

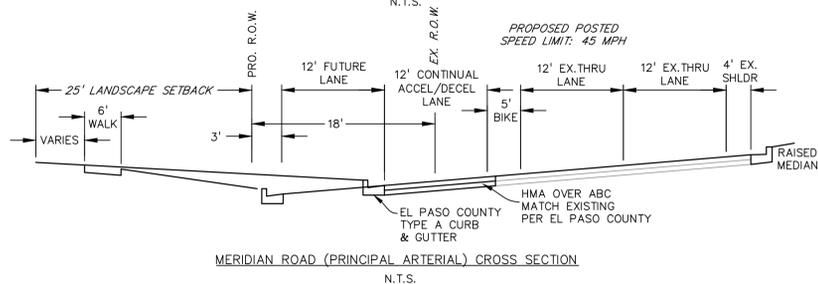
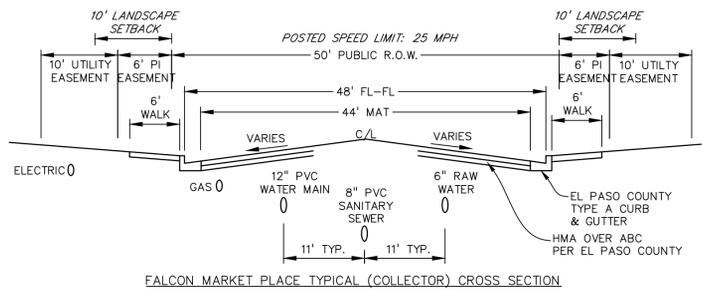
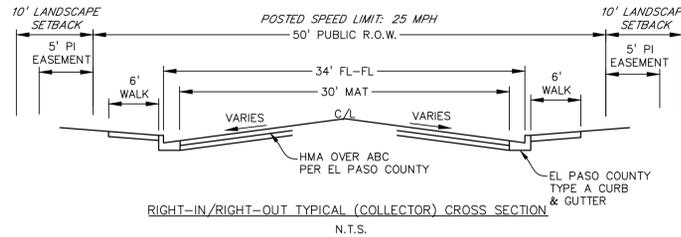
STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SMWP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SMWP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A 'NOTICE TO PROCEED' HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE EGM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SMWP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE EGM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE 'COLORADO WATER QUALITY CONTROL ACT' (TITLE 25, ARTICLE 8, CRS), AND THE 'CLEAN WATER ACT' (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE EGM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.

- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY GROUND ENGINEERING, DATED AUGUST 25, 2015, WITH ADDENDA #1, DATED MARCH 17, 2017, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SMWP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SMWP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
d. CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD. WATERTIGHT JOINTS SHALL BE PROVIDED ON THE SPECIFIED PIPES.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.



SIGNAGE AND STRIPING NOTES

- SIGNING AND STRIPING NOTES:
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
 - ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
 - ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
 - STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
 - ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
 - ALL STREET NAME SIGNS SHALL HAVE 'D' SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
 - ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
 - ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
 - ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
 - ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
 - ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
 - THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
 - THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

PREPARED BY:



CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	20988-CD-NTS



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

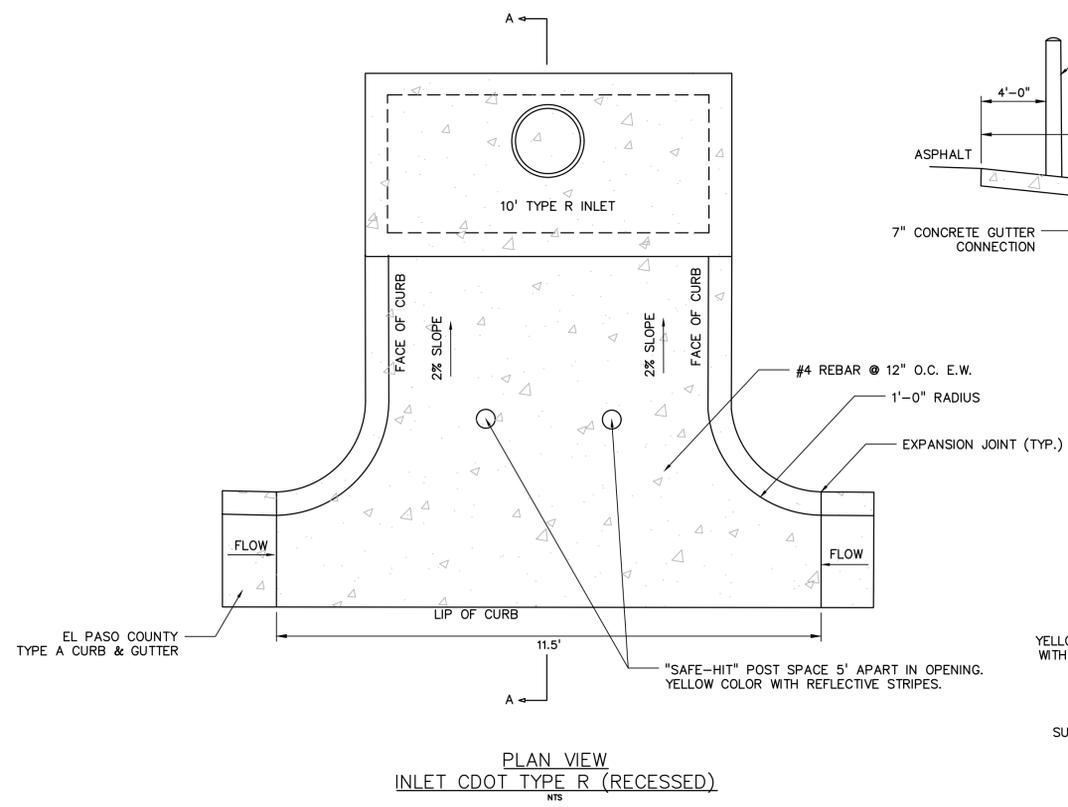
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HORIZONTAL: N/A
VERTICAL: N/A

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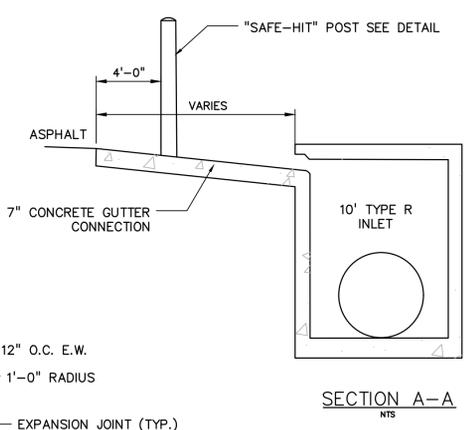
PROJECT NO. 20988-00CSV
DRAWING NO.

C1.11

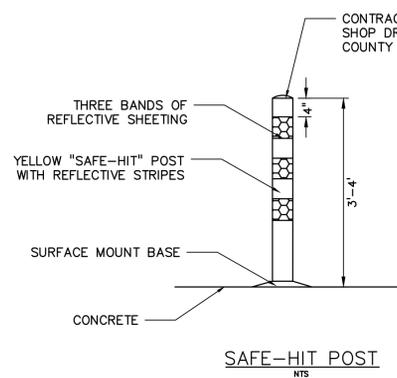
SHEET: 2 OF 46



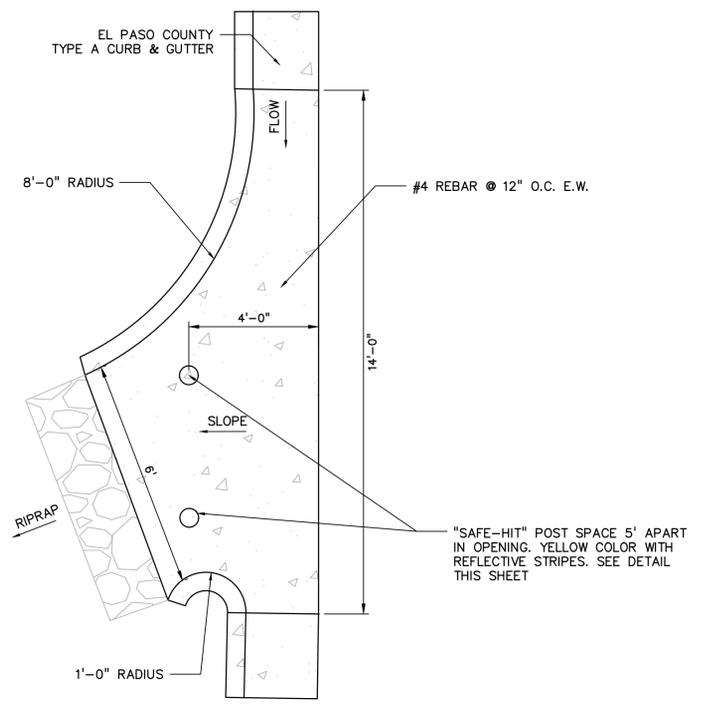
PLAN VIEW
INLET CDOT TYPE R (RECESSED)
NTS



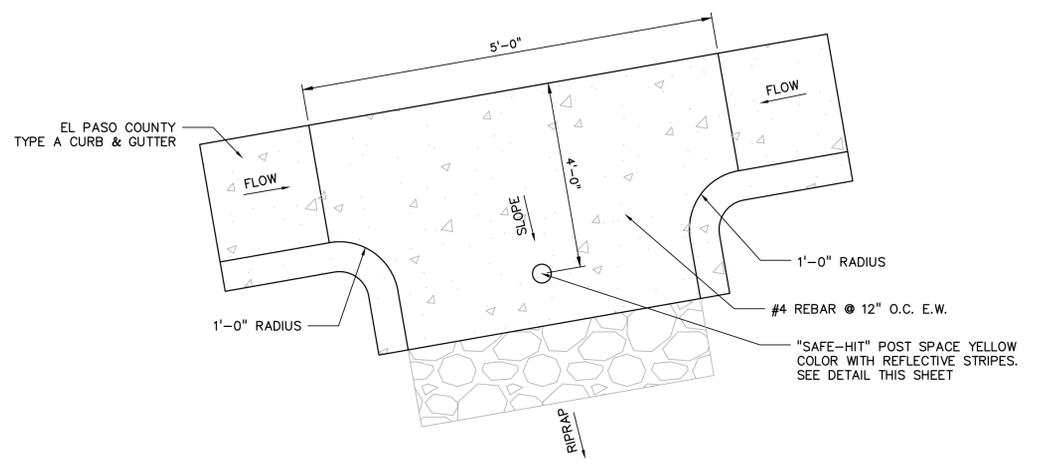
SECTION A-A
NTS



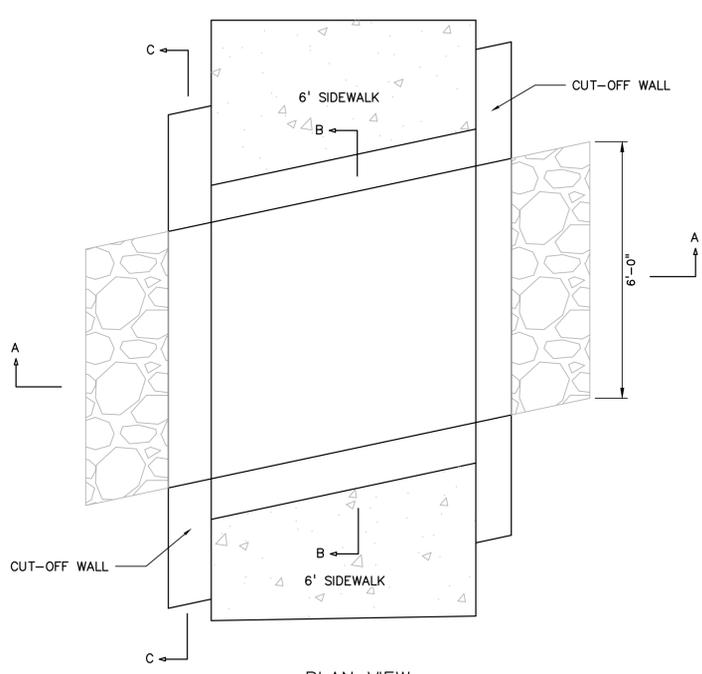
SAFE-HIT POST
NTS



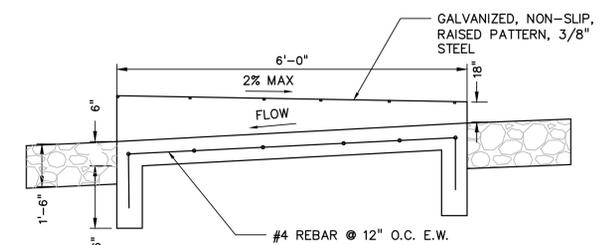
PLAN VIEW
MERIDIAN ROAD CURB CUT
NTS



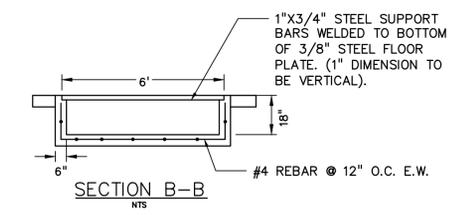
PLAN VIEW
SW ROUNDABOUT CURB CUT
NTS



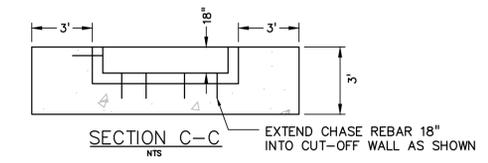
PLAN VIEW
MERIDIAN ROAD CURB CUT
SIDEWALK CROSSING
NTS



SECTION A-A
NTS



SECTION B-B
NTS



SECTION C-C
NTS

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers-Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
DRAWN BY: KGV
CHECKED BY: TDM
FILE NAME: 20988-CD-DTL

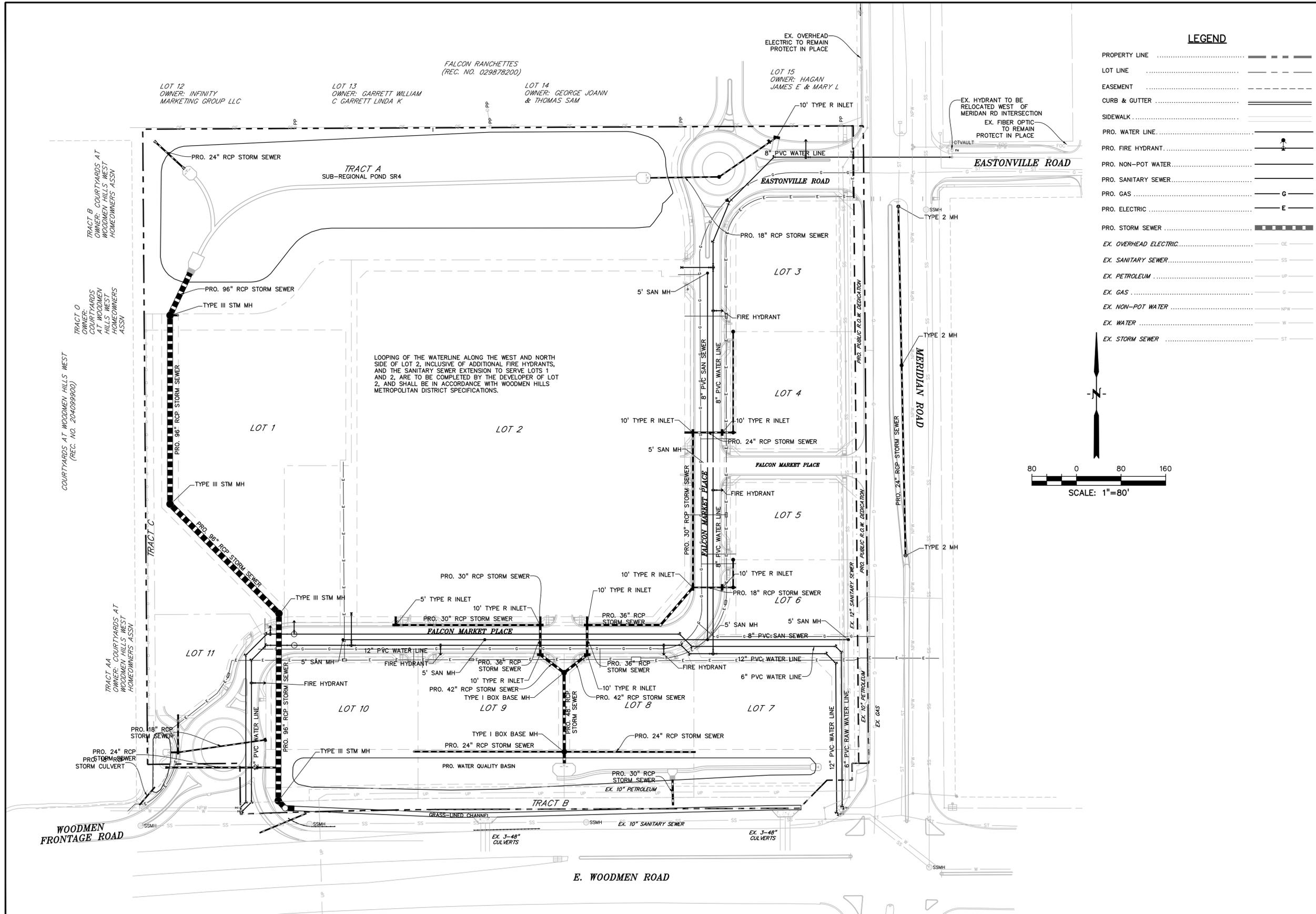


PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

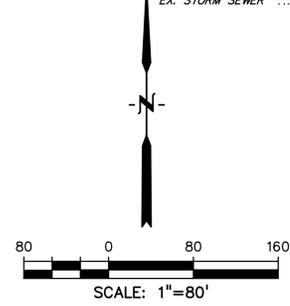
STANDARD DETAILS
PROJECT NO. 20988-00CSCV
DRAWING NO.

C1.13
SHEET: 4 OF 46



LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	-----
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. NON-POT WATER	-----
PRO. SANITARY SEWER	-----
PRO. GAS	-----
PRO. ELECTRIC	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	-----
EX. SANITARY SEWER	-----
EX. PETROLEUM	-----
EX. GAS	-----
EX. NON-POT WATER	-----
EX. WATER	-----
EX. STORM SEWER	-----



PREPARED BY:



CLIENT:

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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
FALCON, COLORADO

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DESIGNED BY: TDM
DRAWN BY: KGV
CHECKED BY: TDM
FILE NAME:



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=80'
VERTICAL: N/A

PROPOSED UTILITY PLAN

PROJECT NO. 20988-00CSV
DRAWING NO.

C1.15

SHEET: 6 OF 46

PREPARED BY:

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 Engineers-Surveyors
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: JCD
 DRAWN BY: KGV
 CHECKED BY: TDM
 FILE NAME:



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.
 DRAWING SCALE:
 HORIZONTAL: N/A
 VERTICAL: N/A

SURVEY CONTROL

PROJECT NO. 20988-00CSV
 DRAWING NO.

C1.16

SHEET: 7 OF 46

EASTONVILLE ROAD
 (80' PUBLIC R.O.W.)

LINE TABLE				LINE TABLE			
LINE #	LENGTH	DIRECTION		LINE #	LENGTH	DIRECTION	
L1	80.69'	S0°40'09"E		L17	8.41'	N22°32'59"E	
L2	70.52'	N44°39'52"E		L18	8.41'	S22°32'59"E	
L3	45.00'	N89°49'00"E		L19	18.00'	N89°49'00"E	
L4	30.00'	N0°29'16"W		L20	30.00'	S89°44'22"W	
L5	30.01'	N89°49'00"E		L21	74.11'	S00°29'40"E	
L6	54.17'	N50°40'36"W		L22	10.01'	S89°44'22"W	
L7	52.92'	N49°33'54"E		L23	39.71'	S22°15'11"W	
L8	12.01'	N89°49'00"E		L24	38.16'	S17°16'08"E	
L9	80.00'	S0°29'40"E		L25	64.66'	N89°33'56"W	
L10	15.00'	S89°25'55"W		L26	67.02'	S40°53'22"W	
L11	1057.72'	S0°29'40"E					
L12	1167.72'	N0°29'40"W					
L13	1167.72'	S0°29'40"E					
L14	7.99'	N89°44'22"E					
L15	20.00'	S00°40'09"E					

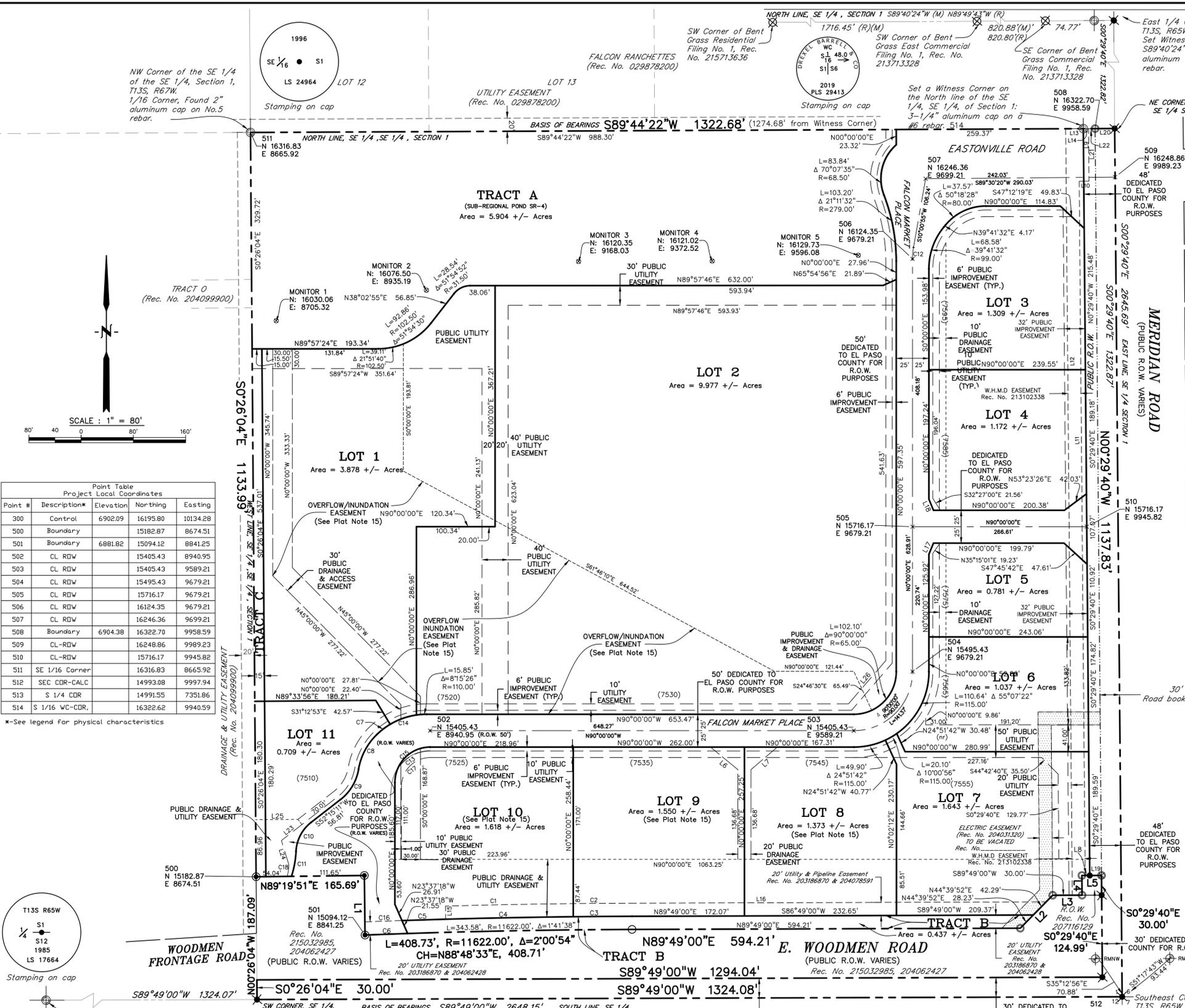
CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	195.56'	11662.00'	0°57'39"	S88°53'41"W	195.56'
C2	89.86'	11662.00'	0°26'29"	S89°35'45"W	89.86'
C3	89.93'	11642.00'	0°26'33"	S89°35'43"W	89.93'
C4	195.33'	11642.00'	0°57'41"	S88°53'36"W	195.32'
C5	66.92'	11642.00'	0°19'46"	S88°14'53"W	66.92'
C6	65.15'	11622.00'	0°19'16"	S87°52'44"W	65.15'
C7	26.53'	110.00'	13°49'03"	S52°29'36"W	26.46'
C8	60.15'	96.00'	35°53'50"	S27°38'10"W	59.17'
C9	54.98'	74.00'	42°33'56"	S30°58'13"W	53.72'
C10	51.56'	60.00'	49°14'05"	S27°38'08"W	49.99'
C11	38.72'	148.00'	14°53'15"	S10°27'43"W	38.61'
C12	17.48'	100.00'	10°00'55"	S05°00'28"W	17.46'
C13	57.95'	59.00'	56°16'30"	S81°51'45"W	55.65'
C14	42.89'	110.00'	22°20'26"	S70°34'21"W	42.62'
C15	84.82'	54.00'	90°00'00"	N45°00'00"E	76.37'
C16	56.75'	11642.00'	0°06'45"	S87°56'38"W	56.75'
C17	69.12'	44.00'	90°00'00"	S45°00'00"E	62.22'
C18	18.47'	68.00'	15°33'47"	S07°56'32"W	18.41'

LEGEND

- FOUND #5 REBAR WITH 1.5" YELLOW PLASTIC CAP PLS 31548
- FOUND NAIL WITH 1.5" WASHER PLS 31548
- FOUND 1.5" ALUMINUM CAP ON A #5 REBAR, STAMPED "CCES LLC PLS 30118"
- SECTION CORNER REFERENCE MONUMENT
- FOUND 3.25" ALUMINUM CAP STAMPED: EL PASO COUNTY ROW MONUMENT PLS 35585 2005
- SET #5 REBAR & 1.5" ALUMINUM CAP OR NAIL & STEEL DISC "PLS 29413"
- SECTION CORNER MONUMENT AS INDICATED
- FOUND 1" DIAMETER PIPE, SET 2.5" ALUMINUM CAP STAMPED "DREXEL BARRELL PLS 29413"
- CALCULATED CORNER, NOT SET, FALLS INTO TRAFFIC LANE
- CALCULATED CL ROW POINT
- SURVEY CONTROL-SET #5 REBAR WITH 2" ALUMINUM CAP

BENCHMARK

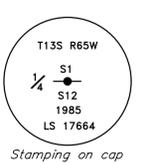
ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29). LOCAL PROJECT COORDINATES = N:14851.96, E: 10104.91



Point Table
 Project Local Coordinates

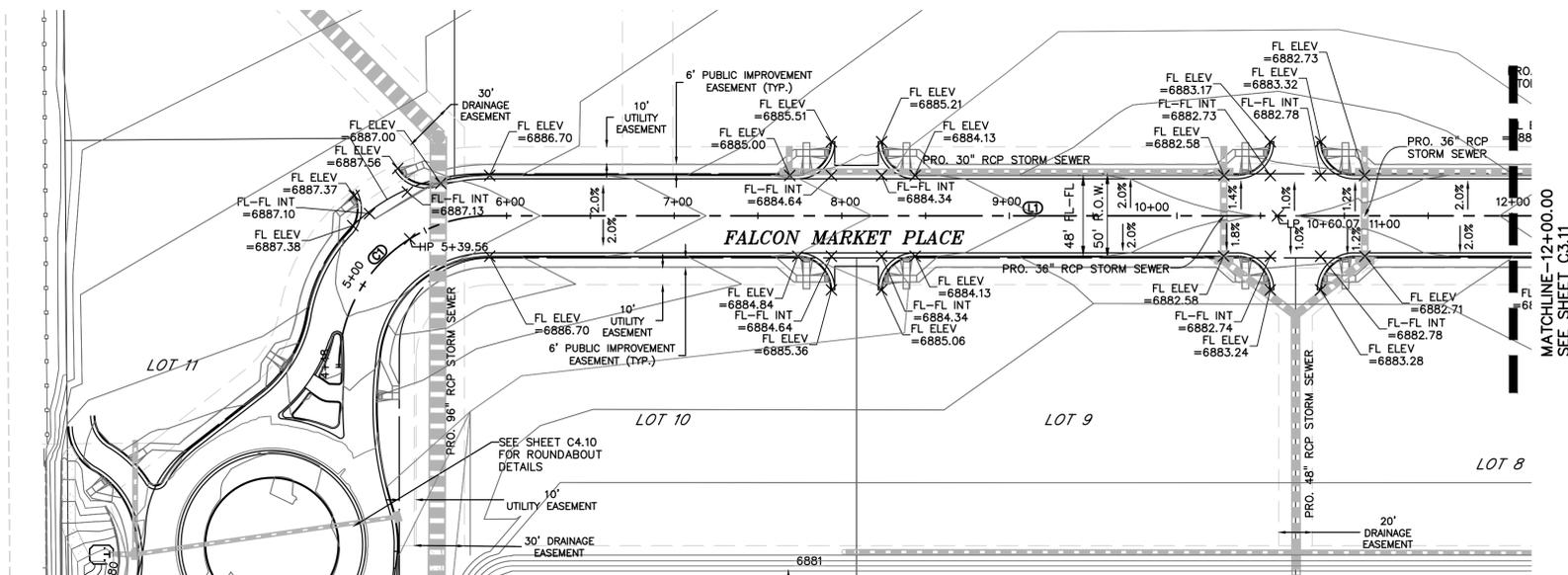
Point #	Description	Elevation	Northing	Eastng
300	Control	6902.09	16195.80	10134.28
500	Boundary		15182.87	8674.51
501	Boundary	6881.82	15094.12	8841.29
502	CL RDW	15405.43	8940.95	
503	CL RDW	15405.43	9589.21	
504	CL RDW	15495.43	9679.21	
505	CL RDW	15716.17	9679.21	
506	CL RDW	16124.35	9679.21	
507	CL RDW	16246.36	9699.21	
508	Boundary	6904.38	16322.70	9958.59
509	CL-RDW	16248.86	9989.23	
510	CL-RDW	15716.17	9945.82	
511	SE 1/16 Corner	16316.83	8665.92	
512	SEC CDR-CALC	14993.08	9997.94	
513	S 1/4 CDR	14991.55	7351.86	
514	S 1/16 WC-CDR	16322.62	9940.59	

*-See legend for physical characteristics



South 1/4 Corner, Section 1, T13S, R65W, Sixth P.M.
 Found a 2 1/2" aluminum cap, in range box.

Southeast Corner, Section 1, T13S, R65W, Sixth P.M.
 Calculated Position, Corner Not Set, falls into traffic lane.
 Set Reference Monuments in concrete curb to the Northwest and Northeast.



LEGEND

PROPERTY LINE

LOT LINE

EASEMENT

CURB & GUTTER

SIDEWALK

SCALE: 1"=50'

KEY MAP
NTS

PREPARED BY:

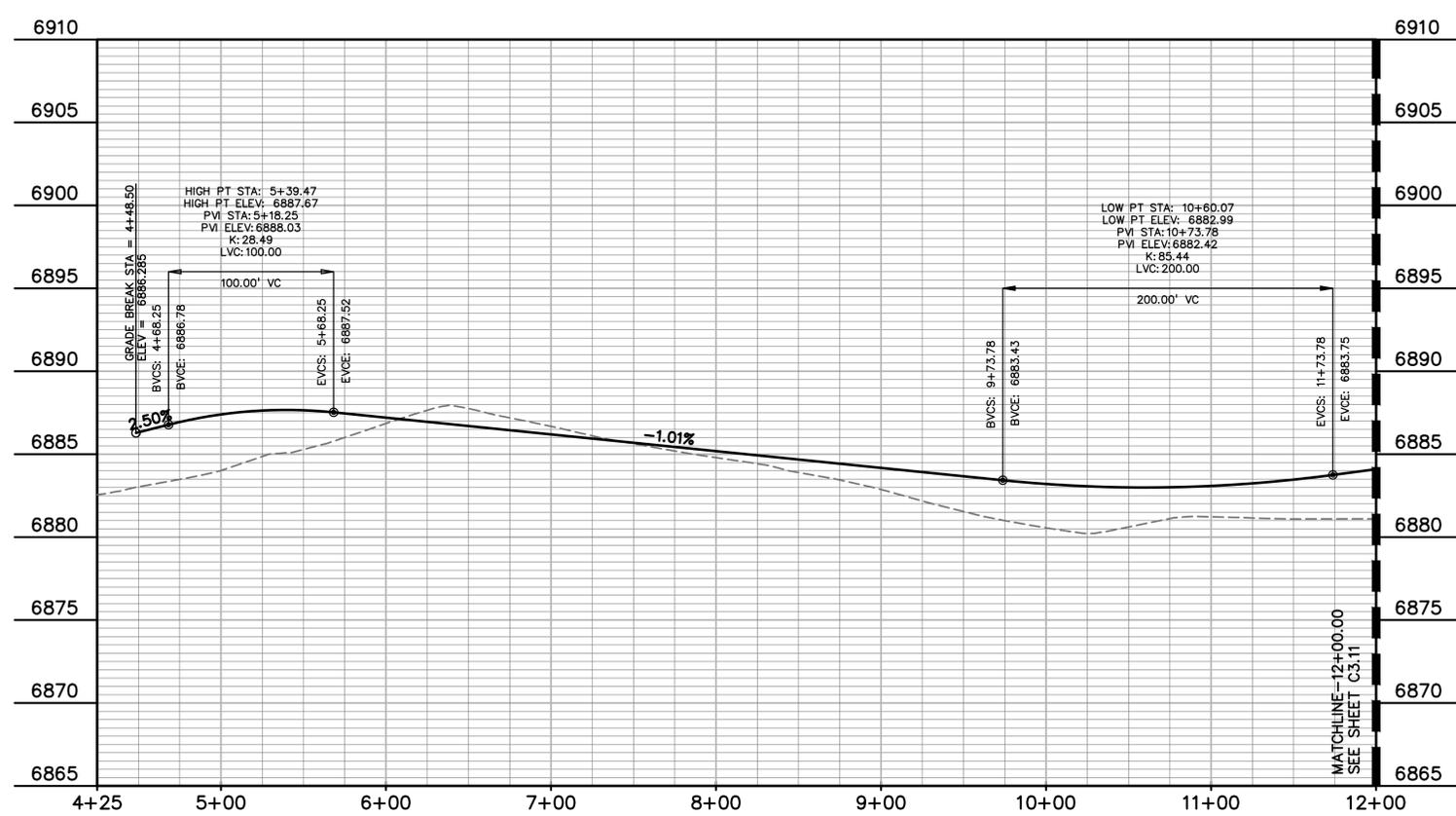
DREXEL, BARRELL & CO.
Engineers-Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR

FALCON MARKETPLACE
FALCON, COLORADO



CL LINE TABLE		
LINE #	LENGTH	BEARING
L1	648.27'	N90°00'00"E
L2	633.27'	N0°00'00"E
L3	332.81'	N90°00'00"E

CL CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	141.37'	90.00'	90°00'00"	N45°00'00"E	127.28'
C2	141.35'	90.00'	90°00'00"	N45°00'00"E	127.26'

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: SBN
DRAWN BY: SBN
CHECKED BY: TDM
FILE NAME:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

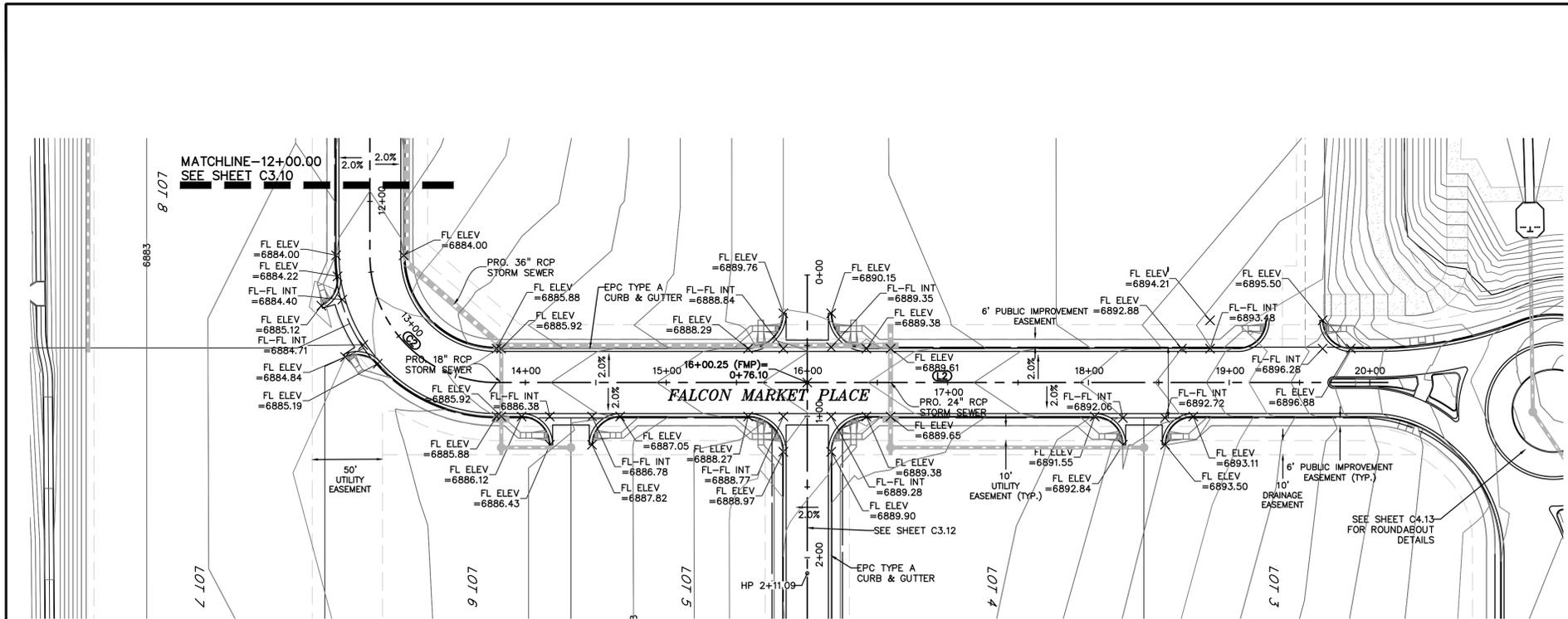
DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

FALCON MARKETPLACE
PLAN & PROFILE

PROJECT NO. 20988-00CSCV
DRAWING NO.

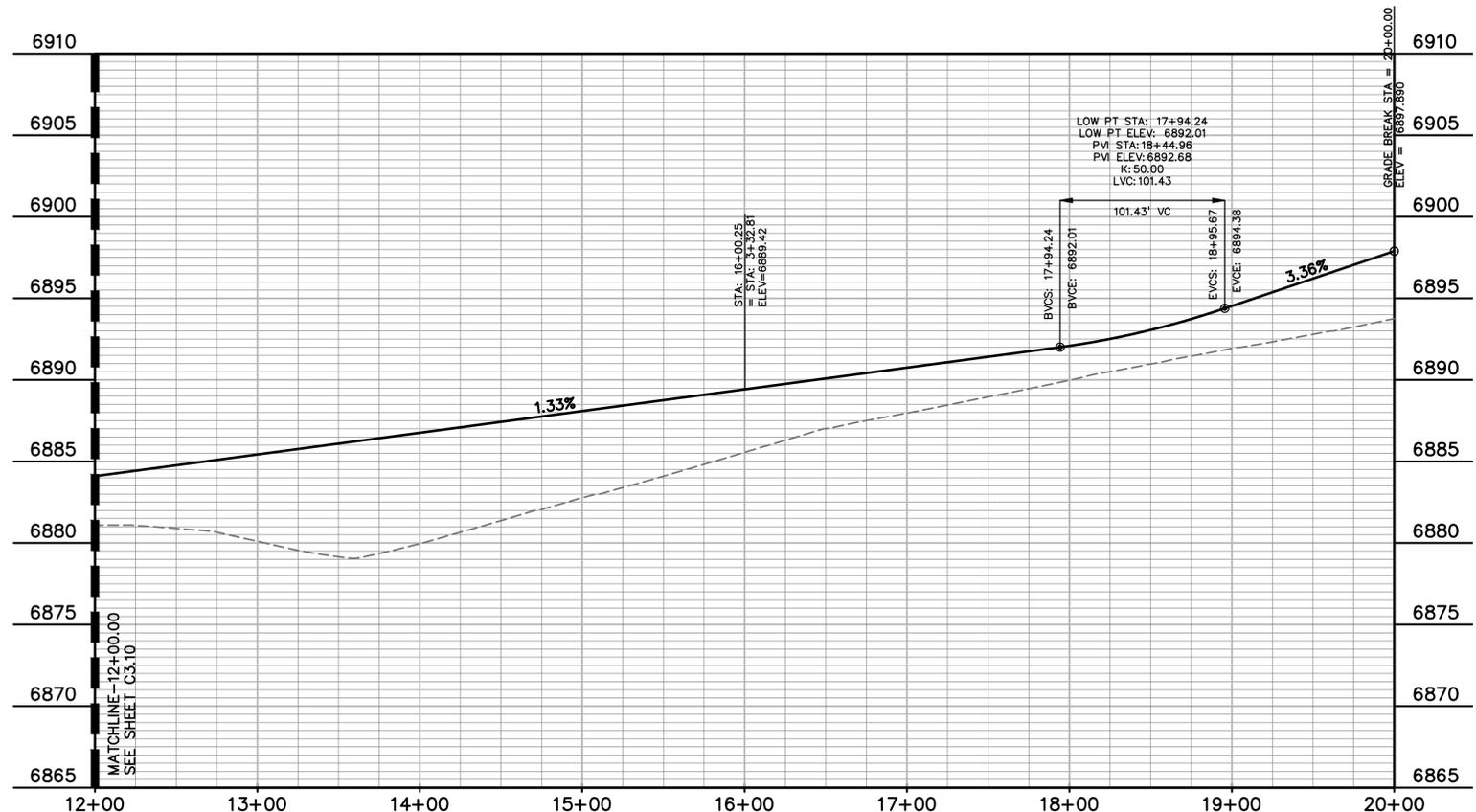
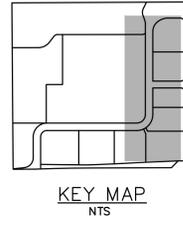
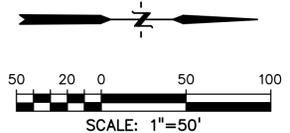
C3.10

SHEET: 11 OF 46



LEGEND

PROPERTY LINE	---
LOT LINE	- - -
EASEMENT
CURB & GUTTER	====
SIDEWALK	----



CL LINE TABLE

LINE #	LENGTH	BEARING
L1	648.27'	N90°00'00"E
L2	633.27'	N0°00'00"E
L3	332.81'	N90°00'00"E

CL CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	141.37'	90.00'	90°00'00"	N45°00'00"E	127.28'
C2	141.35'	90.00'	90°00'00"	N45°00'00"E	127.26'

PREPARED BY:

DREXEL, BARRELL & CO.
 Engineers • Surveyors
 3 SOUTH 7TH STREET
 COLORADO SPGS, COLORADO 80905
 CONTACT: TIM D. McCONNELL, P.E.
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 BOULDER • COLORADO SPRINGS

CLIENT:
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 3953 MAPLE AVE., #290
 DALLAS, TEXAS 75219
 (214) 416-9820

CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

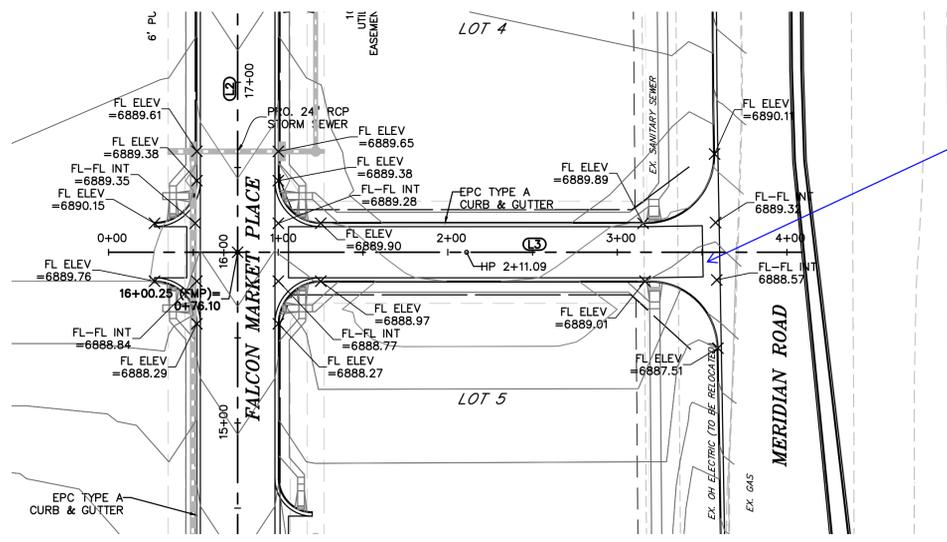
ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: SBN
 DRAWN BY: SBN
 CHECKED BY: TDM
 FILE NAME:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.
 DRAWING SCALE:
 HORIZONTAL: 1"=50'
 VERTICAL: N/A

FALCON MARKETPLACE PLAN & PROFILE
 PROJECT NO. 20988-00CSCV
 DRAWING NO.

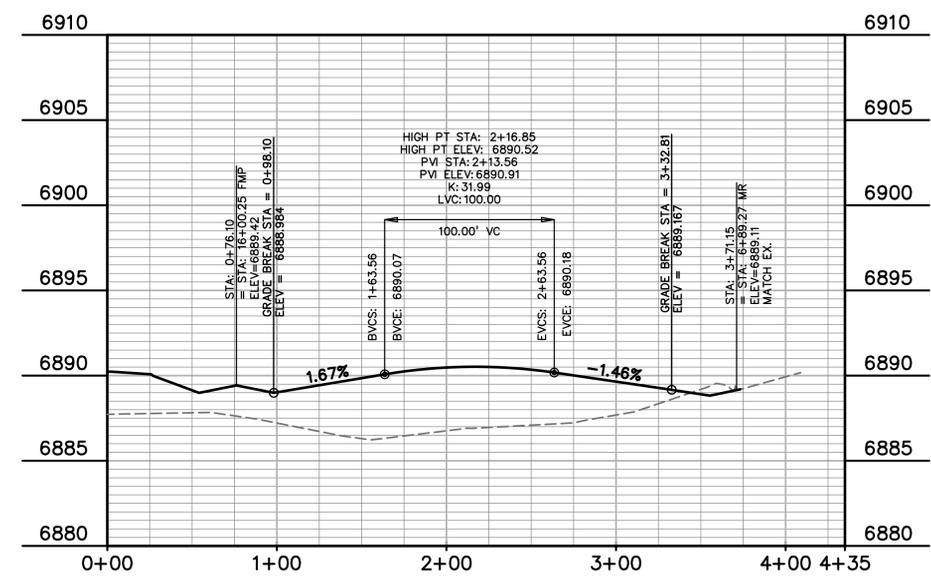
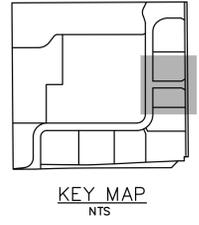
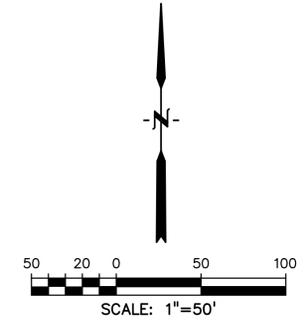
C3.11
 SHEET: 12 OF 46



10-foot crossspan per SD_2-26

LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	-----



CL LINE TABLE

LINE #	LENGTH	BEARING
L1	648.27'	N90°00'00"E
L2	633.27'	N0°00'00"E
L3	332.81'	N90°00'00"E

CL CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	141.37'	90.00'	90°00'00"	N45°00'00"E	127.28'
C2	141.35'	90.00'	90°00'00"	N45°00'00"E	127.26'

PREPARED BY:

DREXEL, BARRELL & CO.
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

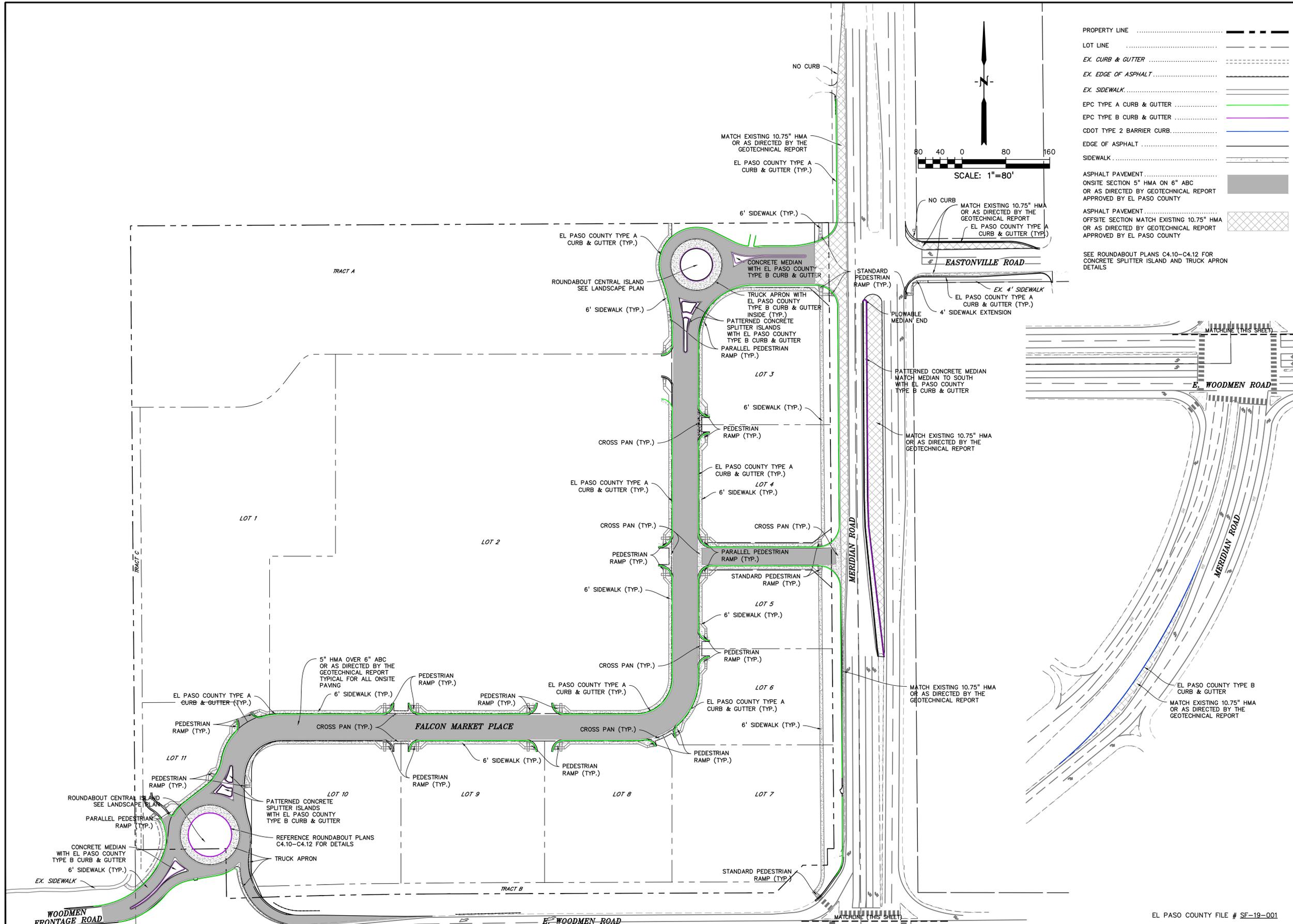
ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	SBN
DRAWN BY:	SBN
CHECKED BY:	TDM
FILE NAME:	

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.
 DRAWING SCALE:
 HORIZONTAL: 1"=50'
 VERTICAL: N/A

ACCESS DRIVE
 PLAN & PROFILE
 PROJECT NO. 20988-00CSCV
 DRAWING NO.

C3.12

SHEET: 13 OF 46



PROPERTY LINE - - - - -

LOT LINE - - - - -

EX. CURB & GUTTER - - - - -

EX. EDGE OF ASPHALT - - - - -

EX. SIDEWALK - - - - -

EPC TYPE A CURB & GUTTER - - - - -

EPC TYPE B CURB & GUTTER - - - - -

CDOT TYPE 2 BARRIER CURB - - - - -

EDGE OF ASPHALT - - - - -

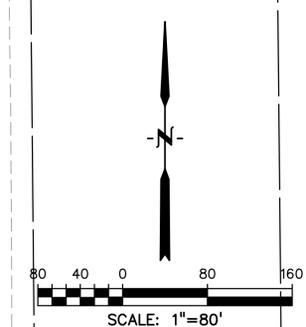
SIDEWALK - - - - -

ASPHALT PAVEMENT - - - - -

ONSITE SECTION 5" HMA ON 6" ABC OR AS DIRECTED BY GEOTECHNICAL REPORT APPROVED BY EL PASO COUNTY

ASPHALT PAVEMENT OFFSITE SECTION MATCH EXISTING 10.75" HMA OR AS DIRECTED BY GEOTECHNICAL REPORT APPROVED BY EL PASO COUNTY

SEE ROUNDABOUT PLANS C4.10-C4.12 FOR CONCRETE SPLITTER ISLAND AND TRUCK APRON DETAILS



PREPARED BY:



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CONSTRUCTION DRAWINGS FOR

FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: SBN
DRAWN BY: SBN
CHECKED BY: TDM
FILE NAME:



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

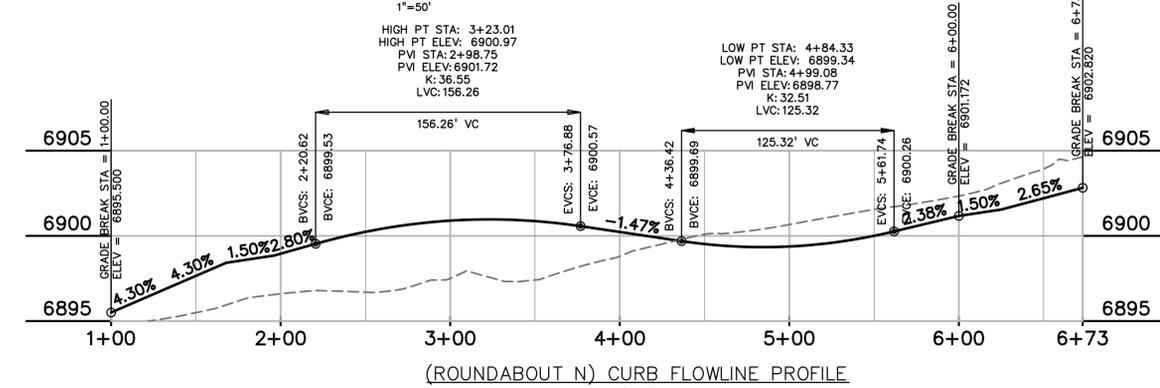
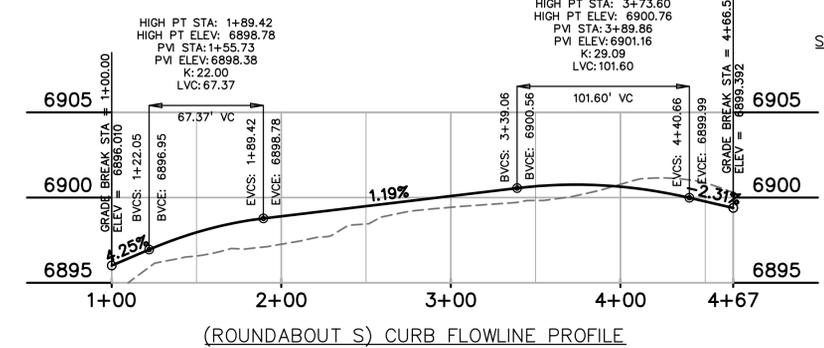
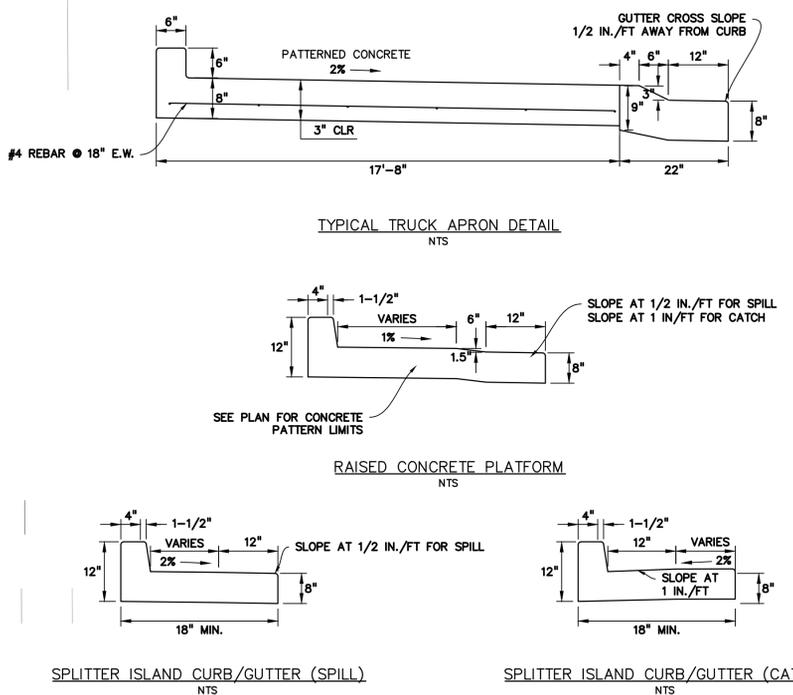
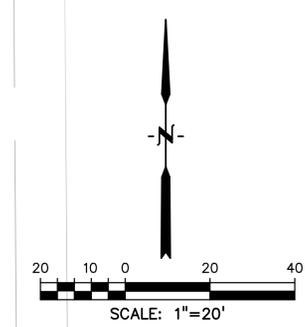
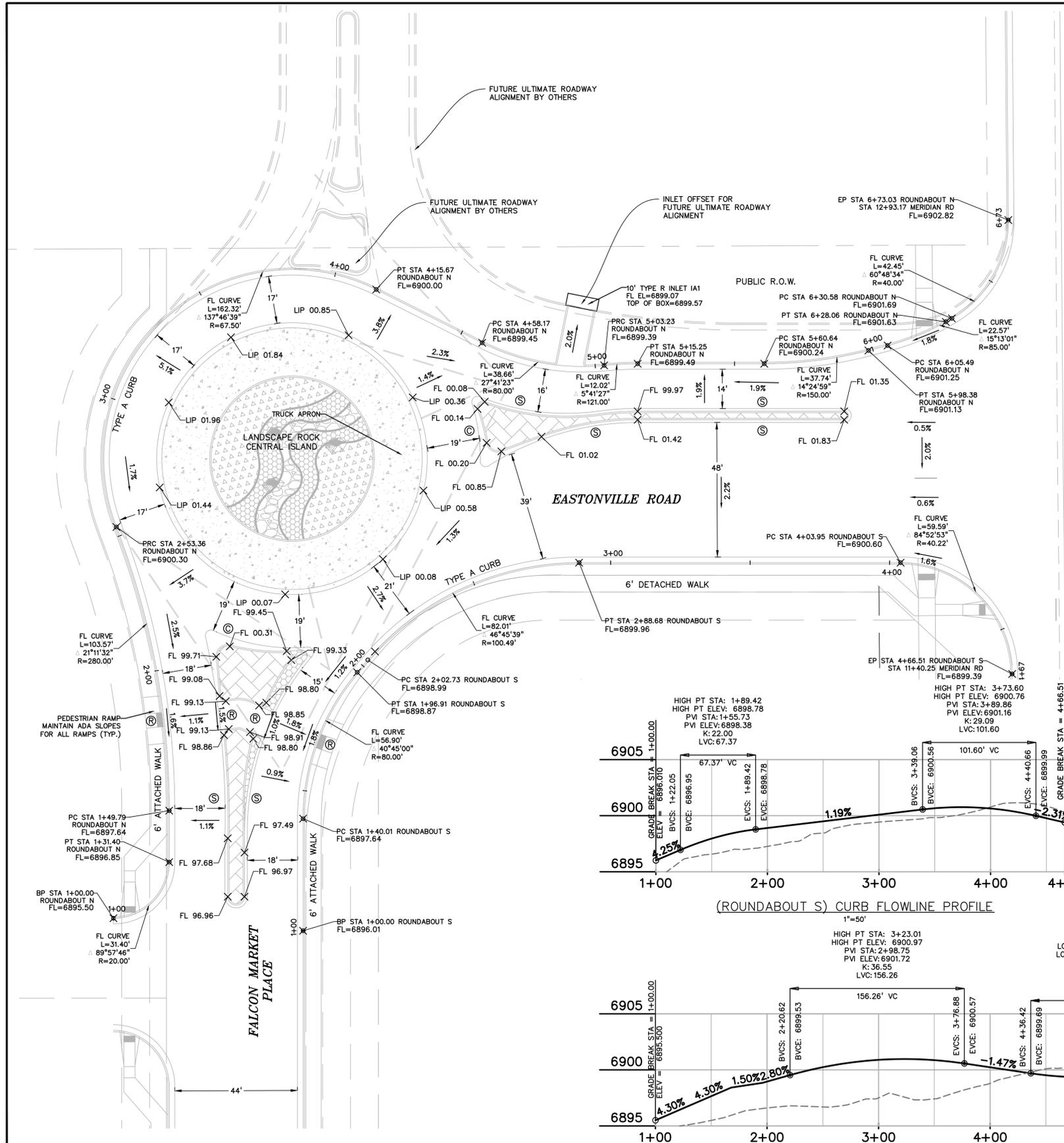
DRAWING SCALE:
HORIZONTAL: 1"=80'
VERTICAL: N/A

SITE PAVING & CONCRETE PLAN

PROJECT NO. 20988-00CSCV
DRAWING NO.

C3.13

SHEET: 14 OF 46



PREPARED BY:
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
DRAWN BY: KGV
CHECKED BY: TDM
FILE NAME:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: VARIES
VERTICAL: 1"=5'

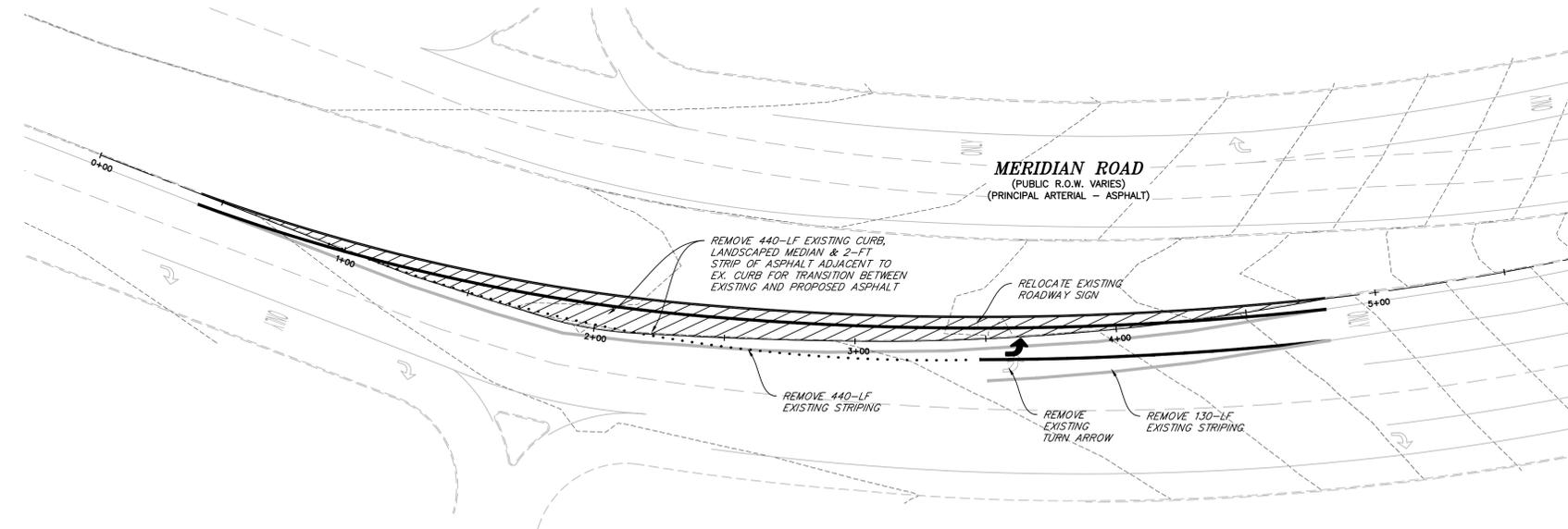
NORTH ROUNDABOUT PROFILES

PROJECT NO. 20988-00CSCV
DRAWING NO.

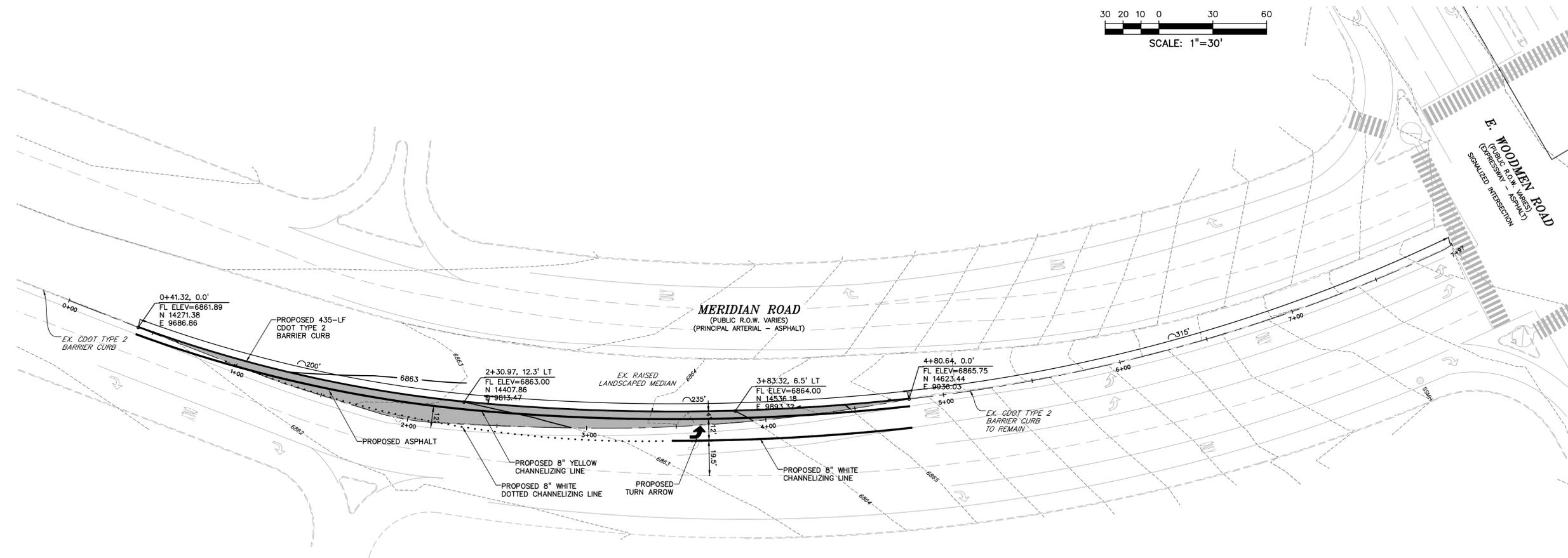
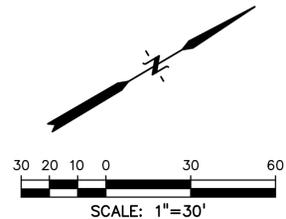
C4.13

SHEET: 19 OF 46

EL PASO COUNTY FILE # SF-19-001



REMOVAL PLAN



TURN LANE EXTENSION PLAN

LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	=====
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	-----
EX. SANITARY SEWER	-----
EX. PETROLEUM	-----
EX. GAS	-----
EX. RAW WATER	-----
EX. WATER	-----
EX. STORM SEWER	-----

PREPARED BY:

DREXEL, BARRELL & CO.
 Engineers • Surveyors
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 DALLAS, TEXAS 75219
 (214) 416-9820

CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
 DRAWN BY: KGV
 CHECKED BY: TDM
 FILE NAME:



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
 HORIZONTAL: 1"=30'
 VERTICAL: N/A

MERIDIAN ROAD TURN LANE EXTENSION

PROJECT NO. 20988-00CSCV
 DRAWING NO.

C5.10

SHEET: 26 OF 46

PREPARED BY:



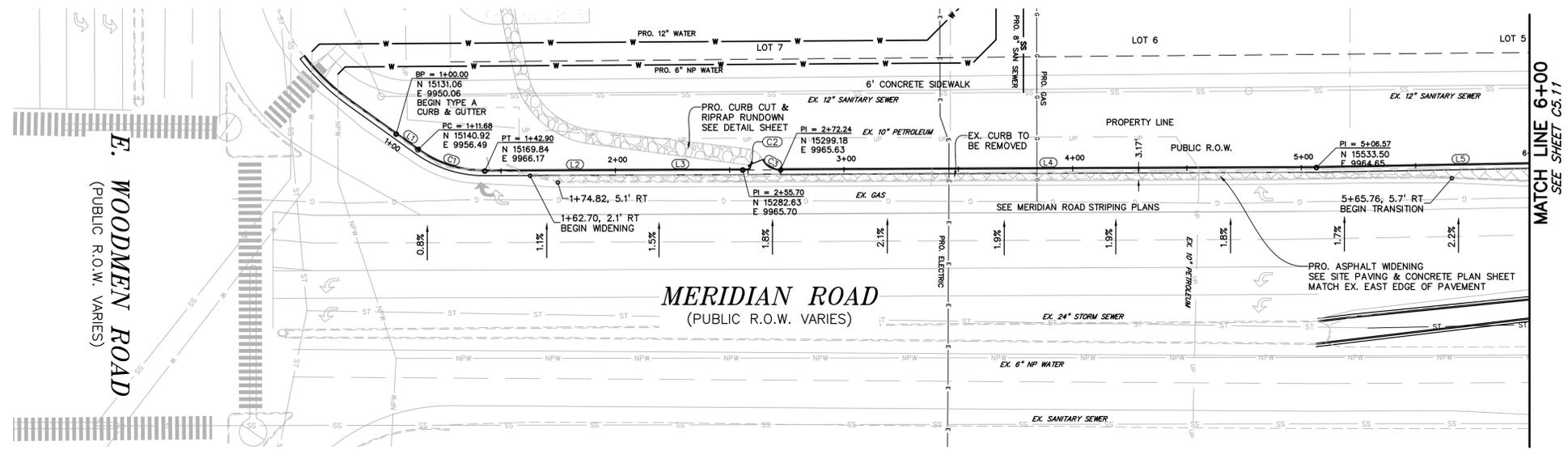
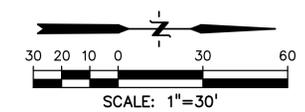
CLIENT:

LG HI FALCON, LLC
 3953 MAPLE AVE., #290
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

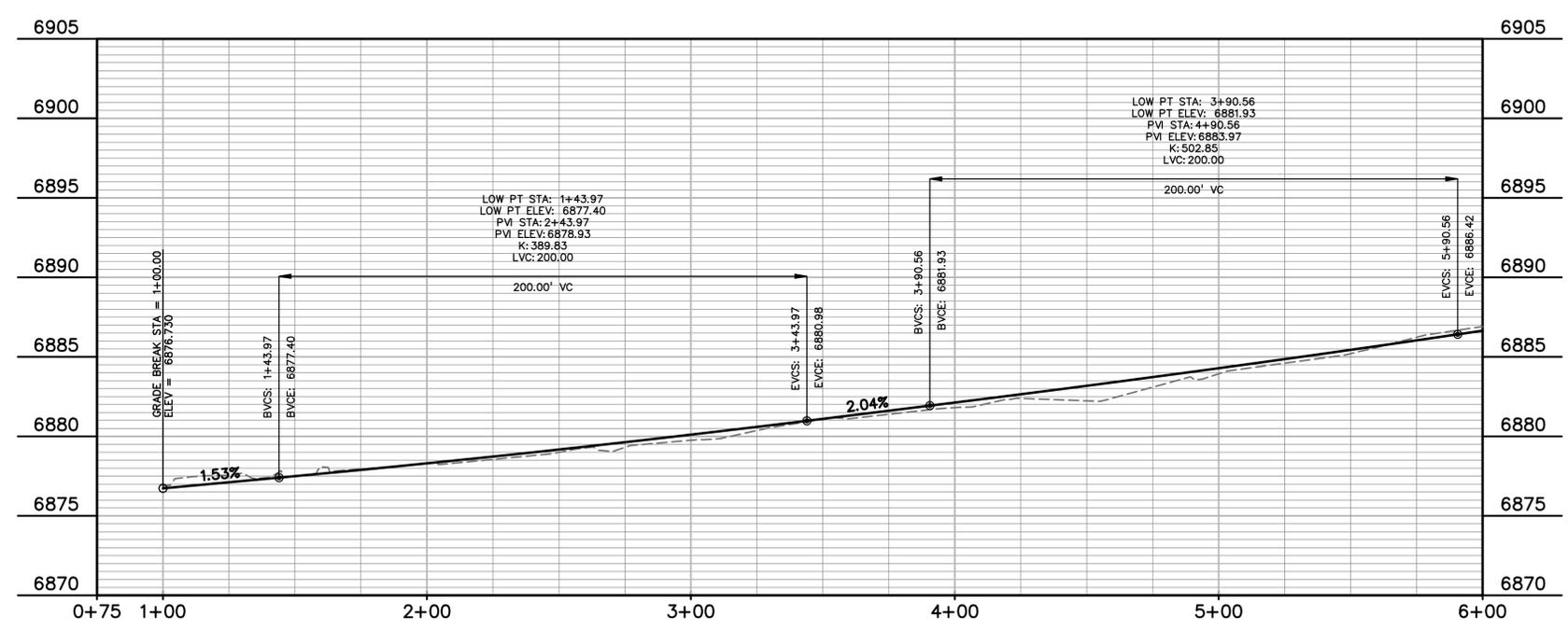
LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT
- CURB & GUTTER
- SIDEWALK



LINE #	LENGTH	BEARING
L1	112.80'	N35°31'58"E
L2	112.80'	N0°14'20"W
L3	112.80'	N0°14'20"W
L4	234.33'	N0°14'20"W
L5	126.39'	N1°00'06"W
L6	28.69'	N1°00'06"W
L7	369.96'	N0°23'38"W
L8	7.10'	N75°35'01"E
L9	2.52'	N60°21'59"E
L10	216.19'	N0°28'35"W

CURVE #	LENGTH	RADIUS	DELTA
C1	31.22'	50.00'	35°46'18"
C2	3.04'	1.09'	159°34'21"
C3	9.53'	7.84'	69°39'46"
C4	62.13'	40.00'	86°59'54"
C5	63.53'	40.00'	91°00'06"
C6	62.56'	40.00'	89°36'22"
C7	22.57'	85.00'	15°13'01"
C8	42.45'	40.00'	60°48'34"



ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	



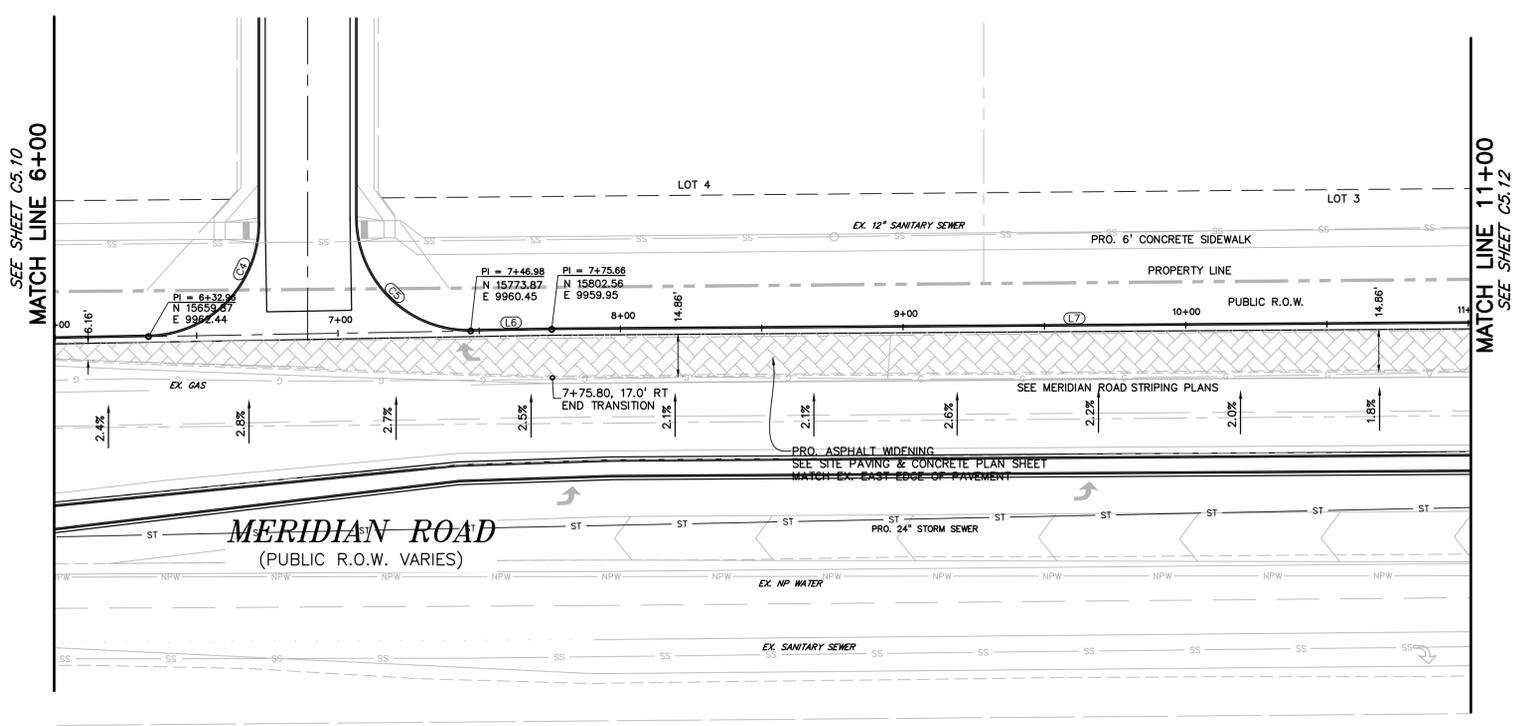
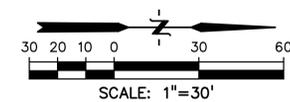
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.
 DRAWING SCALE:
 HORIZONTAL: 1"=30'
 VERTICAL: 1"=5'

MERIDIAN ROAD PLAN & PROFILE

PROJECT NO. 20988-00CSCV
 DRAWING NO.

C5.11

SHEET: 27 OF 46



LEGEND

PROPERTY LINE - - - - -

LOT LINE - - - - -

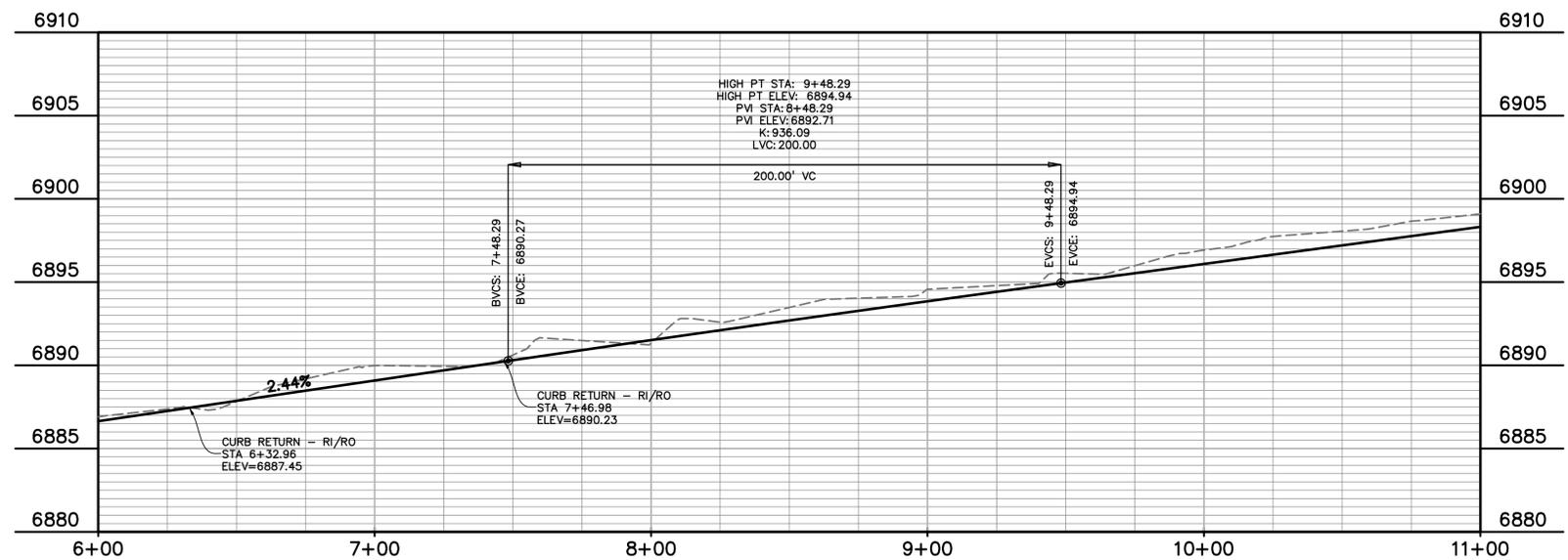
EASEMENT - - - - -

CURB & GUTTER = = = = =

SIDEWALK = = = = =

LINE #	LENGTH	BEARING
L1	11.68'	N35°31'58"E
L2	112.80'	N0°14'20"W
L3	112.80'	N0°14'20"W
L4	234.33'	N0°14'20"W
L5	126.39'	N1°00'06"W
L6	28.69'	N1°00'06"W
L7	369.98'	N0°23'38"W
L8	7.10'	N75°35'01"E
L9	2.52'	N60°21'59"E
L10	216.19'	N0°26'35"W

CURVE #	LENGTH	RADIUS	DELTA
C1	31.22'	50.00'	35°46'18"
C2	3.04'	1.09'	159°34'21"
C3	9.53'	7.84'	69°39'46"
C4	62.13'	40.00'	88°59'54"
C5	63.53'	40.00'	91°00'06"
C6	62.56'	40.00'	89°36'22"
C7	22.57'	85.00'	15°13'01"
C8	42.45'	40.00'	60°48'34"



PREPARED BY:

DREXEL, BARRELL & CO.
Engineers-Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
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(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR

FALCON MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	

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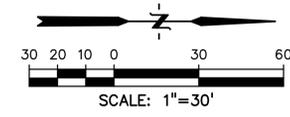
DRAWING SCALE:
HORIZONTAL: 1"=30'
VERTICAL: 1"=5'

MERIDIAN ROAD PLAN & PROFILE

PROJECT NO. 20988-00CSCV
DRAWING NO.

C5.12

SHEET: 28 OF 46



LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT
- CURB & GUTTER
- SIDEWALK

PREPARED BY:

DREXEL, BARRELL & CO.
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 3 SOUTH 7TH STREET
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

ISSUE	DATE
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FILE NAME:	



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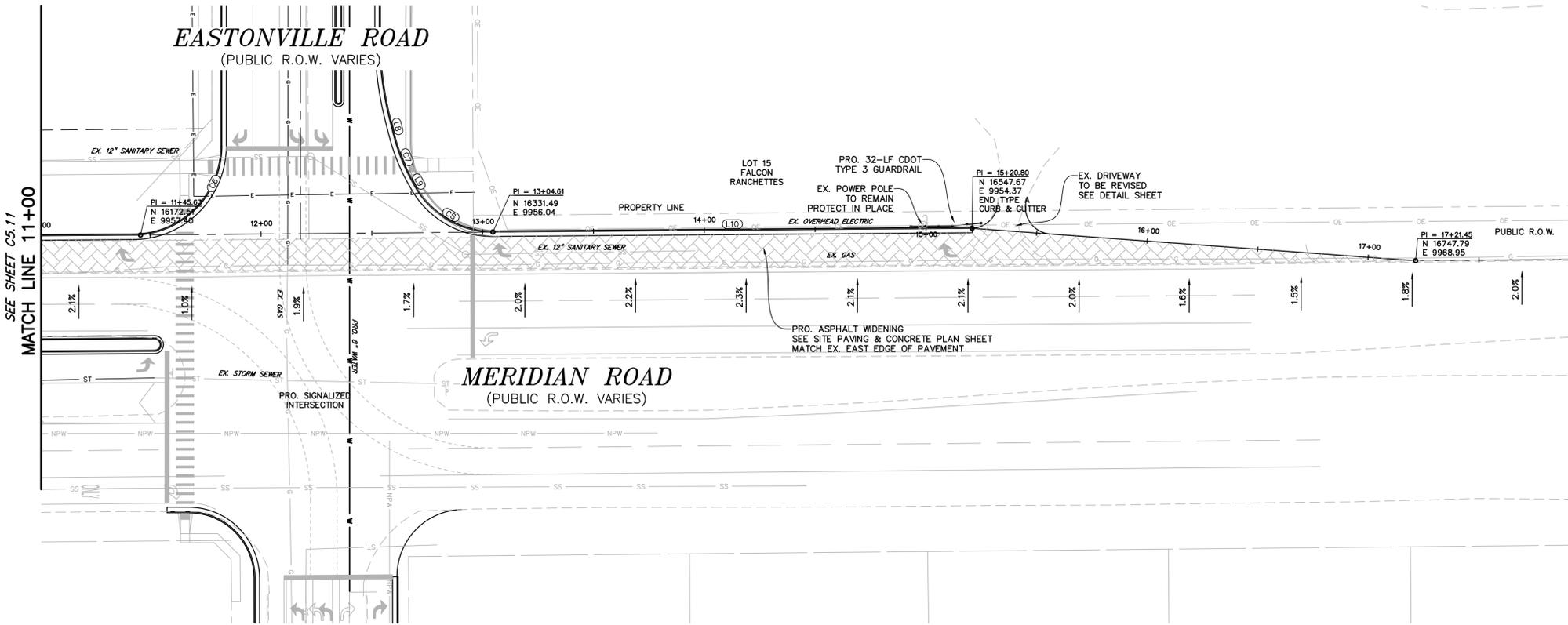
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 VERTICAL: 1"=5'

MERIDIAN ROAD PLAN & PROFILE

PROJECT NO. 20988-00CSCV
 DRAWING NO.

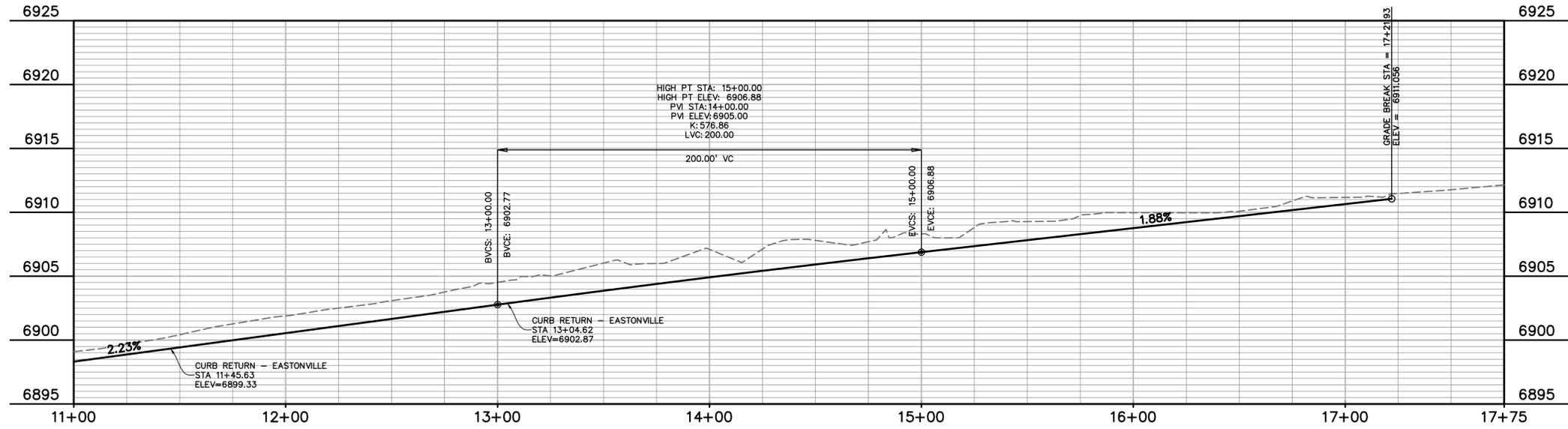
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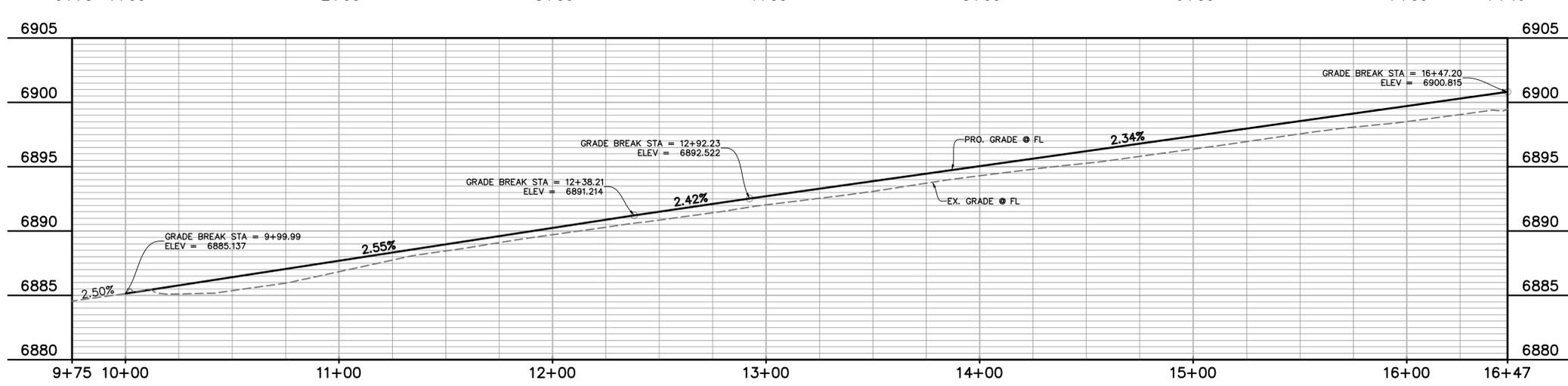
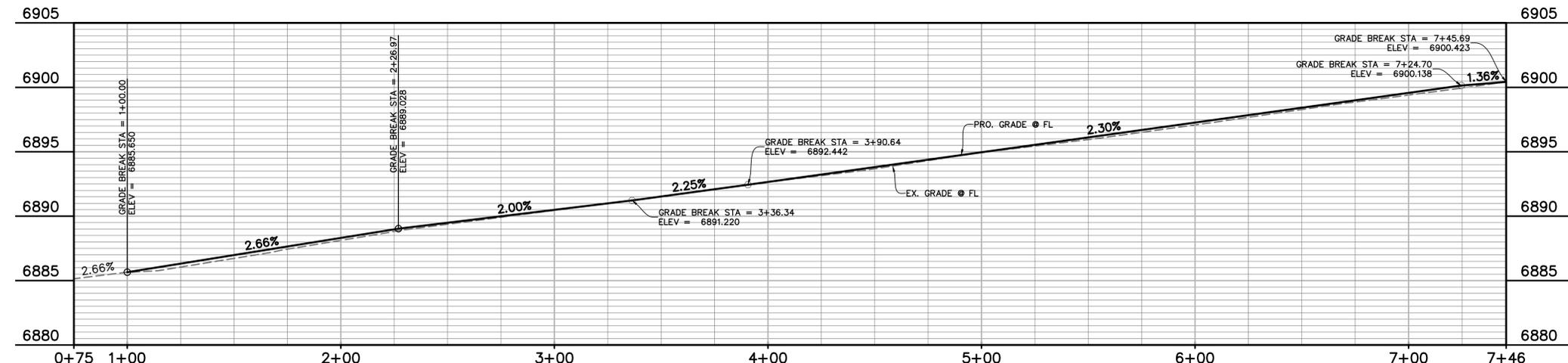
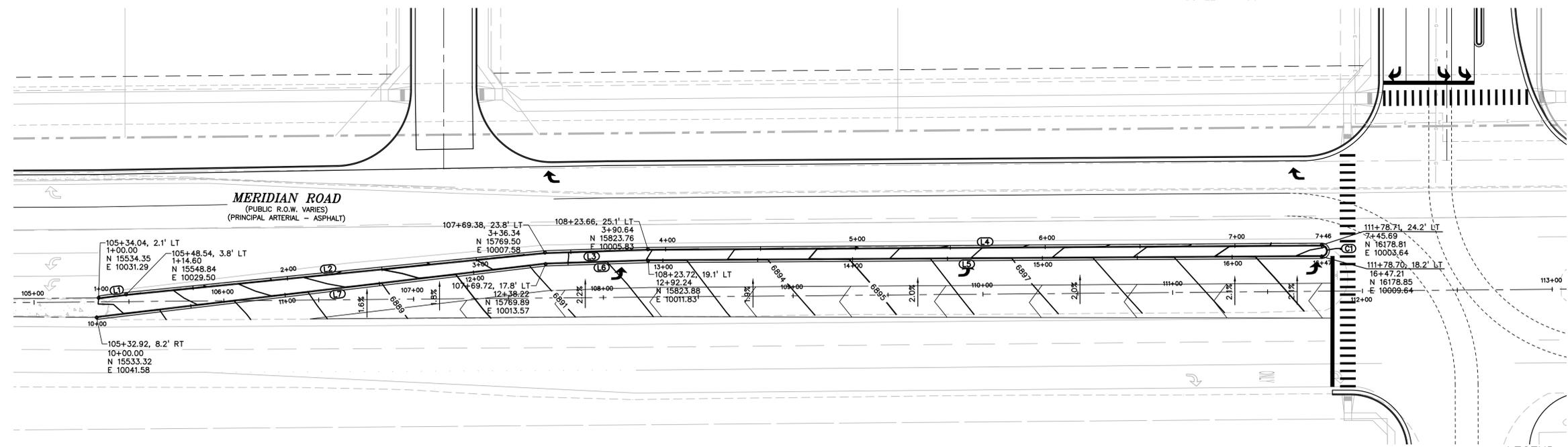
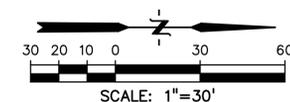
SHEET: 29 OF 46



LINE #	LENGTH	BEARING
L1	11.68'	N35°31'58"E
L2	112.80'	N0°14'20"W
L3	112.80'	N0°14'20"W
L4	234.33'	N0°14'20"W
L5	126.39'	N1°00'08"W
L6	28.69'	N1°00'08"W
L7	369.96'	N0°23'38"W
L8	7.10'	N75°35'01"E
L9	2.52'	N60°21'59"E
L10	216.19'	N0°26'35"W

CURVE #	LENGTH	RADIUS	DELTA
C1	31.22'	50.00'	35°46'18"
C2	3.04'	1.09'	159°34'21"
C3	9.53'	7.84'	69°39'46"
C4	62.13'	40.00'	88°59'54"
C5	63.53'	40.00'	91°00'06"
C6	62.56'	40.00'	89°36'22"
C7	22.57'	85.00'	15°13'01"
C8	42.45'	40.00'	60°48'34"





LEGEND

PROPERTY LINE	-----
LOT LINE
EASEMENT	- - - - -
CURB & GUTTER	=====
SIDEWALK	=====
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	-----
EX. SANITARY SEWER	-----
EX. PETROLEUM	-----
EX. GAS	-----
EX. RAW WATER	-----
EX. WATER	-----
EX. STORM SEWER	-----

LINE TABLE

LINE #	LENGTH	DIRECTION
L6	54.02'	N1°50'57"W
L5	354.97'	N0°21'12"W
L1	14.60'	N7°03'21"W
L2	221.75'	N5°40'23"W
L3	54.30'	N1°50'57"W
L4	355.05'	N0°21'12"W
L7	238.22'	N6°45'05"W

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	9.42'	3.00'	180°00'00"	S89°38'48"W	6.00'

PREPARED BY:

DREXEL, BARRELL & CO.
 Engineers • Surveyors
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

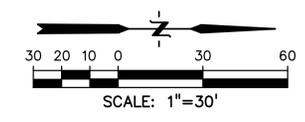
ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
 DRAWN BY: GES
 CHECKED BY: TDM
 FILE NAME:

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 DRAWING SCALE:
 HORIZONTAL: 1"=30'
 VERTICAL: 1"=5'

**MERIDIAN ROAD
 MEDIAN PLAN
 & PROFILE**
 PROJECT NO. 20988-00CSCV
 DRAWING NO.

C5.14
 SHEET: 30 OF 46



LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	=====
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	-----
EX. SANITARY SEWER	-----
EX. PETROLEUM	-----
EX. GAS	-----
EX. RAW WATER	-----
EX. WATER	-----
EX. STORM SEWER	-----

PREPARED BY:

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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
 DRAWN BY: GES
 CHECKED BY: TDM
 FILE NAME:



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DRAWING SCALE:
 HORIZONTAL: 1"=30'
 VERTICAL: N/A

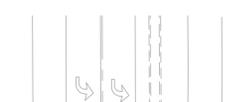
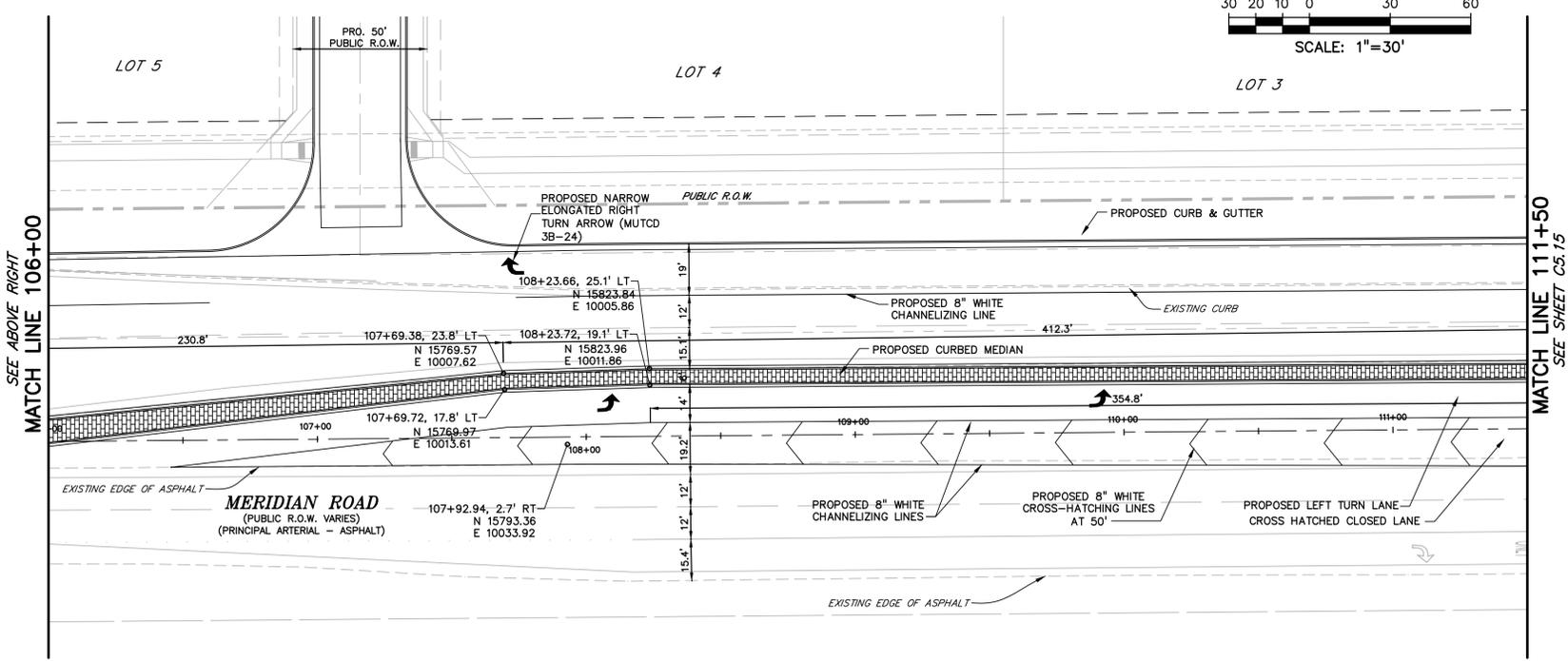
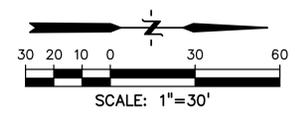
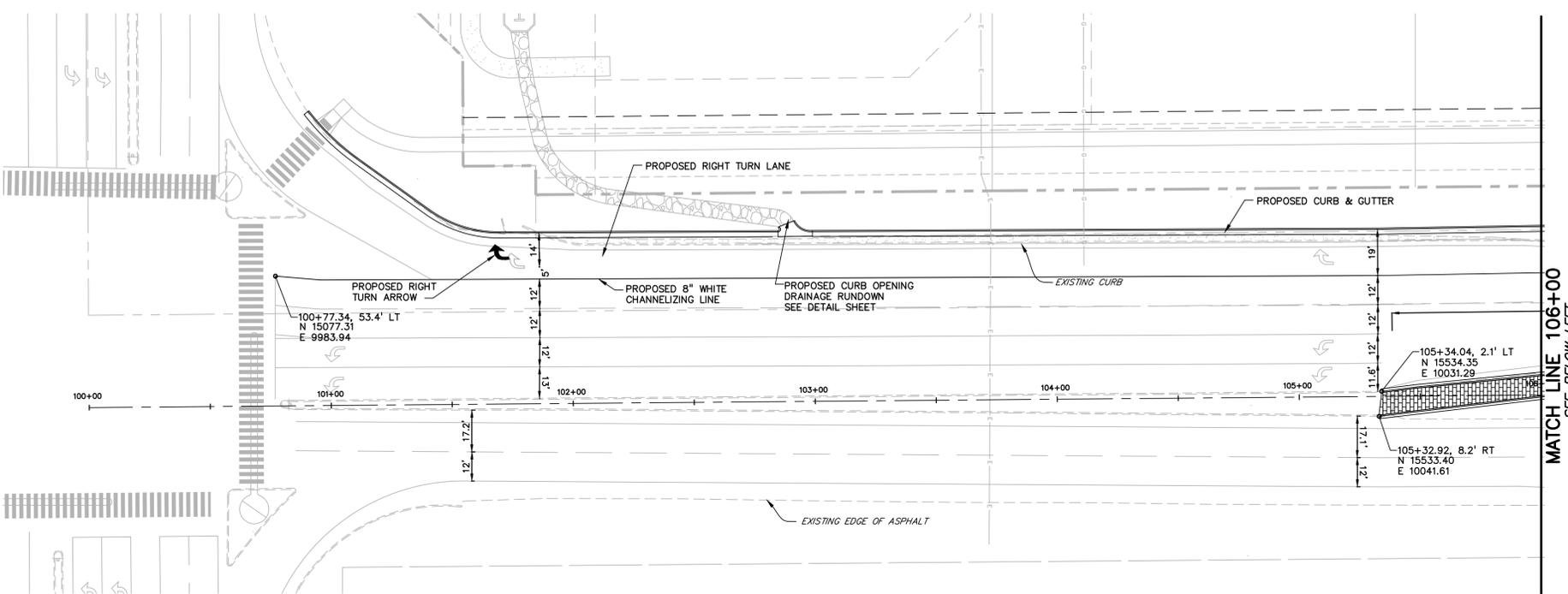
MERIDIAN ROAD STRIPING PLAN

PROJECT NO. 20988-00CSCV
 DRAWING NO.

C5.15

SHEET: 31 OF 46

EL PASO COUNTY FILE # SF-19-001



LEGEND

PROPERTY LINE	-----
LOT LINE	-----
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	-----
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	-----
EX. SANITARY SEWER	-----
EX. PETROLEUM	-----
EX. GAS	-----
EX. RAW WATER	-----
EX. WATER	-----
EX. STORM SEWER	-----

PREPARED BY:



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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19
REVISED	12-16-19

DESIGNED BY: TDM
 DRAWN BY: KGV
 CHECKED BY: TDM
 FILE NAME:



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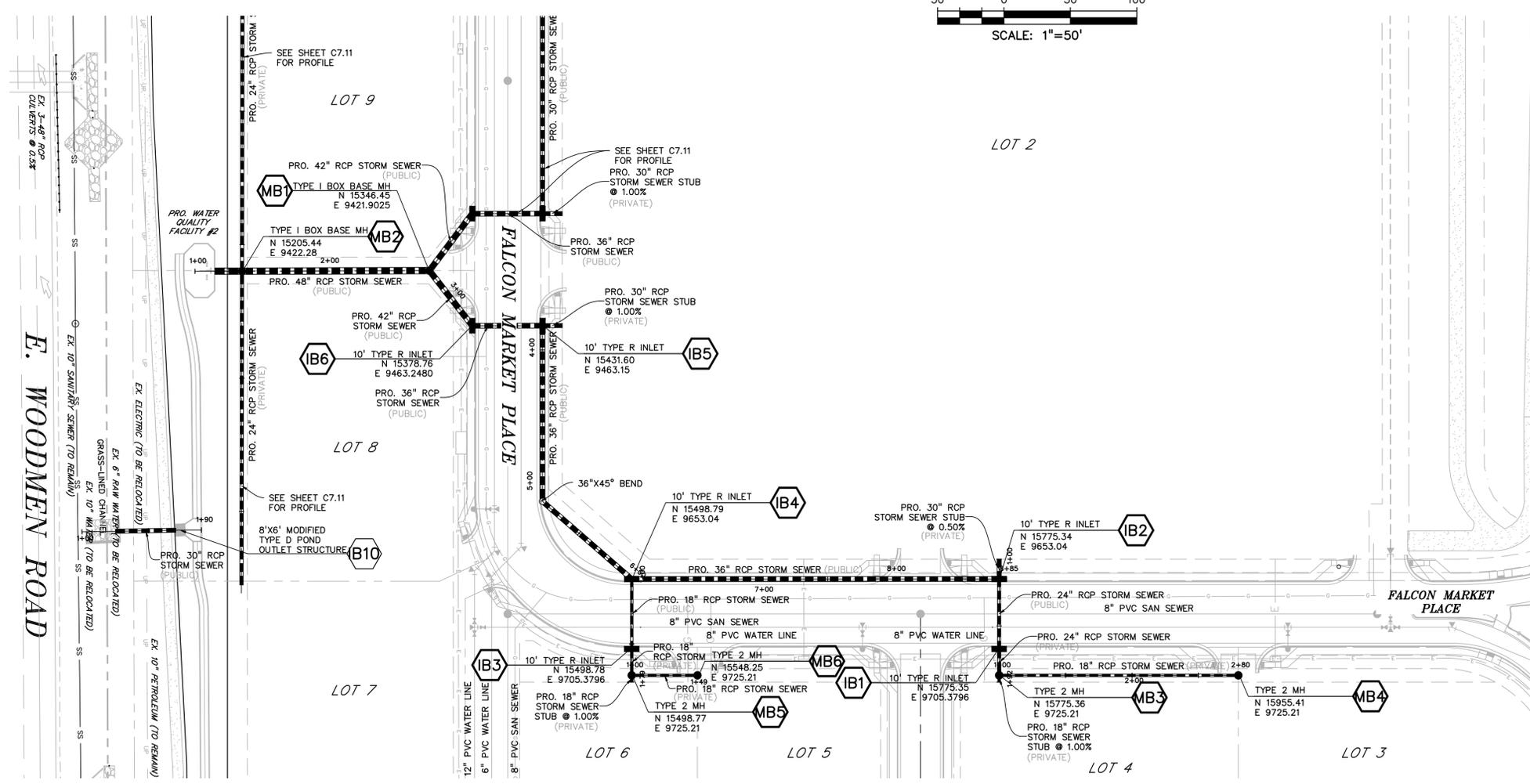
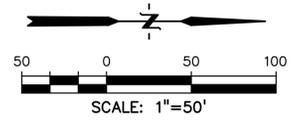
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 HORIZONTAL: 1"=50'
 VERTICAL: 1"=5'

STORM SEWER PLAN & PROFILE

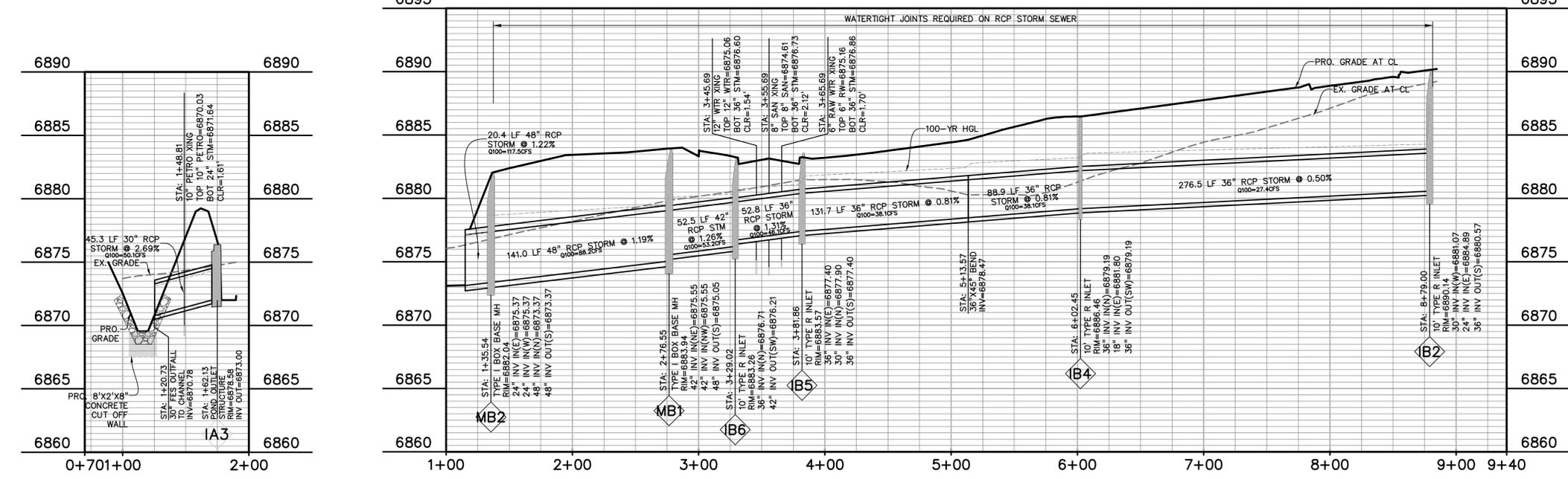
PROJECT NO. 20988--00CSCV
 DRAWING NO.

C7.10

SHEET: 38 OF 46



EAST STORM SYSTEM - FALCON MARKET PLACE TO POND #2



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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
 DRAWN BY: KGV
 CHECKED BY: TDM



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DRAWING SCALE:
 HORIZONTAL: 1"=50'
 VERTICAL: 1"=5'

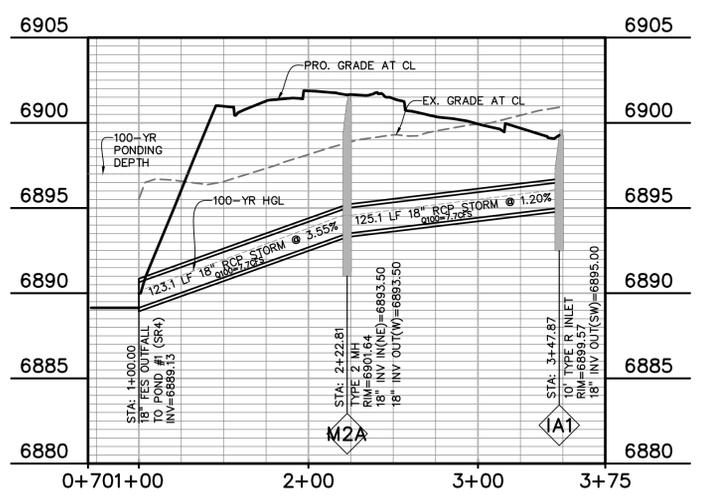
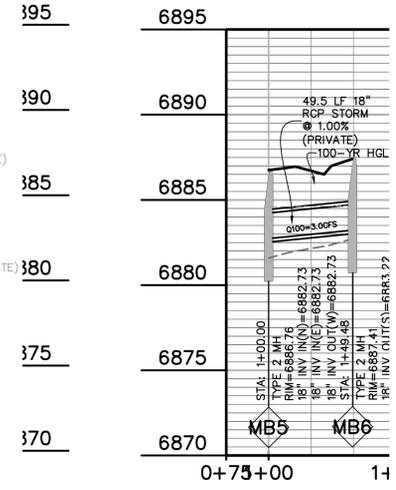
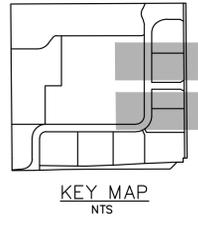
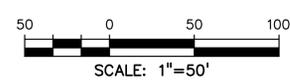
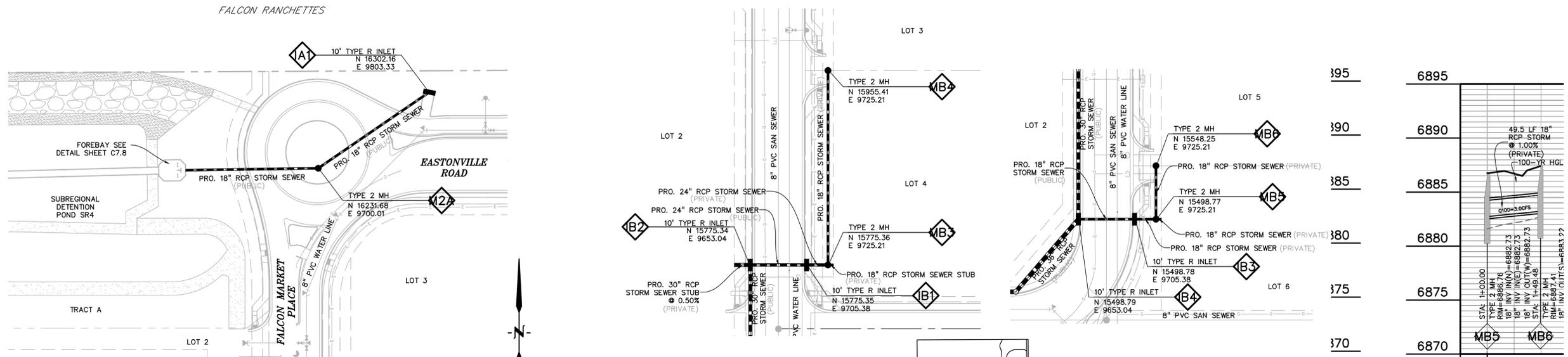
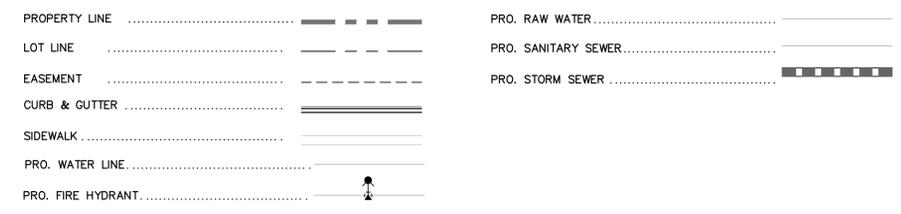
STORM SEWER PLAN & PROFILE

PROJECT NO. 20988-00CSCV
 DRAWING NO.

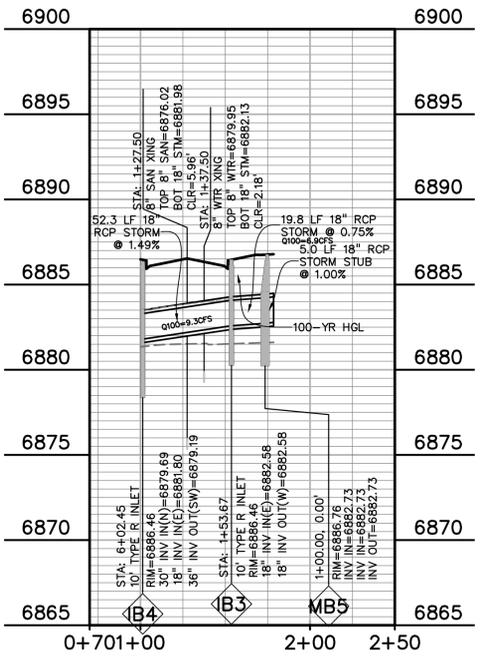
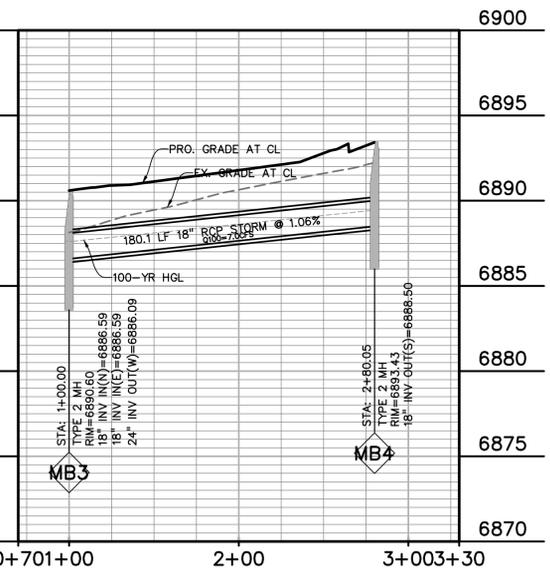
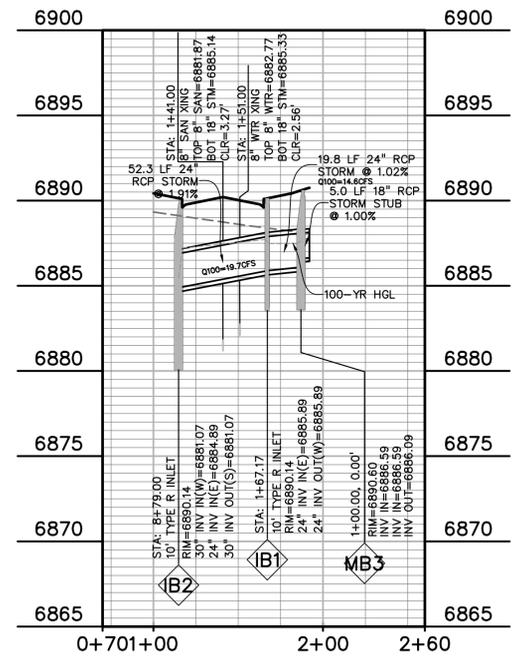
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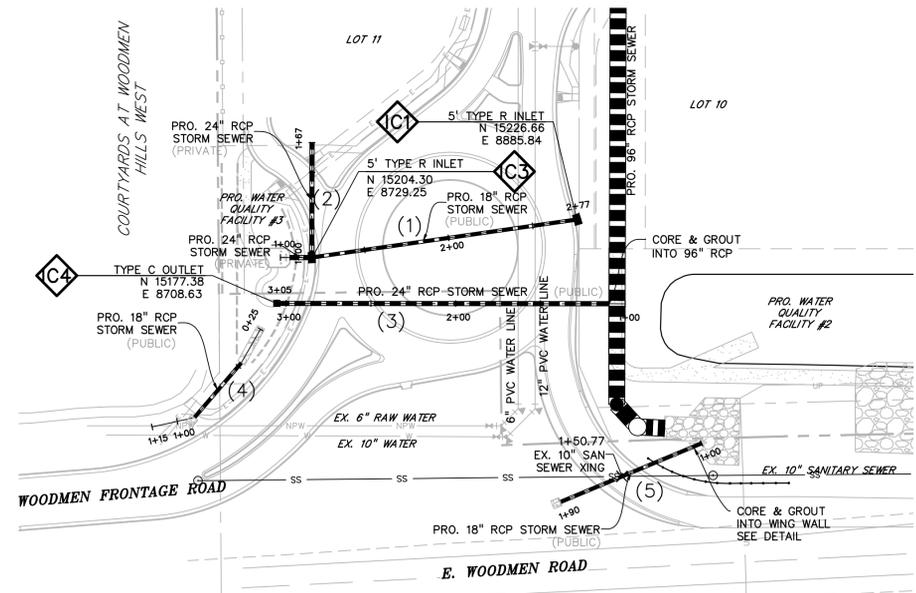
SHEET: 40 OF 46

LEGEND



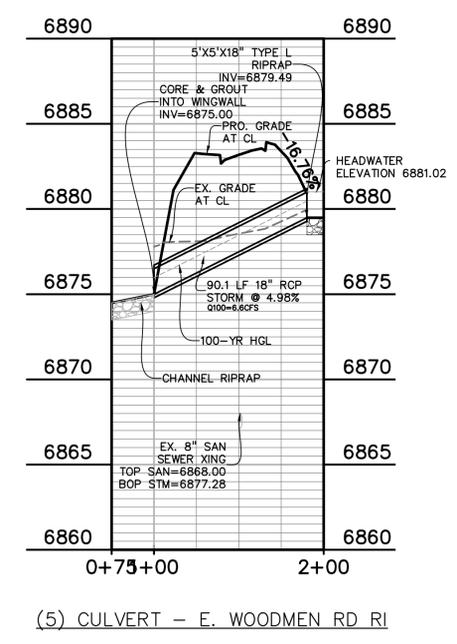
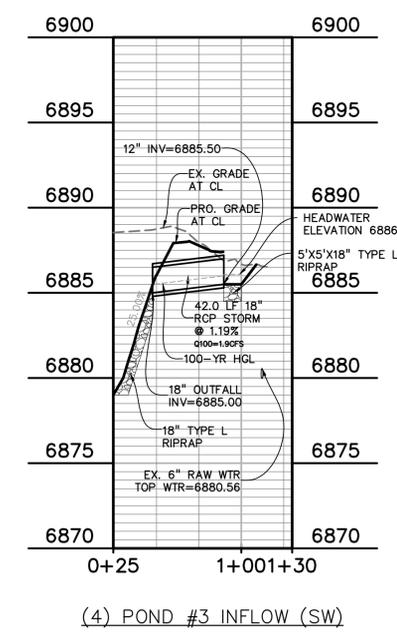
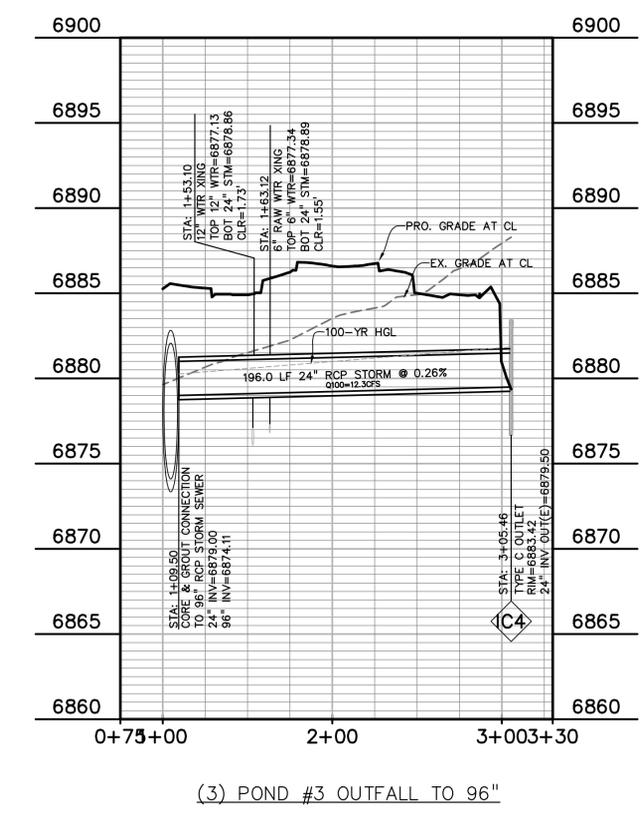
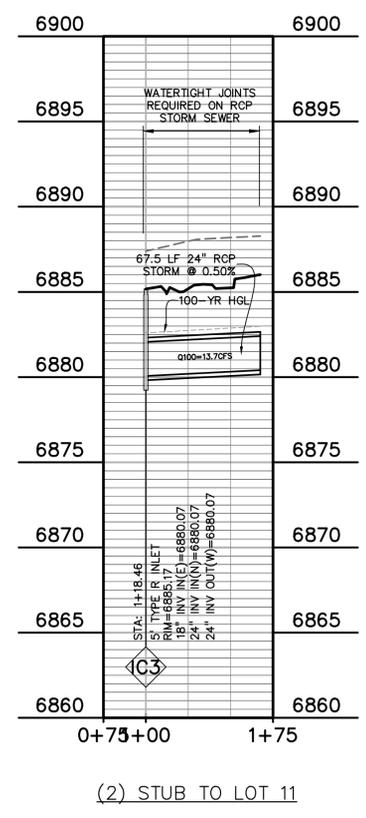
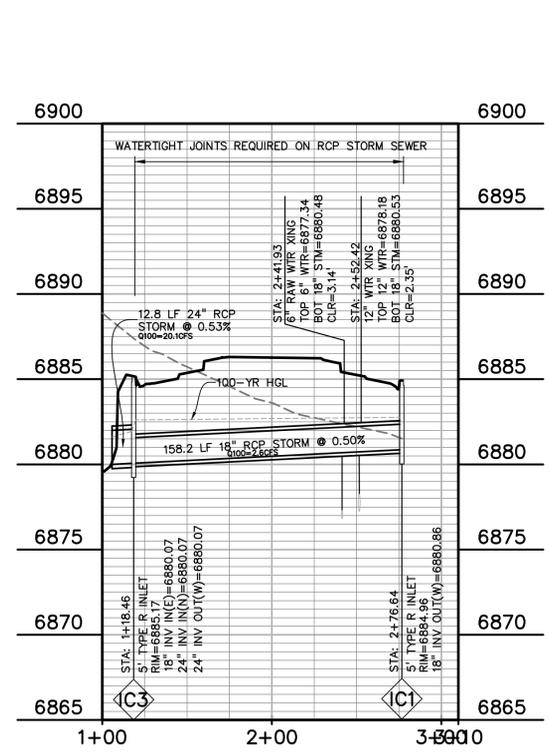
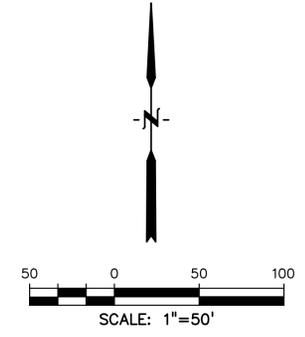
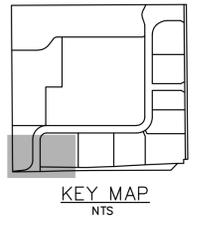
POND #1 INFLOW (EAST)





LEGEND

PROPERTY LINE	-----
LOT LINE
EASEMENT	-----
CURB & GUTTER	=====
SIDEWALK	-----
PRO. WATER LINE
PRO. FIRE HYDRANT
PRO. RAW WATER
PRO. SANITARY SEWER
PRO. STORM SEWER
EX. OVERHEAD ELECTRIC	OE
EX. SANITARY SEWER	SS
EX. PETROLEUM	UP
EX. GAS	G
EX. RAW WATER	RW
EX. WATER	W
EX. STORM SEWER	ST



PREPARED BY:

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CLIENT:
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CONSTRUCTION DRAWINGS FOR
FALCON MARKETPLACE
 FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
 DRAWN BY: KGV
 CHECKED BY: TDM
 FILE NAME:



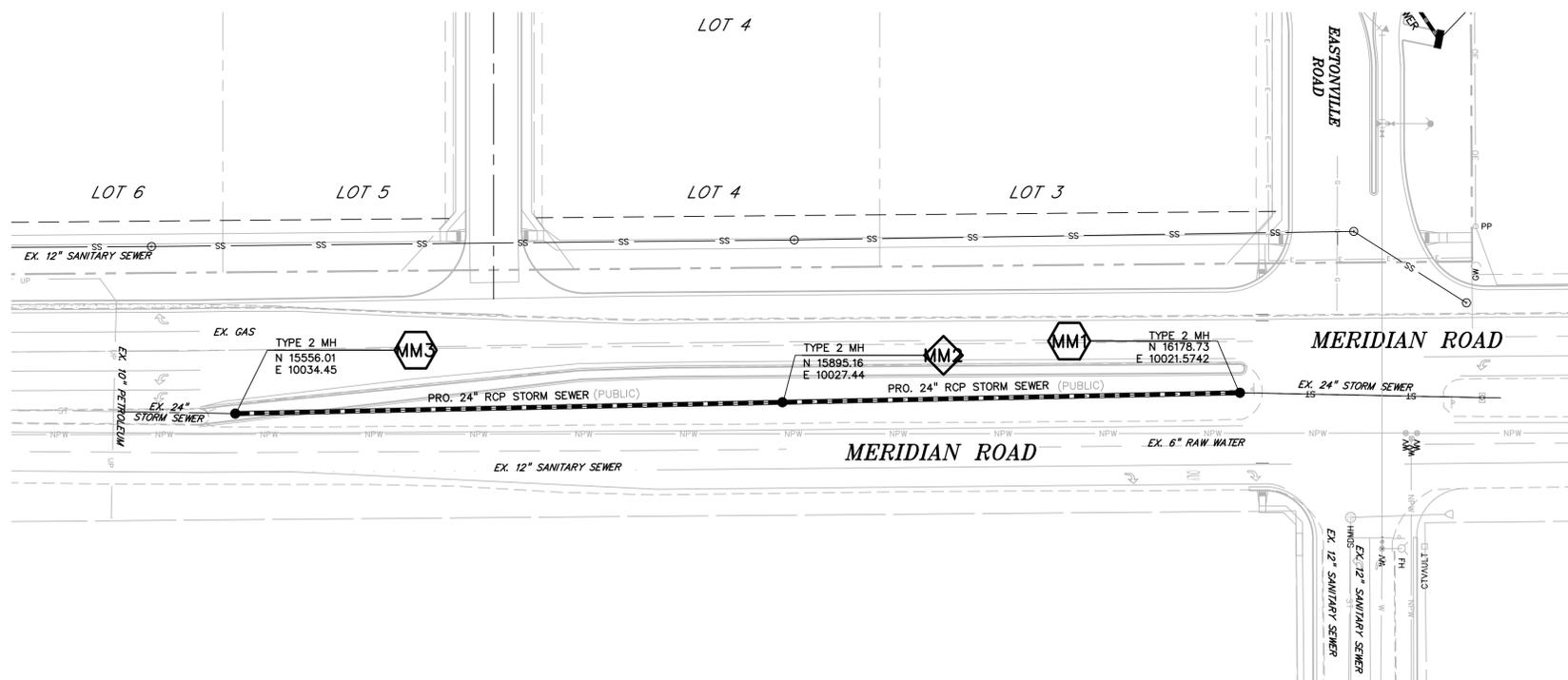
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
 HORIZONTAL: 1"=50'
 VERTICAL: 1"=5'

STORM SEWER PLAN & PROFILE

PROJECT NO. 20988-00CSCV
 DRAWING NO.

C7.13

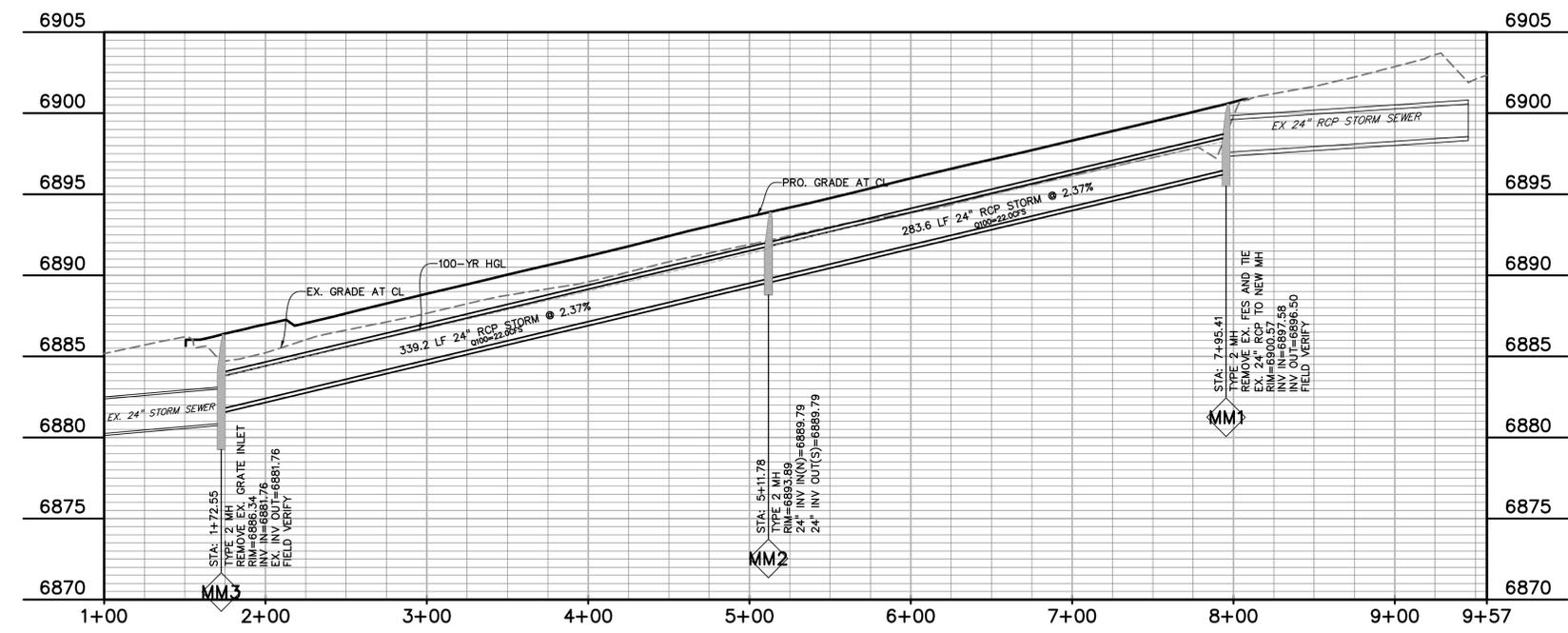


LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT
- CURB & GUTTER
- SIDEWALK
- PRO. WATER LINE
- PRO. FIRE HYDRANT
- PRO. RAW WATER
- PRO. SANITARY SEWER
- PRO. STORM SEWER
- EX. OVERHEAD ELECTRIC
- EX. SANITARY SEWER
- EX. PETROLEUM
- EX. GAS
- EX. RAW WATER
- EX. WATER
- EX. STORM SEWER

KEY MAP
NTS

Scale: 1"=50'



PREPARED BY:

DREXEL, BARRELL & CO.
 Engineers • Surveyors
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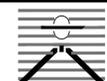
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 DRAWING SCALE:
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 VERTICAL: 1"=5'

STORM SEWER PLAN & PROFILE

PROJECT NO. 20988-00CSCV
 DRAWING NO.

C7.14

SHEET: 42 OF 46

PREPARED BY:

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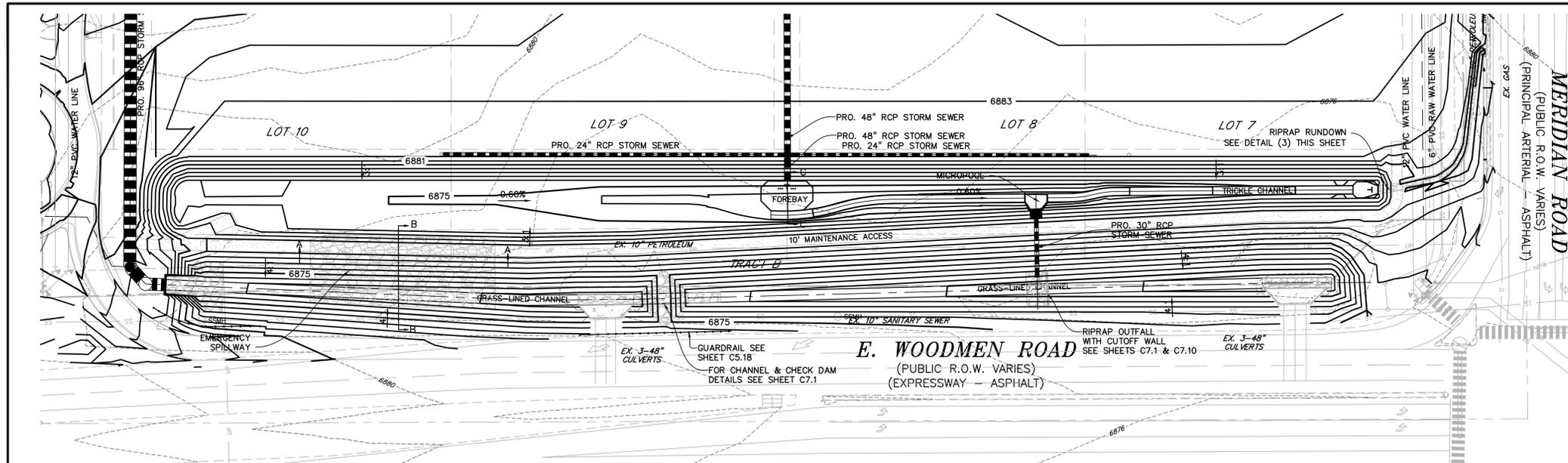
CONSTRUCTION DRAWINGS FOR
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 FALCON, COLORADO

ISSUE	DATE
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 DRAWING SCALE:
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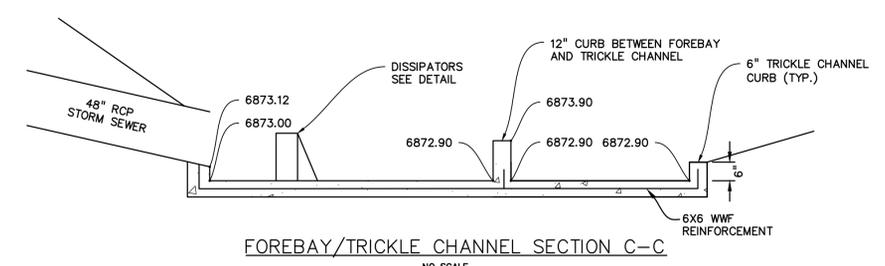
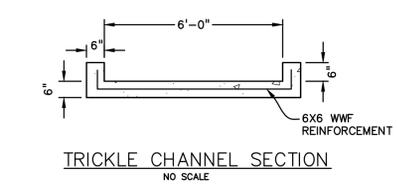
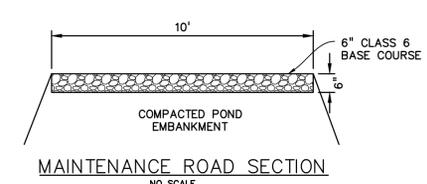
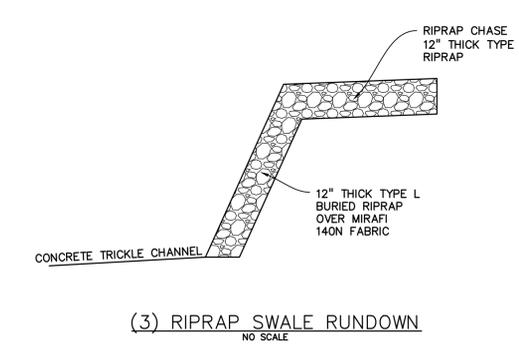
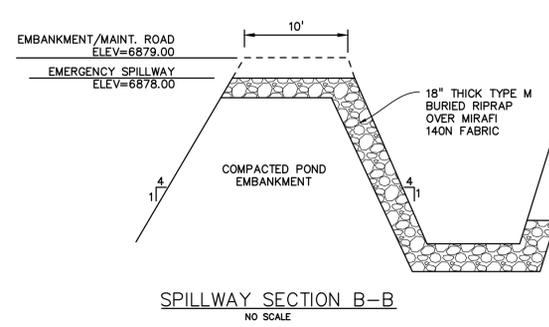
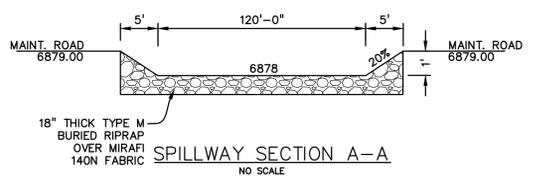
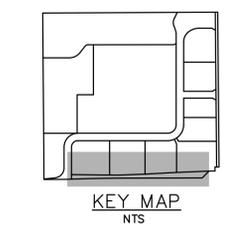
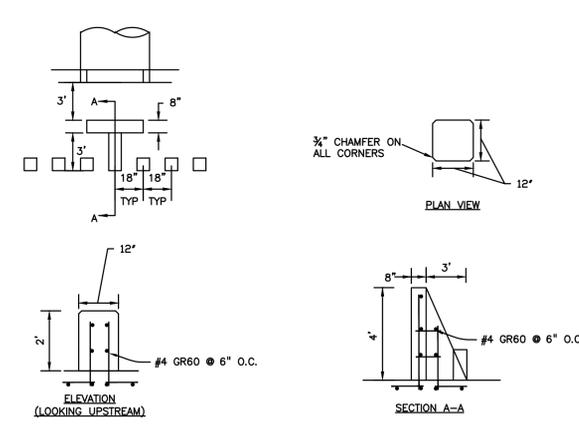
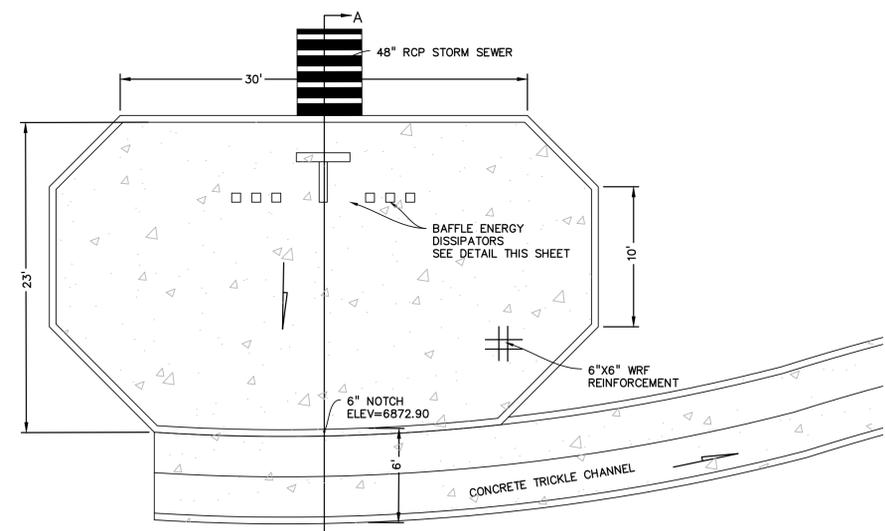
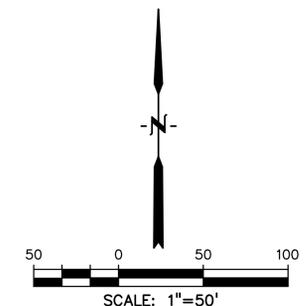
POND #2

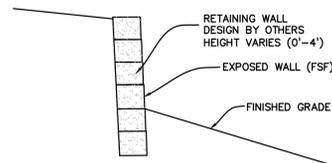
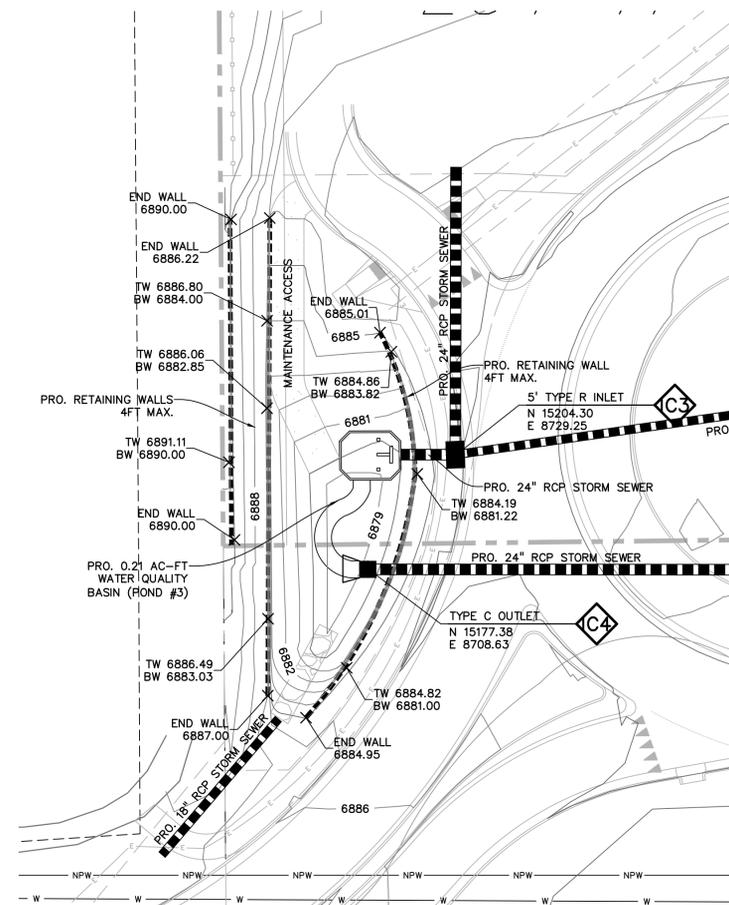
PROJECT NO. 20988-00CSCV
 DRAWING NO.
C7.15
 SHEET: 43 OF 46



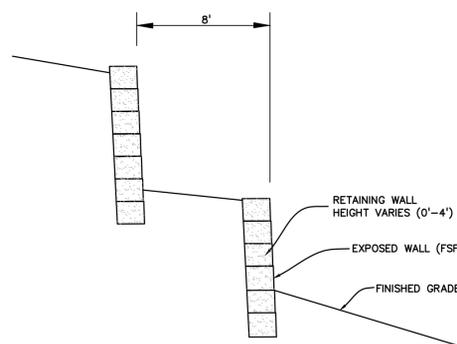
LEGEND

PROPERTY LINE	-----
LOT LINE
EASEMENT	- - - - -
CURB & GUTTER	=====
SIDEWALK
PRO. WATER LINE	-----
PRO. FIRE HYDRANT	-----
PRO. RAW WATER	-----
PRO. SANITARY SEWER	-----
PRO. STORM SEWER	-----
EX. OVERHEAD ELECTRIC	-----
EX. SANITARY SEWER	-----
EX. PETROLEUM	-----
EX. GAS	-----
EX. RAW WATER	-----
EX. WATER	-----
EX. STORM SEWER	-----

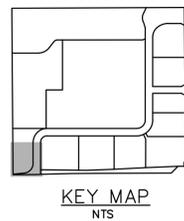
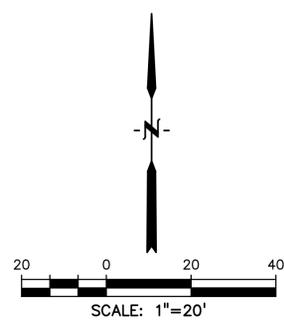




RETAINING WALL DETAIL
NO SCALE



RETAINING WALLS DETAIL
NO SCALE



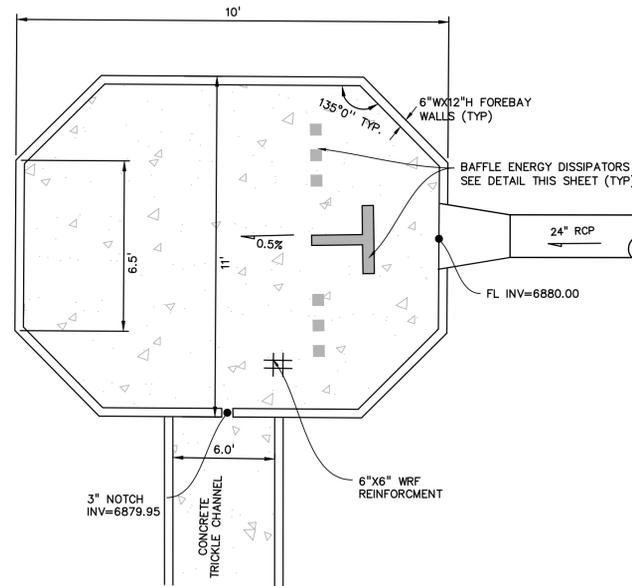
KEY MAP
NTS

PERFORATED PLATE NOTES:

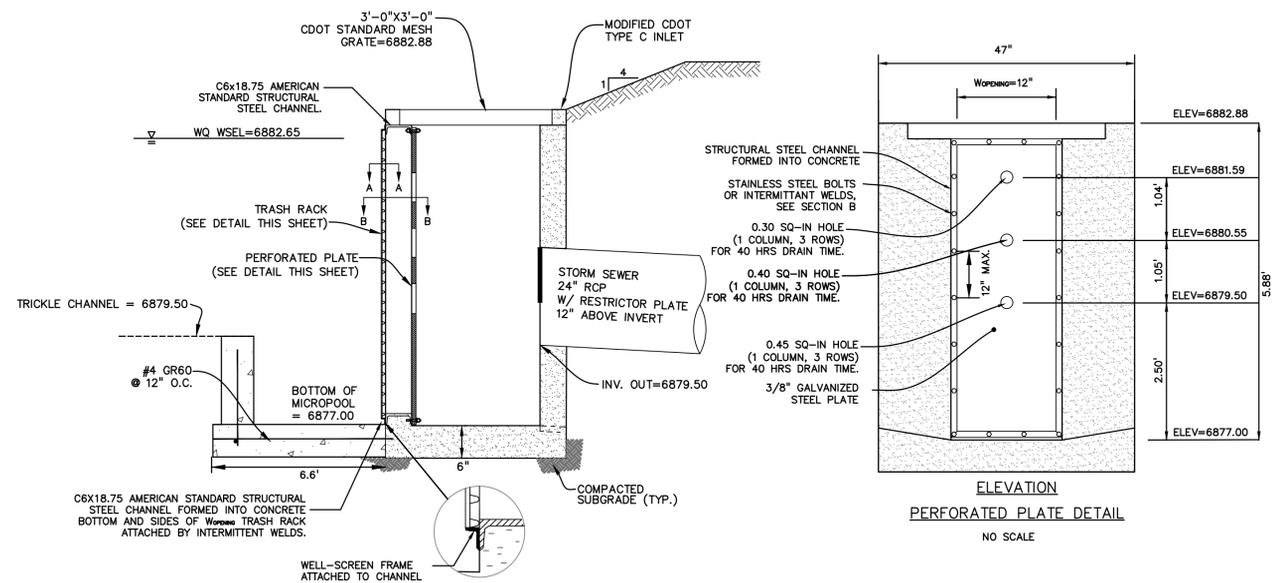
1. PROVIDE GASKET MATERIAL OR GROUT BETWEEN THE ORIFICE PLATE AND CONCRETE.
2. BOLT PLATE TO CONCRETE ϕ 12" MAX. ON CENTER. ORIFICE PLATE IS TO BE REMOVABLE.
3. ALL METAL SURFACES ARE TO BE COATED WITH ZRC COLD GALVANIZING COMPOUND.

GENERAL NOTES:

1. ALL EXTERIOR STEEL SHALL BE EITHER STAINLESS OR HOT DIPPED GALVANIZED



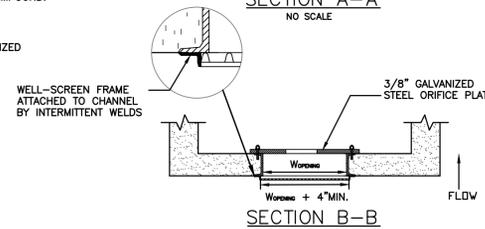
FOREBAY
NO SCALE



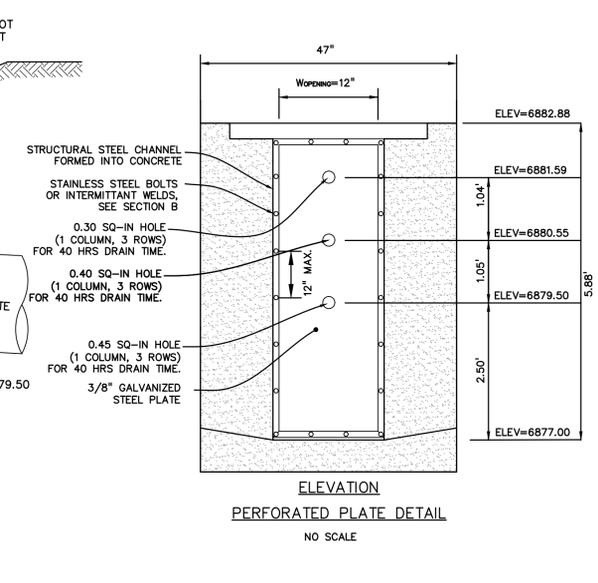
POND OUTLET PROFILE SECTION D-D
NO SCALE



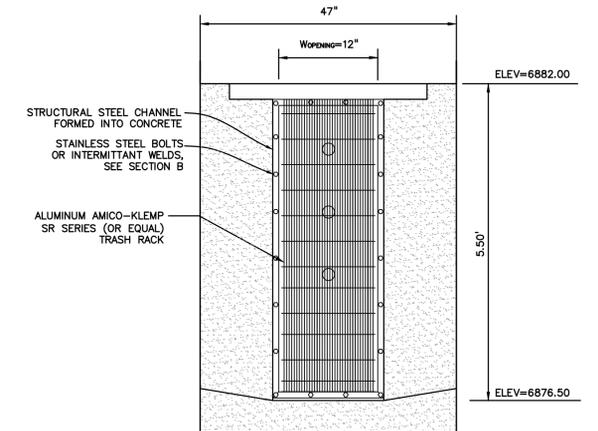
SECTION A-A
NO SCALE



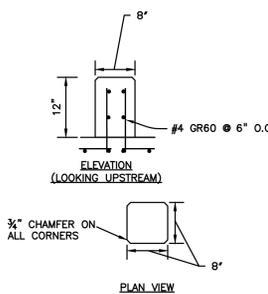
SECTION B-B
NO SCALE



ELEVATION
PERFORATED PLATE DETAIL
NO SCALE



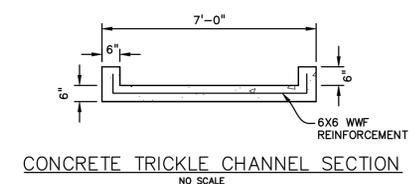
ELEVATION
TRASH RACK
NO SCALE



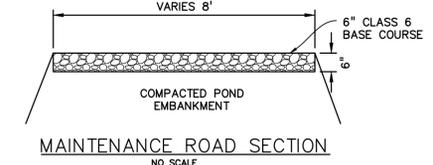
ELEVATION
(LOOKING UPSTREAM)

PLAN VIEW

SECTION A-A
NO SCALE



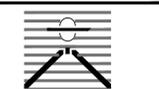
CONCRETE TRICKLE CHANNEL SECTION
NO SCALE



MAINTENANCE ROAD SECTION
NO SCALE

FOREBAY Baffle Energy Dissipators
NO SCALE

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers-Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
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BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219
(214) 416-9820

CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE
FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	11-15-19

DESIGNED BY: TDM
DRAWN BY: KGV
CHECKED BY: TDM
FILE NAME:



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

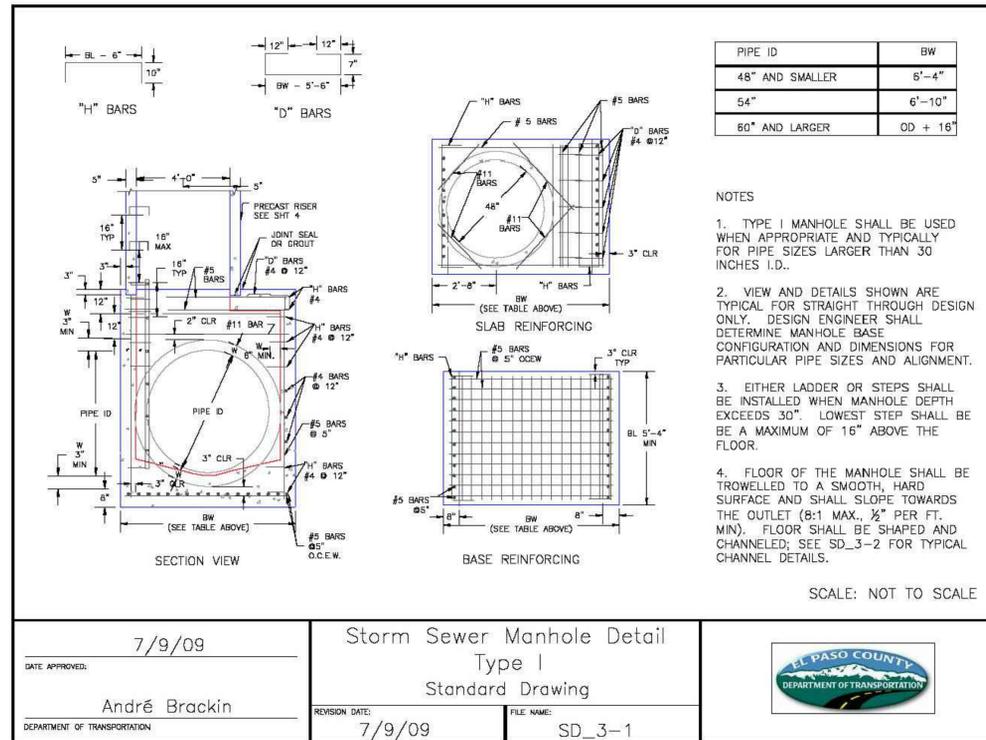
DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

POND #3
& DETAILS

PROJECT NO. 20988-00SCV
DRAWING NO.

C7.17

SHEET: 45 OF 46

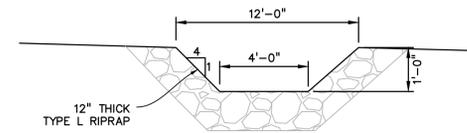


7/9/09
DATE APPROVED: André Brackin
DEPARTMENT OF TRANSPORTATION

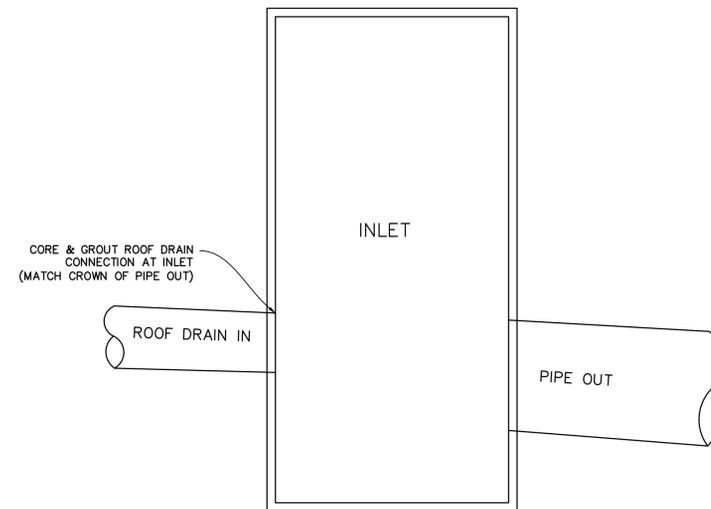
Storm Sewer Manhole Detail
Type I
Standard Drawing

REVISION DATE: 7/9/09
FILE NAME: SD_3-1

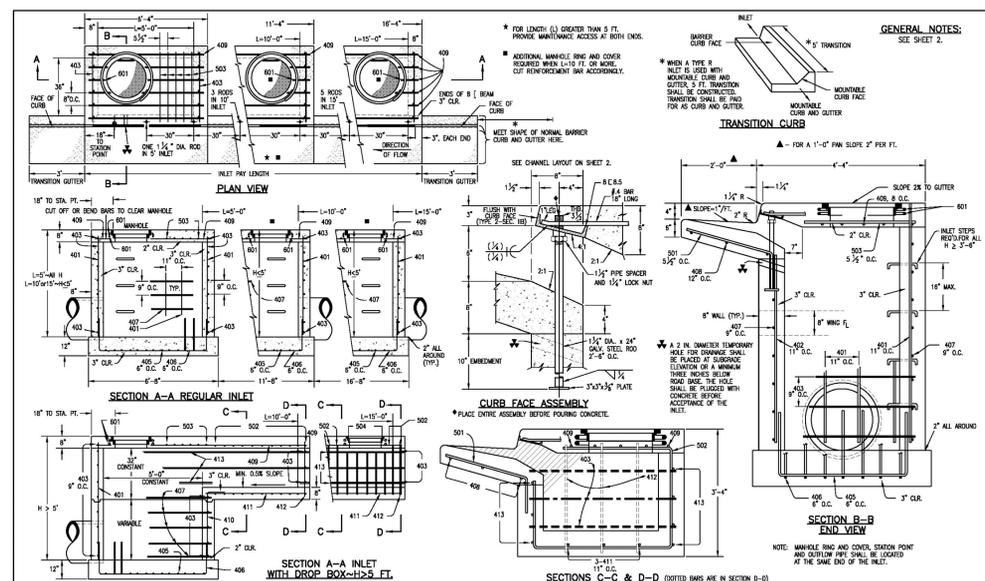
EL PASO COUNTY
DEPARTMENT OF TRANSPORTATION



CURB CUT CHASE SECTION
NO SCALE



ROOF DRAIN CONNECTION DETAIL
NO SCALE



Computer File Information
Creation Date: 07/04/08
Last Modification Date: 07/04/08
Drawing File Name: M-604-12.DWG
CAD Ver.: MicroStation V8
Scale: Not to Scale
Units: English

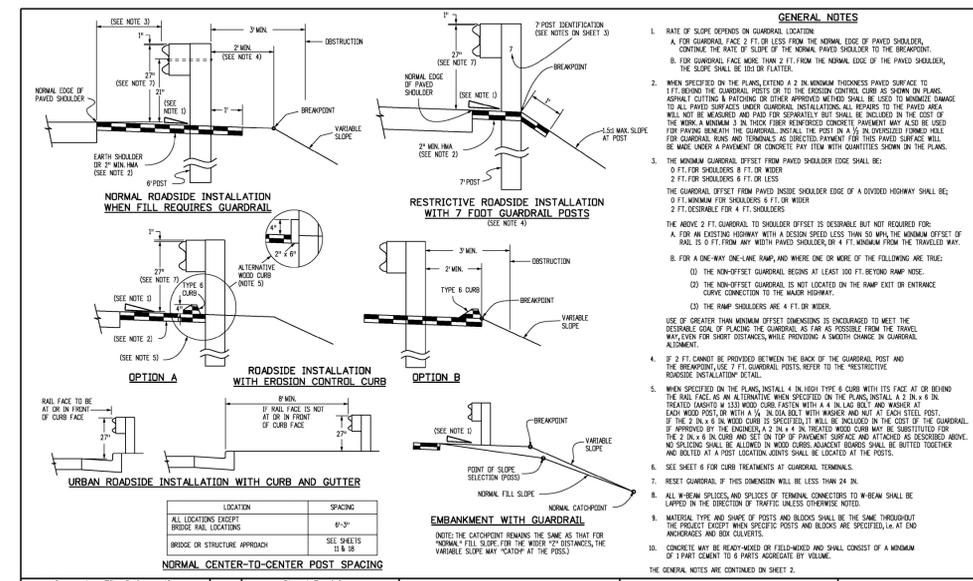
Sheet Revisions

Date	Comments

Colorado Department of Transportation
4200 East Arkansas Avenue
Denver, Colorado 80222
Phone: (303) 762-8025
Fax: (303) 757-9820

Project Development Branch SRU/LTA
Issued By: Project Development Branch on July 04, 2008

STANDARD PLAN NO.
M-604-12
Sheet No. 1 of 2



Computer File Information
Creation Date: 07/04/08
Last Modification Date: 05/05/11
Drawing File Name: M-606-1.DWG
CAD Ver.: MicroStation V8
Scale: Not to Scale
Units: English

Sheet Revisions

Date	Comments
8/11/11	Revised Sheet 14 and 18.
	Revised by: [Signature]
5/20/11	Revised Sheet Numbers 14-18

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Project Development Branch DD/LTA
Issued By: Project Development Branch July 04, 2008

STANDARD PLAN NO.
M-606-1
Sheet No. 1 of 18

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DRAWN BY: KGV
CHECKED BY: TDM
FILE NAME:



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

STORM SEWER
DETAILS

PROJECT NO. 20988-00CSCV
DRAWING NO.

C7.18

SHEET: 46 OF 46