV
DRAWING NO.

C3.12

SHEET: 13 OF 46



PROPERTY LINE	---
LOT LINE	---
EX. CURB & GUTTER	---
EX. EDGE OF ASPHALT	---
EX. SIDEWALK	---
EPC TYPE A CURB & GUTTER	---
EPC TYPE B CURB & GUTTER	---
CDOT TYPE 2 BARRIER CURB	---
EDGE OF ASPHALT	---
SIDEWALK	---
ASPHALT PAVEMENT	---
ONSITE SECTION 5" HMA ON 6" ABC OR AS DIRECTED BY GEOTECHNICAL REPORT APPROVED BY EL PASO COUNTY	---
ASPHALT PAVEMENT	---
OFFSITE SECTION MATCH EXISTING 10.75" HMA OR AS DIRECTED BY GEOTECHNICAL REPORT APPROVED BY EL PASO COUNTY	---

SEE ROUNDABOUT PLANS C4.10-C4.12 FOR
CONCRETE SPLITTER ISLAND AND TRUCK APRON
DETAILS

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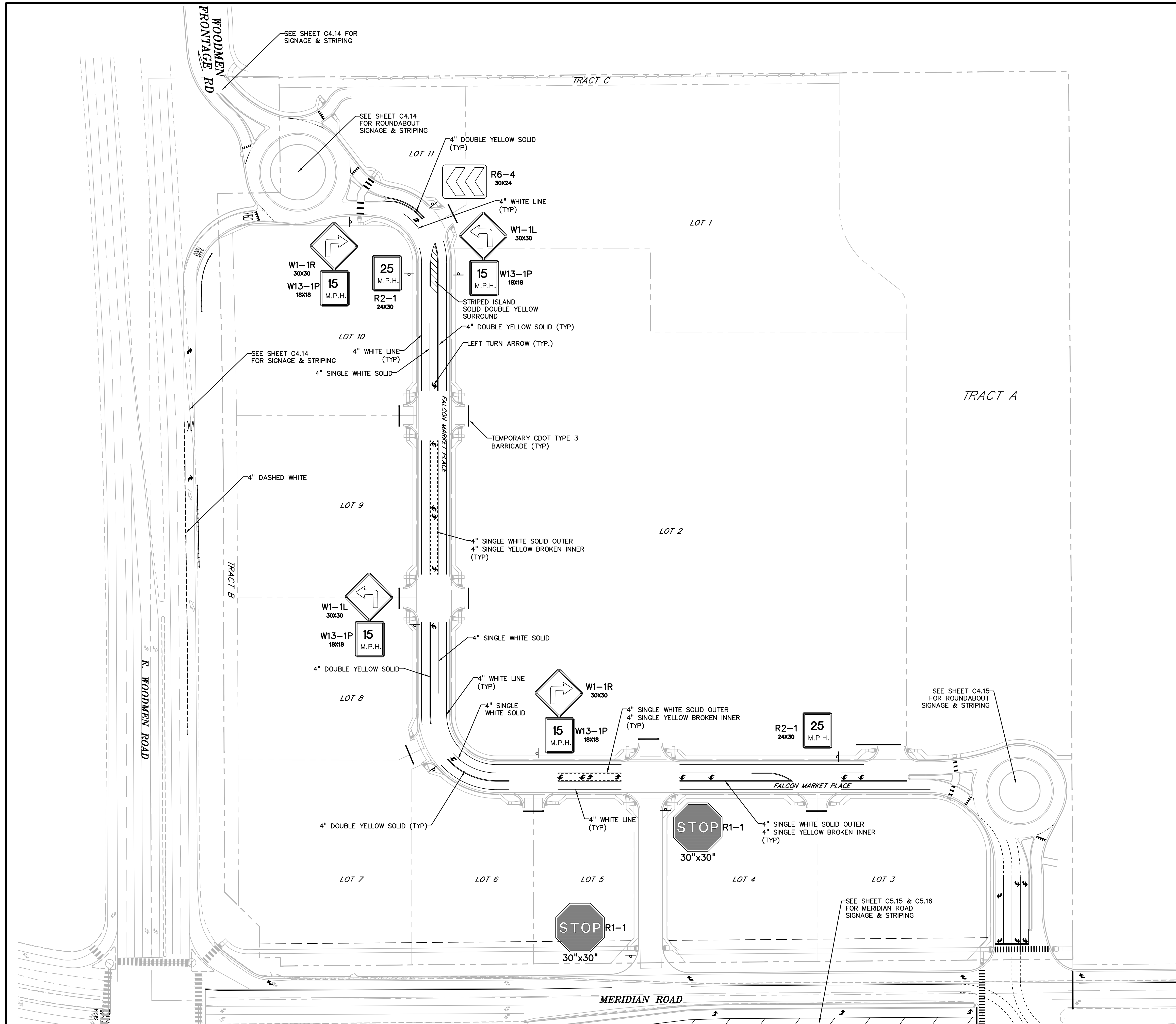
DRAWING SCALE:
HORIZONTAL: 1"=80'
VERTICAL: N/A

SITE PAVING
& CONCRETE
PLAN

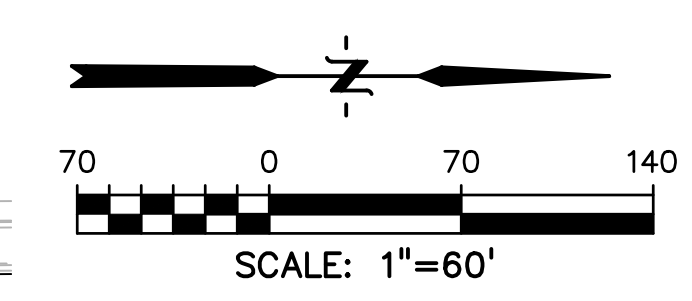
PROJECT NO. 20988-00CSCV
DRAWING NO.

C3.13

SHEET: 14 OF 46



LEGEND	
PROPERTY LINE	---
LOT LINE	- - -
EASEMENT	---
CURB & GUTTER	=====
SIDEWALK	=====



PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:


LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR

**FALCON
MARKETPLACE**

FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	SBN
DRAWN BY:	SBN
CHECKED BY:	TDM
FILE NAME:	



PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

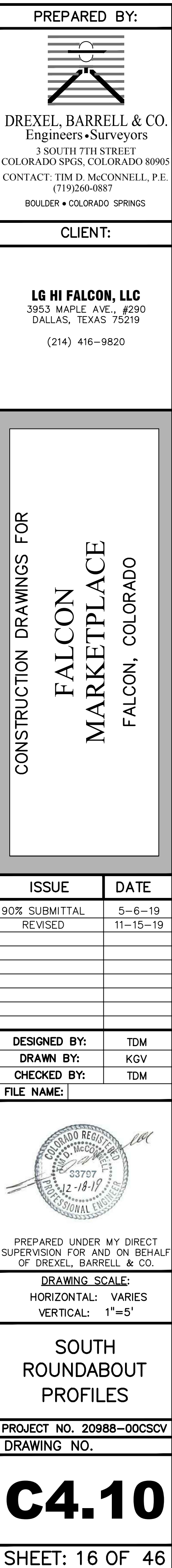
DRAWING SCALE:
HORIZONTAL: 1"=60'
VERTICAL: N/A

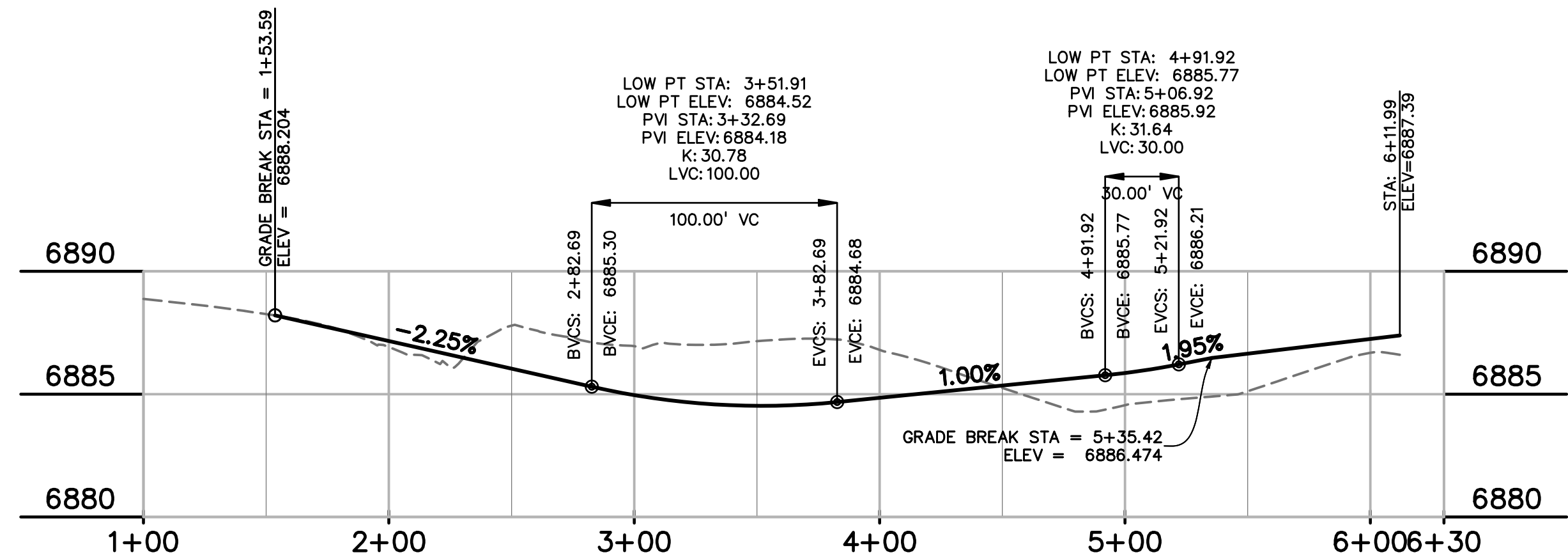
**SIGNAGE &
STRIPING
PLAN**

PROJECT NO. 20988-00CSCV
DRAWING NO.

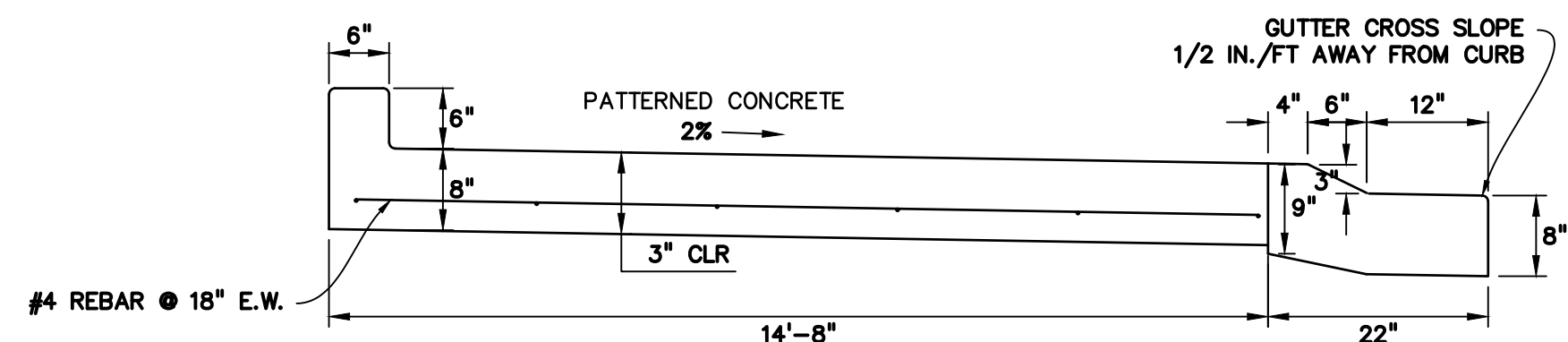
C3.14

SHEET: 15 OF 46

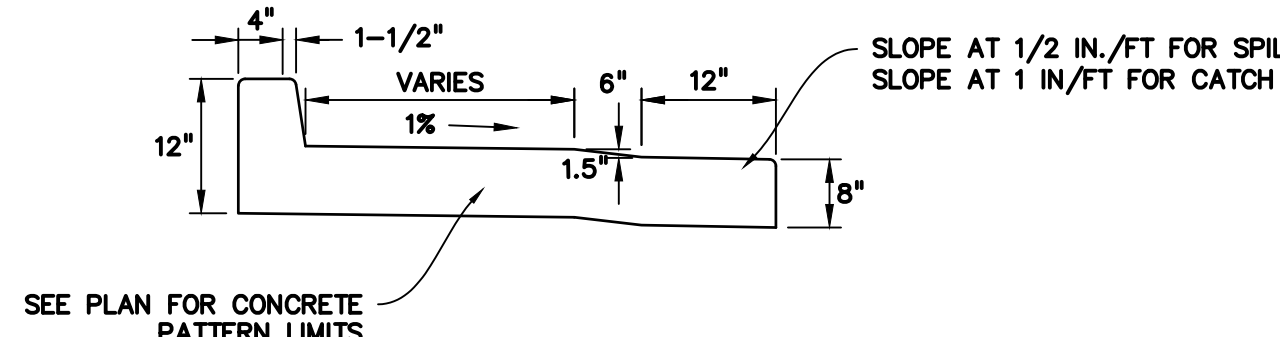




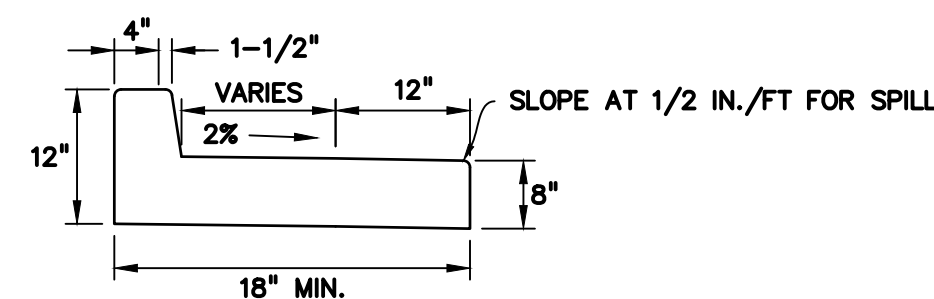
(ROUNDAABOUT W) CURB FLOWLINE PROFILE
1"=50'



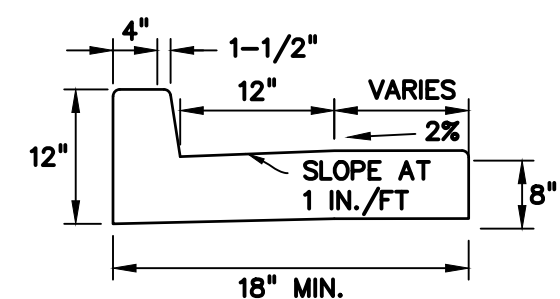
TYPICAL TRUCK APRON DETAIL
NTS



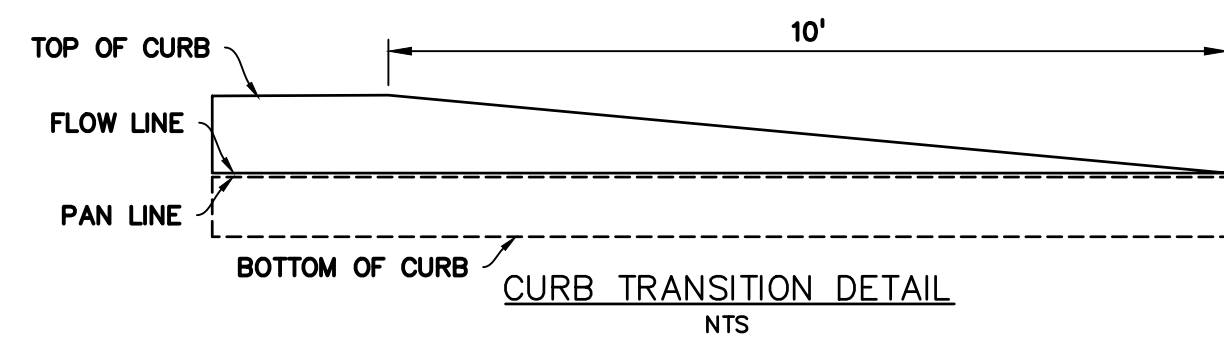
RAISED CONCRETE PLATFORM
NTS



SPLITTER ISLAND CURB/GUTTER (SPILL)
NTS



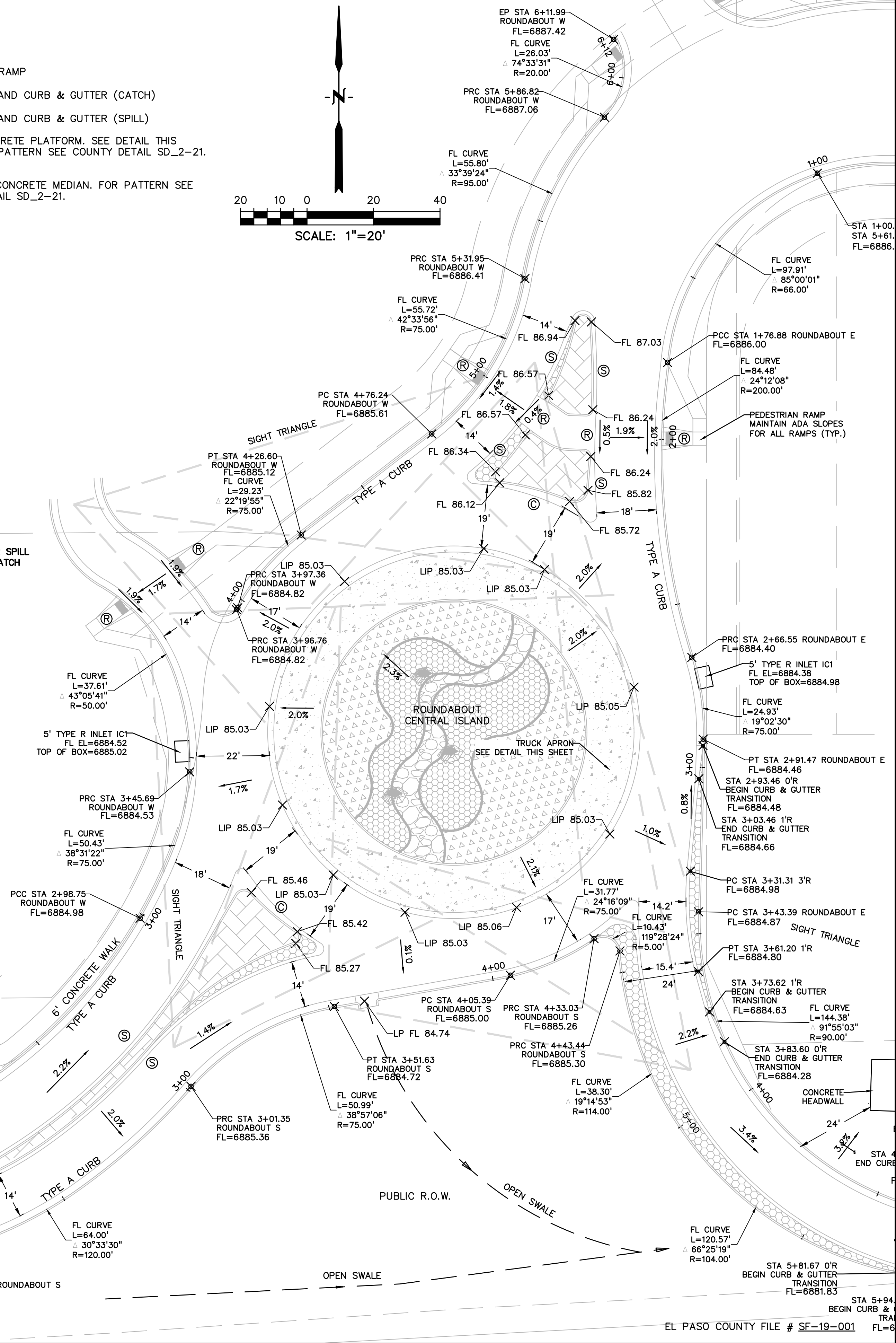
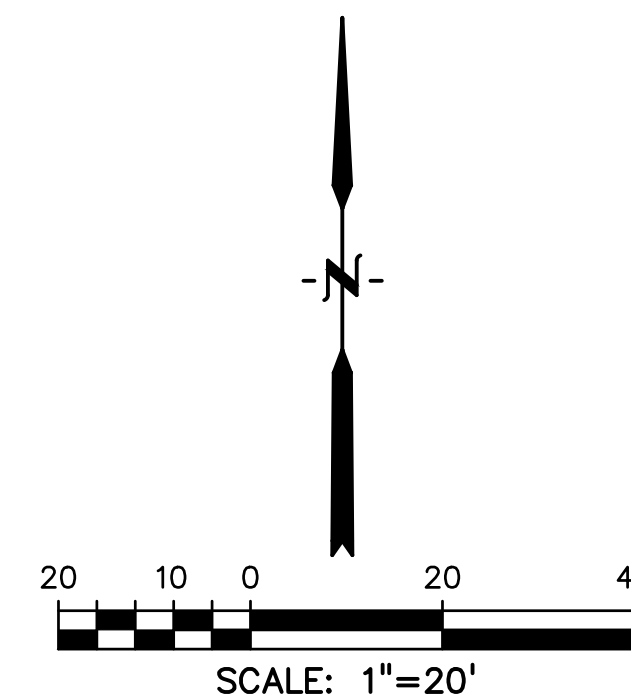
SPLITTER ISLAND CURB/GUTTER (CATCH)
NTS



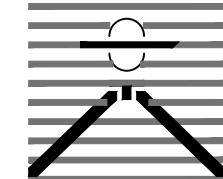
CURB TRANSITION DETAIL
NTS

LEGEND

- Ⓡ PEDESTRIAN RAMP
- Ⓢ SPLITTER ISLAND CURB & GUTTER (CATCH)
- Ⓣ SPLITTER ISLAND CURB & GUTTER (SPILL)
- RAISED CONCRETE PLATFORM. SEE DETAIL THIS SHEET. FOR PATTERN SEE COUNTY DETAIL SD_2-21. NO PIGMENT
- PATTERNED CONCRETE MEDIAN. FOR PATTERN SEE COUNTY DETAIL SD_2-21.



PREPARED BY:



DREXEL, BARRELL & CO.
Engineers-Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR
**FALCON
MARKETPLACE**
FALCON, COLORADO

ISSUE DATE

90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM

DRAWN BY: KGV

CHECKED BY: TDM

FILE NAME:



PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: VARIES
VERTICAL: 1"=5'

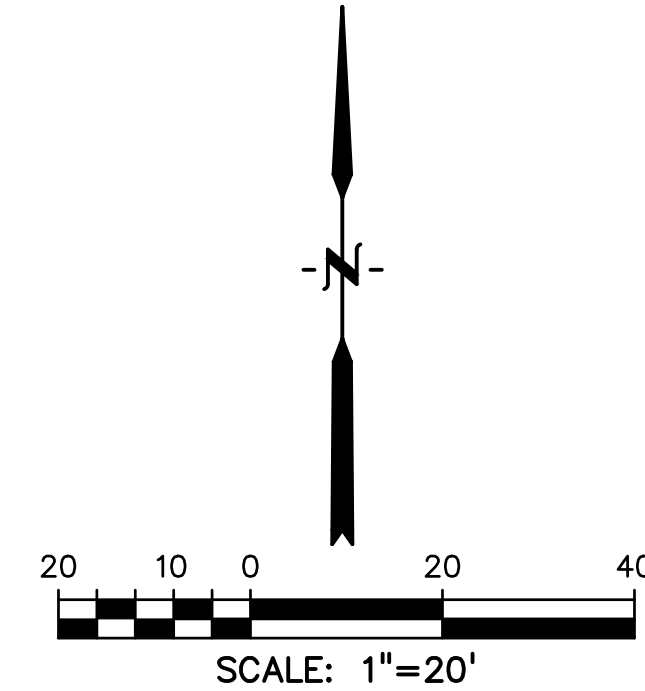
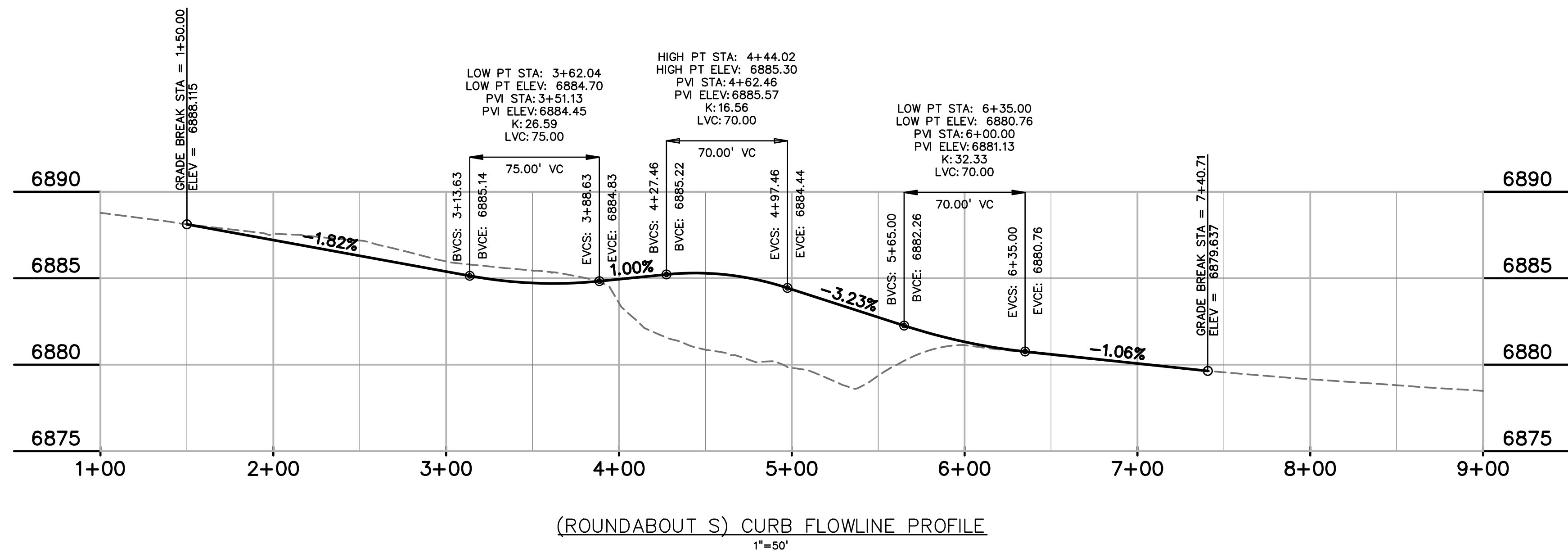
**SOUTH
ROUNDAABOUT
PROFILES**

PROJECT NO. 20988-00CSCV

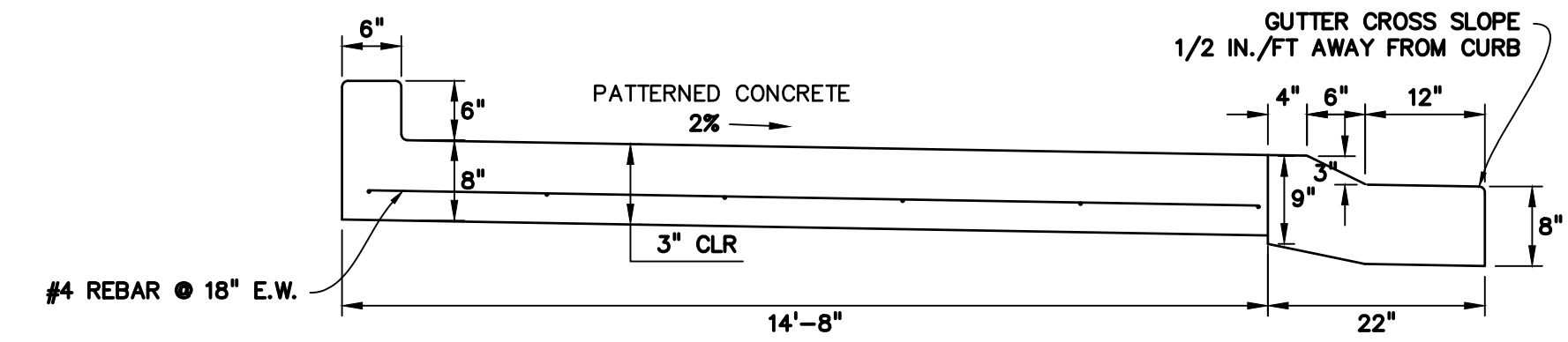
DRAWING NO.

C4.11

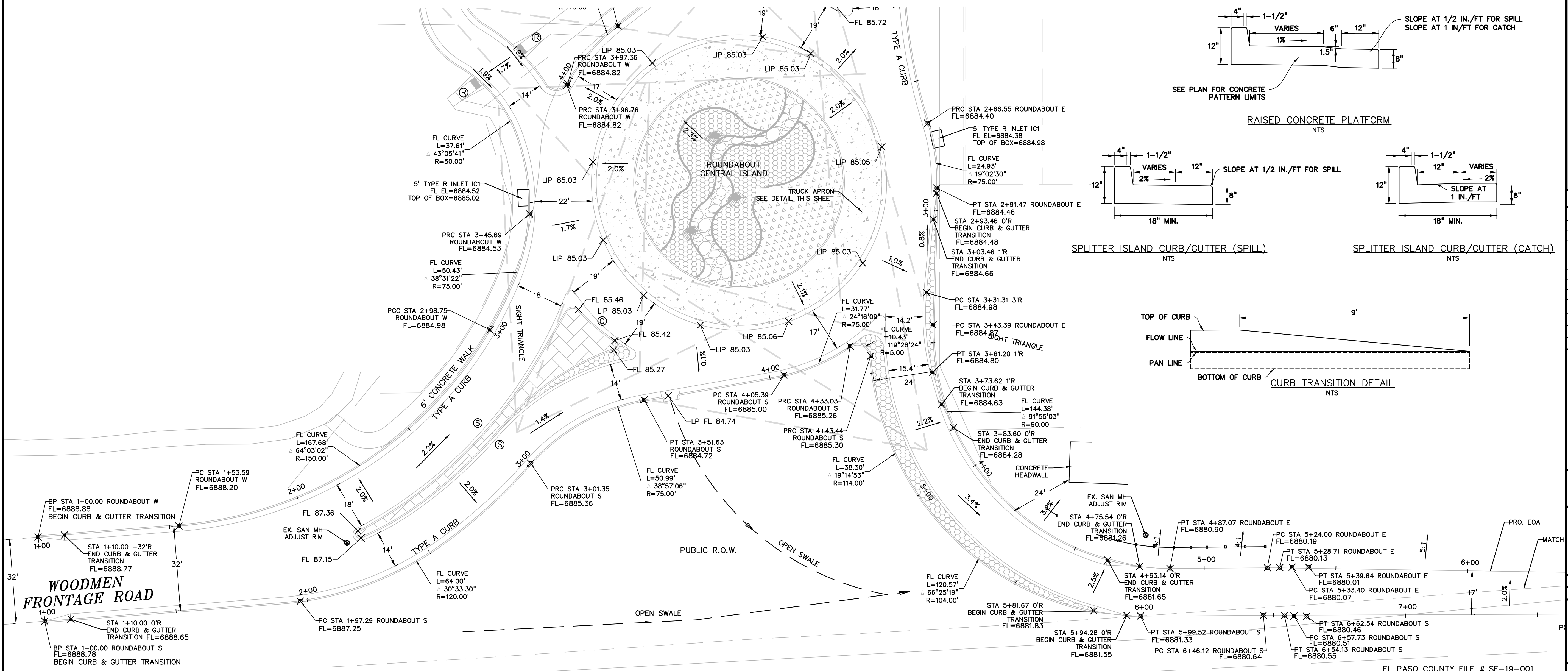
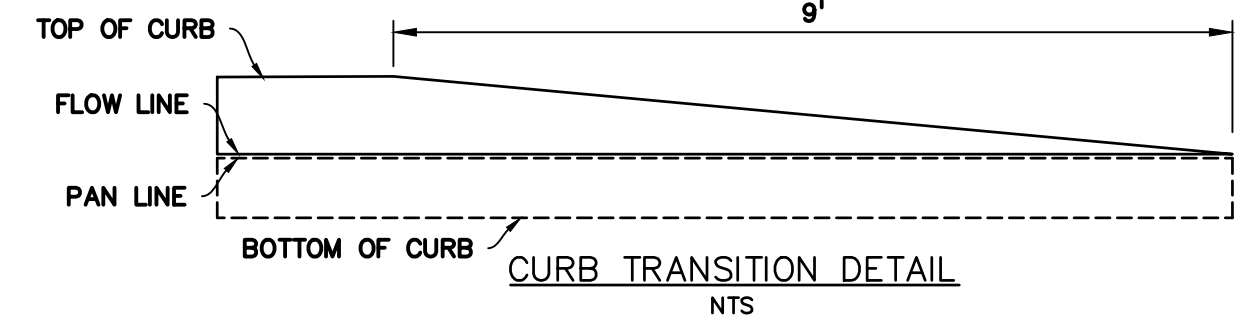
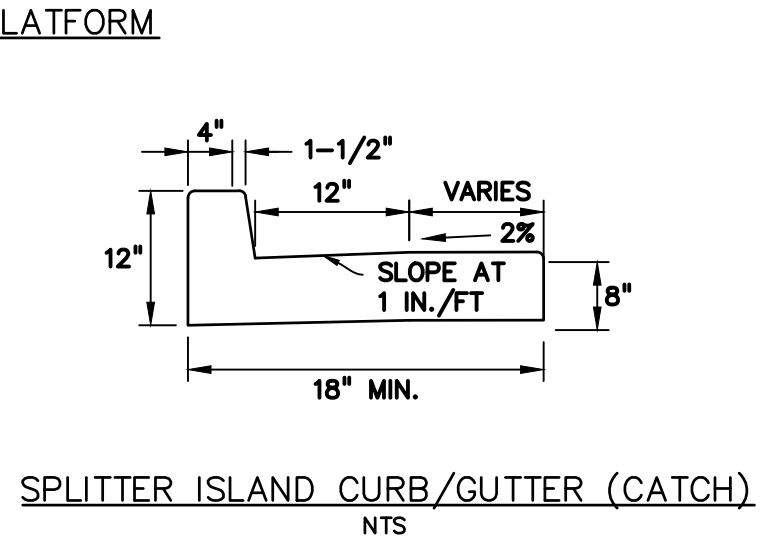
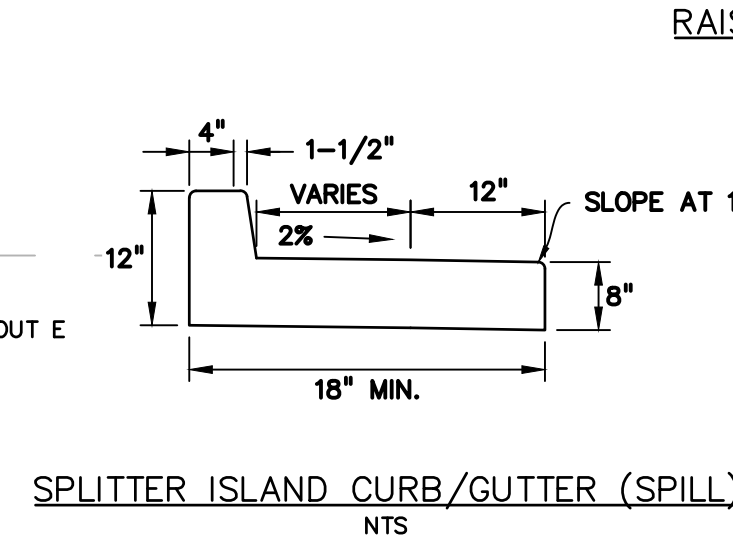
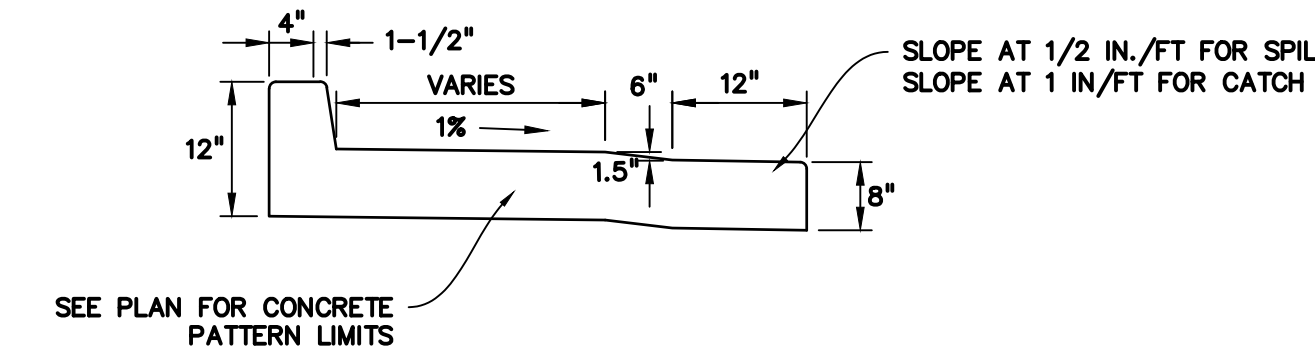
SHEET: 17 OF 46



- LEGEND
- Ⓡ PEDESTRIAN RAMP
 - Ⓢ SPLITTER ISLAND CURB & GUTTER (CATCH)
 - Ⓣ SPLITTER ISLAND CURB & GUTTER (SPILL)
 - RAISED CONCRETE PLATFORM. SEE DETAIL THIS SHEET. FOR PATTERN SEE COUNTY DETAIL SD_2-21. NO PIGMENT
 - PATTERNED CONCRETE MEDIAN. FOR PATTERN SEE COUNTY DETAIL SD_2-21.



SEE PLAN FOR CONCRETE PATTERN LIMITS



PREPARED BY:



CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGW
CHECKED BY:	TDM
FILE NAME:	



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

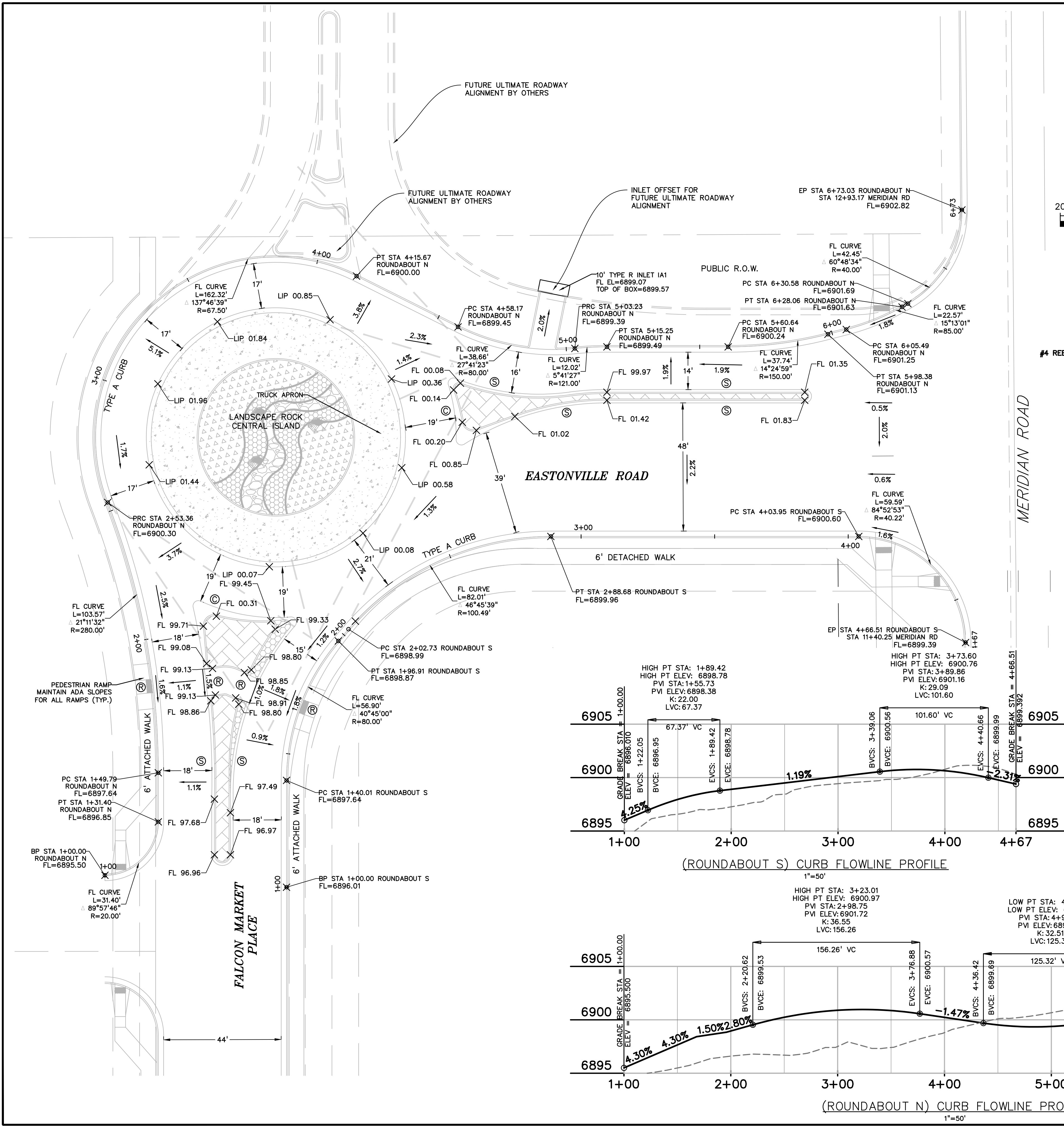
DRAWING SCALE:
HORIZONTAL: VARIES
VERTICAL: 1"=5'

SOUTH ROUNDABOUT PROFILES

PROJECT NO. 20988-00CSCV
DRAWING NO.

C4.12

SHEET: 18 OF 46



PREPARED BY:

DREXEL, BARRELL & CO.
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COLORADO SPGS, COLORADO 80905
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CONSTRUCTION DRAWINGS FOR

FALCON MARKETPLACE

FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGW
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

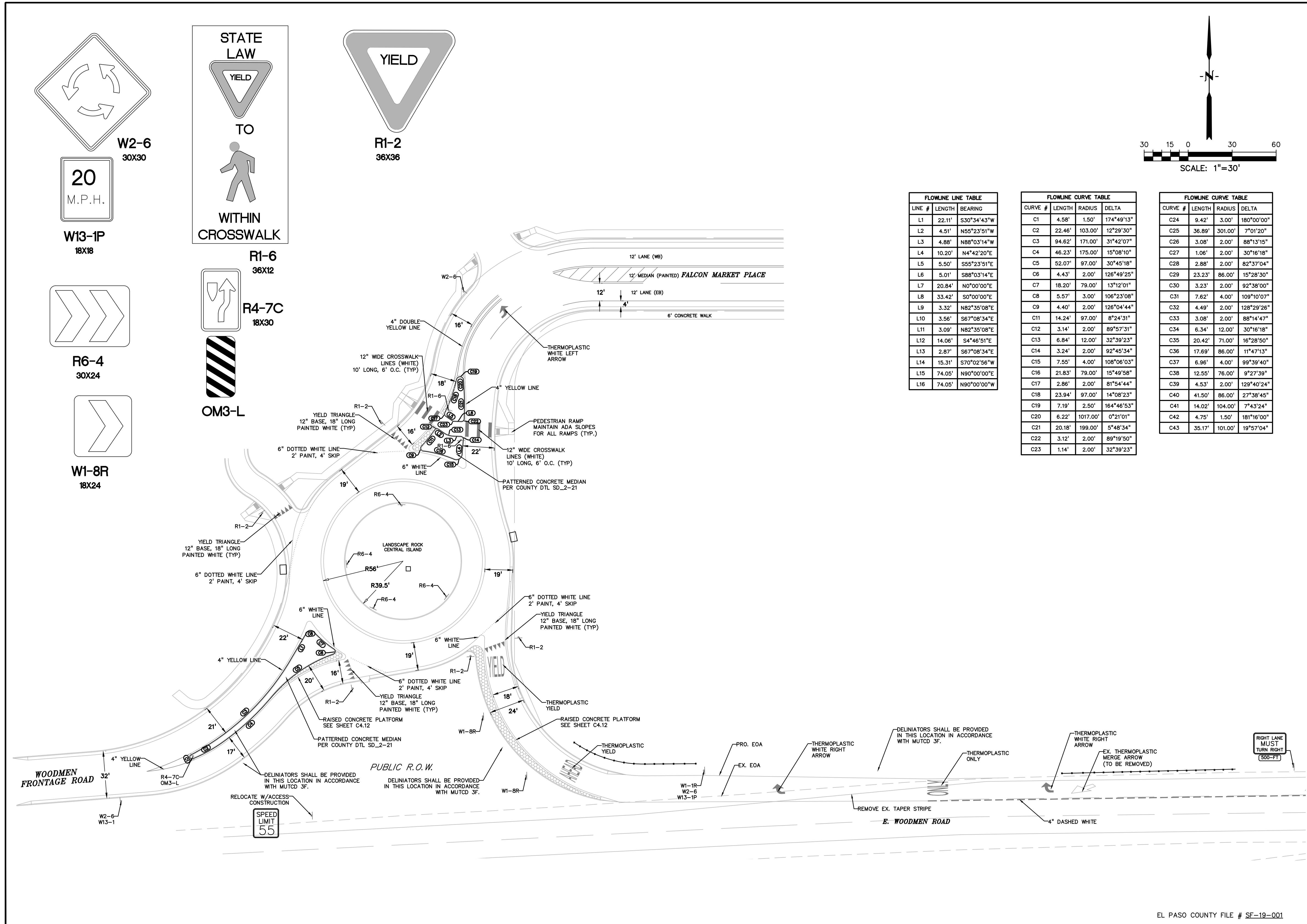
DRAWING SCALE:
HORIZONTAL: VARIES
VERTICAL: 1"=5'

NORTH ROUNDABOUT PROFILES

PROJECT NO. 20988-00CSCV
DRAWING NO.

C4.13

SHEET: 19 OF 46



FLOWLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	22.11'	S30°34'43"W
L2	4.51'	N55°23'51"W
L3	4.88'	N88°03'14"W
L4	10.20'	N4°42'20"E
L5	5.50'	S55°23'51"E
L6	5.01'	S88°03'14"E
L7	20.84'	N0°00'00"E
L8	33.42'	S0°00'00"E
L9	3.32'	N82°35'08"E
L10	3.56'	S67°08'34"E
L11	3.09'	N82°35'08"E
L12	14.06'	S4°46'51"E
L13	2.87'	S67°08'34"E
L14	15.31'	S70°02'56"W
L15	74.05'	N90°00'00"E
L16	74.05'	N90°00'00"W

FLOWLINE CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	4.58'	1.50'	174°49'13"
C2	22.46'	103.00'	12°29'30"
C3	94.62'	171.00'	31°42'07"
C4	46.23'	175.00'	15°08'10"
C5	52.07'	97.00'	30°45'18"
C6	4.43'	2.00'	126°49'25"
C7	18.20'	79.00'	13°12'01"
C8	5.57'	3.00'	106°23'08"
C9	4.40'	2.00'	126°04'44"
C11	14.24'	97.00'	8°24'31"
C12	3.14'	2.00'	89°57'31"
C13	6.84'	12.00'	32°39'23"
C14	3.24'	2.00'	92°45'34"
C15	7.55'	4.00'	108°06'03"
C16	21.83'	79.00'	15°49'58"
C17	2.86'	2.00'	81°54'44"
C18	23.94'	97.00'	14°08'23"
C19	7.19'	2.50'	164°46'53"
C20	6.22'	1017.00'	0°21'01"
C21	20.18'	199.00'	5°48'34"
C22	3.12'	2.00'	89°19'50"
C23	1.14'	2.00'	32°39'23"

FLOWLINE CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C24	9.42'	3.00'	180°00'00"
C25	36.89'	301.00'	7°01'20"
C26	3.08'	2.00'	88°13'15"
C27	1.06'	2.00'	30°16'18"
C28	2.88'	2.00'	82°37'04"
C29	23.23'	86.00'	15°28'30"
C30	3.23'	2.00'	92°38'00"
C31	7.62'	4.00'	109°10'07"
C32	4.49'	2.00'	128°29'28"
C33	3.08'	2.00'	88°14'47"
C34	6.34'	12.00'	30°16'18"
C35	20.42'	71.00'	16°28'50"
C36	17.69'	86.00'	11°47'13"
C37	6.96'	4.00'	99°39'40"
C38	12.55'	76.00'	9°27'39"
C39	4.53'	2.00'	129°40'24"
C40	41.50'	86.00'	27°38'45"
C41	14.02'	104.00'	7°43'24"
C42	4.75'	1.50'	181°16'00"
C43	35.17'	101.00'	19°57'04"

PREPARED BY:

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BOULDER • COLORADO SPRINGS

CLIENT:

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DALLAS, TEXAS 75219
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CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGW
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: N/A

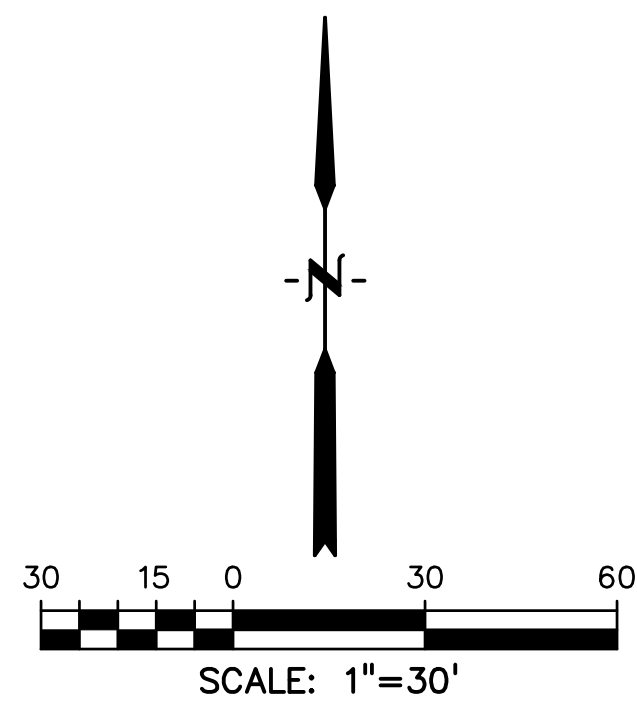
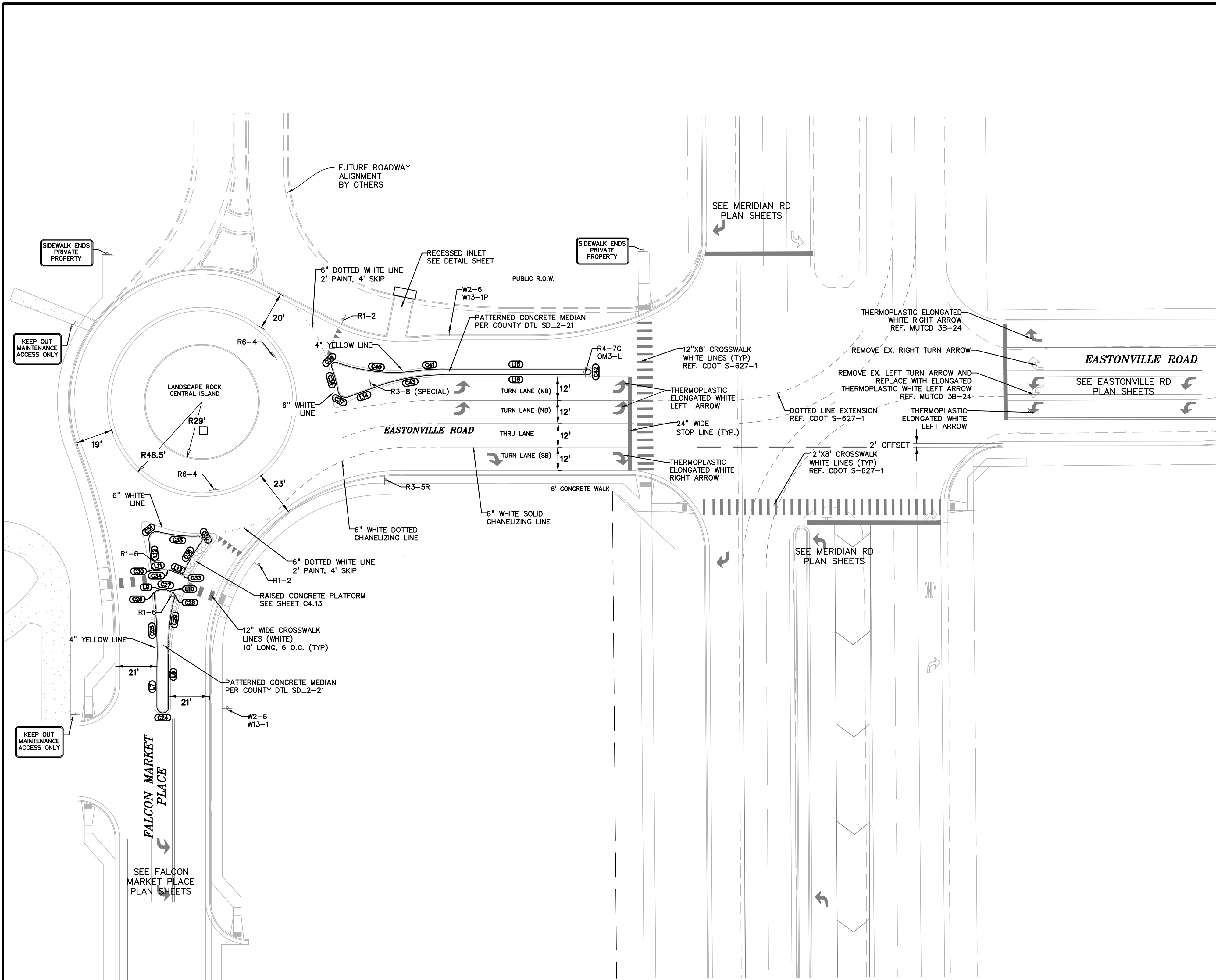
SOUTH
ROUNDBOUT
SIGNAGE

PROJECT NO. 20988-00CSCV
DRAWING NO.

C4.14

SHEET: 20 OF 46

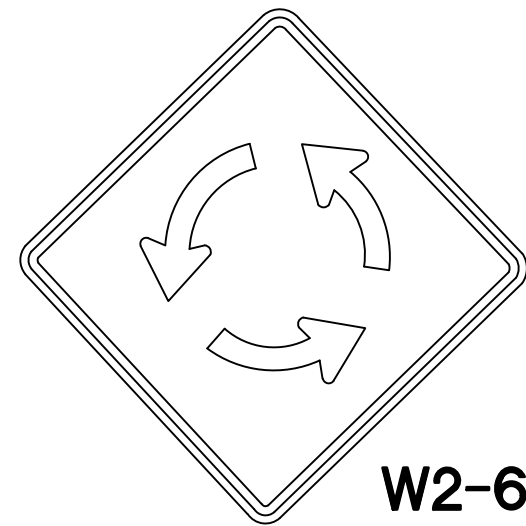
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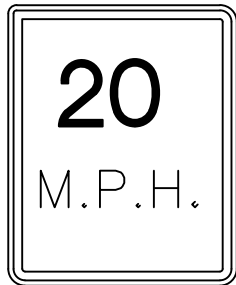
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L7	20.84'	N0°00'00"E
L8	33.42'	S0°00'00"E
L9	3.32'	N82°35'08"E
L10	3.56'	S67°08'34"E
L11	3.09'	N82°35'08"E
L12	14.06'	S4°46'51"E
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C13	6.84'	12.00'	32°39'23"
C14	3.24'	2.00'	92°45'34"
C15	7.55'	4.00'	108°06'03"
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C17	2.86'	2.00'	81°54'44"
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C21	20.18'	199.00'	5°48'34"
C22	3.12'	2.00'	89°19'50"
C23	1.14'	2.00'	32°39'23"

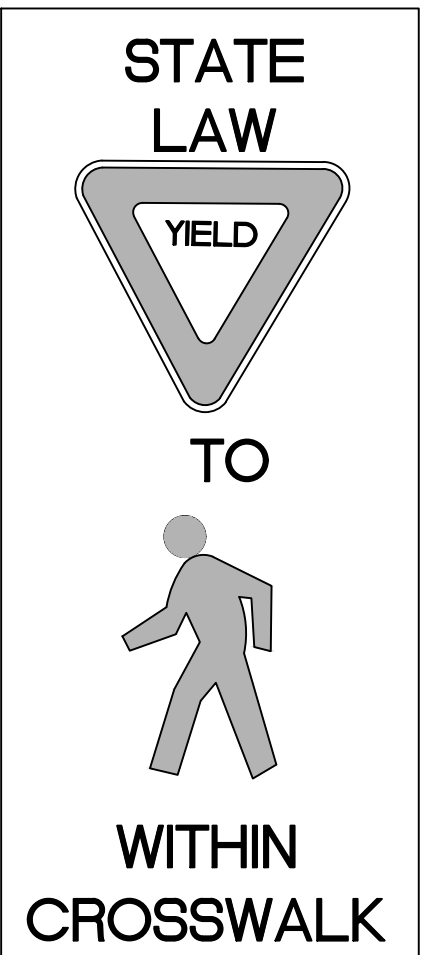
FLOWLINE CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
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C25	36.89'	301.00'	7°01'20"
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C27	1.06'	2.00'	30°16'18"
C28	2.88'	2.00'	82°37'04"
C29	23.23'	86.00'	15°28'30"
C30	3.23'	2.00'	92°38'00"
C31	7.62'	4.00'	109°10'07"
C32	4.49'	2.00'	128°29'26"
C33	3.08'	2.00'	88°14'47"
C34	6.34'	12.00'	30°16'18"
C35	20.42'	71.00'	16°28'50"
C36	17.69'	86.00'	11°47'13"
C37	6.96'	4.00'	99°39'40"
C38	12.55'	76.00'	9°27'39"
C39	4.53'	2.00'	129°40'24"
C40	41.50'	86.00'	27°38'45"
C41	14.02'	104.00'	7°43'24"
C42	4.75'	1.50'	181°16'00"
C43	35.17'	101.00'	19°57'04"



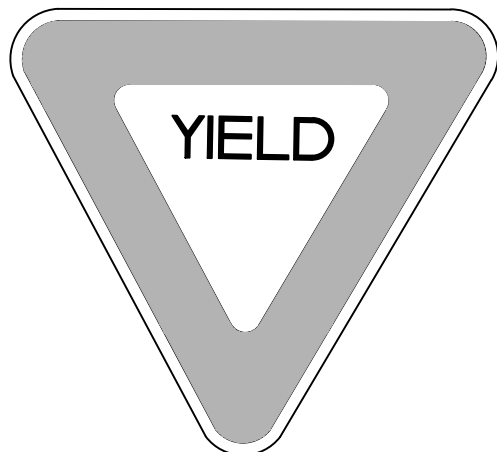
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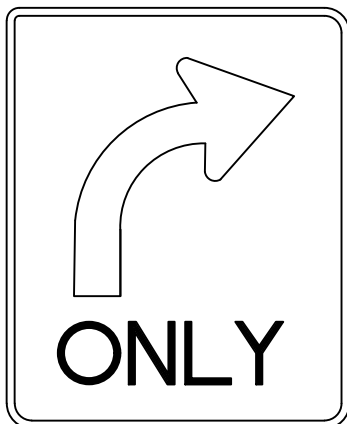
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18X18



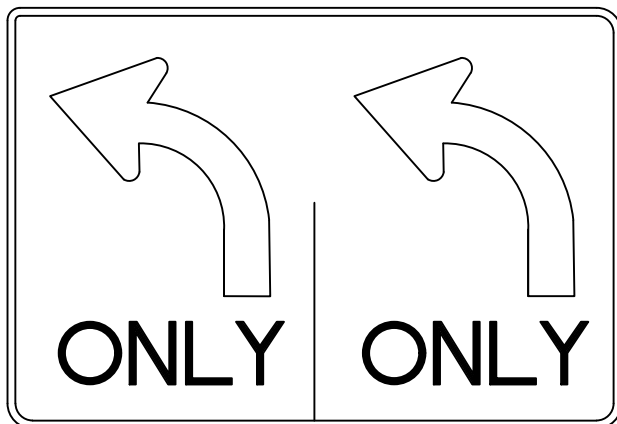
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36X12



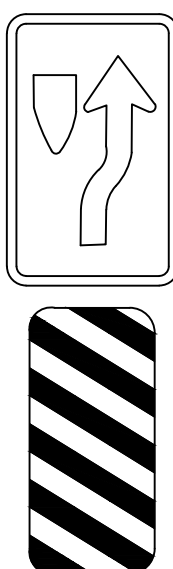
R1-2
36X36



R3-5R
30X36

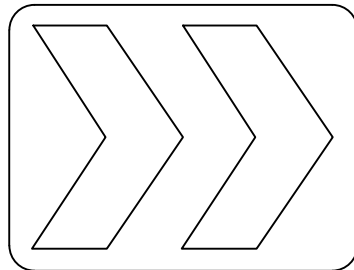


R3-8
30X36



OM3-L

R4-7C
18X30



R6-4
24X30

PREPARED BY:

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BOULDER • COLORADO SPRINGS

CLIENT:

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3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR
**FALCON
MARKETPLACE**
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.
DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: N/A

NORTH
ROUNDBABOUT
SIGNAGE
PROJECT NO. 20988-00CSCV
DRAWING NO.

C4.15
SHEET: 21 OF 46

PREPARED BY:



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FALCON, COLORADO

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CHECKED BY:	TDM
FILE NAME:	



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SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: N/A

MERIDIAN ROAD
TURN LANE
EXTENSION

PROJECT NO. 20988-00CSCV
DRAWING NO.

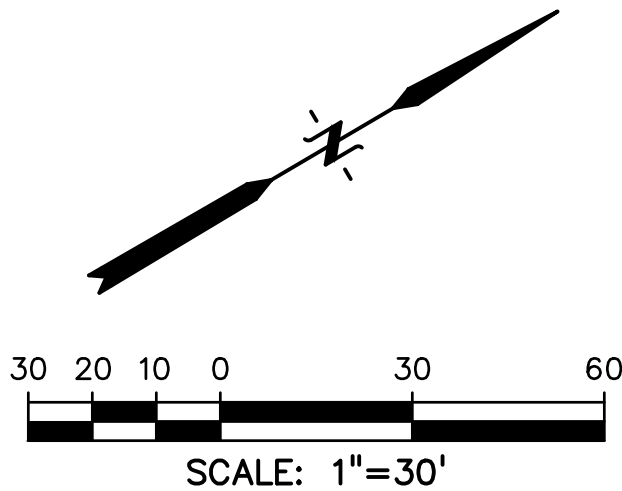
C5.10

SHEET: 26 OF 46

LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	=====
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	----- OE -----
EX. SANITARY SEWER	----- SS -----
EX. PETROLEUM	----- UP -----
EX. GAS	----- G -----
EX. RAW WATER	----- RW -----
EX. WATER	----- W -----
EX. STORM SEWER	----- ST -----

REMOVAL PLAN



TURN LANE EXTENSION PLAN

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
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LG HI FALCON, LLC


3953 MAPLE AVE., #290
DALLAS, TEXAS 75219

(214) 416-9820

CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	



PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: 1"=5'

MERIDIAN ROAD
PLAN &
PROFILE

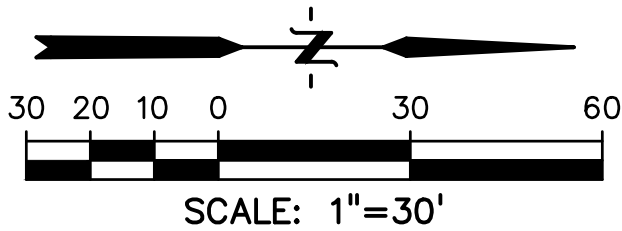
PROJECT NO. 20988-00CSCV
DRAWING NO.

C5.11

SHEET: 27 OF 46

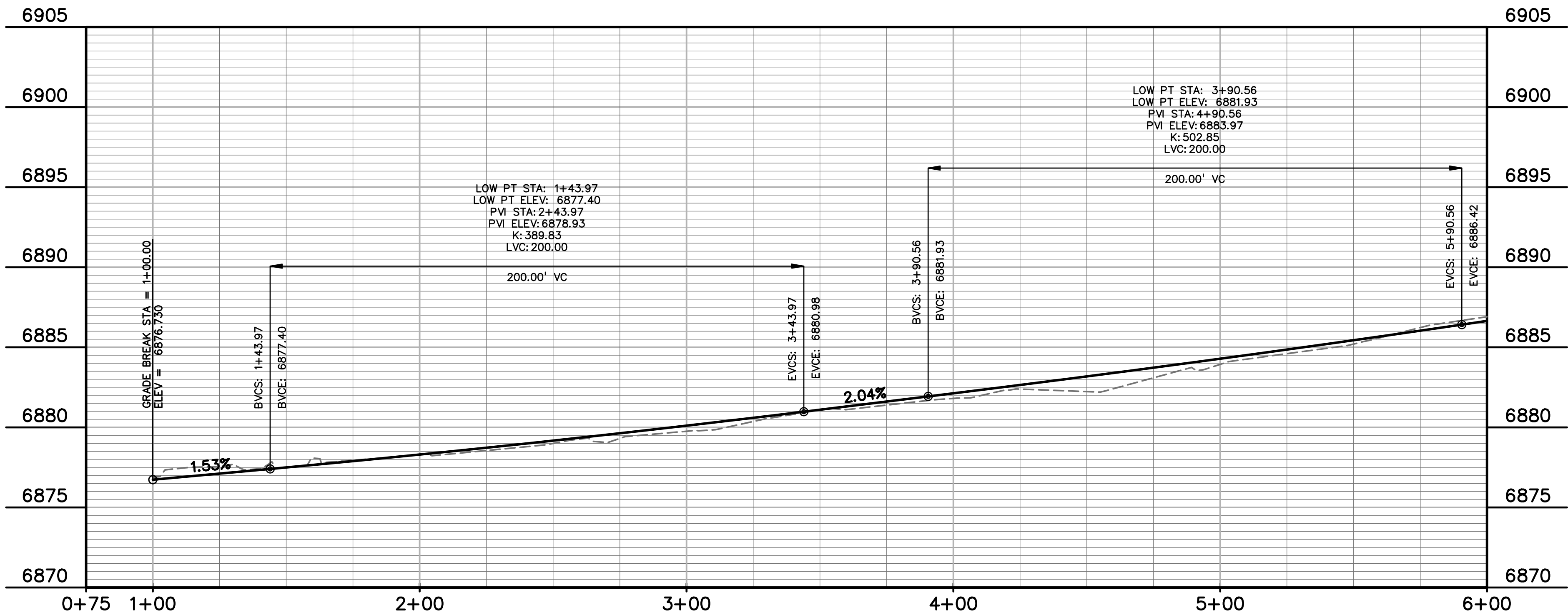
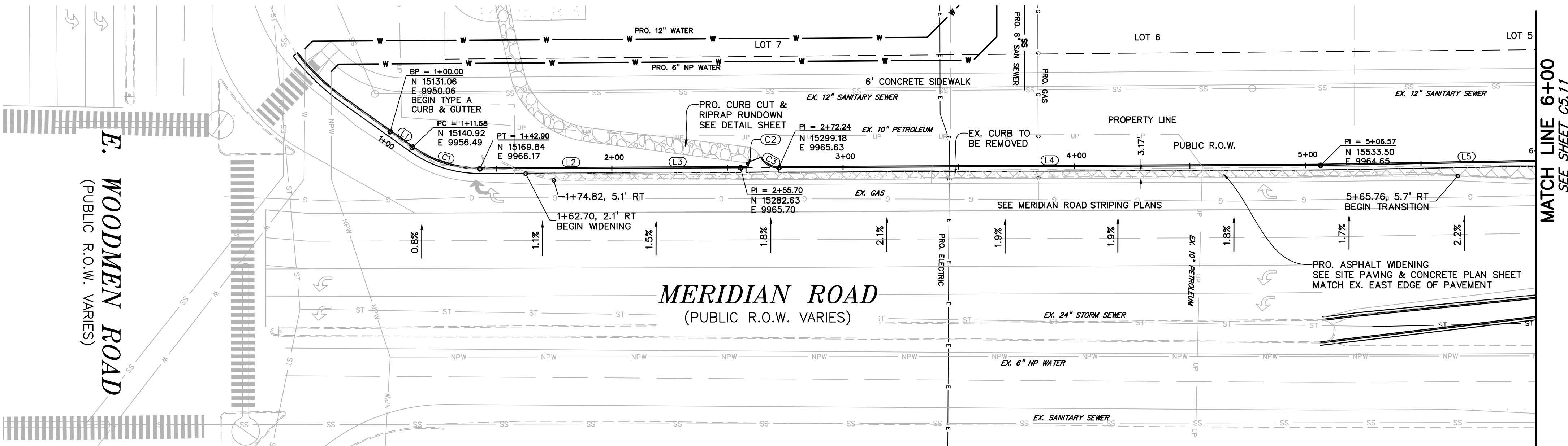
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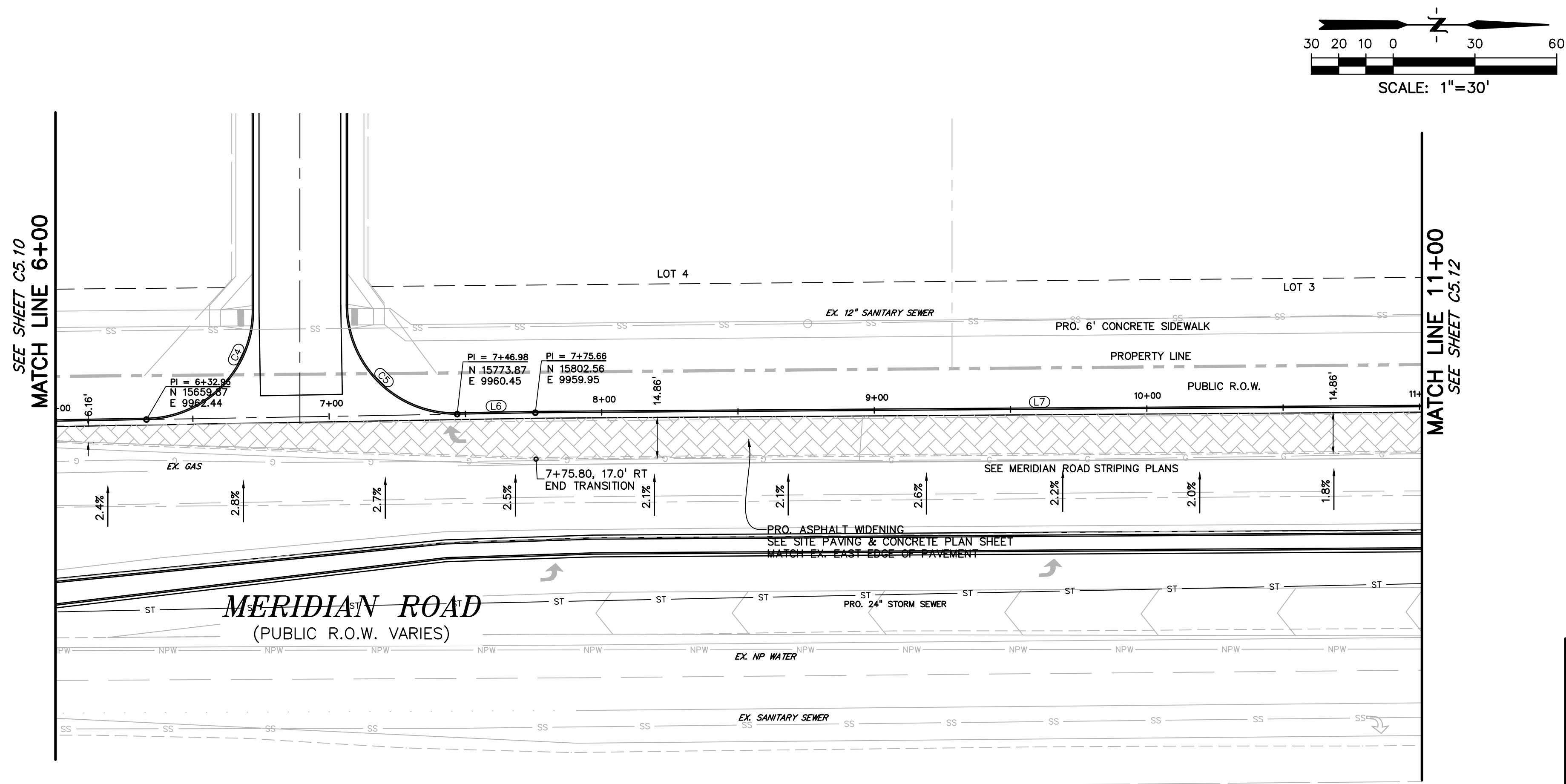
- PROPERTY LINE
LOT LINE
EASEMENT
CURB & GUTTER
SIDEWALK



FLOWLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	11.68'	N35°31'58"E
L2	112.80'	N0°14'20"W
L3	112.80'	N0°14'20"W
L4	234.33'	N0°14'20"W
L5	126.39'	N1°00'06"W
L6	28.69'	N1°00'06"W
L7	369.96'	N0°23'38"W
L8	7.10'	N75°35'01"E
L9	2.52'	N60°21'59"E
L10	216.19'	N0°26'35"W

FLOWLINE CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	31.22'	50.00'	35°46'18"
C2	3.04'	1.09'	159°34'21"
C3	9.53'	7.84'	69°39'46"
C4	62.13'	40.00'	86°59'54"
C5	63.53'	40.00'	91°00'06"
C6	62.56'	40.00'	89°36'22"
C7	22.57'	85.00'	15°13'01"
C8	42.45'	40.00'	60°48'34"



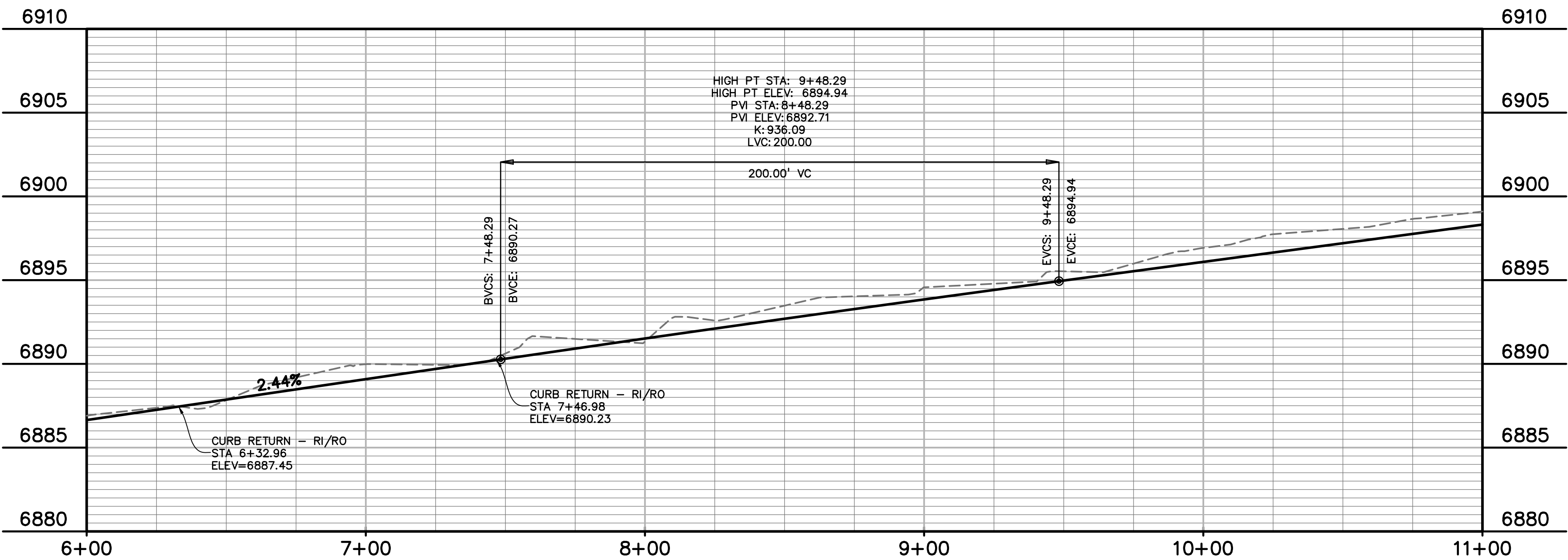


LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	=====

FLOWLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	11.66'	N35°31'58"E
L2	112.80'	N0°14'20"W
L3	112.80'	N0°14'20"W
L4	234.33'	N0°14'20"W
L5	126.39'	N1°00'06"W
L6	28.69'	N1°00'06"W
L7	369.96'	N0°23'38"W
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C6	62.56'	40.00'	89°36'22"
C7	22.57'	85.00'	15°13'01"
C8	42.45'	40.00'	60°48'34"



PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR

**FALCON
MARKETPLACE**
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

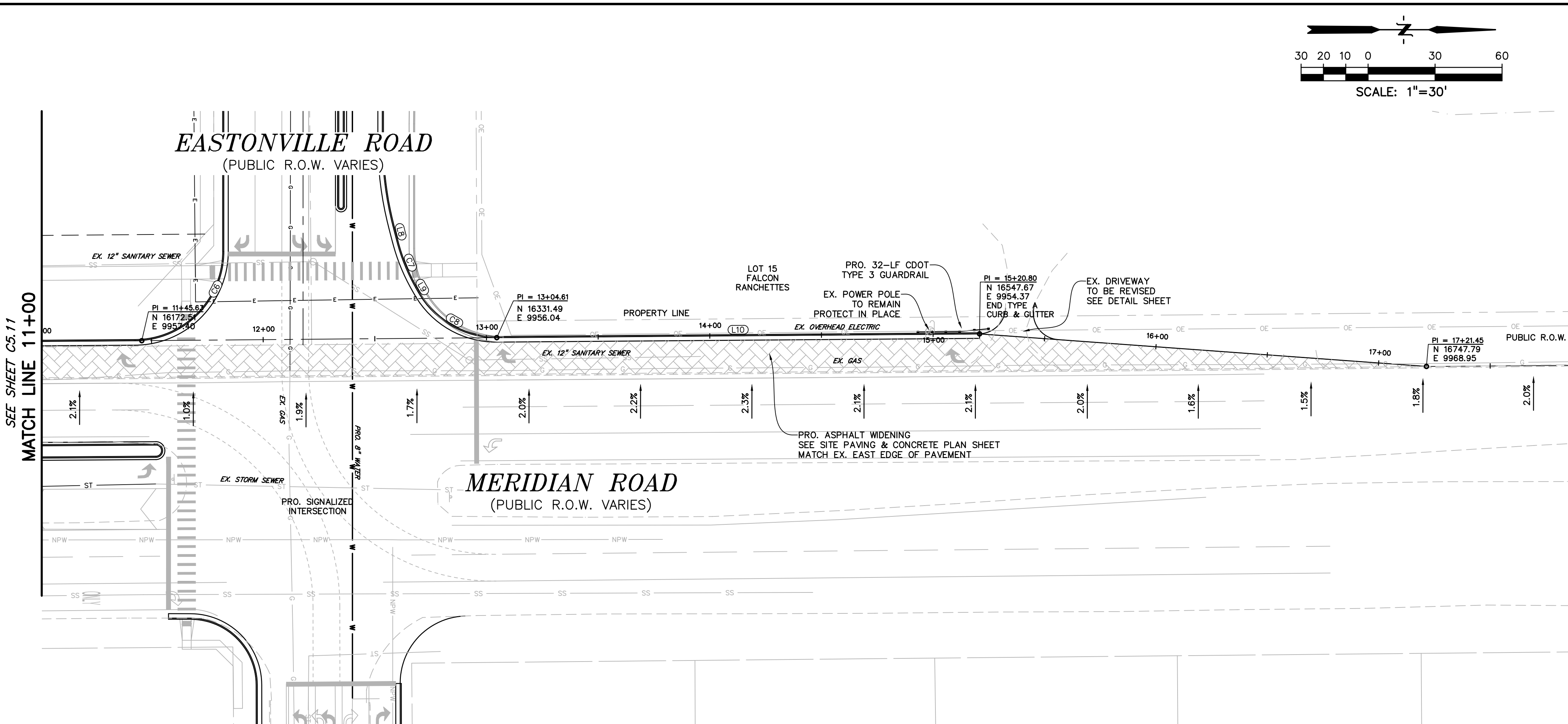
DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: 1"=5'

**MERIDIAN ROAD
PLAN &
PROFILE**

PROJECT NO. 20988-00CSCV
DRAWING NO.

C5.12

SHEET: 28 OF 46



LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	=====

FLOWLINE LINE TABLE			
LINE #	LENGTH	BEARING	
L1	11.68'	N35°31'58"E	
L2	112.80'	N0°14'20"W	
L3	112.80'	N0°14'20"W	
L4	234.33'	N0°14'20"W	
L5	128.39'	N1°00'08"W	
L6	28.69'	N1°00'08"W	
L7	369.98'	N0°23'38"W	
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PREPARED BY:

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COLORADO SPGS, COLORADO 80905
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(214) 416-9820

CONSTRUCTION DRAWINGS FOR

**FALCON
MARKETPLACE**
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

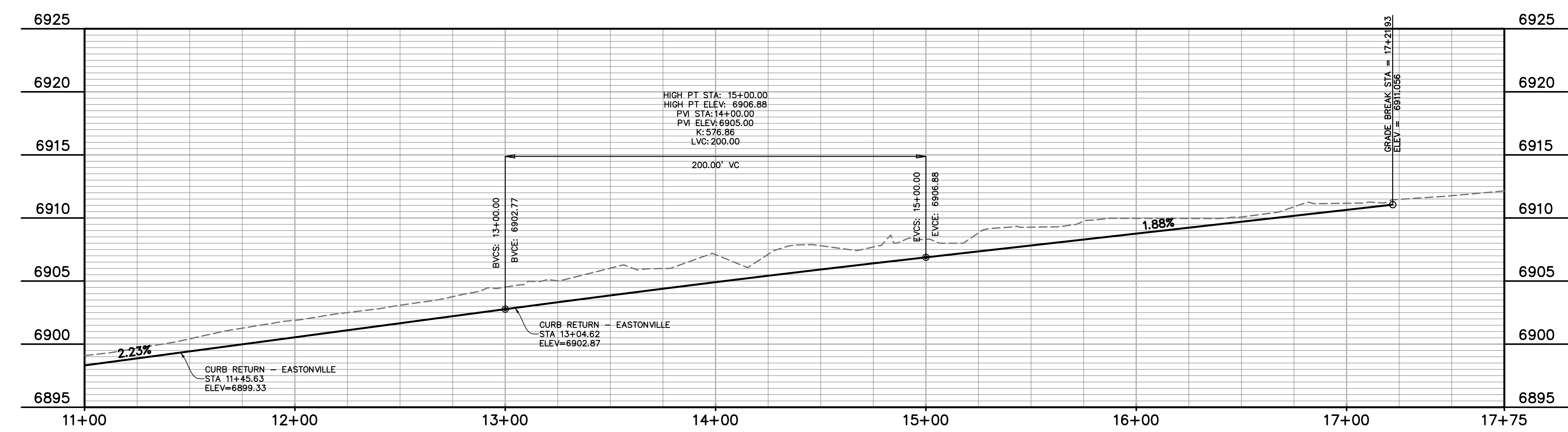
DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: 1"=5'

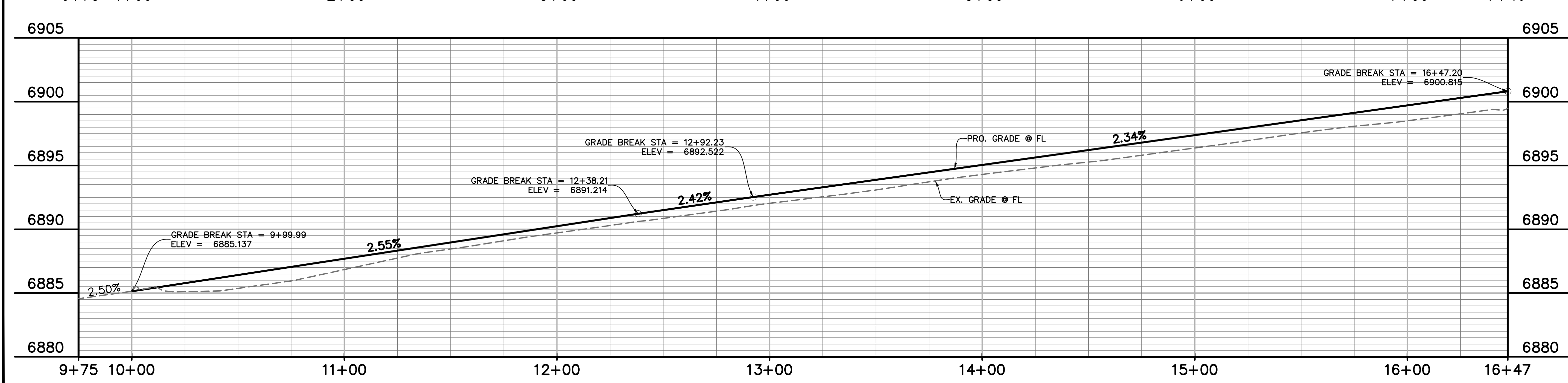
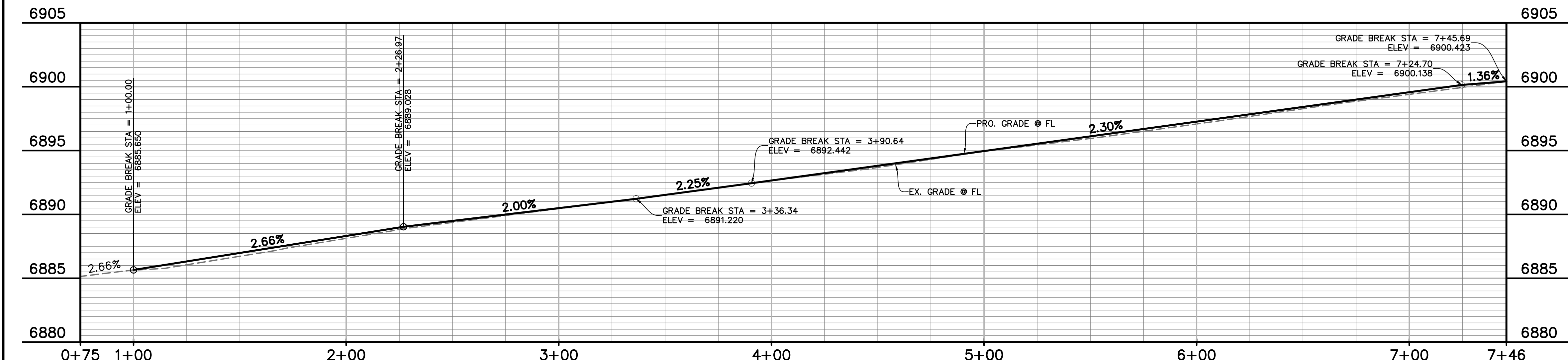
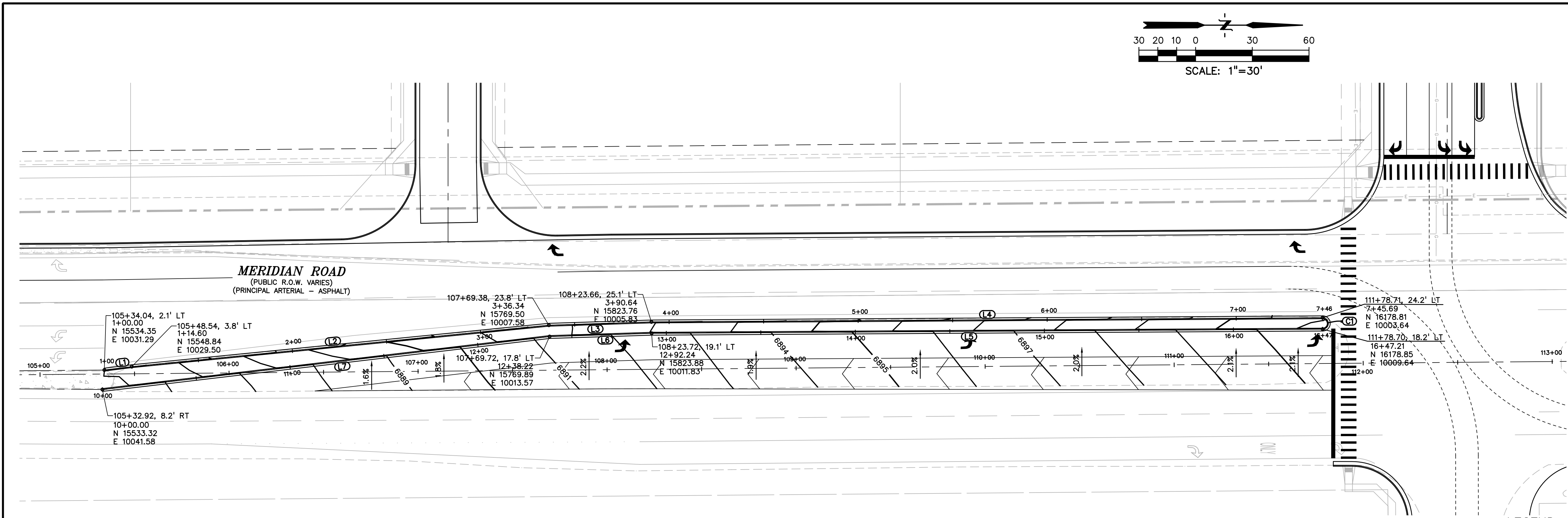
**MERIDIAN ROAD
PLAN &
PROFILE**

PROJECT NO. 20988-00CSCV
DRAWING NO.

C5.13

SHEET: 29 OF 46





LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	-----
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	-----
EX. SANITARY SEWER	-----
EX. PETROLEUM	-----
EX. GAS	-----
EX. RAW WATER	-----
EX. WATER	-----
EX. STORM SEWER	-----

LINE TABLE

LINE #	LENGTH	DIRECTION
L6	54.02'	N1°50'57"W
L5	354.97'	N0°21'12"W
L1	14.60'	N7°03'21"W
L2	221.75'	N5°40'23"W
L3	54.30'	N1°50'57"W
L4	355.05'	N0°21'12"W
L7	238.22'	N6°45'05"W

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	9.42'	3.00'	180°00'00"	S89°38'48"W	6.00'

PREPARED BY:


DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
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BOULDER • COLORADO SPRINGS


CLIENT:

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DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR

**FALCON
MARKETPLACE**
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	


PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.
DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: 1"=5'

**MERIDIAN ROAD
MEDIAN PLAN
& PROFILE**

PROJECT NO. 20988-00CSCV
DRAWING NO.

C5.14

SHEET: 30 OF 46

PREPARED BY:



DREXEL, BARRELL & CO.
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COLORADO SPGS, COLORADO 80905
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CONSTRUCTION DRAWINGS FOR

FALCON

MARKETPLACE

FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	



PREPARED UNDER MY DIRECT
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OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: N/A

MERIDIAN ROAD
STRIPING
PLAN

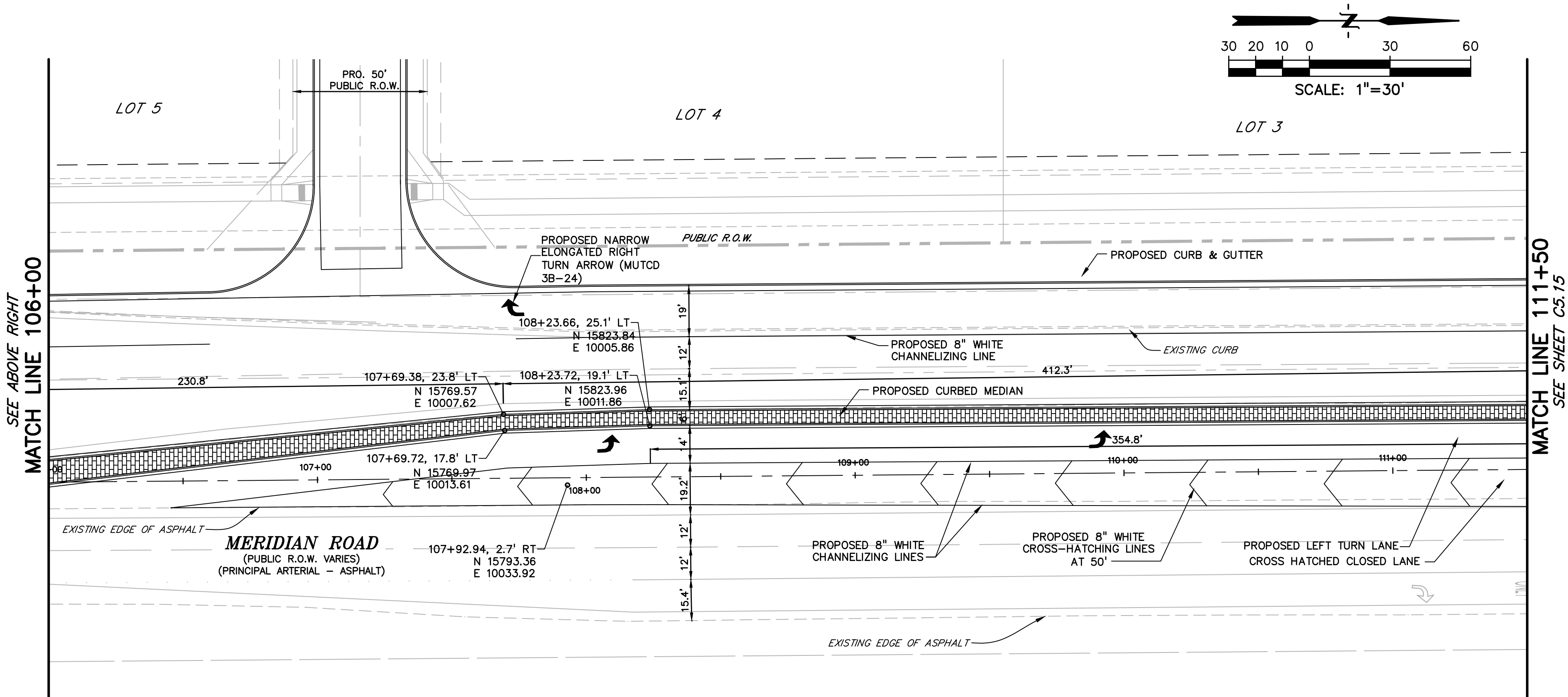
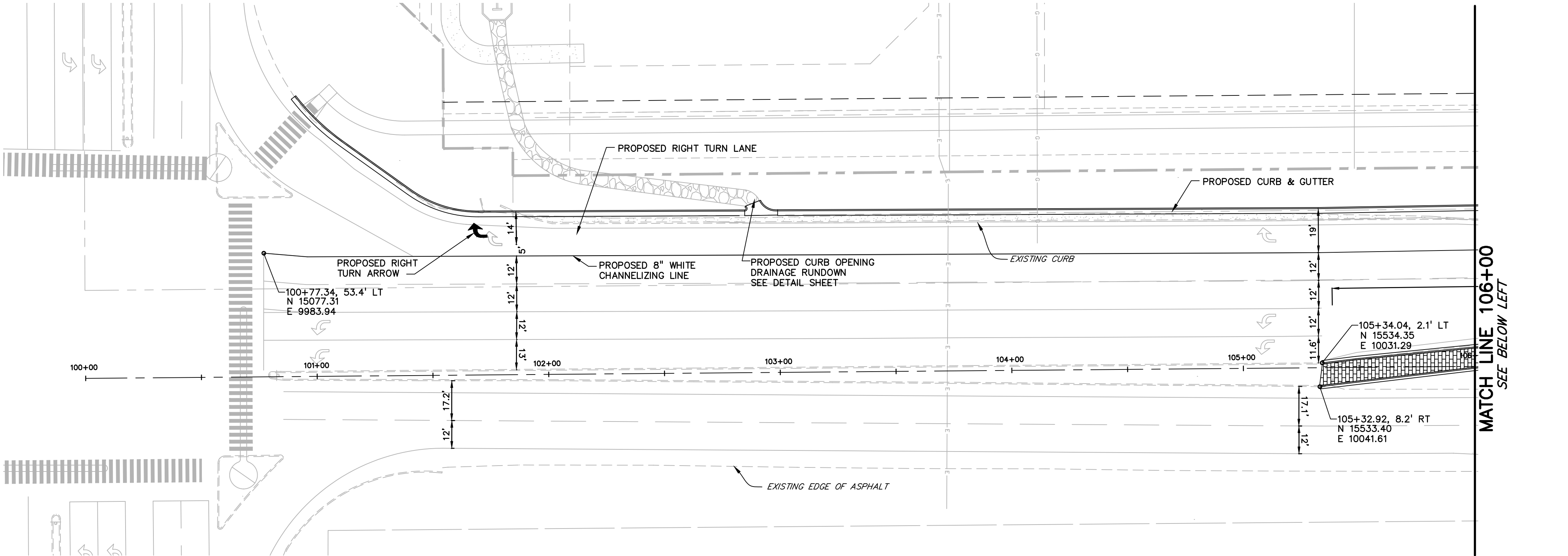
PROJECT NO. 20988-00CSCV
DRAWING NO.

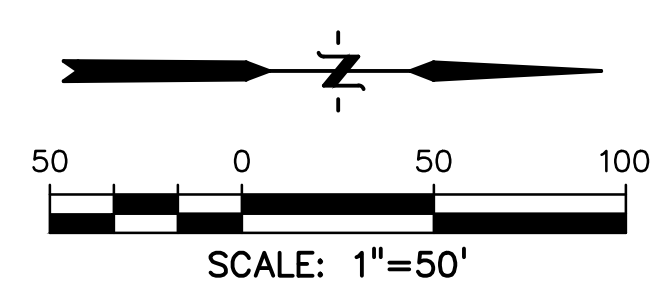
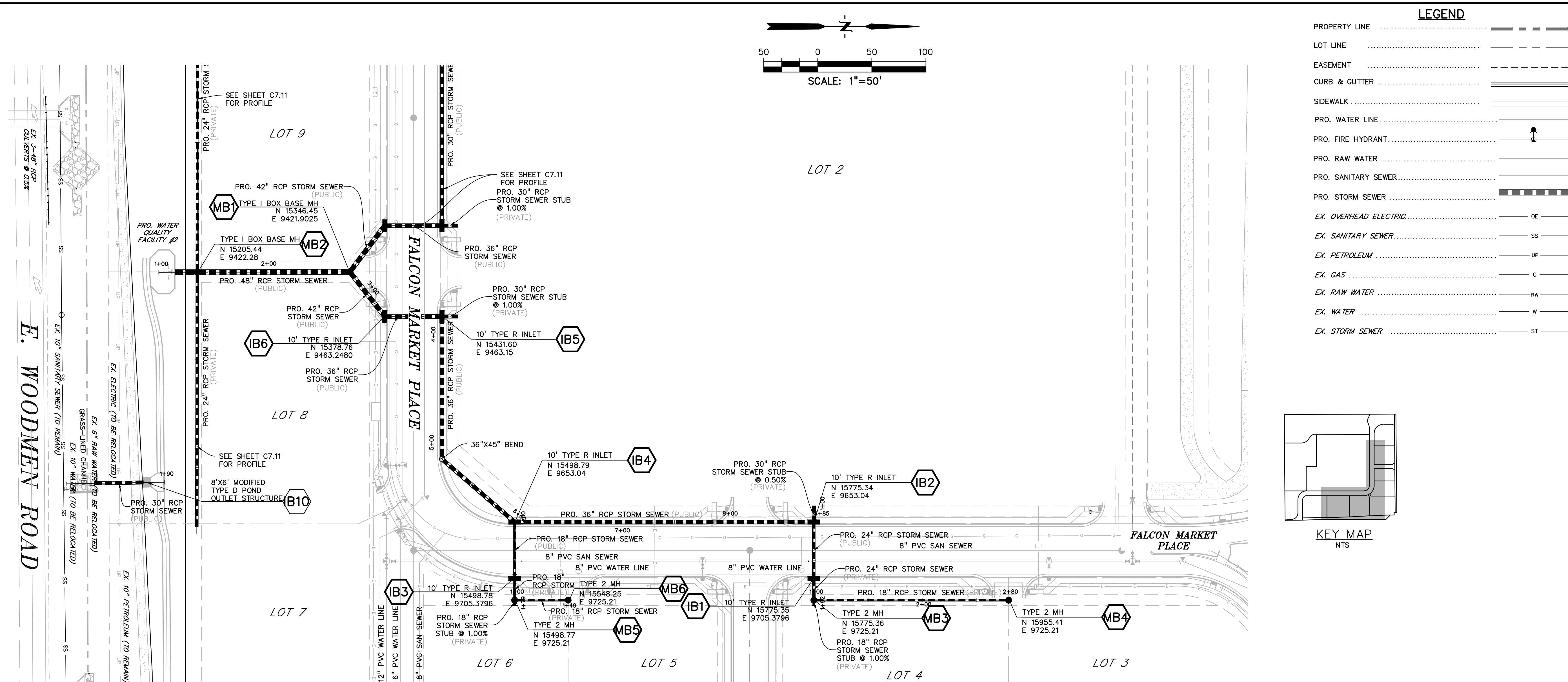
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SHEET: 31 OF 46

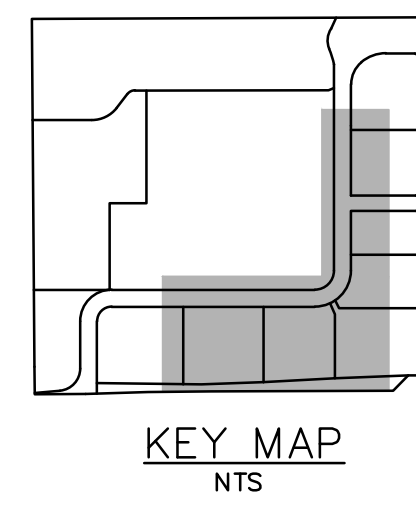
LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	-----
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	----- OE -----
EX. SANITARY SEWER	----- SS -----
EX. PETROLEUM	----- UP -----
EX. GAS	----- G -----
EX. RAW WATER	----- RW -----
EX. WATER	----- W -----
EX. STORM SEWER	----- ST -----





LEGEND	
PROPERTY LINE	---
LOT LINE	---
EASEMENT	---
CURB & GUTTER	==
SIDEWALK	---
PRO. WATER LINE	---
PRO. FIRE HYDRANT	---
PRO. RAW WATER	---
PRO. SANITARY SEWER	---
PRO. STORM SEWER	---
EX. OVERHEAD ELECTRIC	OE
EX. SANITARY SEWER	SS
EX. PETROLEUM	UP
EX. GAS	G
EX. RAW WATER	RW
EX. WATER	W
EX. STORM SEWER	ST



PREPARED BY:

DREXEL, BARRELL & CO.
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
REVISED	12-16-19

DESIGNED BY: TDM
DRAWN BY: KGV
CHECKED BY: TDM
FILE NAME:

PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

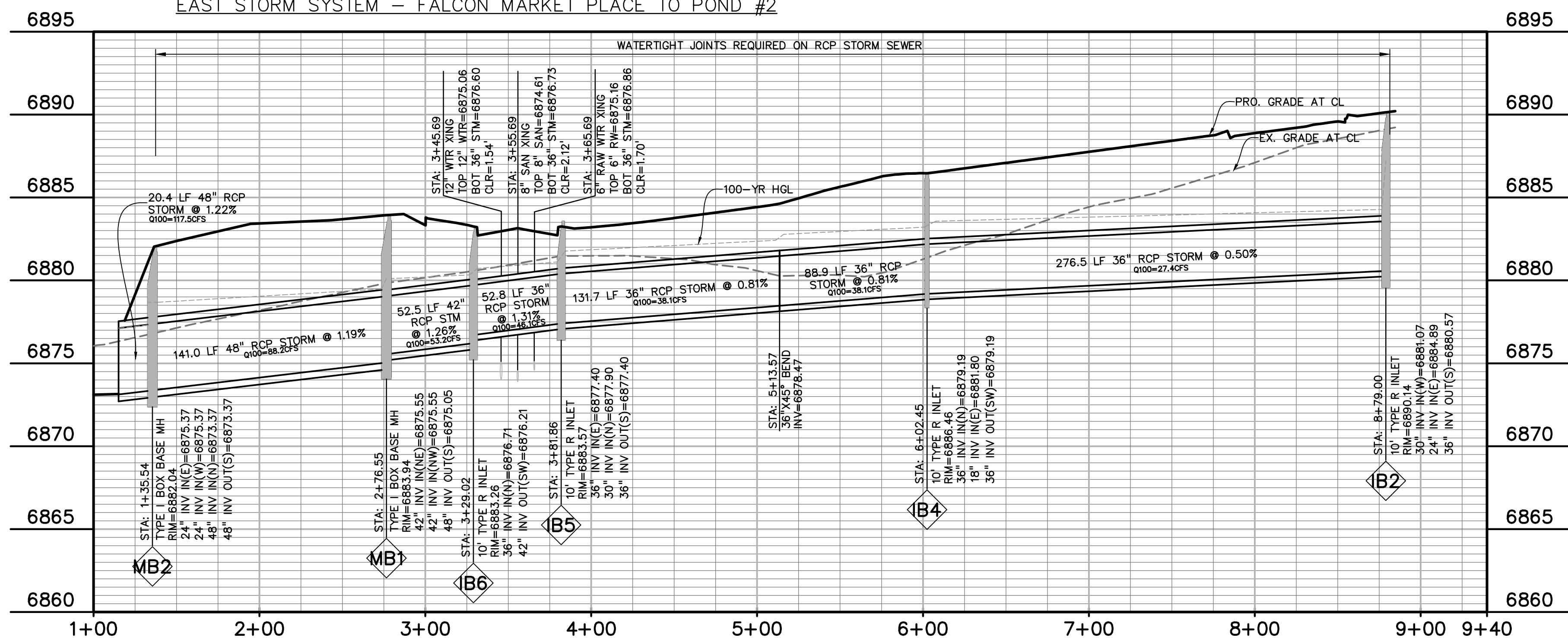
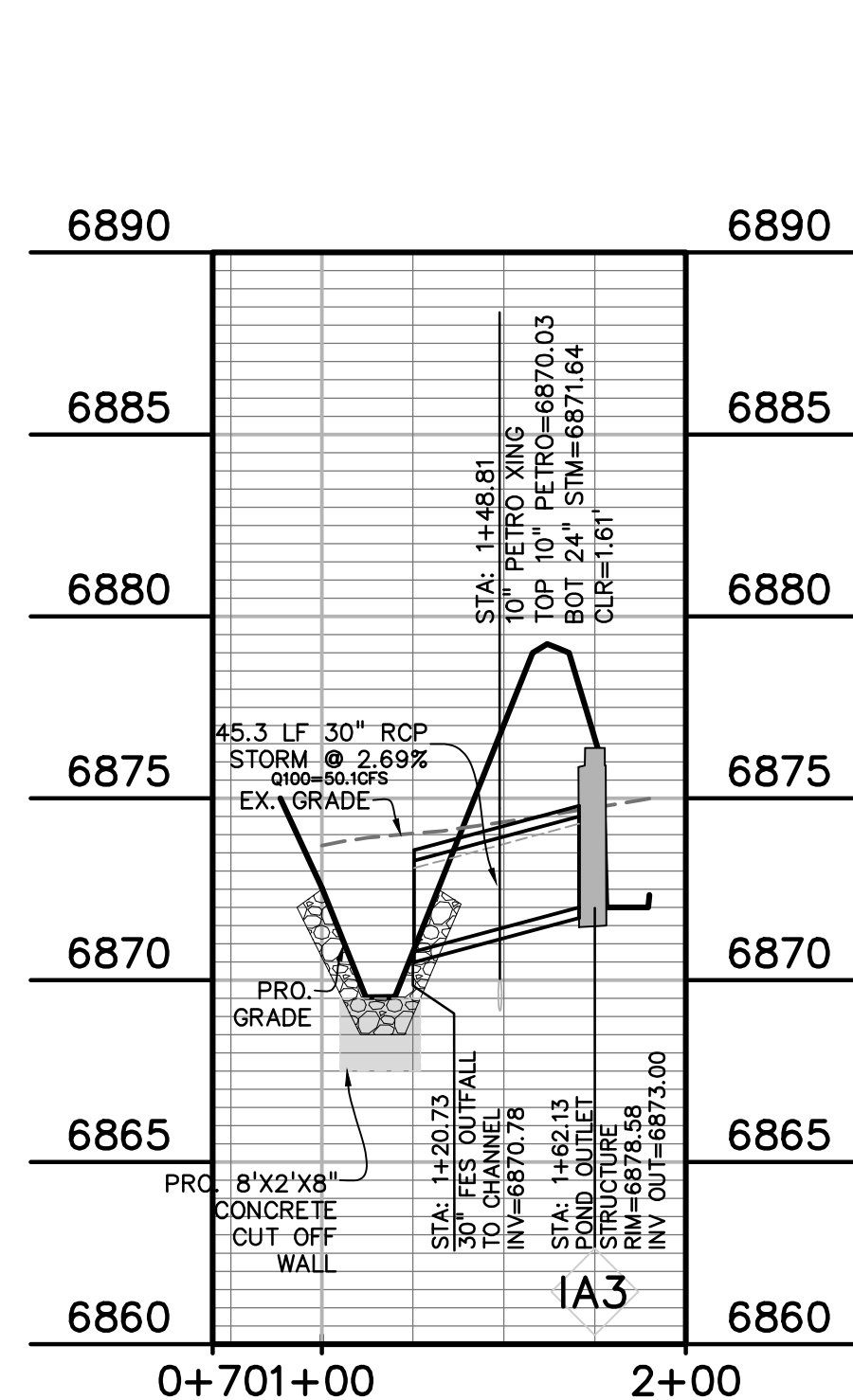
DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

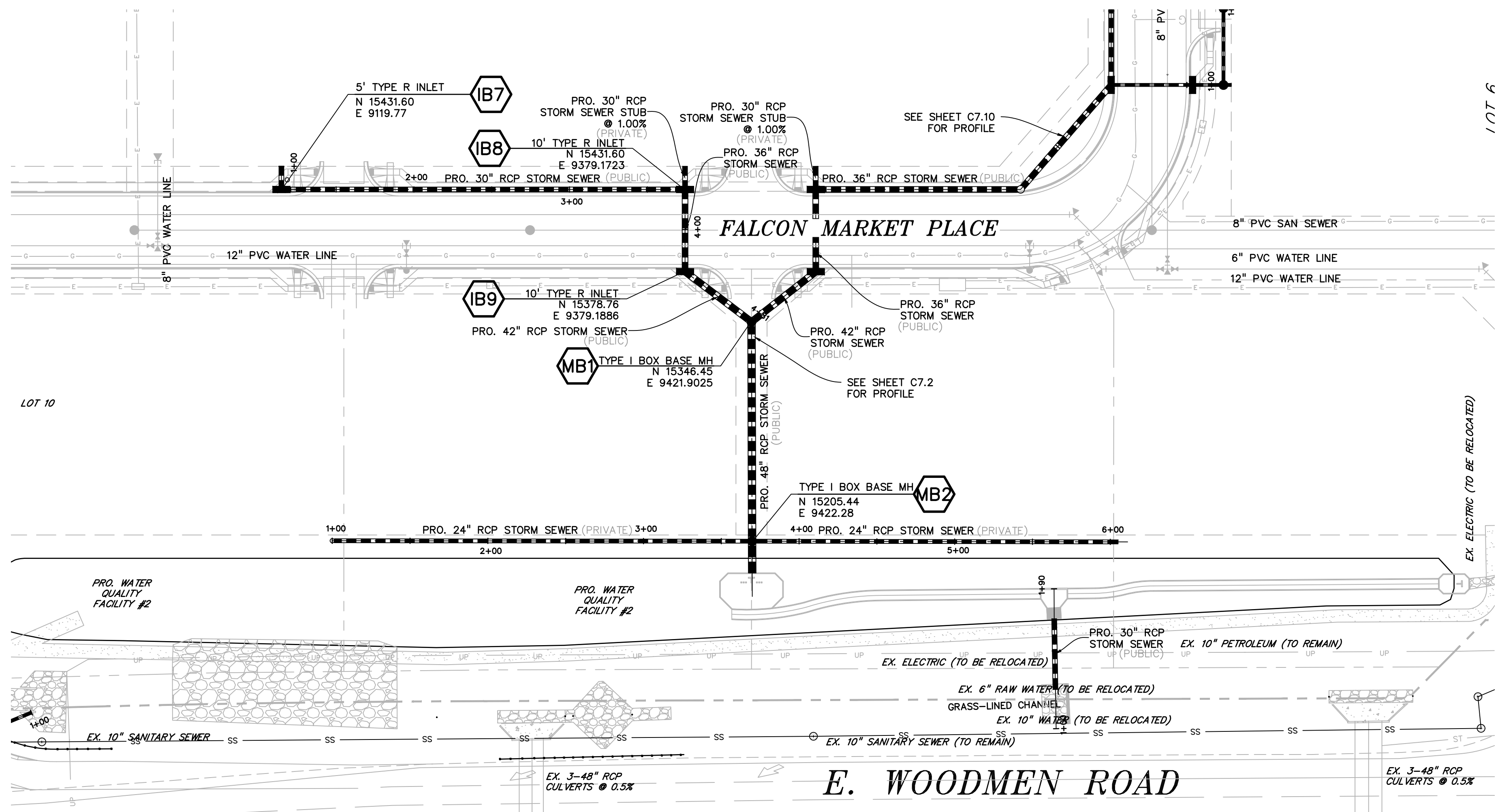
**STORM SEWER
PLAN &
PROFILE**

PROJECT NO. 20988-00CSCV
DRAWING NO.

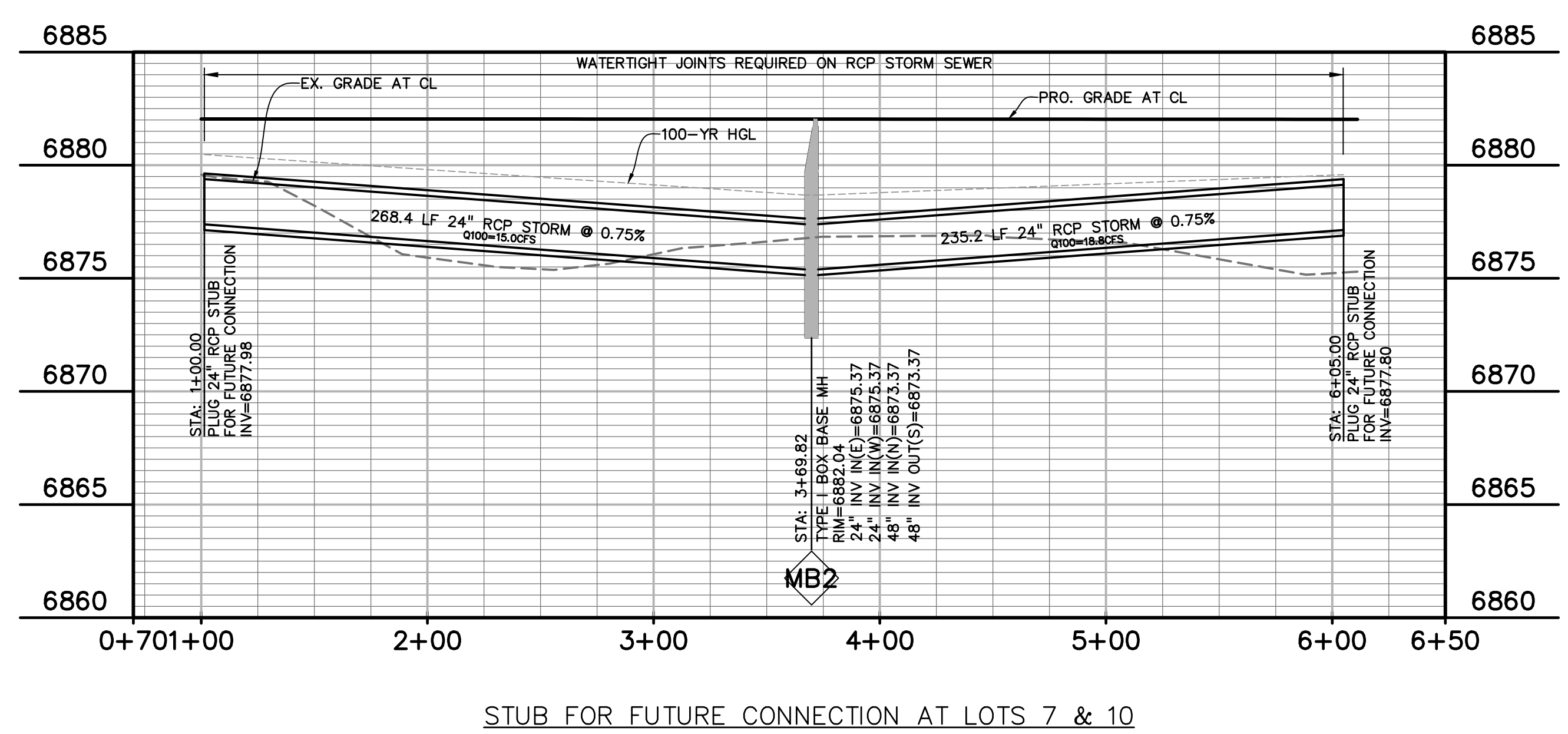
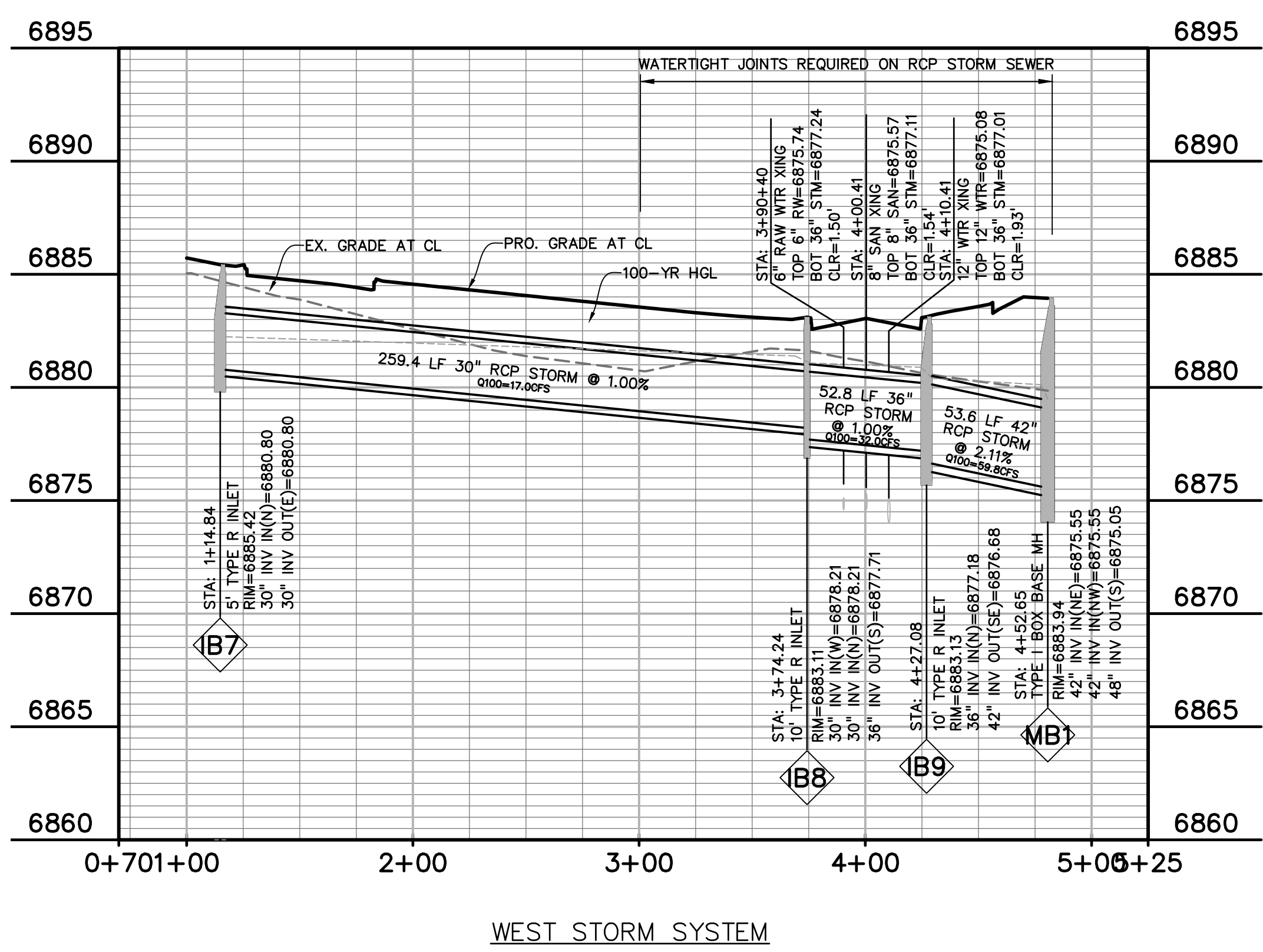
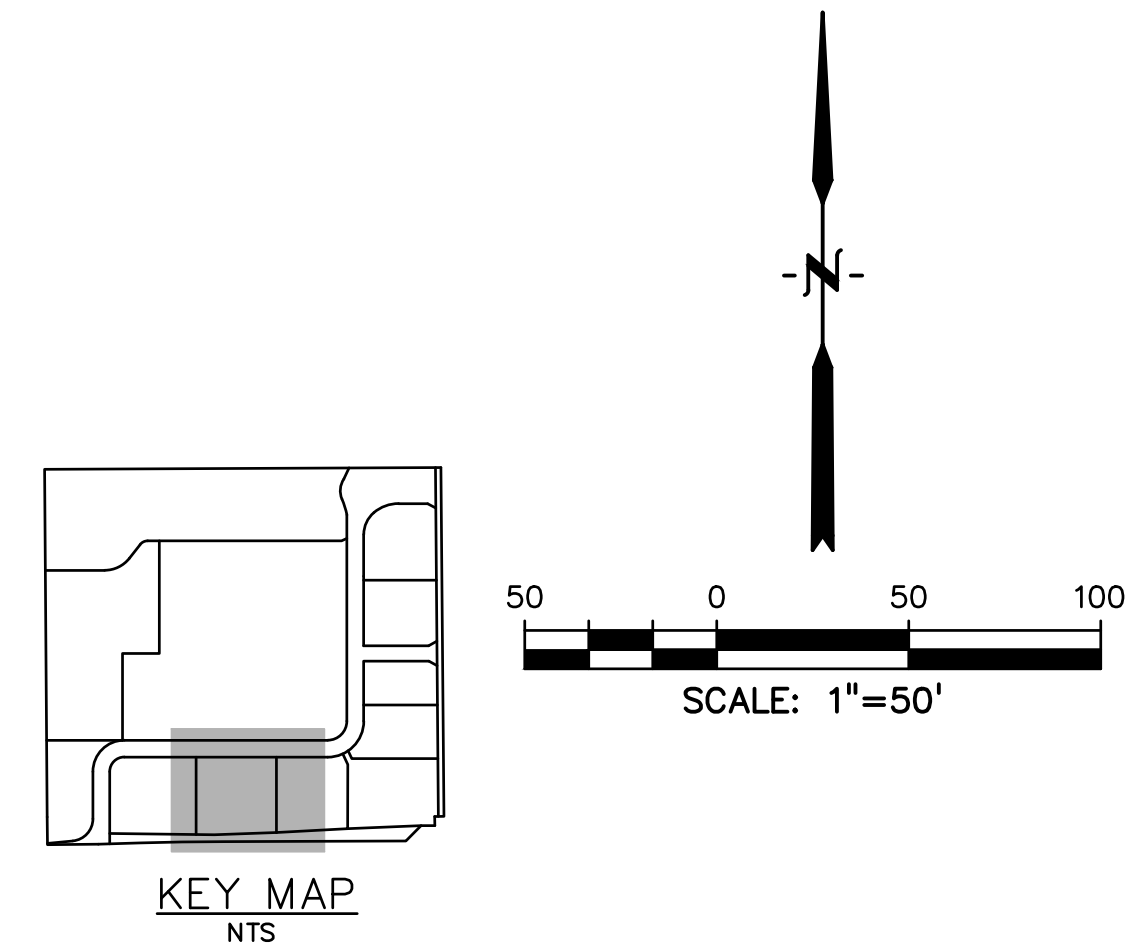
C7.10

SHEET: 38 OF 46





LEGEND	
PROPERTY LINE	---
LOT LINE	---
EASEMENT	---
CURB & GUTTER	==
SIDEWALK	---
PRO. WATER LINE	---
PRO. FIRE HYDRANT	+
PRO. RAW WATER	---
PRO. SANITARY SEWER	---
PRO. STORM SEWER	---
EX. OVERHEAD ELECTRIC	OE
EX. SANITARY SEWER	SS
EX. PETROLEUM	UP
EX. GAS	G
EX. RAW WATER	RW
EX. WATER	W
EX. STORM SEWER	ST



PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
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(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:

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DALLAS, TEXAS 75219
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

STORM SEWER PLAN & PROFILE

PROJECT NO. 20988-00CSCV
DRAWING NO.

C7.11

SHEET: 39 OF 46

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	



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DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

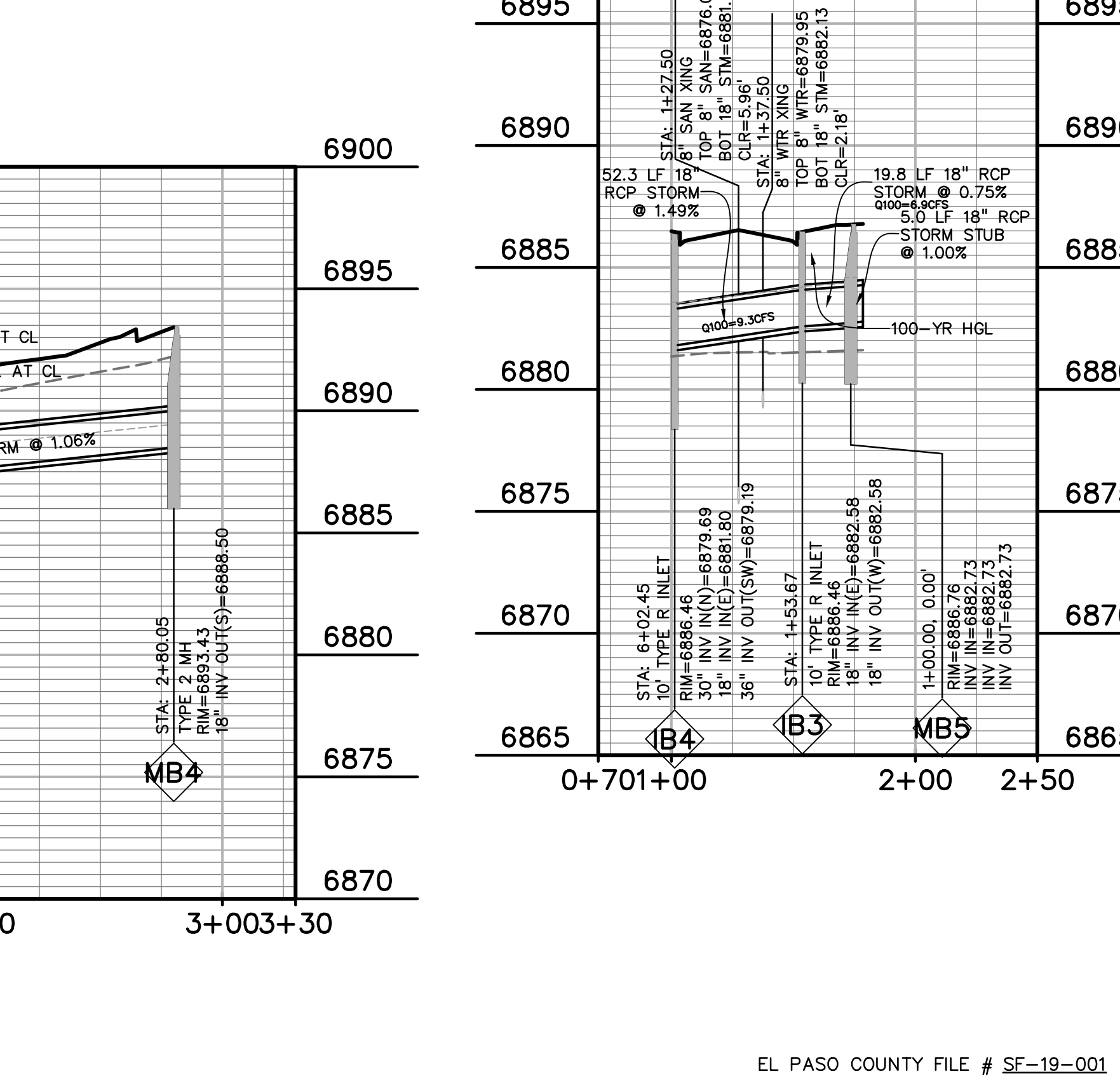
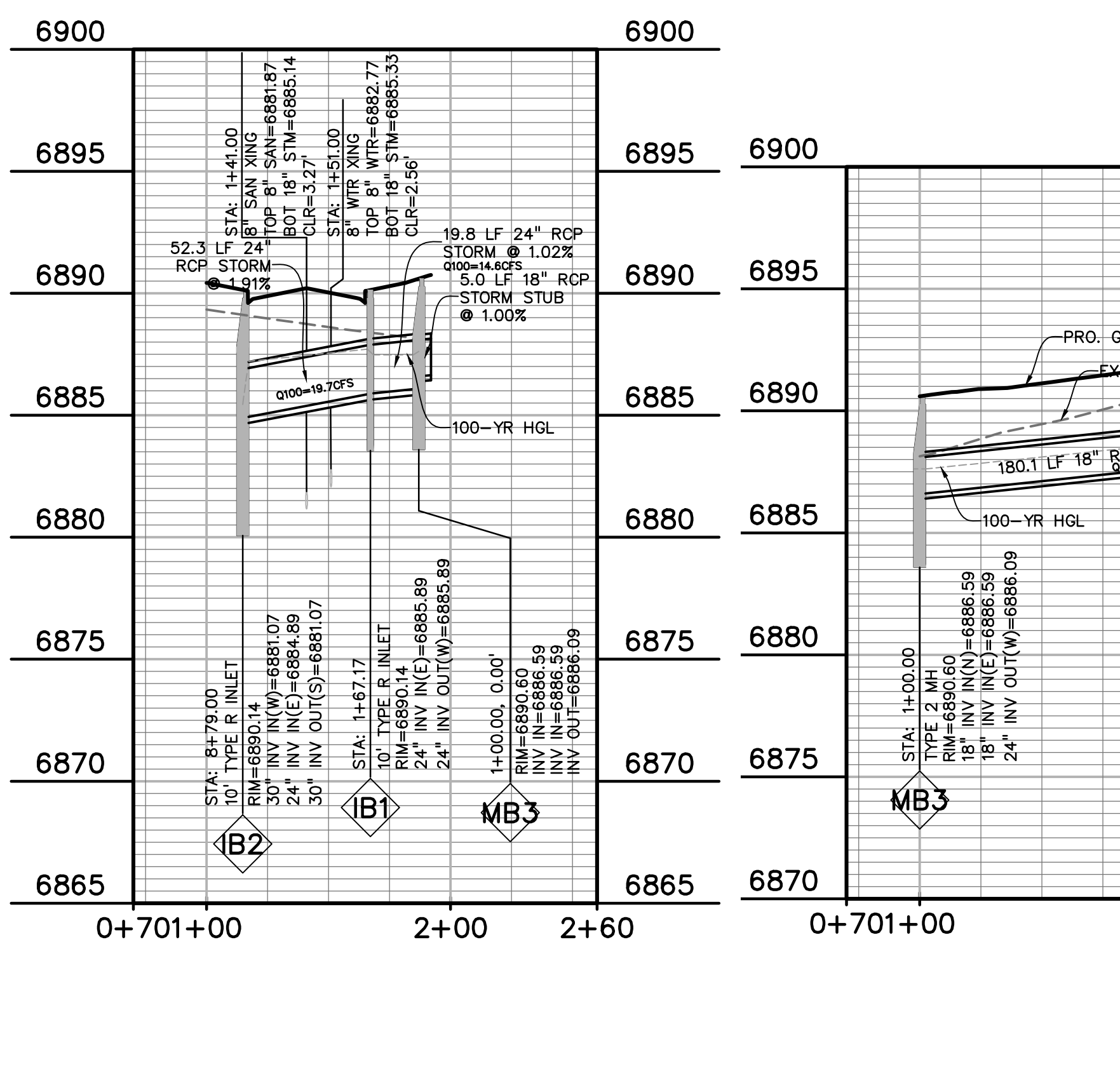
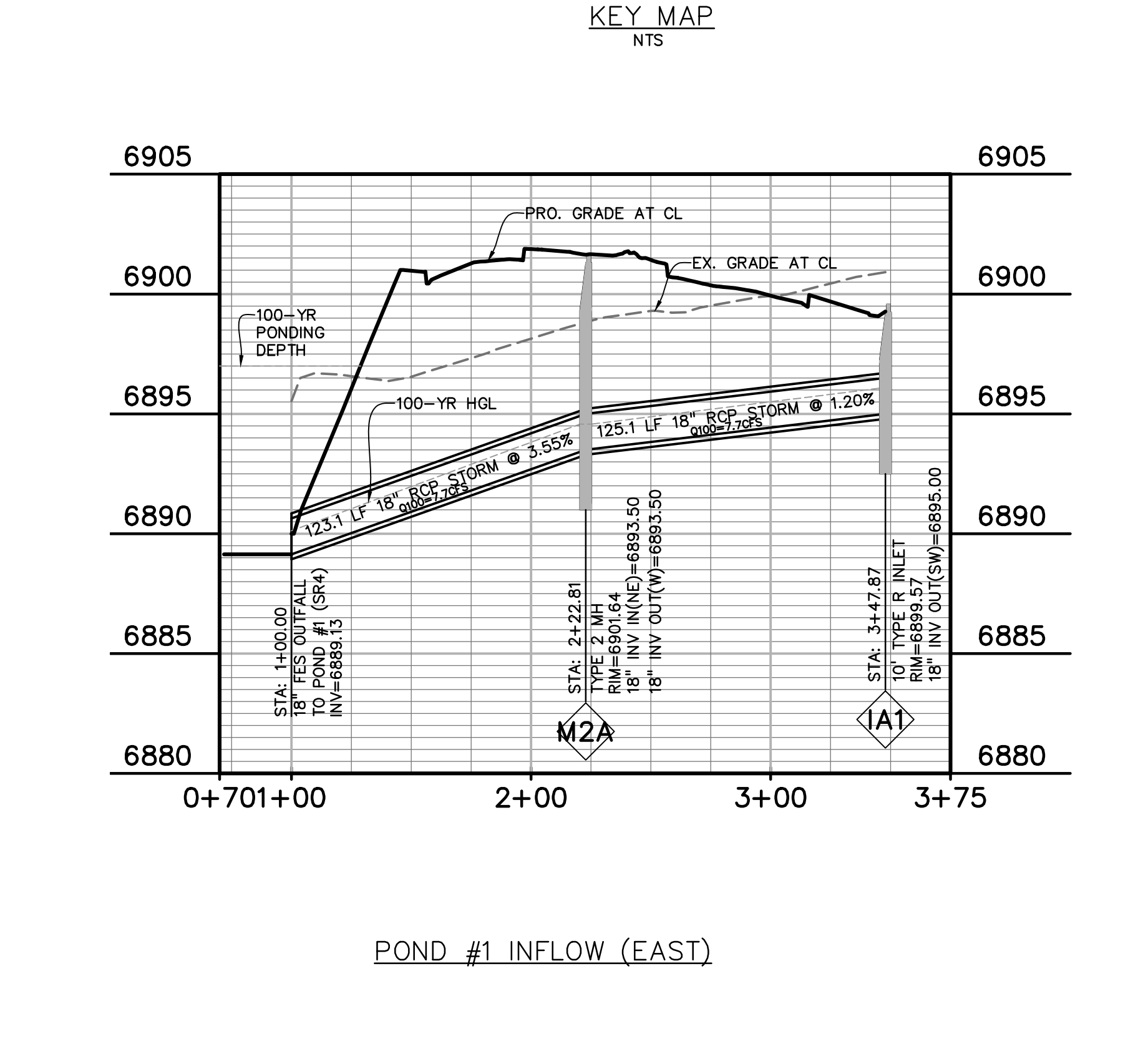
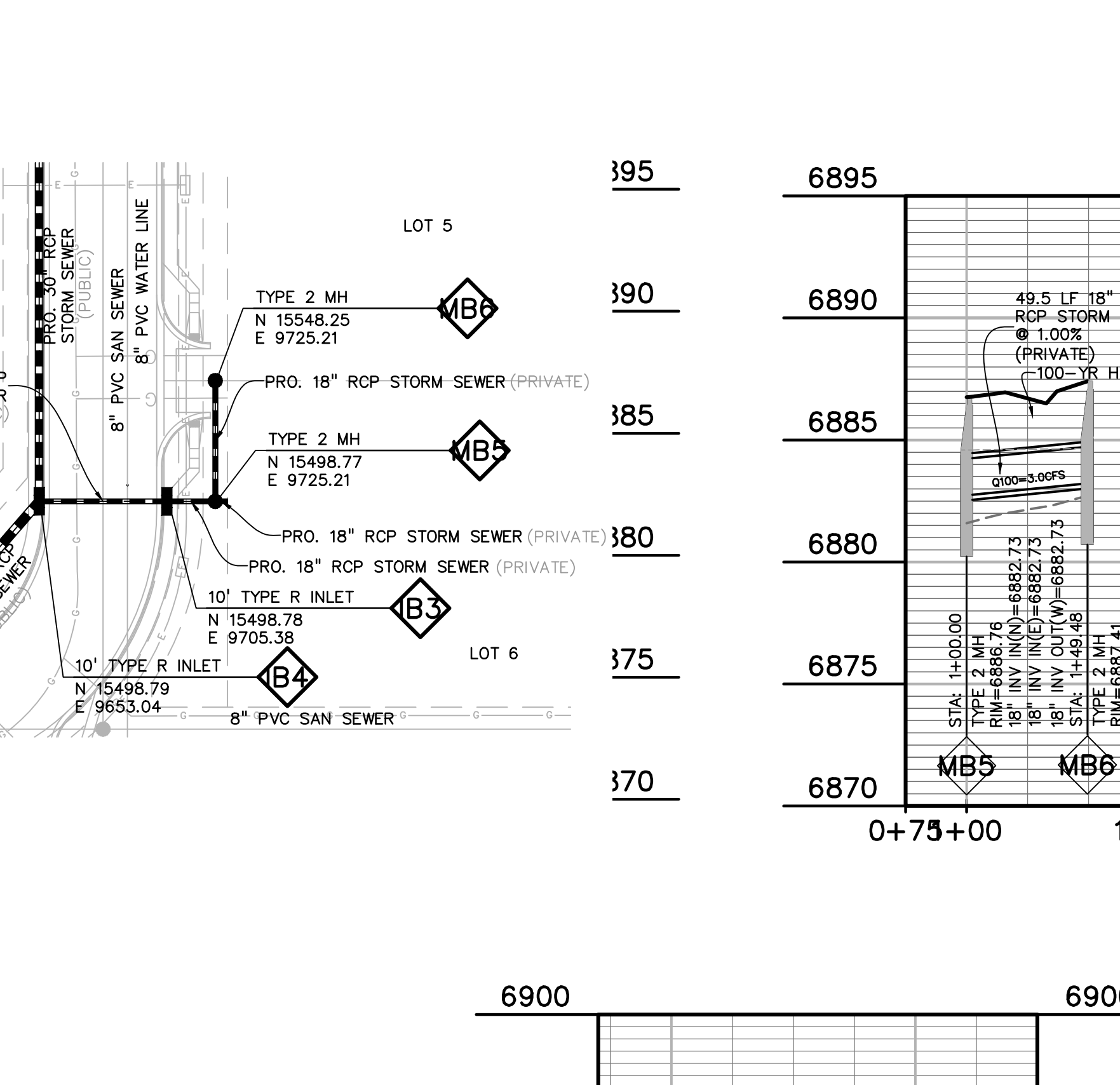
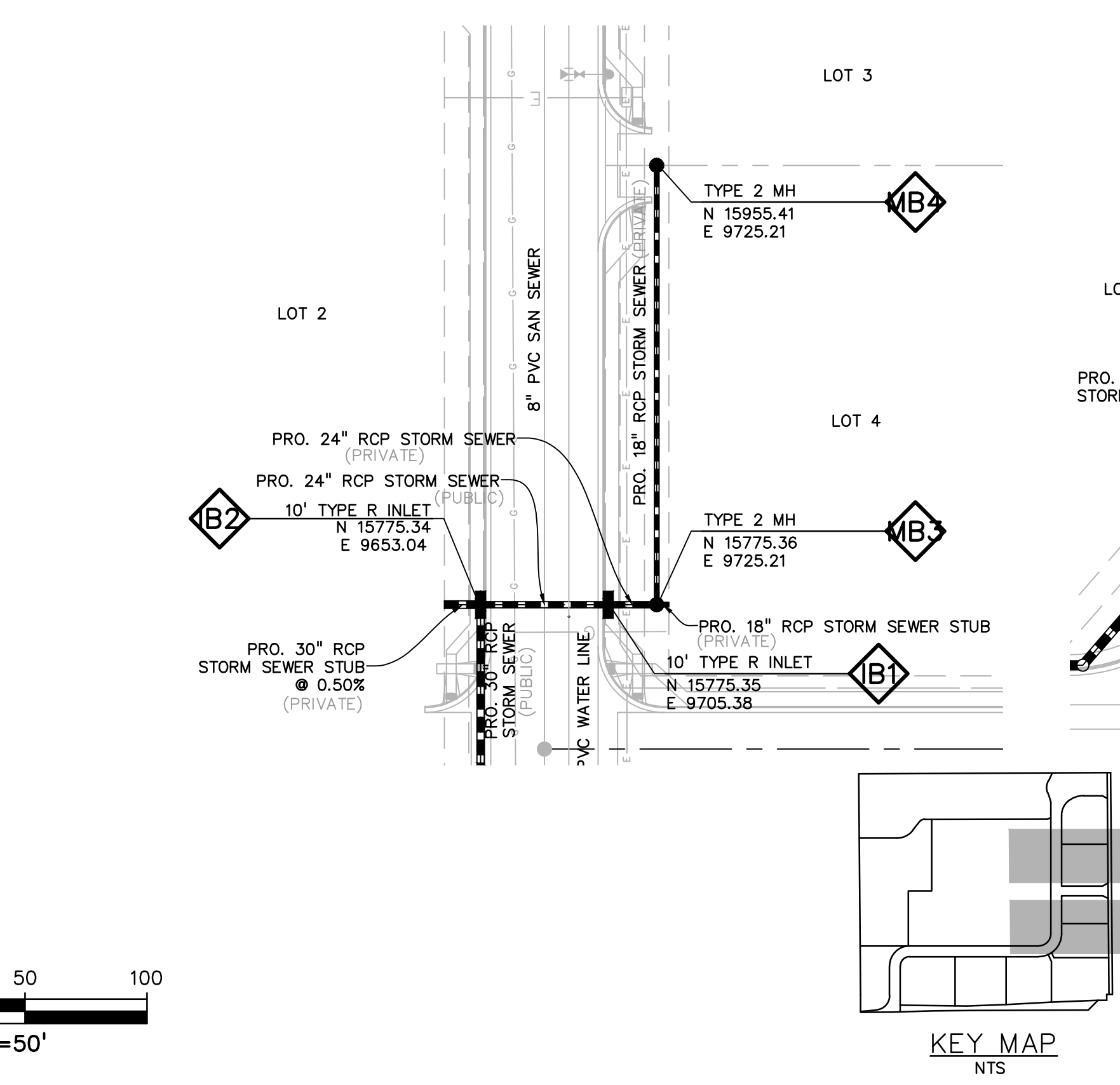
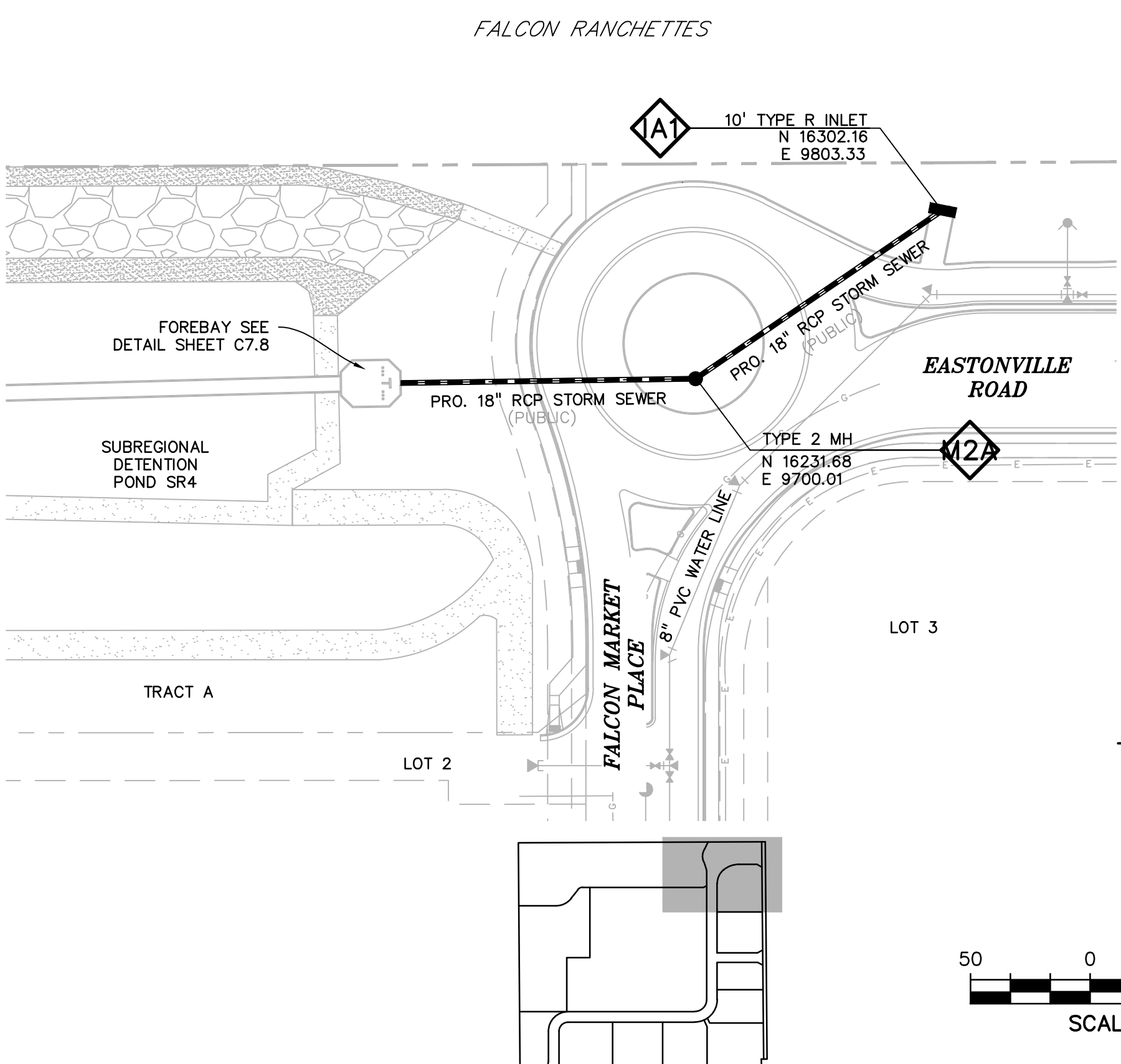
**STORM SEWER
PLAN &
PROFILE**

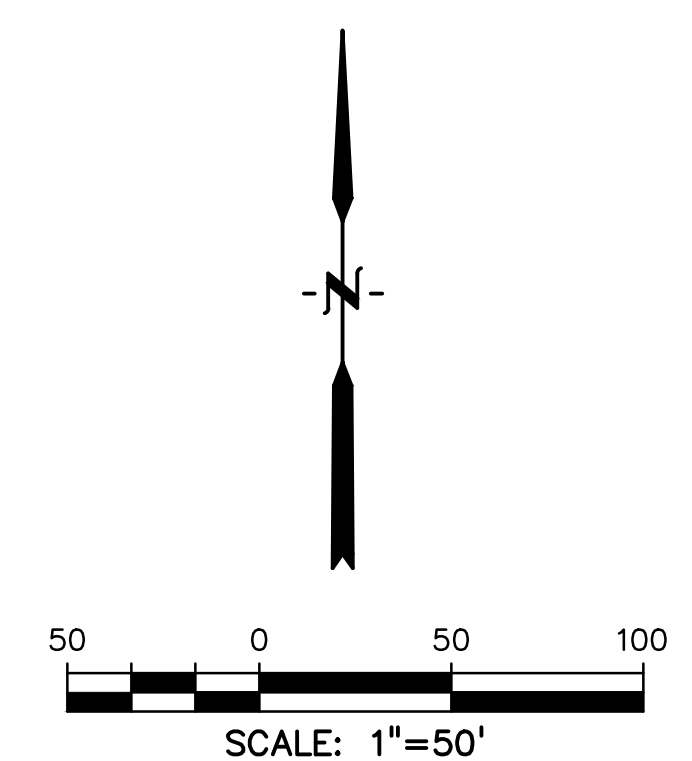
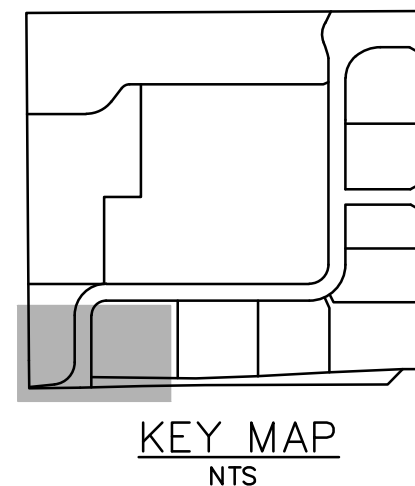
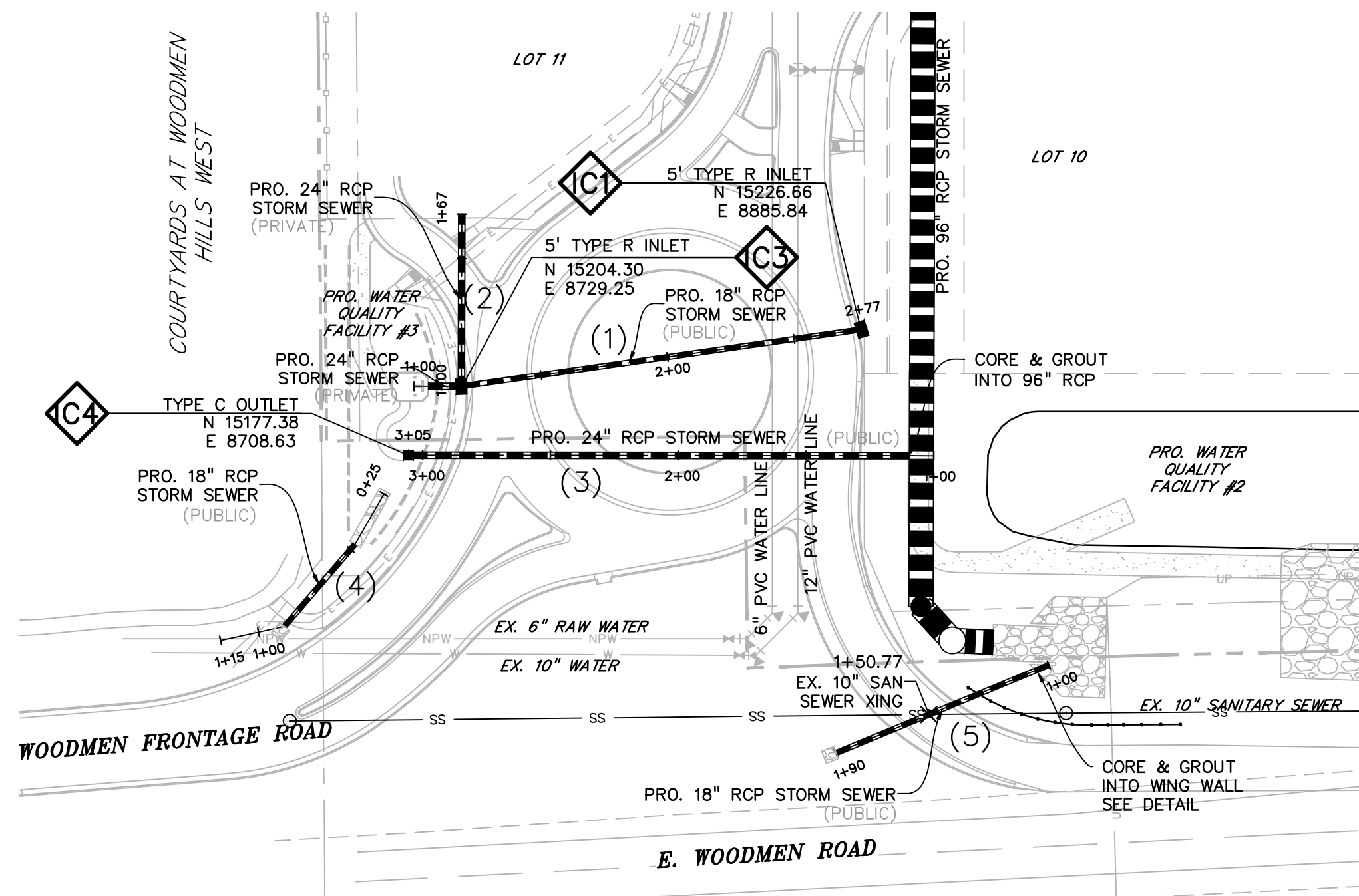
PROJECT NO. 20988-00CSCV
DRAWING NO.

C7.12

LEGEND

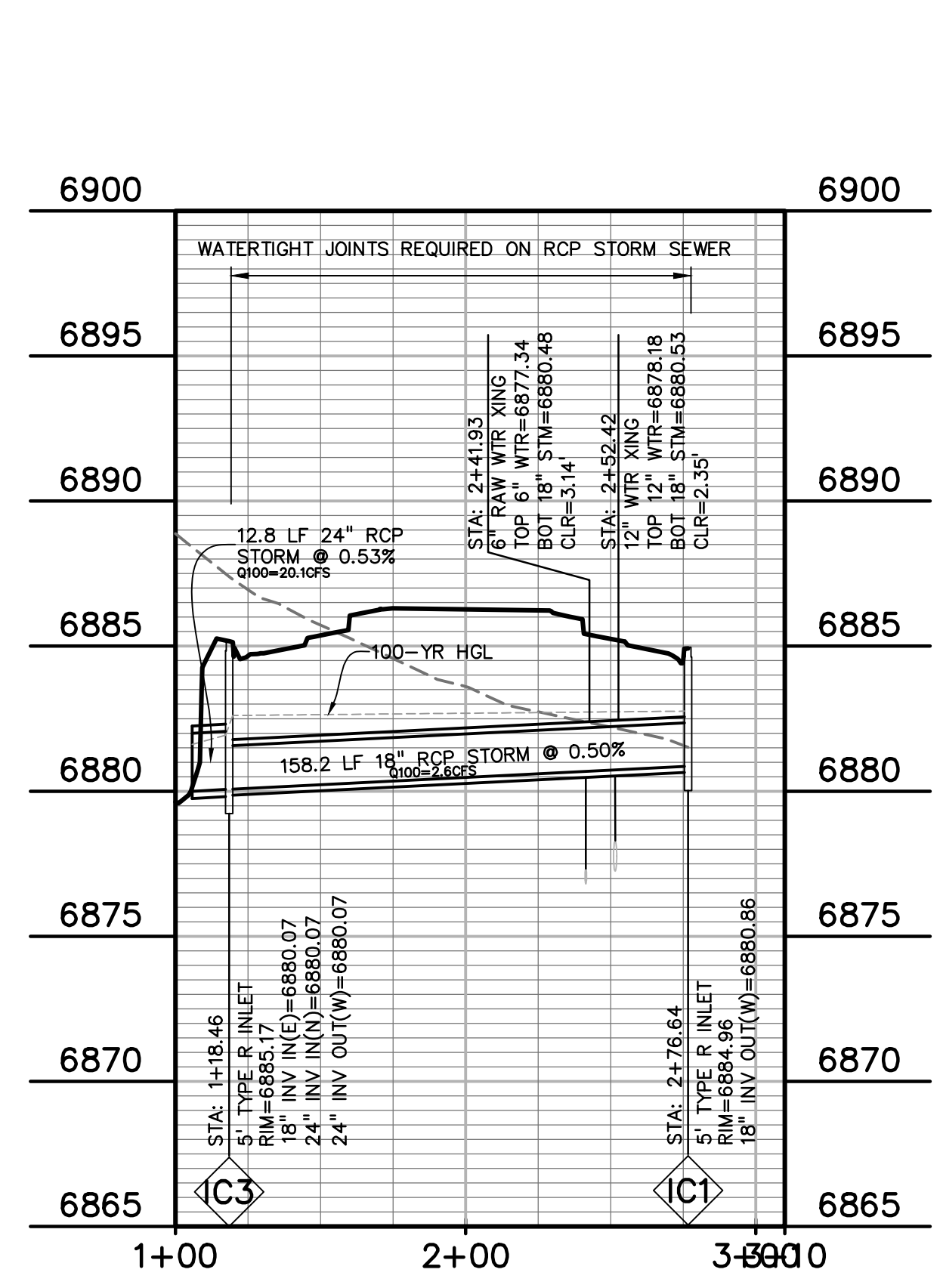
PROPERTY LINE	-----	PRO. RAW WATER	-----
LOT LINE	-----	PRO. SANITARY SEWER	-----
EASEMENT	-----	PRO. STORM SEWER	-----
CURB & GUTTER	=====		
SIDEWALK	-----		
PRO. WATER LINE	-----		
PRO. FIRE HYDRANT	-----		



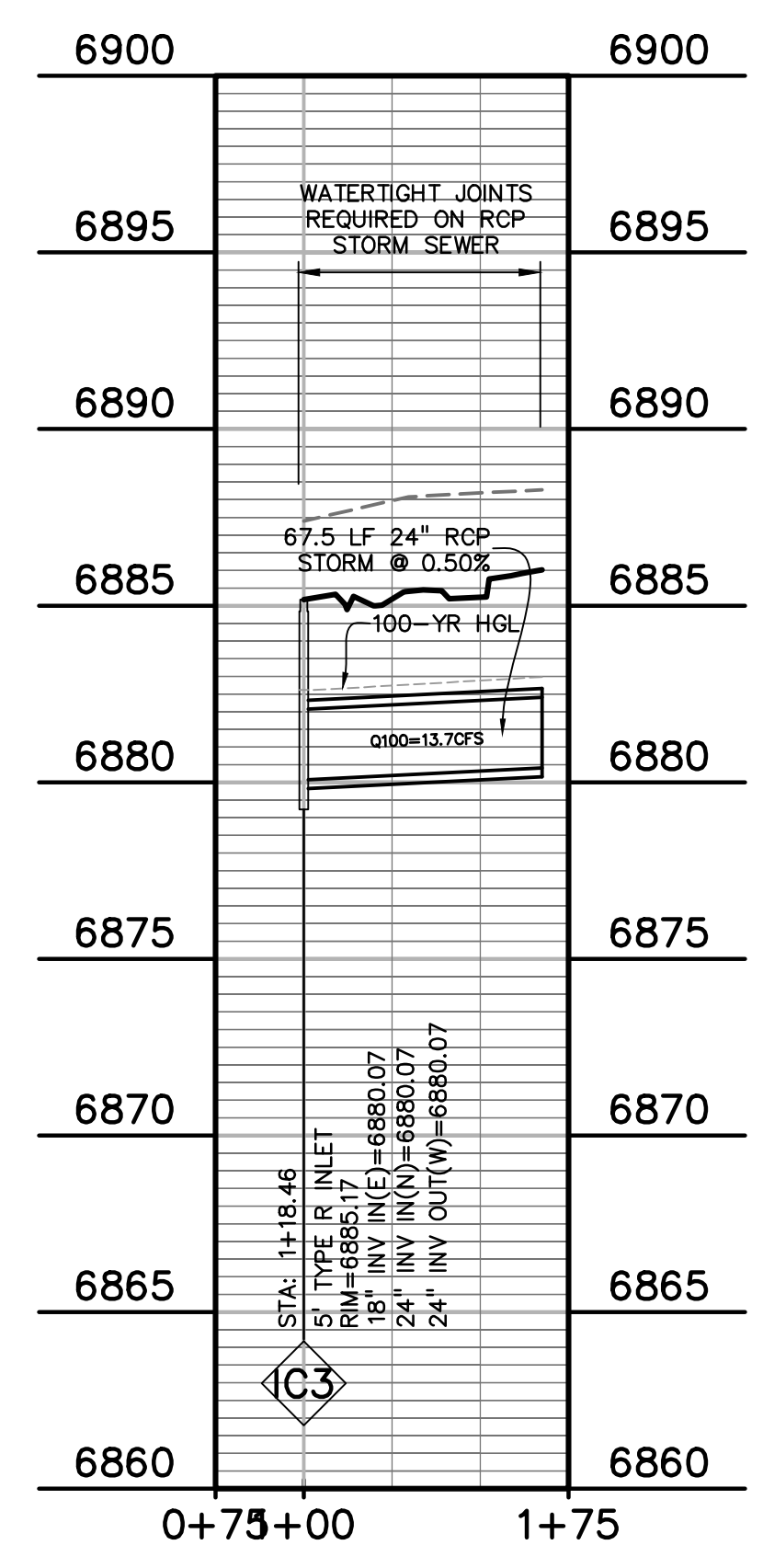


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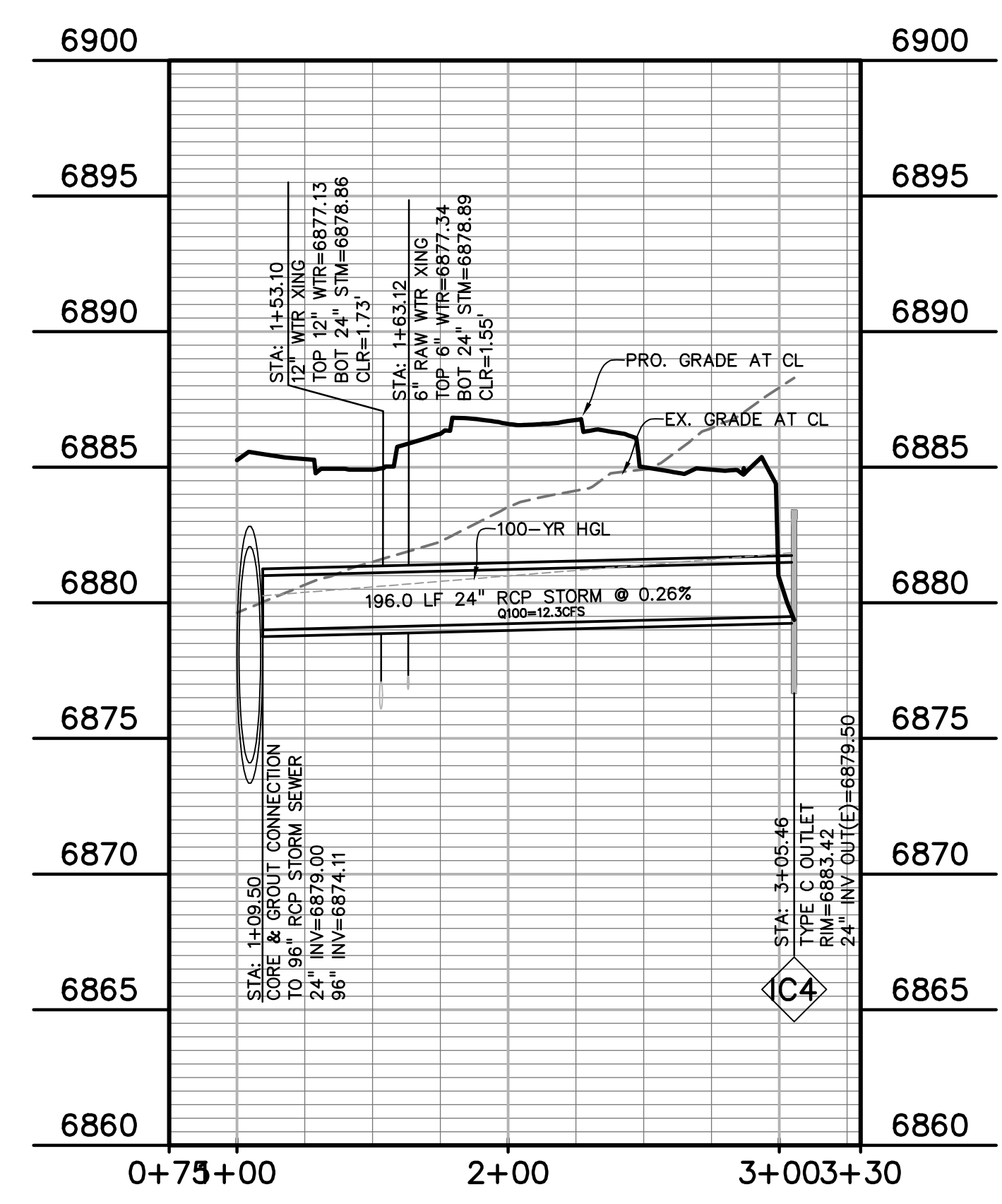
PROPERTY LINE	---
LOT LINE	----
EASEMENT	----
CURB & GUTTER	=====
SIDEWALK	=====
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	-----
EX. SANITARY SEWER	-----
EX. PETROLEUM	-----
EX. GAS	-----
EX. RAW WATER	-----
EX. WATER	-----
EX. STORM SEWER	-----



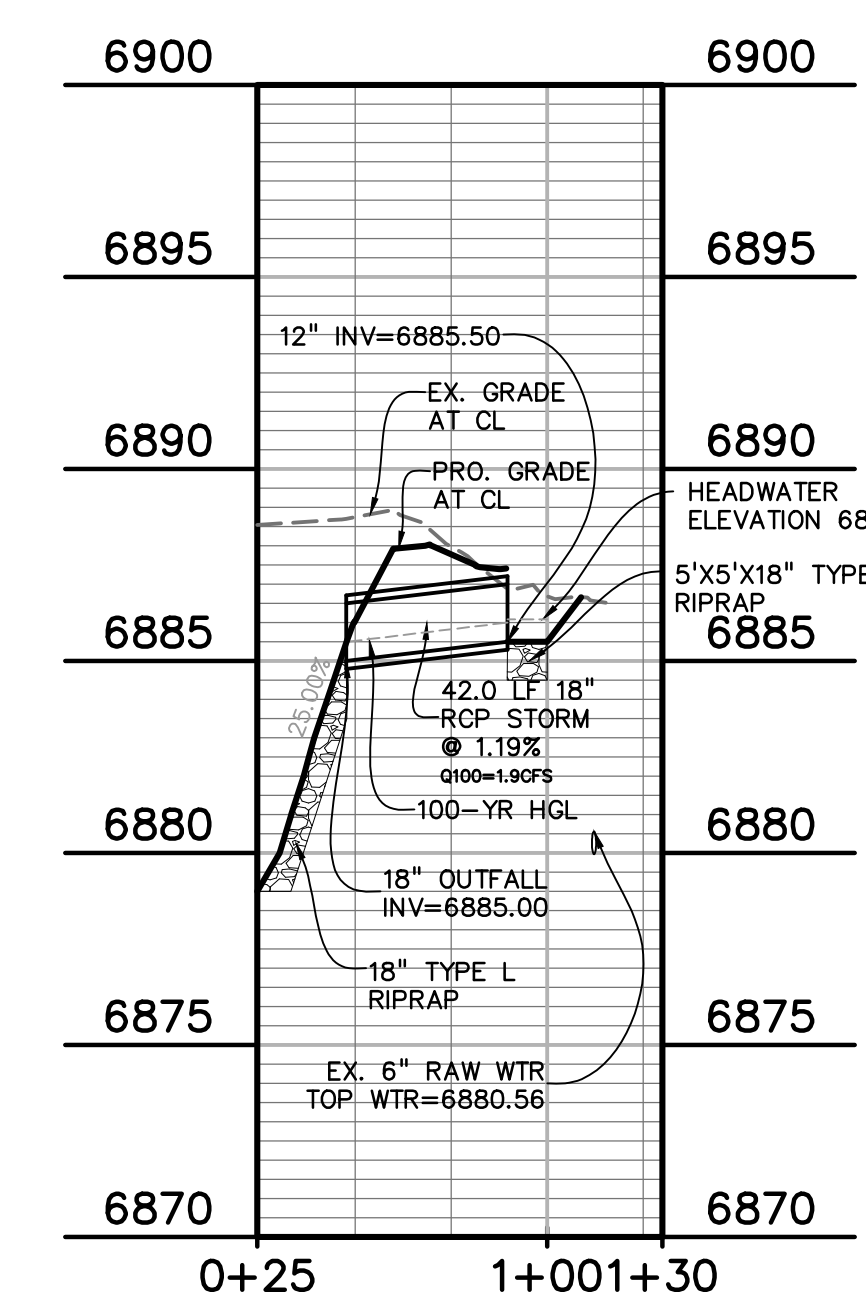
(1) POND #3 INFLOW AND OUTFLOW



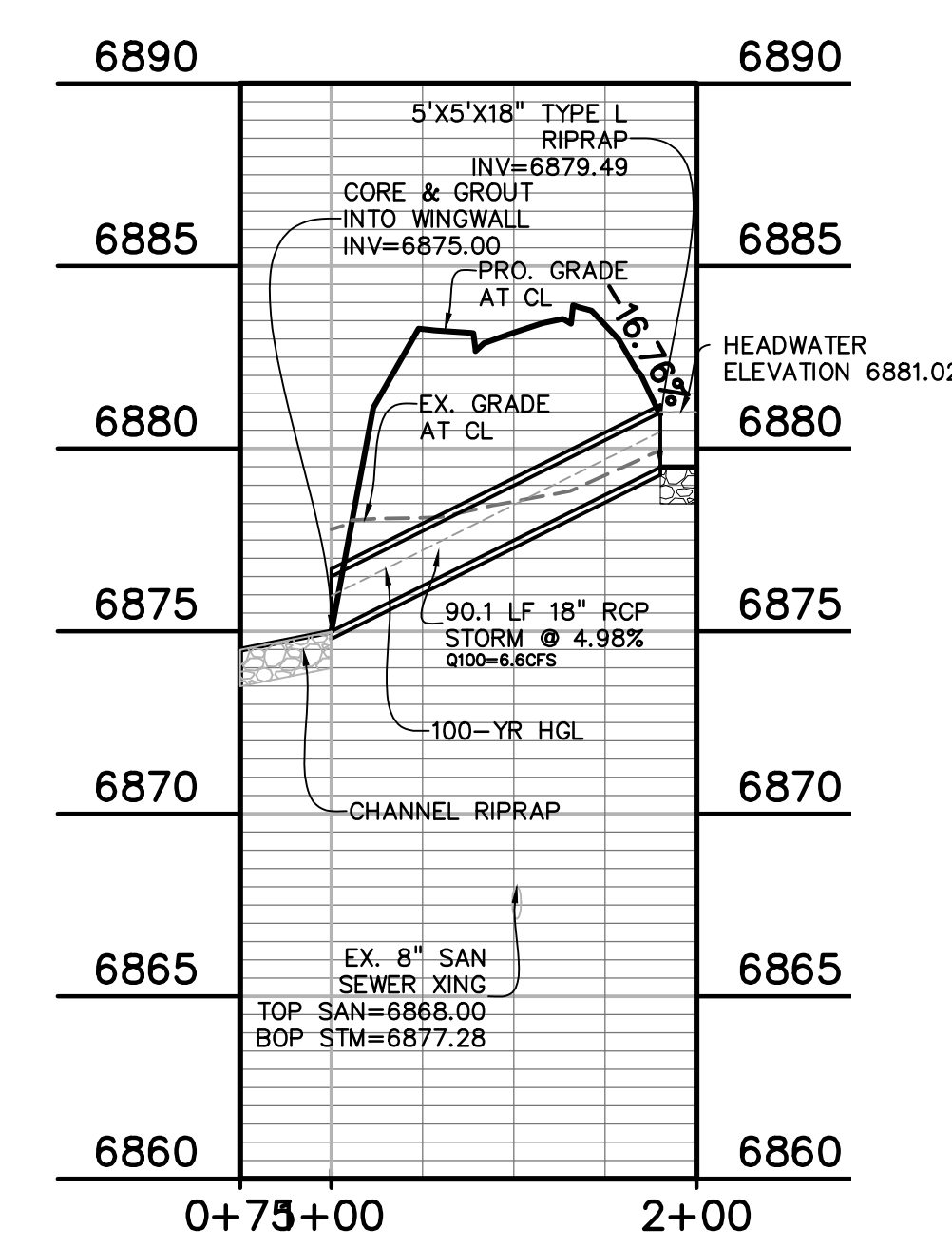
(2) STUB TO LOT 11



(3) POND #3 OUTFALL TO 96"



(4) POND #3 INFLOW (SW)



(5) CULVERT - E. WOODMEN RD RI

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
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CLIENT:

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CONSTRUCTION DRAWINGS FOR

FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
DRAWN BY: KGV
CHECKED BY: TDM
FILE NAME:

PROFESSIONAL ENGINEER
TIM D. McCONNELL
33797
12-18-19

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

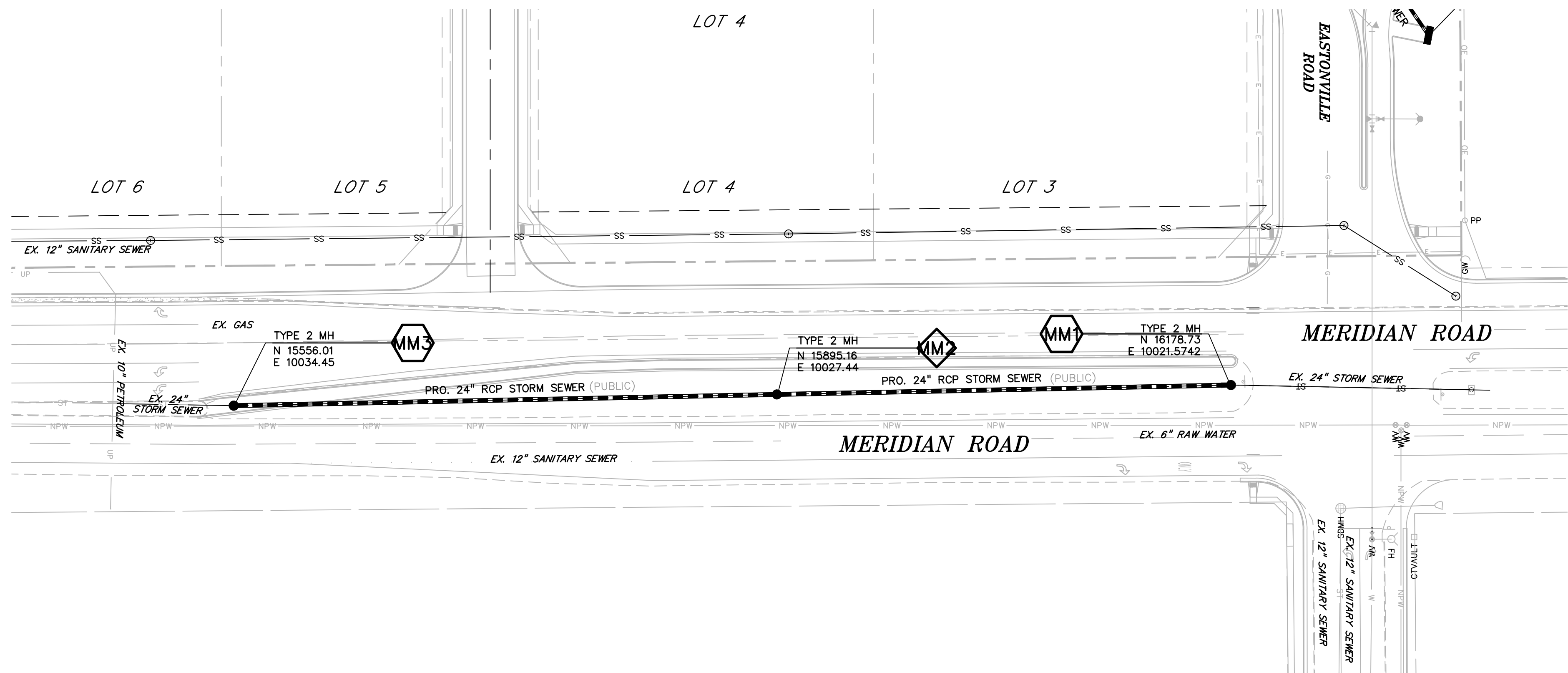
DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

STORM SEWER PLAN & PROFILE

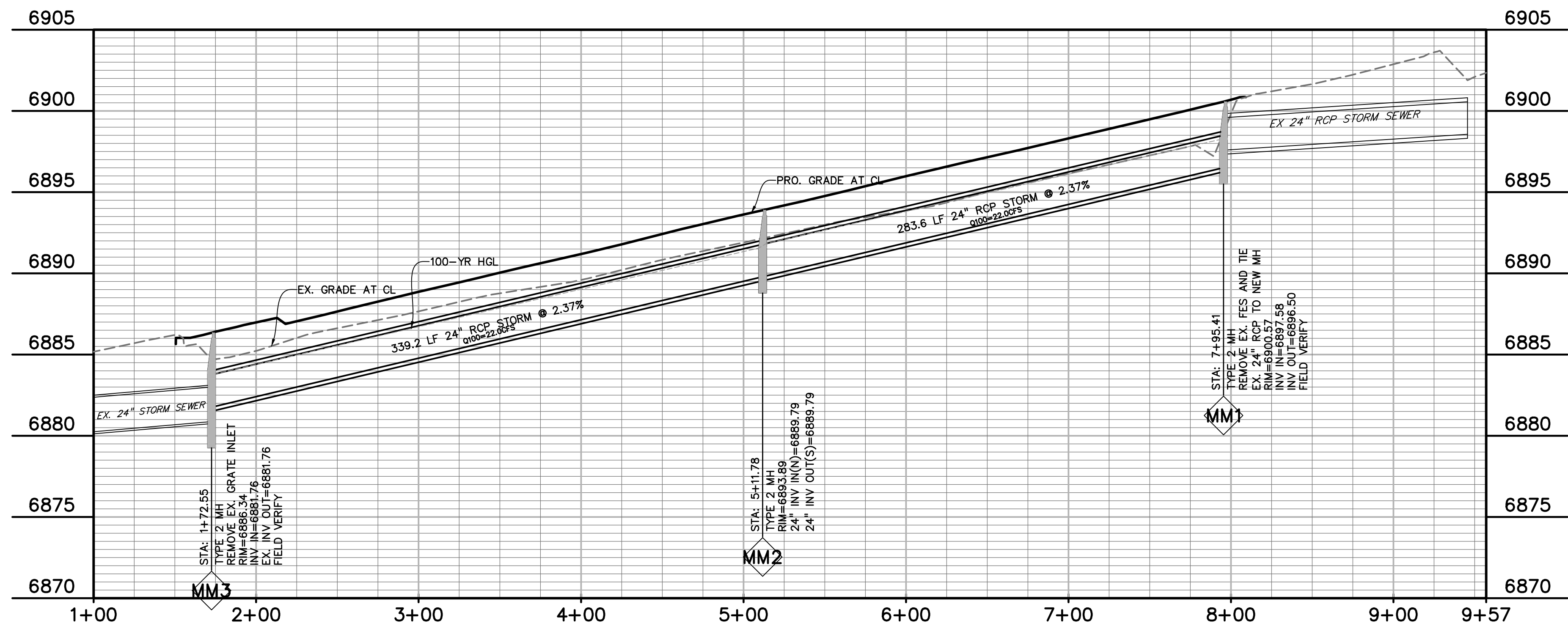
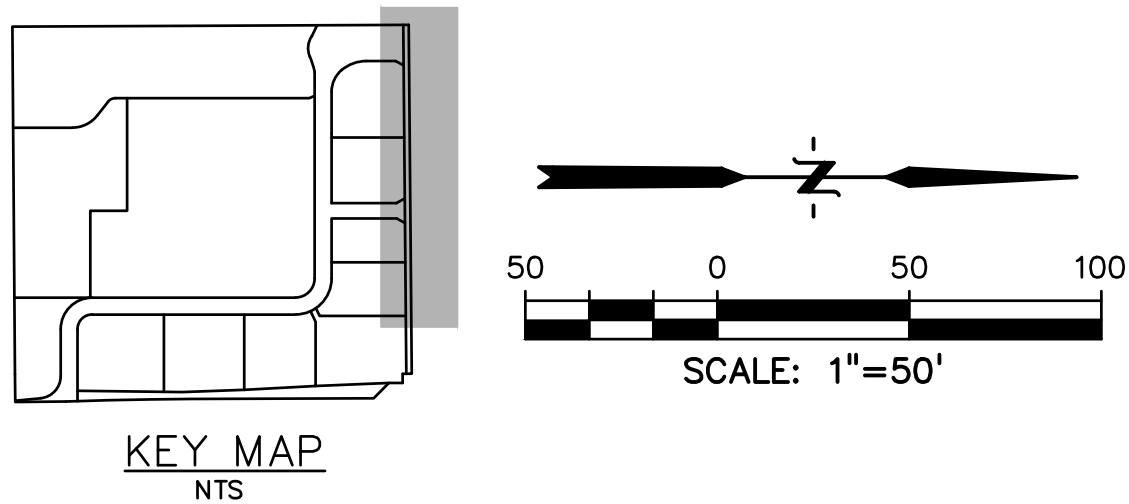
PROJECT NO. 20988-00CSCV
DRAWING NO.

C7.13

SHEET: 41 OF 46



LEGEND	
PROPERTY LINE	---
LOT LINE	- - -
EASEMENT	- - - - -
CURB & GUTTER	=====
SIDEWALK	=====
PRO. WATER LINE	.....
PRO. FIRE HYDRANT	.....
PRO. RAW WATER	.....
PRO. SANITARY SEWER	.....
PRO. STORM SEWER	.....
EX. OVERHEAD ELECTRIC	.....
EX. SANITARY SEWER	.....
EX. PETROLEUM	.....
EX. GAS	.....
EX. RAW WATER	.....
EX. WATER	.....
EX. STORM SEWER



PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
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CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC

3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT
SUPERVISION FOR AND ON BEHALF
OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

STORM SEWER
PLAN &
PROFILE

PROJECT NO. 20988-00CSCV
DRAWING NO.

C7.14

SHEET: 42 OF 46

PREPARED BY:



DREXEL, BARRELL & CO.
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CONSTRUCTION DRAWINGS FOR

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FALCON, COLORADO

ISSUE	DATE
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DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

POND #2

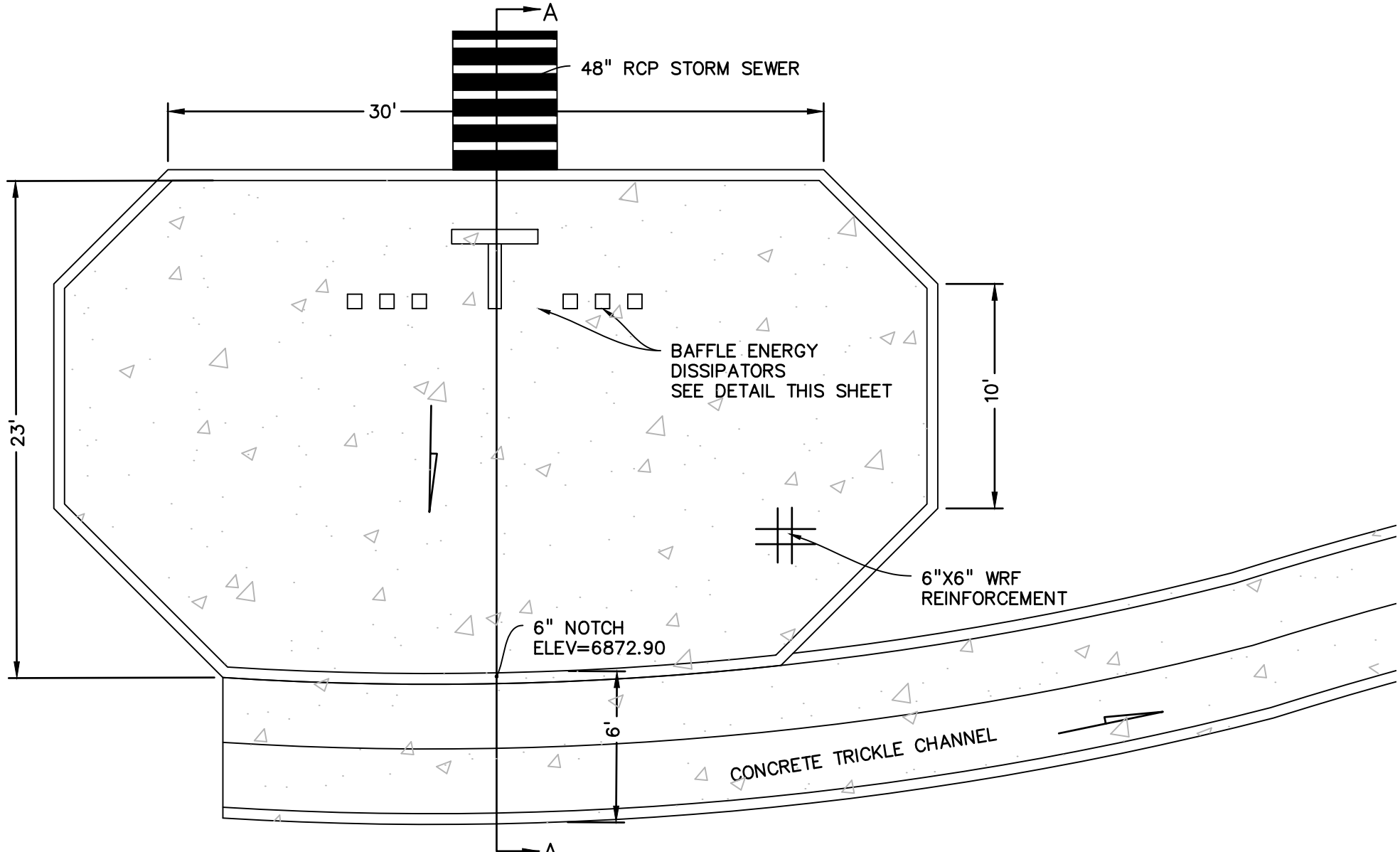
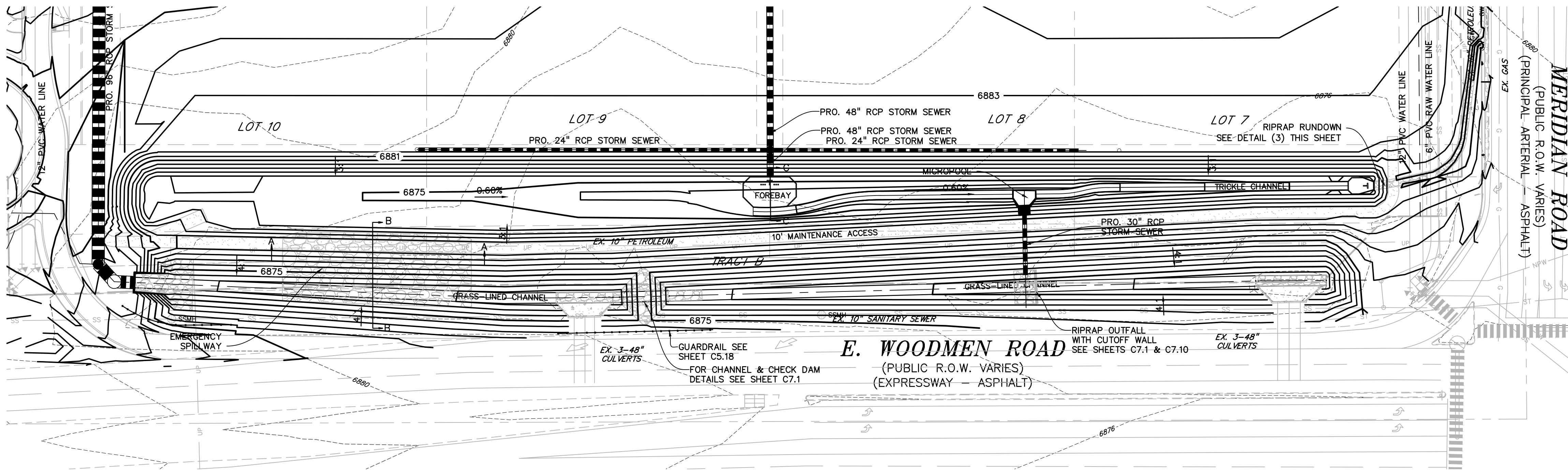
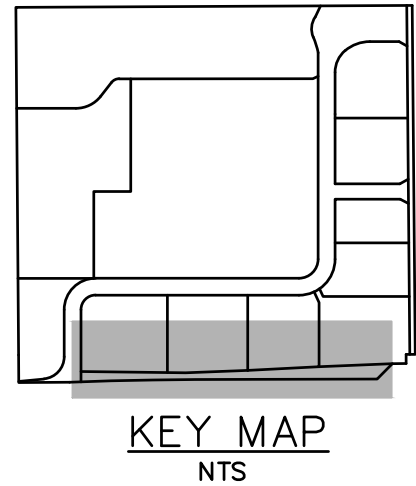
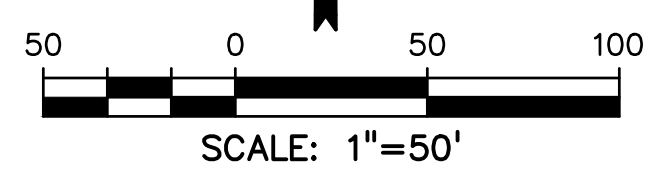
PROJECT NO. 20988-00CSKV
DRAWING NO.

C7.15

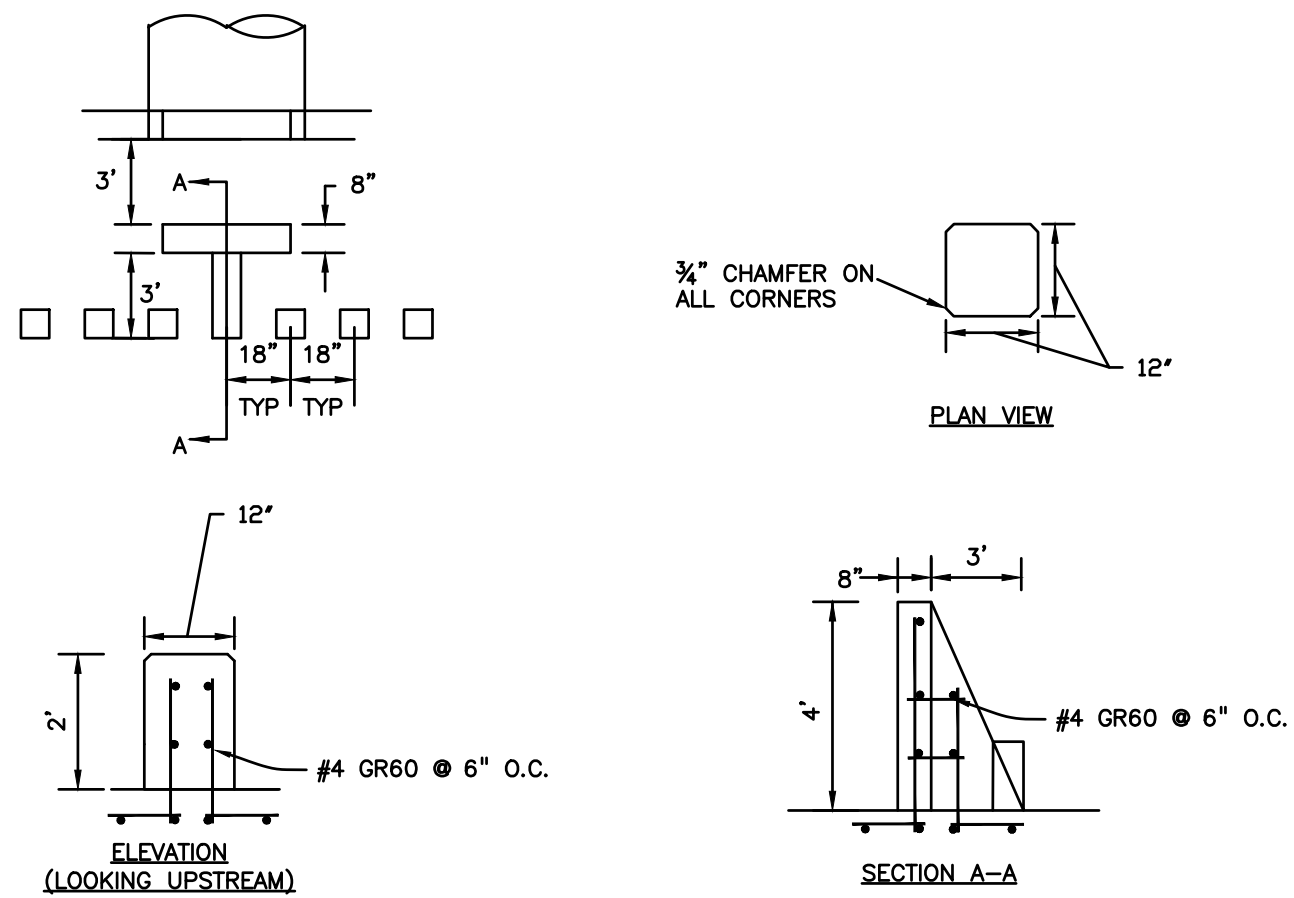
SHEET: 43 OF 46

LEGEND

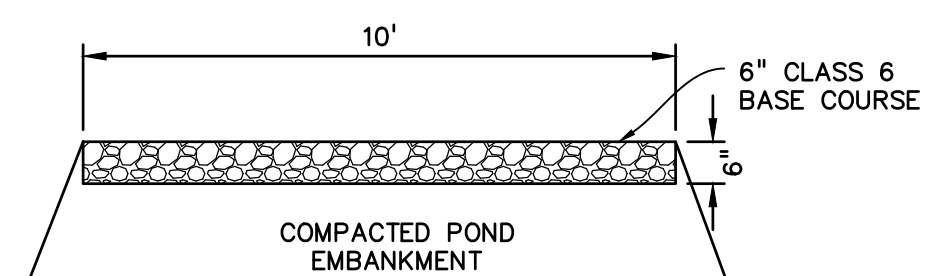
PROPERTY LINE	---
LOT LINE	.....
EASEMENT	- - - - -
CURB & GUTTER	=====
SIDEWALK	=====
PRO. WATER LINE	—●—
PRO. FIRE HYDRANT	—●—
PRO. RAW WATER	—●—
PRO. SANITARY SEWER	—●—
PRO. STORM SEWER	—●—
EX. OVERHEAD ELECTRIC	—OE—
EX. SANITARY SEWER	—SS—
EX. PETROLEUM	—UP—
EX. GAS	—G—
EX. RAW WATER	—RW—
EX. WATER	—W—
EX. STORM SEWER	—ST—



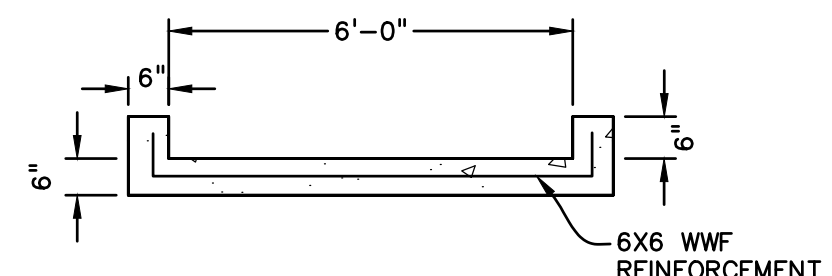
FOREBAY/TRICKLE CHANNEL DETAIL
1"=10'



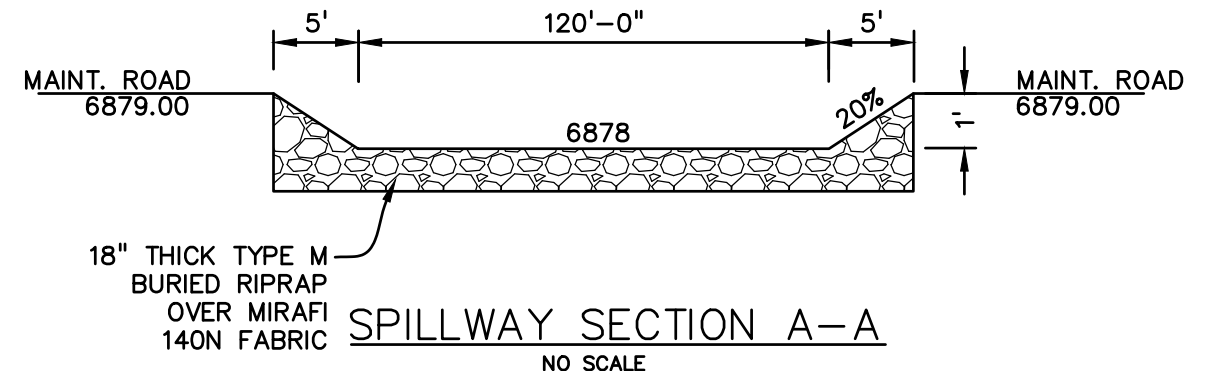
FOREBAY BAFFLE ENERGY DISSIPATORS
NO SCALE



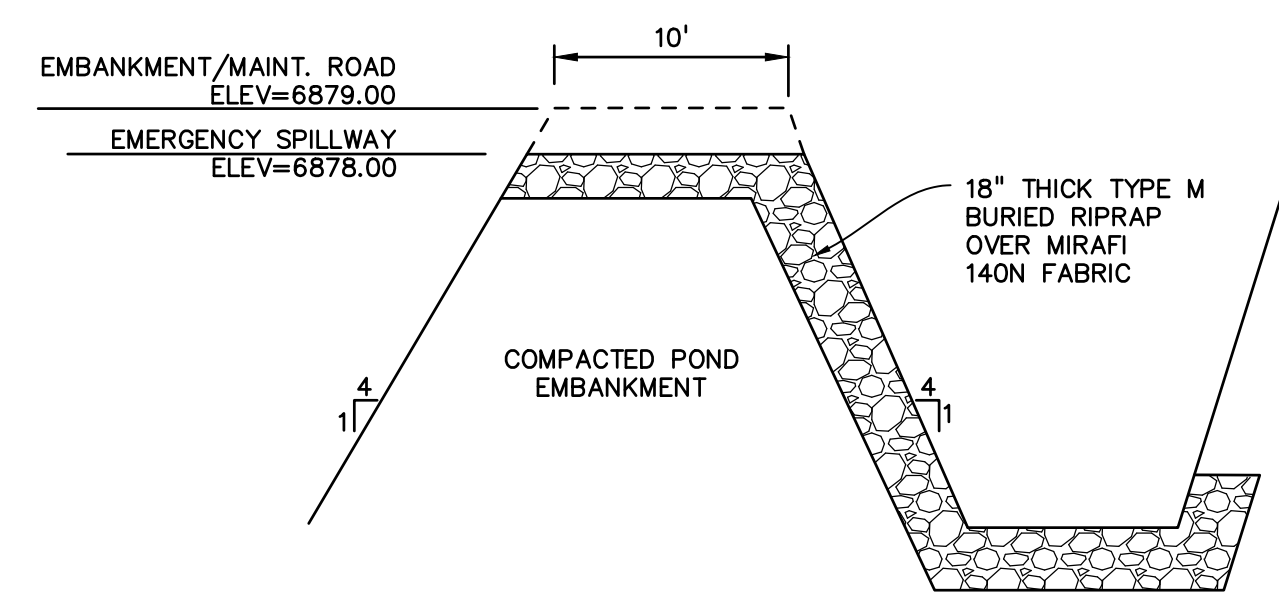
MAINTENANCE ROAD SECTION
NO SCALE



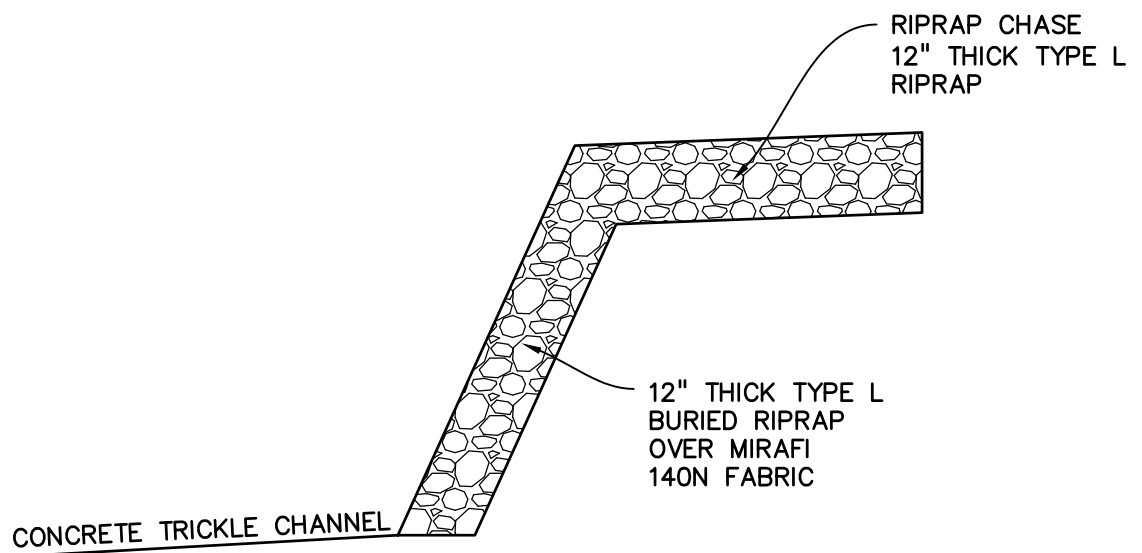
TRICKLE CHANNEL SECTION
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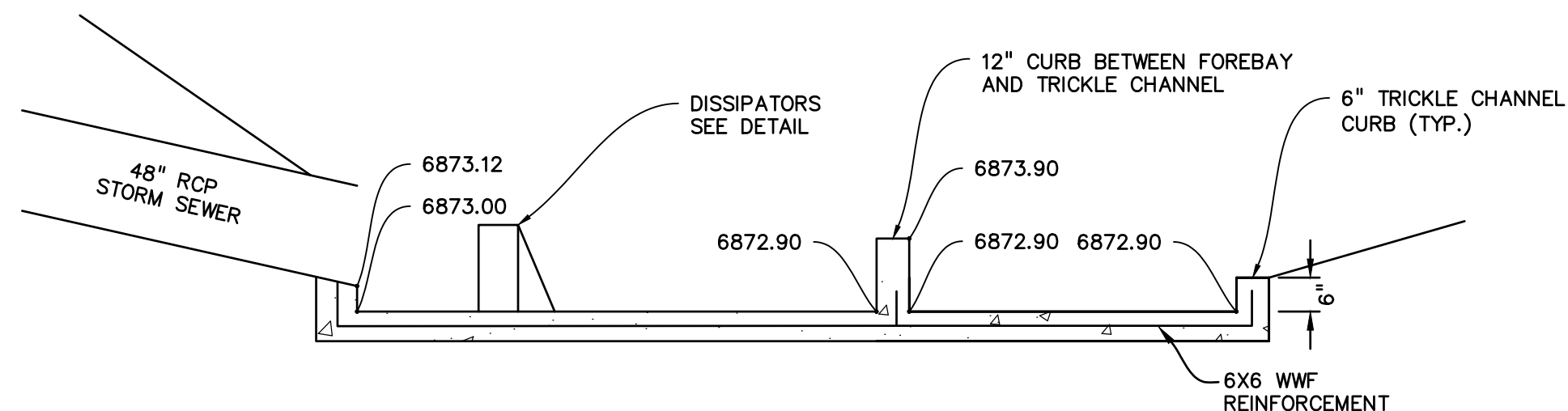
SPILLWAY SECTION A-A
NO SCALE



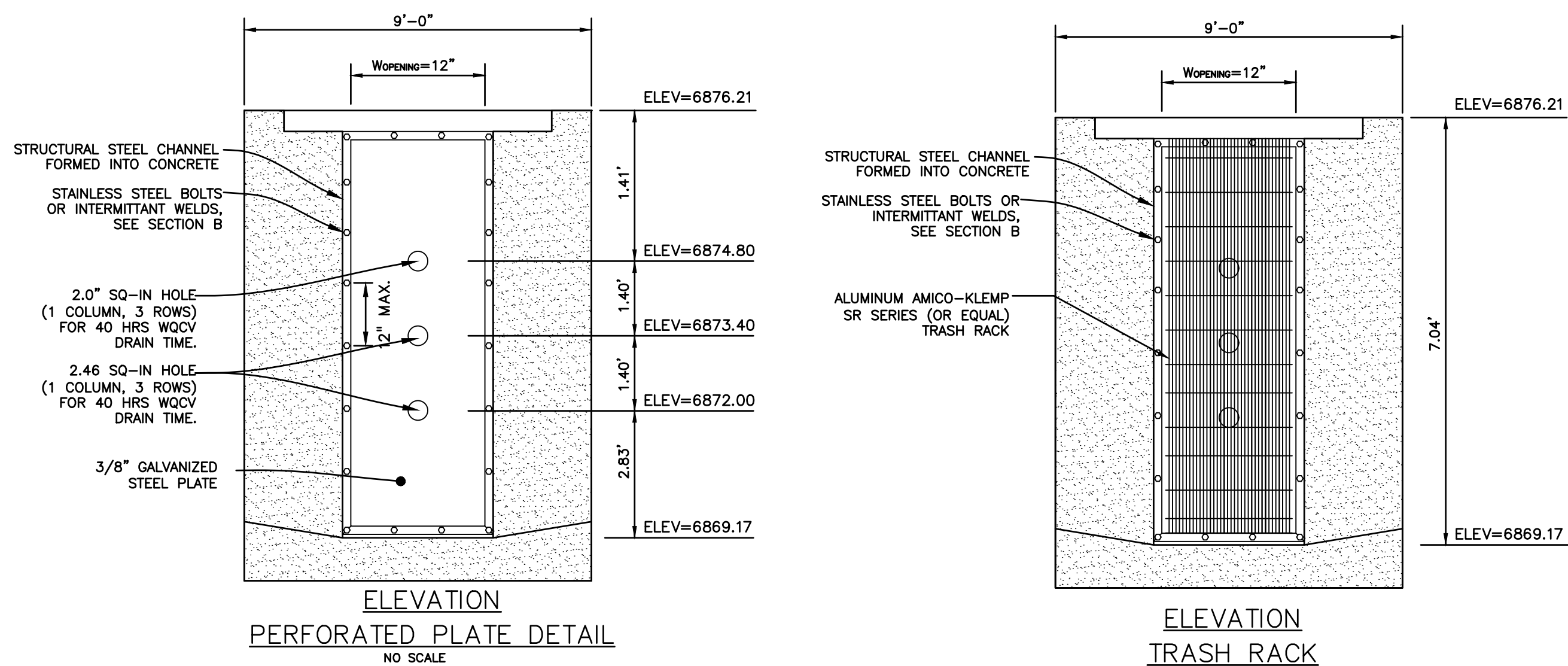
SPILLWAY SECTION B-B
NO SCALE



(3) RIPRAP SWALE RUNDOWN
NO SCALE



FOREBAY/TRICKLE CHANNEL SECTION C-C
NO SCALE

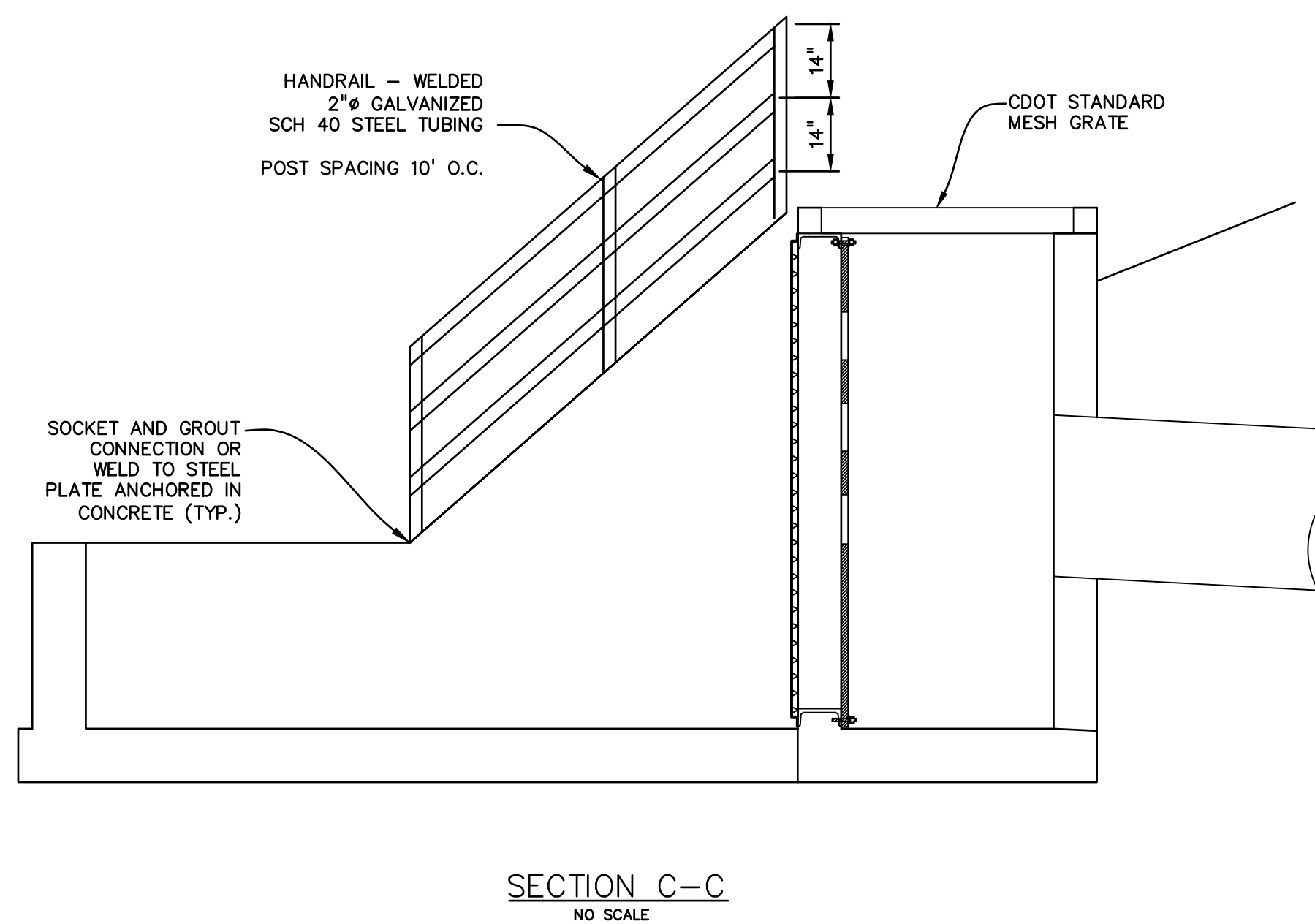
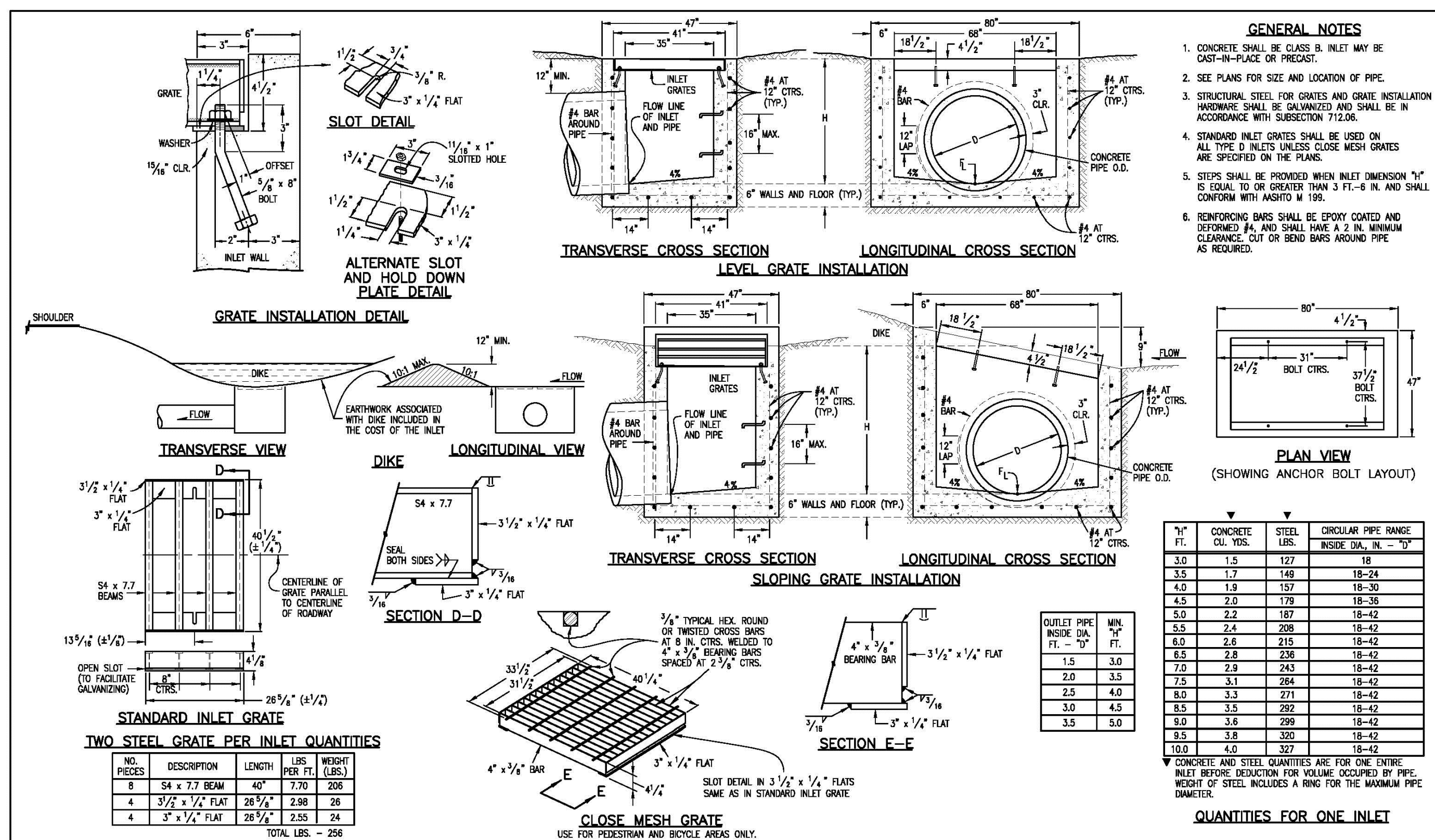
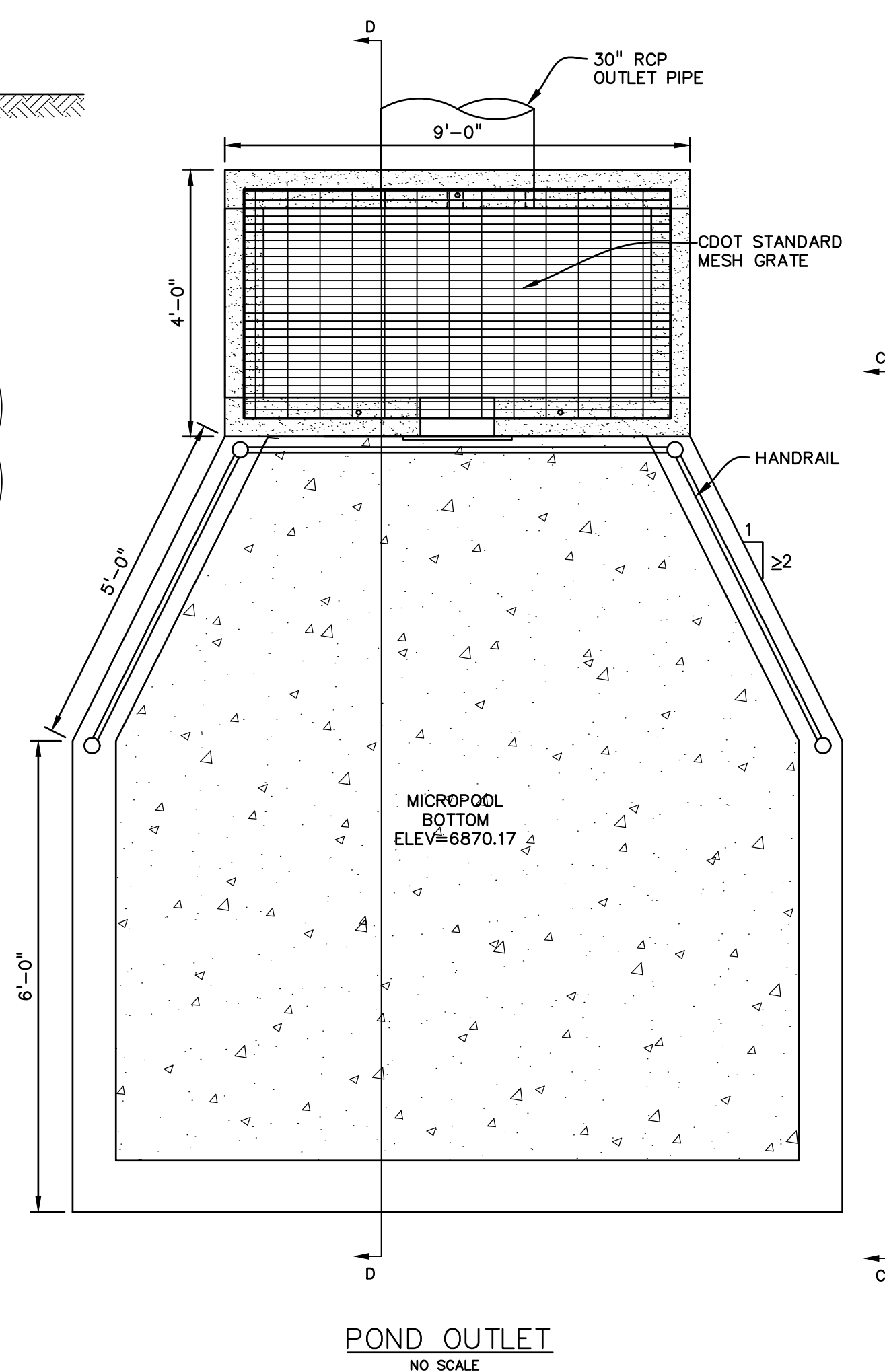
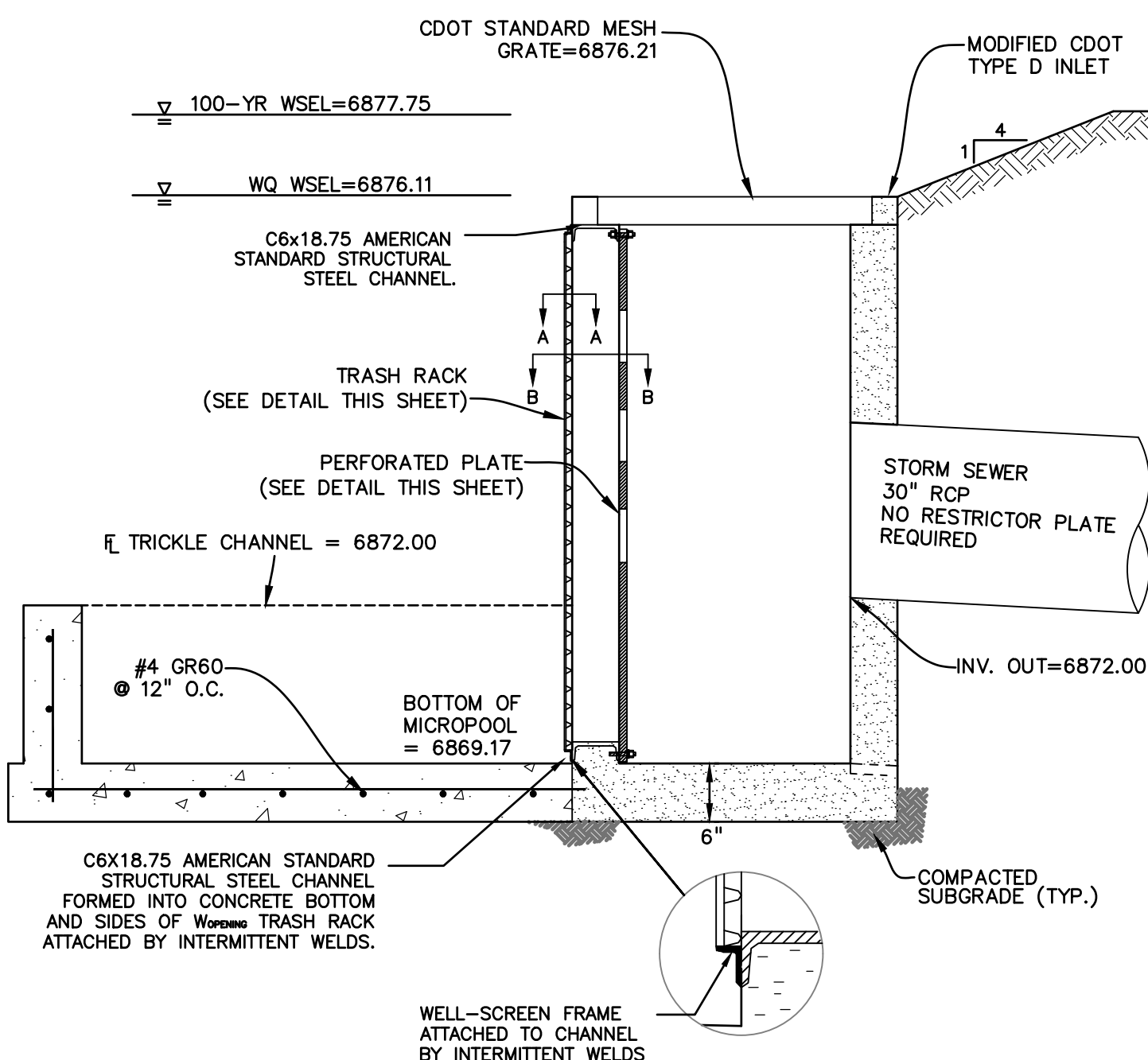
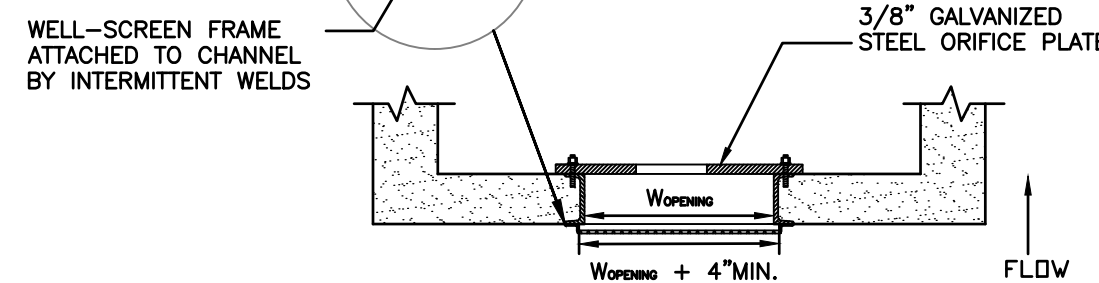
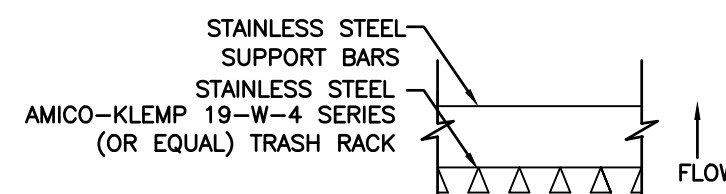


PERFORATED PLATE NOTES:

1. PROVIDE GASKET MATERIAL OR GROUT BETWEEN THE ORIFICE PLATE AND CONCRETE.
2. BOLT PLATE TO CONCRETE @ 12" MAX. ON CENTER. ORIFICE PLATE IS TO BE REMOVABLE.
3. ALL METAL SURFACES ARE TO BE COATED WITH ZRC COLD GALVANIZING COMPOUND.

GENERAL NOTES:

1. ALL EXTERIOR STEEL SHALL BE EITHER STAINLESS OR HOT DIPPED GALVANIZED



PREPARED BY:

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CONSTRUCTION DRAWINGS FOR

FALCON MARKETPLACE

FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	KGW
CHECKED BY:	TDM
FILE NAME:	

COLORADO REGISTERED PROFESSIONAL ENGINEER
12-18-19
33787

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

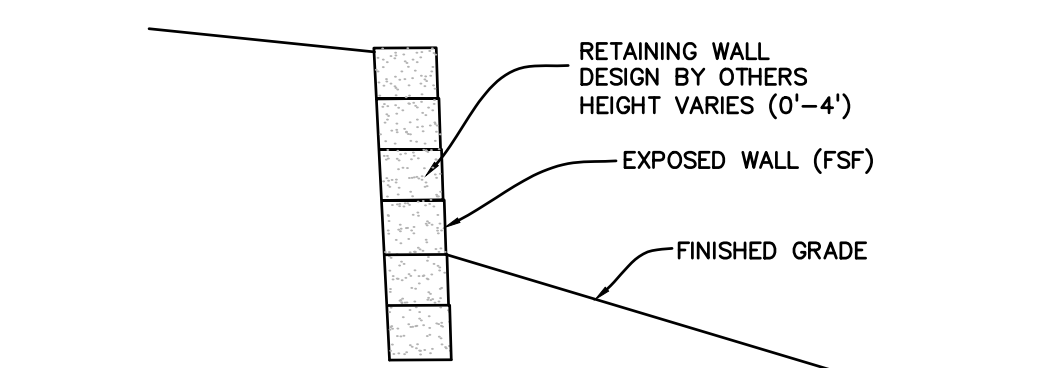
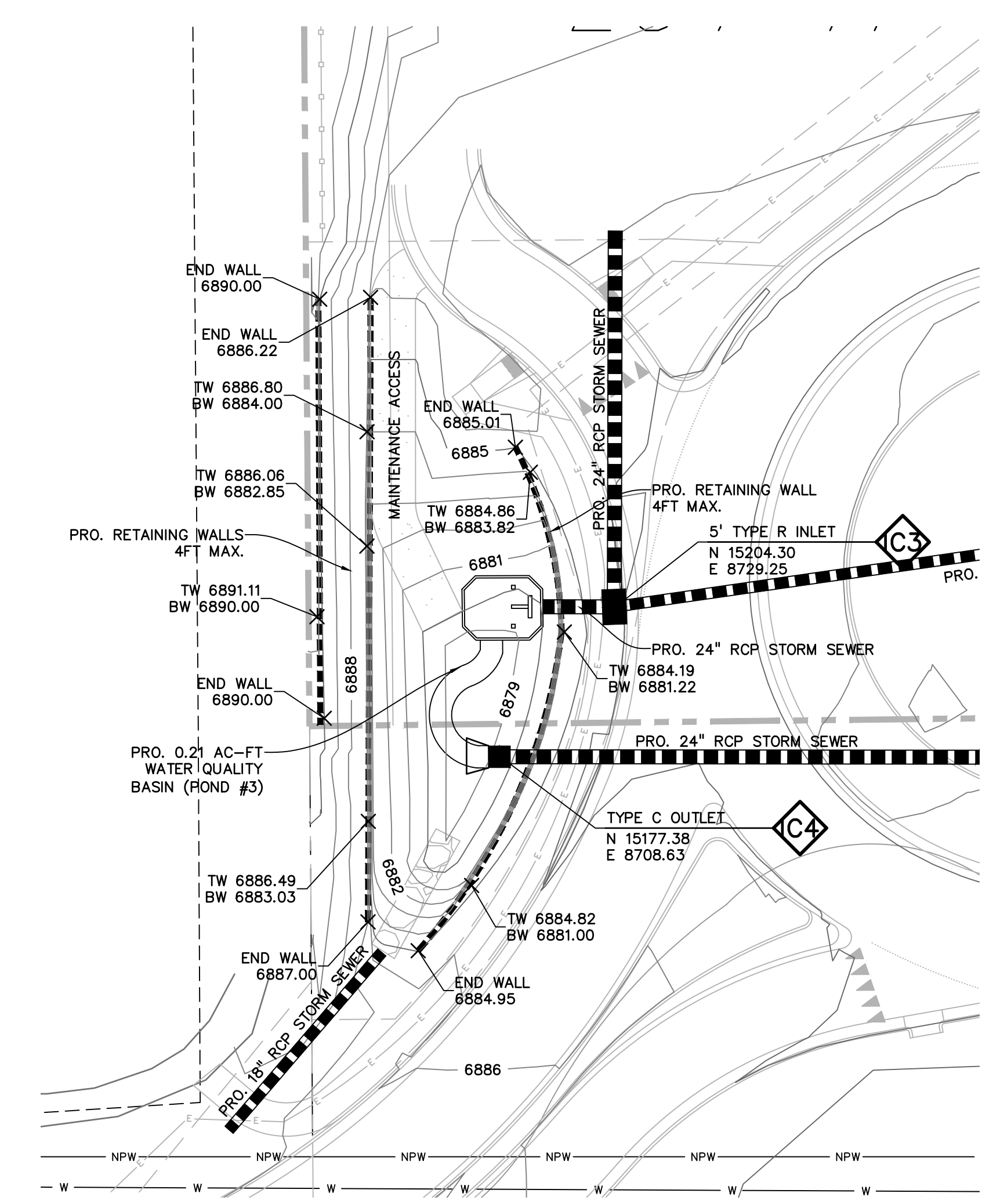
POND #2 DETAILS

PROJECT NO. 20988-00CSCV
DRAWING NO.

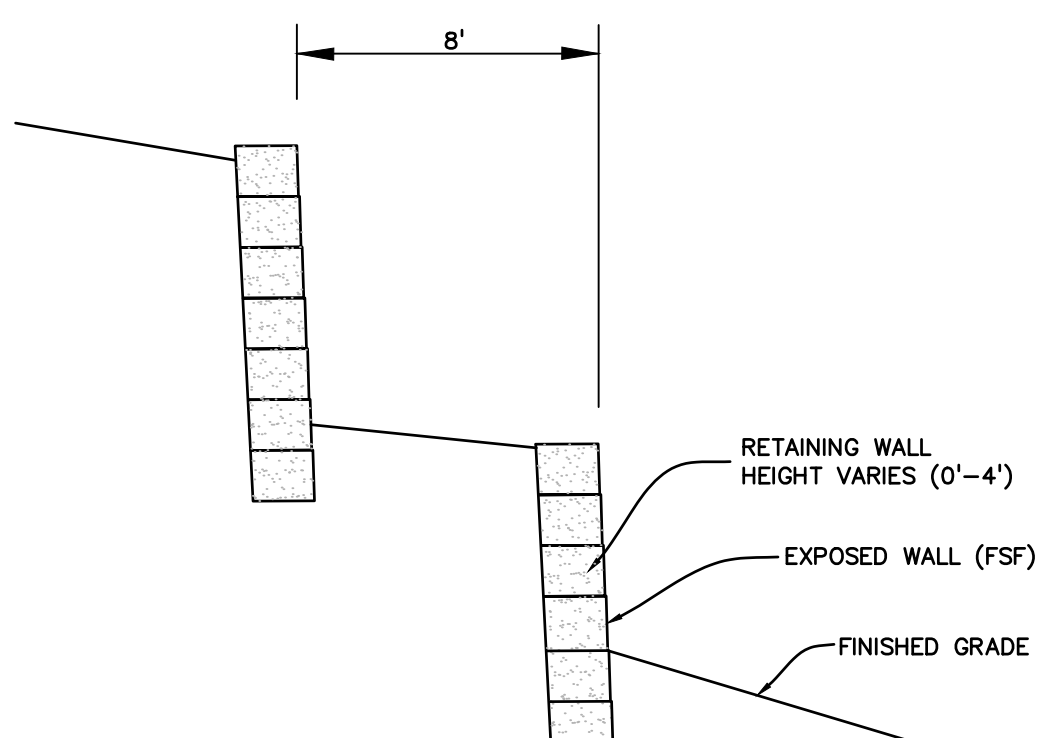
C7.16

SHEET: 44 OF 46

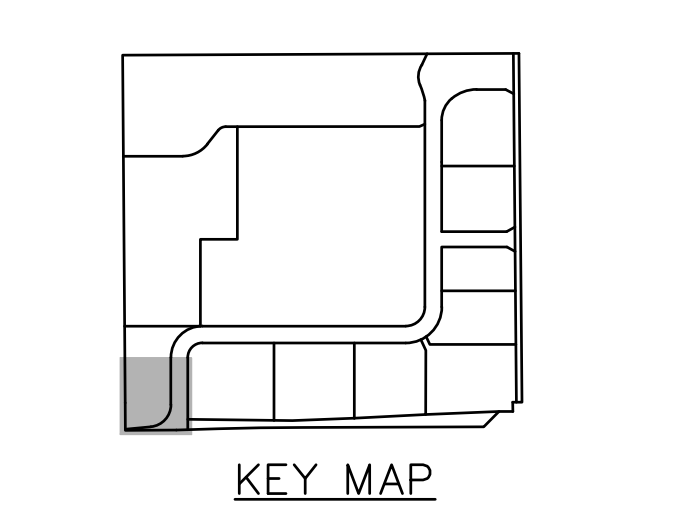
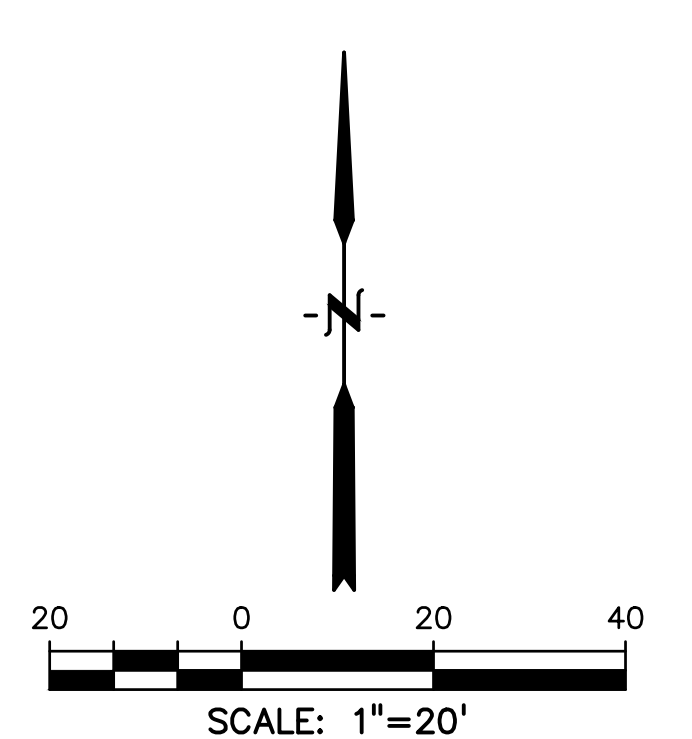
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Creation Date: 07/04/06 Initialed: SJR		Date: Comments		4201 East Arkansas Avenue				M-604-11	
Last Modification Date: 07/04/06 Initialed: LTA				Denver, Colorado 80222					
Full Path: www.dot.state.co.us/DesignSupport/				Phone: (303) 757-9083					
Drawing File Name: 6040110101.dwg				Fax: (303) 757-9820					
CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English				Project Development Branch SRJ/LTA		Issued By: Project Development Branch on July 04, 2006		Sheet No. 1 of 1	



RETAINING WALL DETAIL
NO SCALE

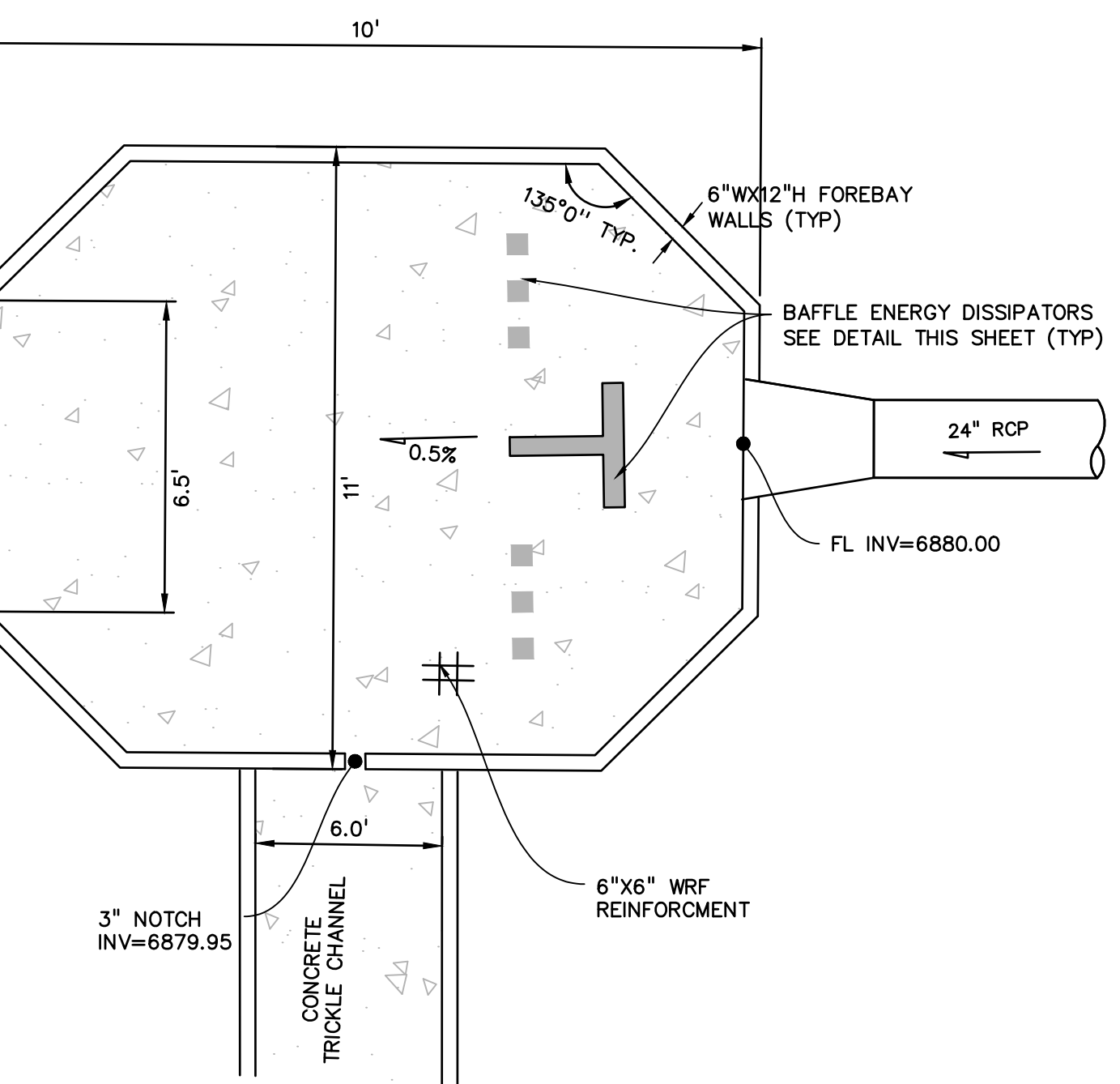


RETAINING WALLS DETAIL
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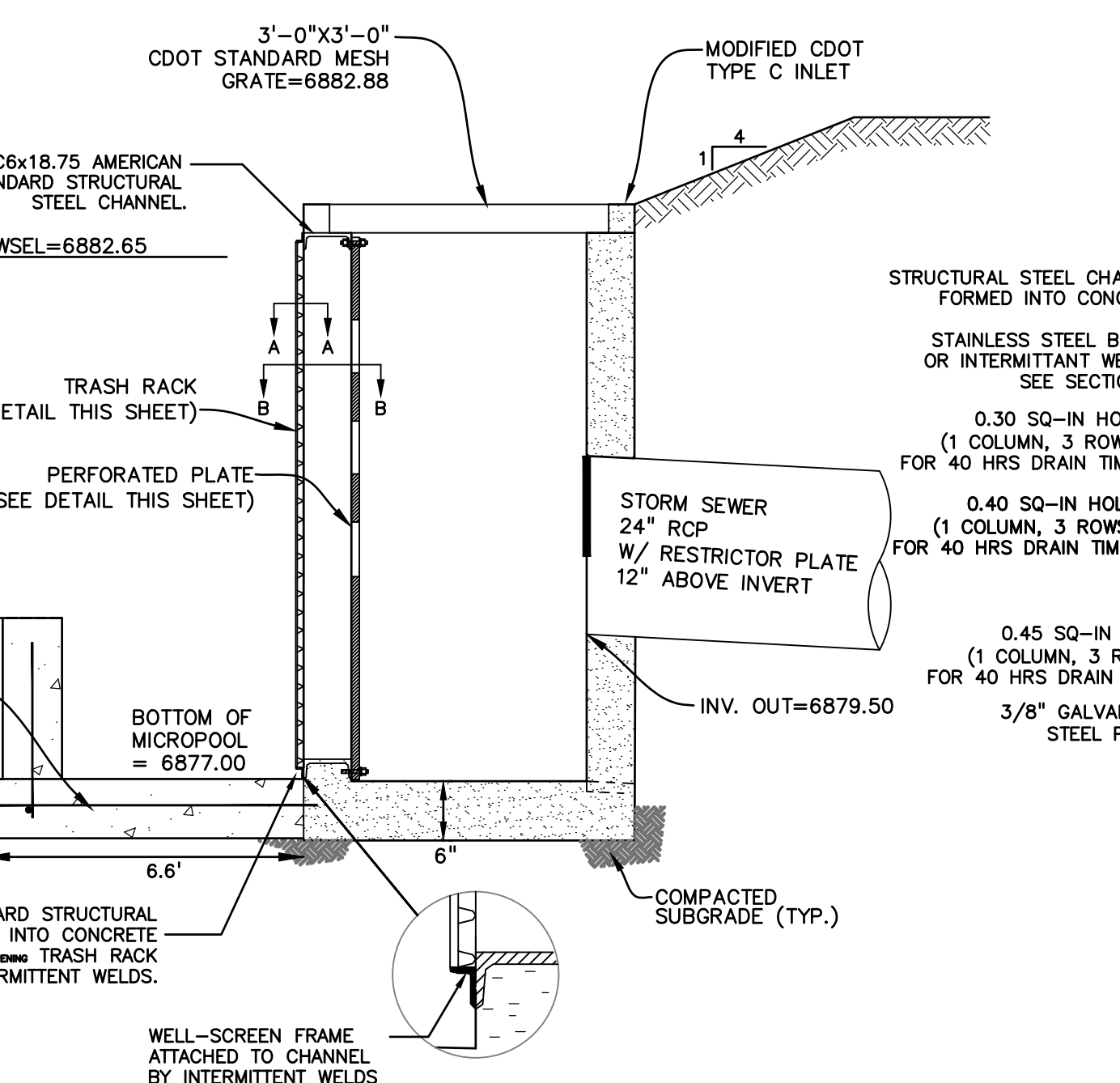


KEY MAP
NTS

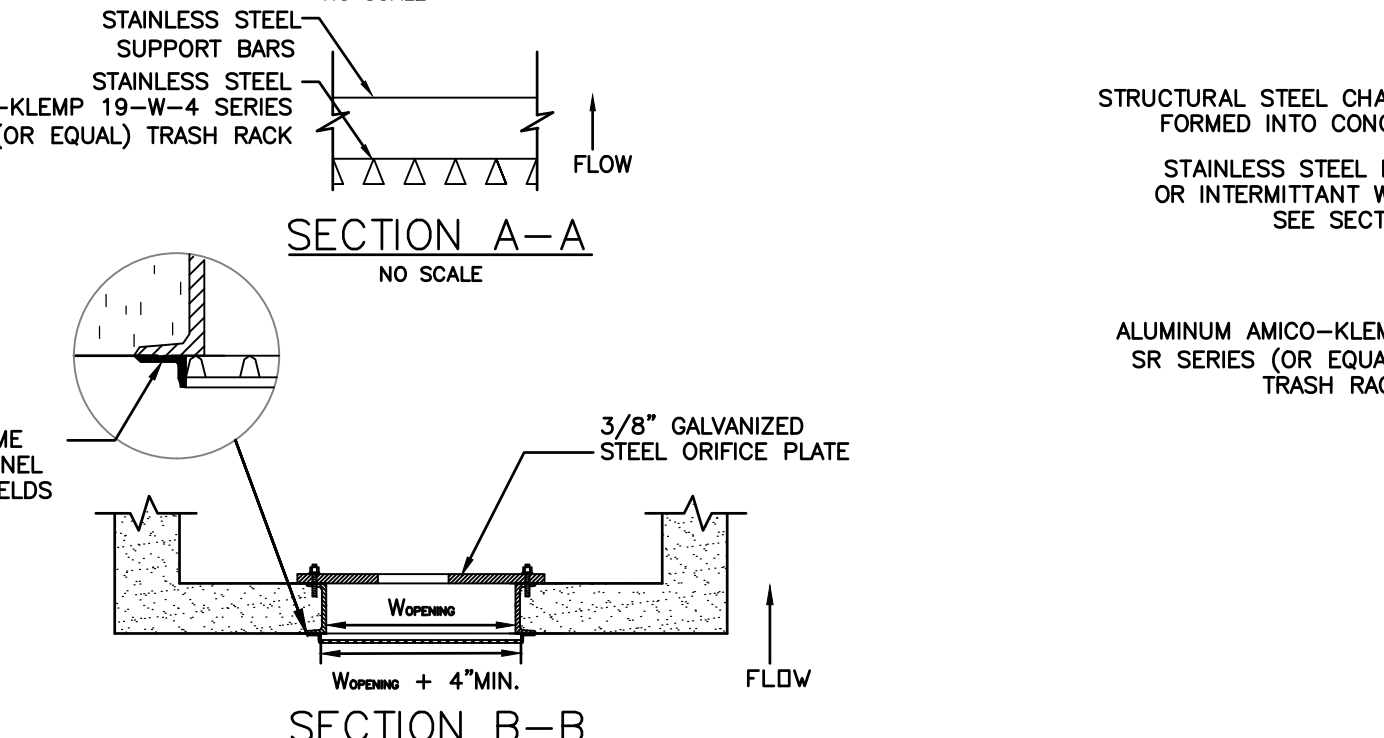
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FOREBAY
NO SCALE

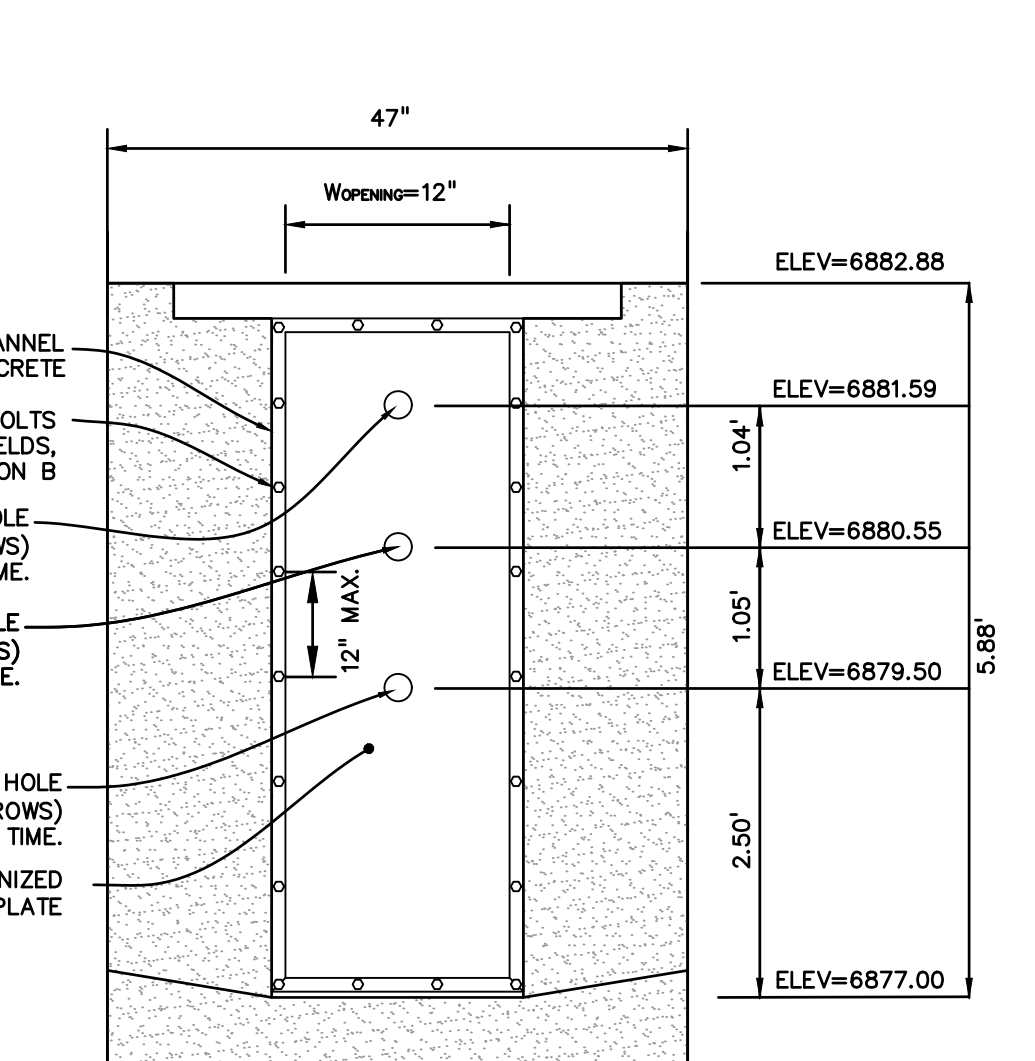


POND OUTLET PROFILE SECTION D-D
NO SCALE

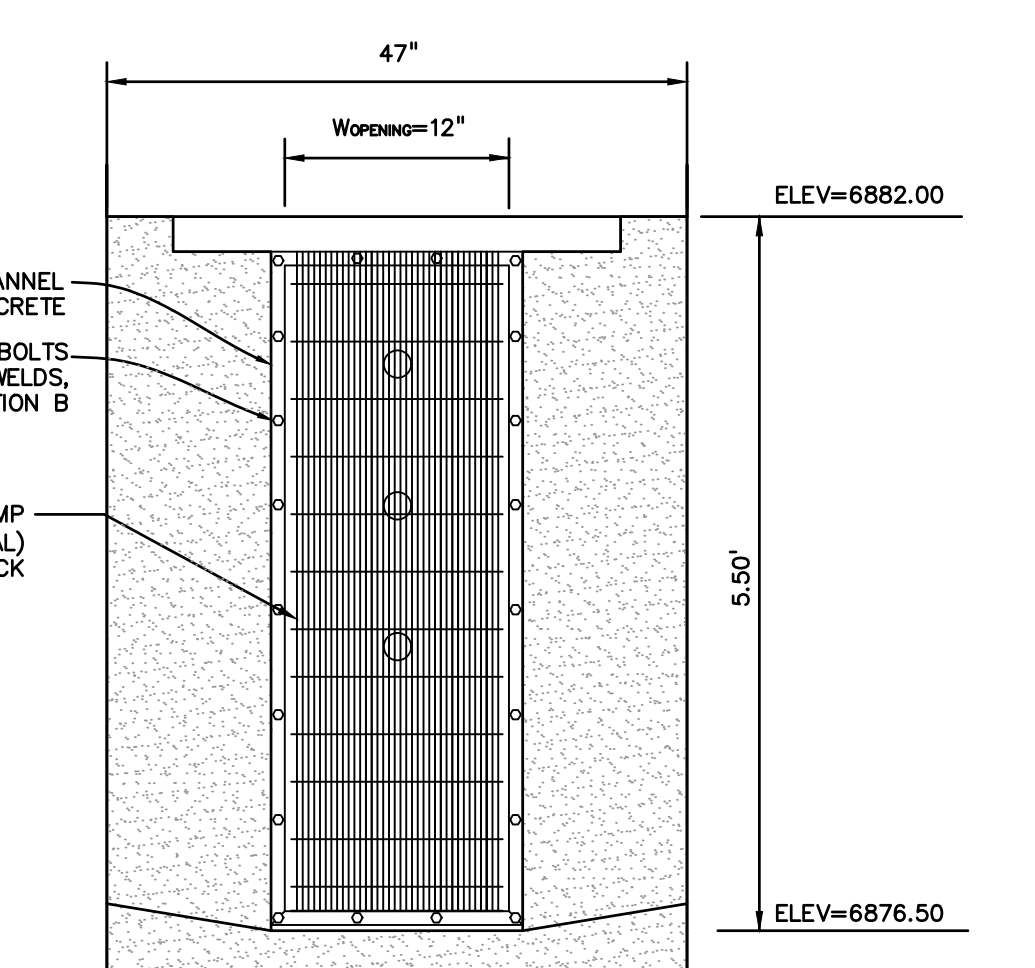


SECTION A-A
NO SCALE

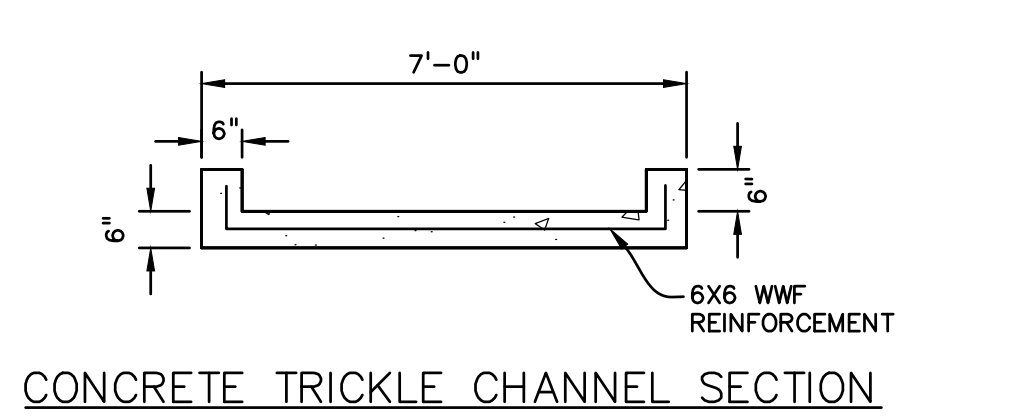
SECTION B-B
NO SCALE



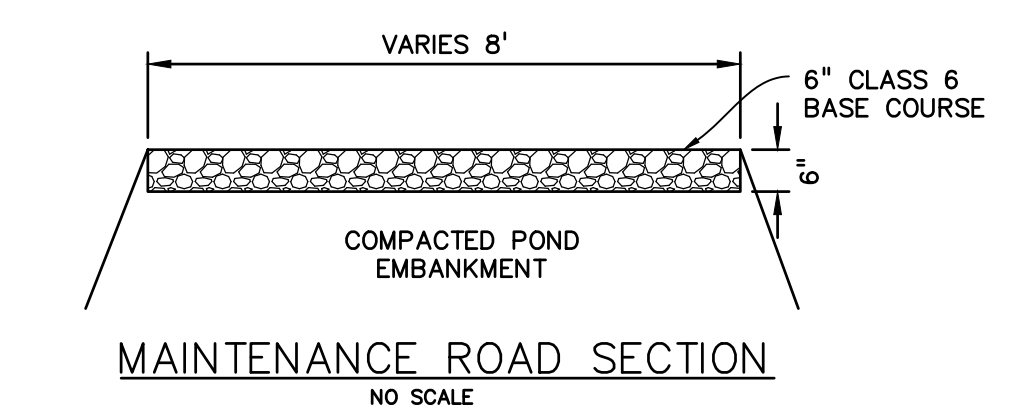
ELEVATION
PERFORATED PLATE DETAIL
NO SCALE



ELEVATION
TRASH RACK
NO SCALE



CONCRETE TRICKLE CHANNEL SECTION
NO SCALE



MAINTENANCE ROAD SECTION
NO SCALE

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FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
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DESIGNED BY:	TDM
DRAWN BY:	KGW
CHECKED BY:	TDM
FILE NAME:	

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OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

POND #3
& DETAILS

PROJECT NO. 20988-00CSV
DRAWING NO.

C7.17

SHEET: 45 OF 46

EL PASO COUNTY FILE # SF-19-001

