

CONSTRUCTION DOCUMENTS

FALCON MARKETPLACE

SE 1/4 OF THE SE 1/4 OF SECTION 1, T13S, R65W OF THE 6TH P.M.

11680 E. WOODMEN ROAD

FALCON, COLORADO

AGENCY CONTACTS

COUNTY	EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT KARI PARSONS, PROJECT MANAGER/PLANNER II 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 (719) 520-6300
FIRE	FALCON FIRE DEPARTMENT TRENT HARWIG, FIRE CHIEF 7030 OLD MERIDIAN ROAD FALCON, CO 80831 (719)495-4050
WATER	WOODMEN HILLS METROPOLITAN DISTRICT JERRY JACOBSEN, DIRECTOR OF WATER & WASTEWATER 8046 EASTONVILLE ROAD FALCON, CO 80831 (719) 495-2500
WASTEWATER	WOODMEN HILLS METROPOLITAN DISTRICT GENE COZZOLINO, DIRECTOR OF WATER & WASTEWATER 8046 EASTONVILLE ROAD FALCON, CO 8083 (719) 495-2500
ELECTRIC	MOUNTAIN VIEW ELECTRIC ASSOCIATION LES ULFERS 11140 E. WOODMEN ROAD FALCON, CO 80831 (719) 495-2283
GAS	COLORADO SPRINGS UTILITIES TODD STURTEVANT 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80947 (719) 668-3556
TELEPHONE	CENTURY LINK SALLY KLEIN (719) 636-4329 (LOCATORS) (719) 597-8418 AT&T (LOCATORS) (719) 635-3674
CABLE	COMCAST DALE STEWART 213 N. UNION BLVD COLORADO SPRINGS, CO 80909 (719) 442-4733
PETROLEUM	NUSTAR CHAD RENSLow 7810 DRENNAN ROAD COLORADO SPRINGS, CO 80925 (719) 391-0942
OTHER	WOODMEN ROAD METROPOLITAN DISTRICT TERRY SCHOOLER 20 BOULDER CRESCENT, SUITE #200 COLORADO SPRINGS, CO 80903 (719) 447-1777



VICINITY MAP

NOT TO SCALE



BENCHMARK

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29).

LEGAL DESCRIPTION

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOGETHER WITH THAT PORTION OF BLOCK 1, TOWN OF FALCON, LYING WITHIN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

EXCEPT THOSE PORTIONS CONVEYED TO WOODMEN ROAD METROPOLITAN DISTRICT BY WARRANTY DEED RECORDED APRIL 19, 2004 AT RECEPTION NO. 204062427 AND PERSONAL REPRESENTATIVE'S DEED RECORDED SEPTEMBER 7, 2007 AT RECEPTION NO. 207116129, EL PASO COUNTY, COLORADO RECORDS.

FLOODPLAIN STATEMENT

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A CLOMR TO MODIFY THE FLOODPLAIN HAS BEEN SUBMITTED AND APPROVED BY FEMA, CASE NO. 17-08-0074R (MAY 26, 2017).

TIMING

ANTICIPATED STARTING AND COMPLETION TIME PERIOD OF SITE GRADING:SUMMER 2019-SUMMER 2020

AREAS

TOTAL AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED:APPROXIMATELY 36.4 ACRES

RECEIVING WATERS

FALCON WATERSHED – UNNAMED TRIBUTARY TO UPPER BLACK SQUIRREL CREEK

SOILS

HYDROLOGIC TYPE A: BLAKELAND LOAMY SAND (NO. 8) AND BLAKELAND-FLUVAQUENTIC HAPLAQUOLIS (NO. 9)

SHEET INDEX

COVER & NOTES

1	C1.10	COVER SHEET
2	C1.11	NOTES

GRADING & EROSION CONTROL

8	C2.10	FINAL GRADING & EROSION CONTROL PLANS
9	C2.11	FINAL GRADING & EROSION CONTROL PLANS
10	C2.12	GRADING & EROSION CONTROL DETAILS

List all sheets in this set.


Provide the revised EGP sheets in this set also.

NOTE

IN ACCORDANCE WITH EOM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

DESIGN ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO CRITERIA ESTABLISHED BY THE COUNTY FOR THE DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.



8-28-2020

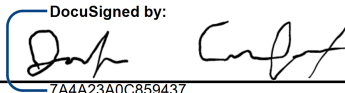
TIM D. MCCONNELL

P.E.# 33797

DATE

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

DocuSigned by

71942530C553G

8/31/2020

JOSH CANAFAX

DATE

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

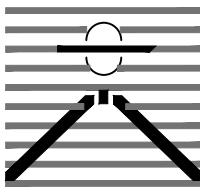
FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JENNIFER IRVINE, P.E.

COUNTY ENGINEER

DATE

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
BOULDER • COLORADO SPRINGS

CLIENT:

LG HI FALCON, LLC
3953 MAPLE AVE., #290
DALLAS, TEXAS 75219


(214) 416-9820

CONSTRUCTION DRAWINGS FOR

FALCON
MARKETPLACE

FALCON, COLORADO

ISSUE	DATE
90% SUBMITTAL	5-6-19
REVISED	8-28-20
DESIGNED BY:	TDM
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	20988-CD-CVR



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

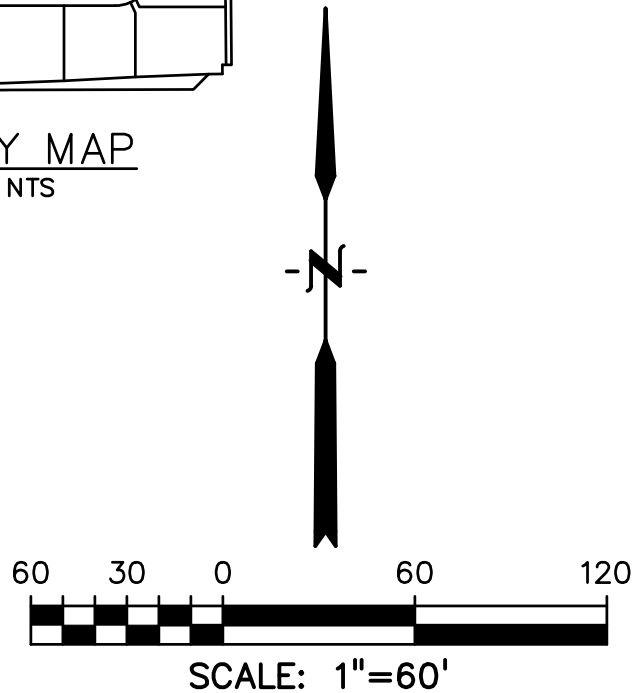
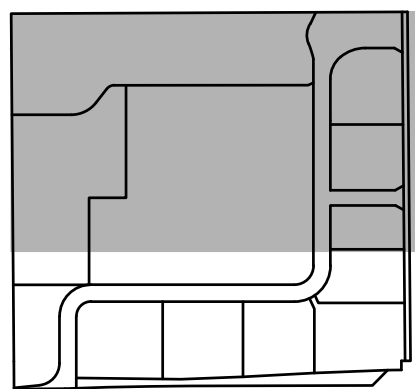
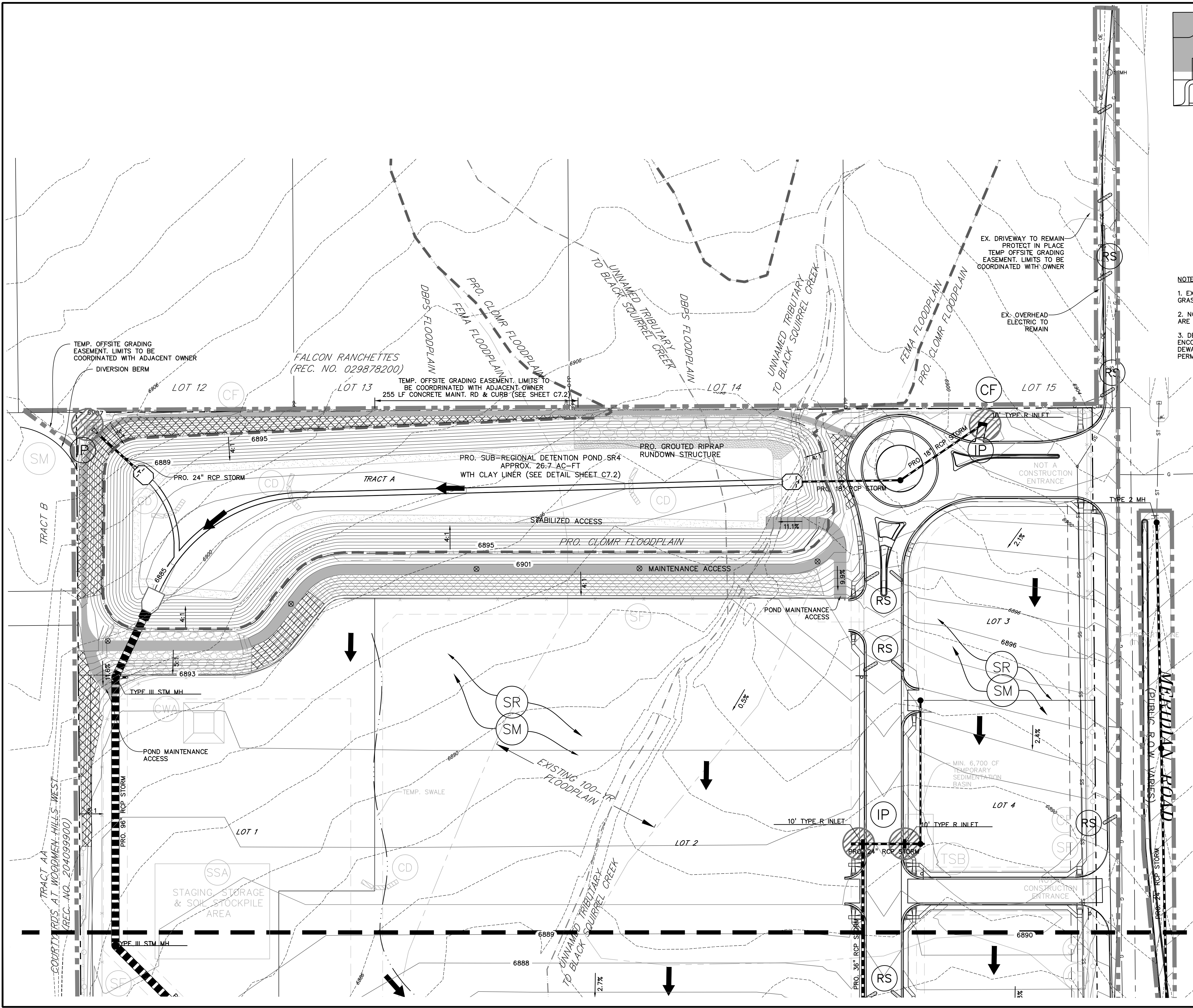
DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

COVER SHEET

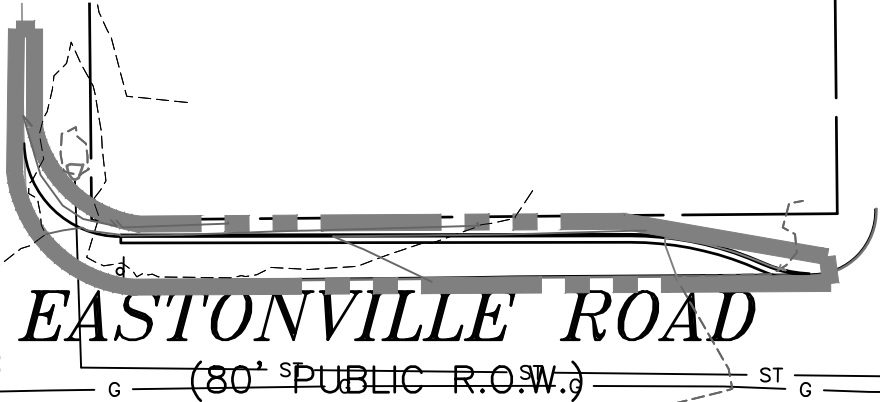
PROJECT NO. 20988-00CSCV
DRAWING NO.

C1.10

SHEET: 1 OF 48



- NOTES:
1. EXISTING SITE IS 90% VEGETATED WITH NATURAL NATIVE GRASSES.
 2. NO DEDICATED ASPHALT OR CONCRETE BATCH PLANTS ARE TO BE USED ONSITE.
 3. DEWATERING IS NOT ANTICIPATED, BUT MAY BE ENCOUNTERED IN THE DETENTION FACILITIES. COORDINATE DEWATERING WITH EL PASO COUNTY AND OBTAIN CDPE PERMITS IN ACCORDANCE WITH SWMP DOCUMENTATION.



LEGEND

PROPERTY LINE.....

PROPOSED INTERMEDIATE CONTOUR.....

PROPOSED INDEX CONTOUR..... 6245

EX. INTERMEDIATE CONTOUR.....

EX. INDEX CONTOUR..... 6245

CUT FILL DELINEATION.....

LIMITS OF DISTURBANCE/CONSTRUCTION.....

PROPOSED STORM SEWER.....

PROPOSED STORM INLET.....

EX. OVERHEAD ELECTRIC..... OE

EX. SANITARY SEWER..... SS

EX. PETROLEUM..... UP

EX. GAS..... G

EX. RAW WATER..... RW

EX. WATER..... W

EX. STORM SEWER..... ST

EMBANKMENT MONITOR.....

DIRECTION OF FLOW.....

SILT FENCE..... SF

CONSTRUCTION FENCE..... CF

VEHICLE TRACKING CONTROL..... VTC

EROSION CONTROL BLANKET..... ECB

STRAW BALE CHECK DAM..... CD

CONCRETE WASHOUT AREA..... CWA

SURFACE ROUGHENING..... SR

TEMPORARY SEEDING & MULCHING..... SM

STABILIZED STAGING AREA..... SSA

TEMPORARY SEDIMENT BASIN..... TSB

ROCK SOCKS..... RS

EL PASO COUNTY FILE # SF-19-001

PREPARED BY:

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FALCON, COLORADO

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REVISED	8-28-20

DESIGNED BY: TDM

DRAWN BY: KGV

CHECKED BY: TDM

FILE NAME:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: 1"=60'
VERTICAL: N/A

INTERIM/FINAL GRADING & EROSION CONTROL PLAN

PROJECT NO. 20988-00CSCV

DRAWING NO.

C2.10

SHEET: 8 OF 48