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3/14/2018 3:43 PM P:\7-ELEVEN\CO. EL PASO COUNTY NORTHGATE AND STRUTHERS 103079\908 CAD\02.0 COVER SHEET.DWG

SUBDIVISION DEVELOPER

ACADEMY GATEWAY II, LLC.
50 WEST CHEYENNE MOUNTAIN ROAD
COLORADO SPRINGS, CO 80906
ATTN: JAMES R. BARASH
P: (719) 578-1335

ARCHITECT

THE DIMENSION GROUP
5600 SOUTH QUEBEC STREET, STE 310B
GREENWOOD VILLAGE, CO 80111
ATTN: TANNER KINDE
P: (720) 536-3180

AGENCY REFERRALS

PLANNING & COMMUNITY DEVELOPMENT

2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
ATTN: KARI PARSONS
P: (719) 520-6506

PIKES PEAK REGIONAL BUILDING DEPARTMENT

2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
ATTN: DAN MCCULLY
P: (719) 327-2880

COLORADO SPRINGS UTILITIIES

111 S. CASCADE AVE.
COLORADO SPRINGS, CO 80903
CONTACT: ZACK SHEARER
P: (719) 668-8111, (719) 448-4800 (MAIN)

MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC.

11140 E. WOODMAN RD.
FALCON, CO 80831-8127
CONTACT: KATHY HANSEN-LEE OR LYNN HERTEL
P: (719) 495-2283

OWNER

7-ELEVEN, INC.
5600 S. QUEBEC STREET, STE. 200C
GREENWOOD VILLAGE, CO 80911
ATTN: JAMES H. SCHULTZ
P: (303) 720-8629

MEP ENGINEER

THE DIMENSION GROUP
5600 SOUTH QUEBEC STREET, STE 310B
GREENWOOD VILLAGE, CO 80111
ATTN: JOSH GUNLOCK
P: (720) 536-3180

ENGINEERING CONSULTANT

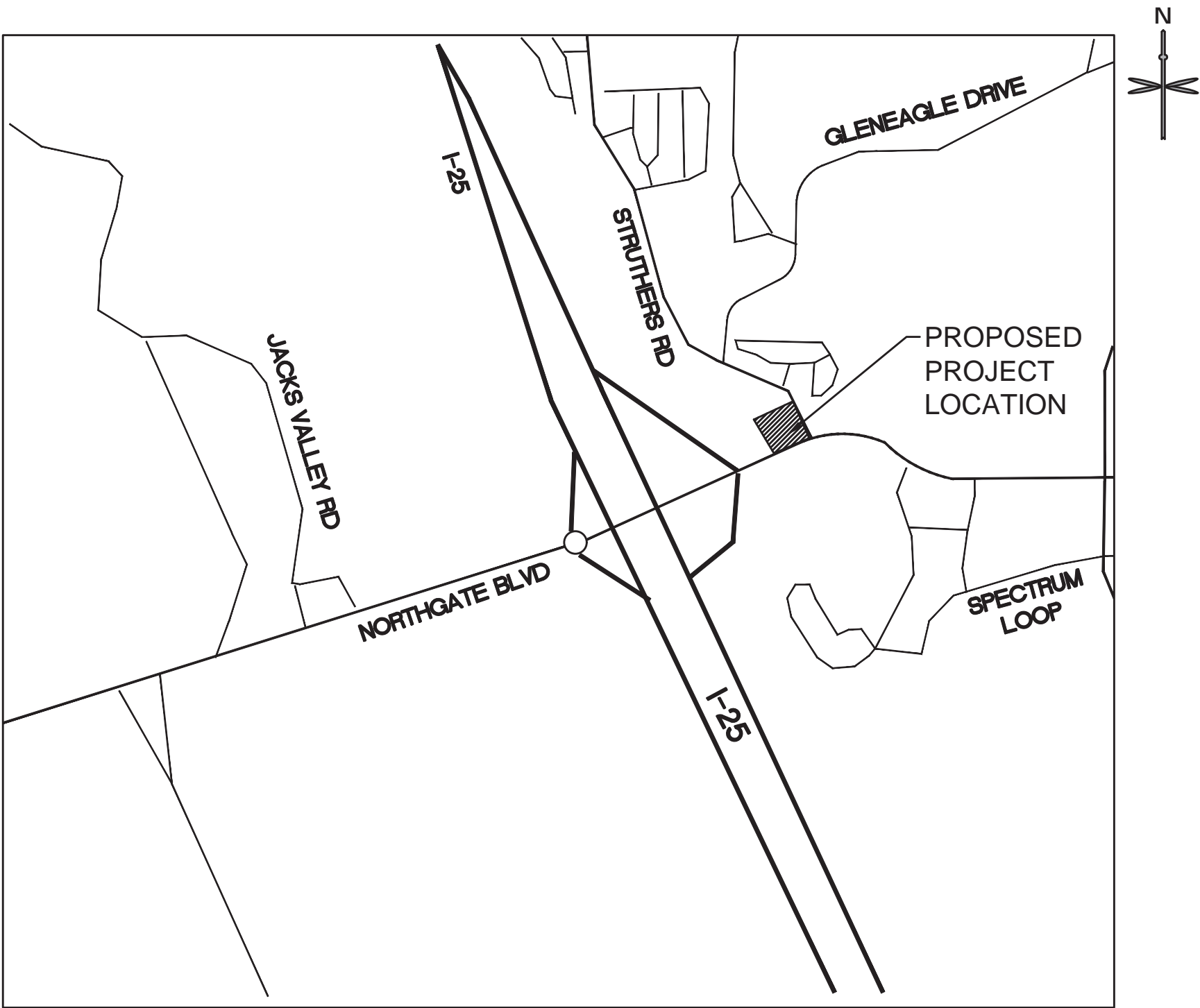
ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.
518 17TH STREET, SUITE 1575
DENVER, CO 80202
ATTN: LAUREN ROOT
P: (303) 572-7997

LANDSCAPE ARCHITECT

OUTDOOR DESIGN GROUP
5690 WEBSTER STREET
ARVADA, CO 80002
ATTN: MATT CORRION
P: (303) 993-4811



MAJOR SITE DEVELOPMENT PLAN
7-ELEVEN
LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1
A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER
OF SECTION 1, TOWNSHIP 12 SOUTH, RANGE 67 AND THE
SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH,
RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL
PASO COUNTY, STATE OF COLORADO
12/04/17



VICINITY MAP
1"= 500'

LEGAL DESCRIPTION

LEGAL DESCRIPTION PER ALTA NSPS LAND TITLE SURVEY COMPLETED BY CLASSIC CONSULTING ENGINEERS AND SURVEYORS,
DATED JULY 27, 2017.

PARCEL A:

LOT 1, ACADEMY GATEWAY SUBDIVISION FILING NO. 1, IN THE COUNTY OF EL PASO, STATE OF COLORADO ACCORDING TO THE
PLAT THEREOF RECORDED JULY 11, 2017 UNDER RECEPTION NO. 217713997.

PARCEL B:

NON-EXCLUSIVE EASEMENTS FOR INGRESS, EGRESS, DRAINAGE AND UTILITY PURPOSES OVER AND ACROSS PORTIONS OF
ACADEMY GATEWAY SUBDIVISION FILING NO. 1 AS SET FORTH AND DESCRIBED IN DECLARATION OF COVENANTS FOR ACADEMY
GATEWAY RECORDED JUNE 29, 2017 UNDER RECEPTION NO. 217076379 AND AS SHOWN ON THE PLAT THEREOF RECORDED JULY
11, 2017 UNDER RECEPTION NO. 217713997.

PROJECT BASIS OF BEARING

BASIS OF BEARINGS: A PORTION OF THE EASTERLY BOUNDARY OF ACADEMY GATEWAY SUBDIVISION FILING NO. 1 RECORDED
UNDER RECEPTION NO. 217713997, RECORDS OF EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE NORTHERLY END
BY A 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38012" AND AT THE SOUTHERLY END BY A 1-1/2" WASHER STAMPED "PLS 38012"
IS ASSUMED TO BEAR S 10°12'03" E, A DISTANCE OF 75.53 FEET.

FLOODPLAIN STATEMENT

PER ALTA

NO PORTION OF THE SURVEYED PROPERTY IS WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN, AS
DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08041C0287F,
EFFECTIVE DATE MARCH 17, 1997.(ZONE X)

SOIL PREPARATION NOTE

SOIL PREPARATION FOR NON-LANDSCAPE AREAS SHALL BE PER RECOMMENDATIONS
FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: VIVID ENGINEERING GROUP
PROJECT: PROPOSED 7-ELEVEN CONVENIENCE STORE NW CORNER OF NORTHGATE
BOULEVARD AND STRUTHERS ROAD DATED FEBRUARY, 6 2017,
VIVID PROJECT # D16-2-021

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION.
INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING
INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS.
REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE
STRUCTURES. REFER TO THE LANDSCAPE PLANS FOR SPECIFIC PLANTING AREA
SOIL AMENDMENT PROCEDURES.

CAUTION - NOTICE TO CONTRACTOR

NOTE: CONTRACTOR SHALL REFERENCE THE
GEOTECHNICAL INVESTIGATION/REPORT PREPARED
BY VIVID ENGINEERING GROUP.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE
APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE
TIME OF SURVEY AND ARE TO BE CONSIDERED AN APPROXIMATE
LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD
VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE,
WHETHER SHOWN ON THE PLANS OR NOT. PRIOR TO CONSTRUCTION,
REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO
CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE
CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND
VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH
POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE
ENGINEER PRIOR TO CONSTRUCTION.

GENERAL SITE NOTES:

1. NO WORK IS TO BEGIN UNTIL NECESSARY PERMITS HAVE BEEN OBTAINED.
2. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
3. GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE.
4. GENERAL CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE
APPROPRIATE UTILITY PROVIDER. GENERAL CONTRACTOR TO VERIFY AND
FOLLOW ALL UTILITY PROVIDER REQUIREMENTS, PROCEDURES, STANDARDS
AND SPECIFICATIONS.
5. GENERAL CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL
REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S
REPRESENTATIVE.
6. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP
AT THE COMPLETION OF WORK.
7. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH EL PASO COUNTY
STANDARDS AND SPECIFICATIONS, LATEST REVISION THEREOF. IT IS
RECOMMENDED THAT THE CONTRACTOR OBTAIN A COPY OF THESE MANUALS
FOR REFERENCE DURING ALL SITE CONSTRUCTION.
8. THE STANDARDS AND SPECIFICATIONS SHALL GOVERN SHOULD A
DISCREPANCY ARISE BETWEEN THE STANDARDS AND SPECIFICATIONS AND THE
PLANS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY
DISCREPANCIES.
9. ALL ASPHALT CUTS FOR UTILITIES AND PAVEMENT WITHIN PUBLIC RIGHT OF
WAYS SHALL BE IN ACCORDANCE WITH EL PASO COUNTY STANDARDS AND
SPECIFICATIONS.
10. GENERAL CONTRACTOR SHALL PROVIDE COMPREHENSIVE TRAFFIC CONTROL
PLAN AS NEEDED, WHICH SHALL BE SUBMITTED TO AND APPROVED BY EL PASO
COUNTY PRIOR TO ANY WORK IN THE PUBLIC R.O.W. CONTRACTOR IS
RESPONSIBLE FOR SAFETY TO THE PUBLIC BY MINIMIZING THE INTERRUPTION
OF THE USE OF ROADS AND PROVIDING SIGNS, FLARES, BARRICADES, ETC. AS
NECESSARY.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL
LOCATION AND ELEVATION OF EXISTING UTILITIES WHICH MAY BE IN CONFLICT
WITH THE PROPOSED CONSTRUCTION. IF A CONFLICT DOES EXIST, THE
CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER.
12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITIES
WHEN CONSTRUCTION WORK BEGINS IN THE VICINITY OF ANY UTILITY LINES
AND TO ARRANGE FOR A REPRESENTATIVE OF THE UTILITY TO BE PRESENT IF
THE CONTRACTOR'S OPERATIONS ARE IN CLOSE PROXIMITY TO ANY LINES IN
THEIR EXISTING OR RELOCATED POSITION WHICH COULD CREATE A
HAZARDOUS CONDITION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTION AND TESTING
REQUIRED FOR APPROVAL OF WORK.
14. NOTES LOCATED ON ANY SHEET IN THE SET ARE APPLICABLE TO ENTIRE SET.
15. THE CONTRACTOR SHALL FURNISH A SET OF "AS-BUILT" PLANS AS NECESSARY
TO GOVERNING JURISDICTION PRIOR TO FINAL ACCEPTANCE.
16. SEE THE SIGNAGE PACKAGE FOR ALL SITE SIGNAGE.
17. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES
WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE
PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE
ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED
STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO
COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS
OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO
SUCH LAWS.

SHEET INDEX	
SHEET NO.	DESCRIPTION
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	GRADING PLAN
C2.1	GRADING ENLARGEMENT PLAN
C2.2	DRAINAGE PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL NOTES & DETAILS
C3.2	EROSION CONTROL DETAILS
C4.0	UTILITY PLAN
C5.0	BUILDING ELEVATIONS
C5.1	SITE PLAN DETAILS
C6.0	LANDSCAPE COVER SHEET AND PLANT LIST
C6.1	LANDSCAPE PLAN
C6.2	IRRIGATION PLAN
C6.3	IRRIGATION DETAILS
C7.1	PHOTOMETRIC PLAN

Approved

By: Craig Dossey, Executive Director
Date: 03/22/2018



El Paso County Planning & Community Development



Know what's below.
Call before you dig.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

COUNTY PROJECT NUMBER PPR-17-058

REVISION		DATE
BY	SPM	01/31/18
1		EL PASO COUNTY RESUBMITTAL
2		EL PASO COUNTY RESUBMITTAL - STAMPED SET
No.		
1	EL PASO COUNTY RESUBMITTAL	
2	EL PASO COUNTY RESUBMITTAL - STAMPED SET	



DEVELOPMENT PLAN

7-ELEVEN

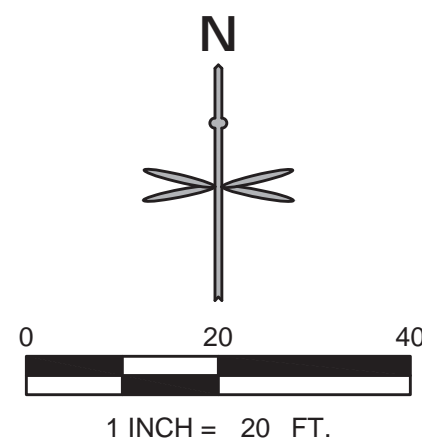
LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

COVER SHEET

PROJECT NO.: 7EL024.01
DESIGNED BY: SPM
DRAWN BY: LER
DATE: 12/04/17

C0.0
SHEET 1 OF 16

MAJOR SITE DEVELOPMENT PLAN
LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1
A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 12 SOUTH, RANGE 67 AND THE SOUTHWEST QUARTER OF SECTION
6, TOWNSHIP 12 SOUTH, RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	SETBACK
	EASEMENT LINE
	BUILDING
	MONUMENT SIGN
	EXISTING SIGN
	HANDICAPPED PARKING SIGN
	PARKING COUNT
	TYPE 3 CATCH CURB AND GUTTER
	TYPE 3 SPILL CURB AND GUTTER
	CONCRETE DRIVE/PARKING
	CONCRETE WALK
	LIGHT
	SANITARY MANHOLE (BY OTHERS)
	SANITARY SEWER CLEANOUT
	1" WATER METER
	EXISTING FIRE HYDRANT
	EXISTING SANITARY/STORM MANHOLE
	PROPOSED SIGHT LIGHT

SITE DATA

LOT AREA	1.31 ACRES - 57,068 SF
ZONING	(CS) COMMERCIAL SERVICES
BUILDING SQUARE FOOT	2,940 SF
OVERALL LOT COVERAGE	32,574 SF (57.08%)
TOTAL LANDSCAPE COVERAGE	24,494 SF (42.92%)
PARKING REQUIRED	12 SPOTS; 1 PER 250 SF BUILDING
PARKING PROVIDED	13 REGULAR, 1 ACCESSIBLE SPACE
BIKE RACKS PROVIDED	1 BIKE RACK EQUALS 2 BIKE PARKING SPOTS

ROAD IMPACT FEE

CONVENIENCE COMMERCIAL	\$8,114 PER 1,000 SF
2,940 SF	= \$24,855.16

NOTES

1. THE 7-ELEVEN HOURS OF OPERATION WILL BE 24 HOURS A DAY.
2. THERE ARE NO USES WITHIN THE 7-ELEVEN PROJECT THAT UTILIZE OR GENERATE ANY SIGNIFICANT QUANTITIES OF TOXIC MATERIAL.
3. ALL DIMENSIONS ARE FLOWLINE TO FLOWLINE UNLESS OTHERWISE NOTED.
4. ALL PARKING LOT STRIPING SHALL BE WHITE.
5. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF EL PASO COUNTY AS APPLICABLE.
6. HANDICAP PARKING AREAS PROVIDED PER COUNTY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS SERVICE AREA DIMENSIONS AND ELEVATIONS.
8. MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH EL PASO COUNTY ZONING ORDINANCE.
9. ALL SIGNAGE CONTINGENT UPON APPROVAL BY EL PASO COUNTY.
10. ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.
11. ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12:1.
12. UNLESS OTHERWISE NOTED, ALL RADII ON PARKING ISLAND SHALL BE 3'.
13. THE CONTRACTOR SHALL OBTAIN THE LATEST CAD FILE OF SITE IMPROVEMENTS FROM THE ENGINEER OF RECORD FOR HORIZONTAL AND VERTICAL SURVEY CONTROL PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY WITH ENGINEER OF RECORD ANY DISCREPANCIES BETWEEN THE CAD FILES AND CONSTRUCTION PLANS PRIOR TO INSTALLATION OF PLAN IMPROVEMENTS.



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE
1	EL PASO COUNTY RESUBMITTAL	SPM	01/31/18
2	EL PASO COUNTY RESUBMITTAL-STAMPED SET	SPM	03/19/18



DEVELOPMENT PLAN

7-ELEVEN

SITE PLAN

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

PROJECT NO:	7EL024.01
DESIGNED BY:	SPM
DRAWN BY:	LER
DATE:	12/04/17

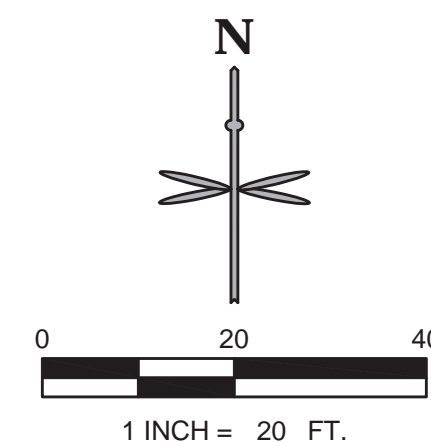
C1.0
SHEET 2 OF 16

GRADING QUANTITIES	
CUT*	360 CY
FILL*	205 CY
NET*	150 CY (CUT)
APPROX. PROPOSED TANK EXCAVATION** 52' X 37' X 16'	1140 CY (CUT)

* QUANTITIES ARE RAW VALUES FROM EXISTING GRADE TO FINISHED GRADE AND DO NOT ACCOMMODATE ANY PAVEMENT SECTIONS, OVEREXCAVATION OR UTILITY TRENCHING.

** QUANTITIES ARE RAW VALUES FOR APPROXIMATED PROPOSED TANK EXCAVATION VOLUME ONLY.

MAJOR SITE DEVELOPMENT PLAN
LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1
A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
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6, TOWNSHIP 12 SOUTH, RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, STATE OF COLORADO



LEGEND

	PROPERTY LINE
	SETBACK
	EXISTING EASEMENT LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	STREAMSIDE BUFFER OVERLAY
	MINOR CONTOUR
	MAJOR CONTOUR
	CURB AND GUTTER
	BUILDING
	MONUMENT SIGN
	HANDICAP PARKING SIGN
	SPOT ELEVATION
	FLOW LINE ELEVATION
	HIGH POINT
	PROPOSED GRADE TO MATCH EXISTING
	PROPOSED GRADE AT TOP BACK OF CURB
	PROPOSED GRADE AT BOTTOM OF WALL
	FLOW ARROW AND GRADE
	SITE LIGHT
	EXISTING FIRE HYDRANT
	EXISTING SANITARY MANHOLE
	EXISTING STORM INLET
	EXISTING STORM GRATE
	EXISTING STORM LINE
	ADA ROUTE
	LIMITS OF DISTURBANCE FOR PROPOSED GRADING

No.	REVISION	BY	DATE
1	EL PASO COUNTY RESUBMITTAL	SPM	01/31/18
2	EL PASO COUNTY RESUBMITTAL-STAMPED SET	SPM	03/19/18



EES
ENTITLEMENT AND
ENGINEERING
SOLUTIONS, INC.

518 17th Street
Suite 1575
Denver, CO 80202
www.ees-us.com



GENERAL NOTES

1. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
2. SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.
3. CATCH CURB AND GUTTER FLOWLINE GRADES SHALL BE A MINIMUM 0.6%.
4. ALL ADA SIDEWALKS, RAMPS AND PARKING STALLS SHALL COMPLY WITH CITY AND STATE APPLICABLE CODES AND STANDARDS WHEN POSSIBLE.
5. ALL PROPOSED STORM SEWER WILL BE PRIVATE.
6. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
7. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL APPROVED BY GEOTECHNICAL ENGINEER. SEE "SOIL PREPARATION NOTE" ON COVERS SHEET.
8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
9. GRADES SHOWN ARE FLOWLINE UNLESS OTHERWISE NOTED.
10. RETAINING WALL MAXIMUM HEIGHT IS FROM FINISHED GRADE TO TOP OF WALL TO FINISHED GRADE AT BOTTOM OF WALL AND DOES NOT INCORPORATE FOOTING DEPTH OR WALL HEIGHT ABOVE FINISHED REFER TO MANUFACTURERS SPECIFICATIONS FOR WALL DESIGN AND FULL HEIGHT OF WALL.
11. EROSION CONTROL BLANKET TO BE INSTALLED ON ALL SLOPES STEEPER THAN 4:1.
12. CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM PLANNING AND COMMUNITY DEVELOPMENT (PCD) AND A PRECONSTRUCTION CONFERENCE IS HELD WITH PCD INSPECTORS.

ENGINEER'S STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARING THIS REPORT.

NAME Sean McIntosh DATE 03/19/18

OWNER'S STATEMENT

OWNER STATEMENT
THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

NAME J. H. Schindler DATE 3/19/18

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB. THE ENGINEER HAS THE DUTY TO OBTAIN THE APPROVAL OF THE ASSAINT FOR NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA AND ENGINEERING CRITERIA MANUAL AS AMENDED.

COUNTY ENGINEER / DIRECTOR _____ DATE _____



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

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DEVELOPMENT PLAN

7-ELEVEN

GRADING PLAN

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

PROJECT NO:	7EI 024 01
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DESIGNED BY: SRM

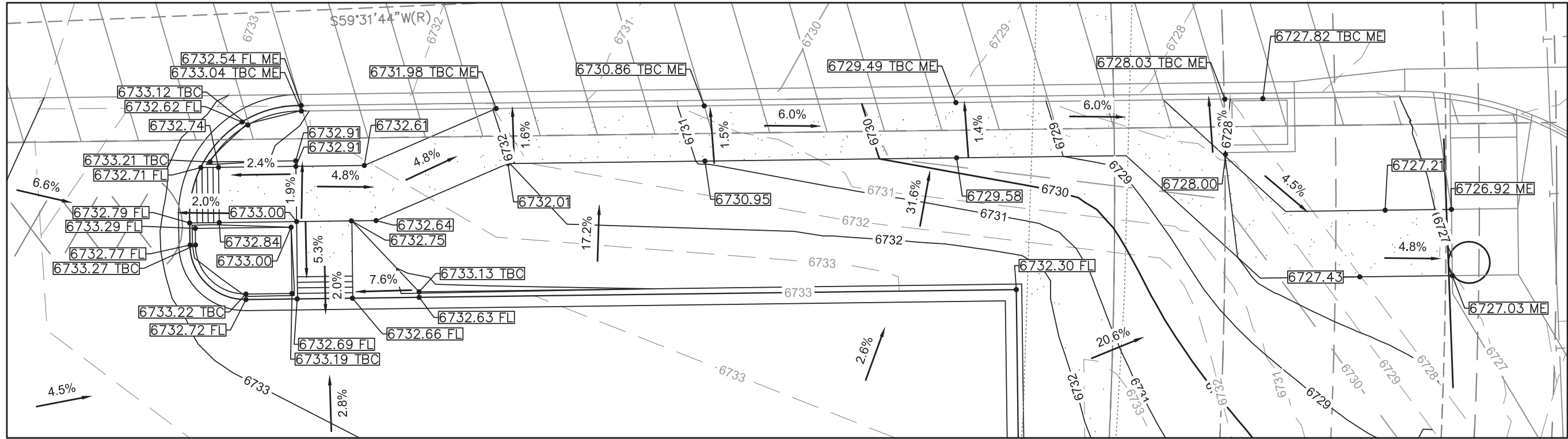
DESIGNED BY:	SPM
DESIGNED BY:	SPM

DRAWN BY: LER
DATE: 12/04/17

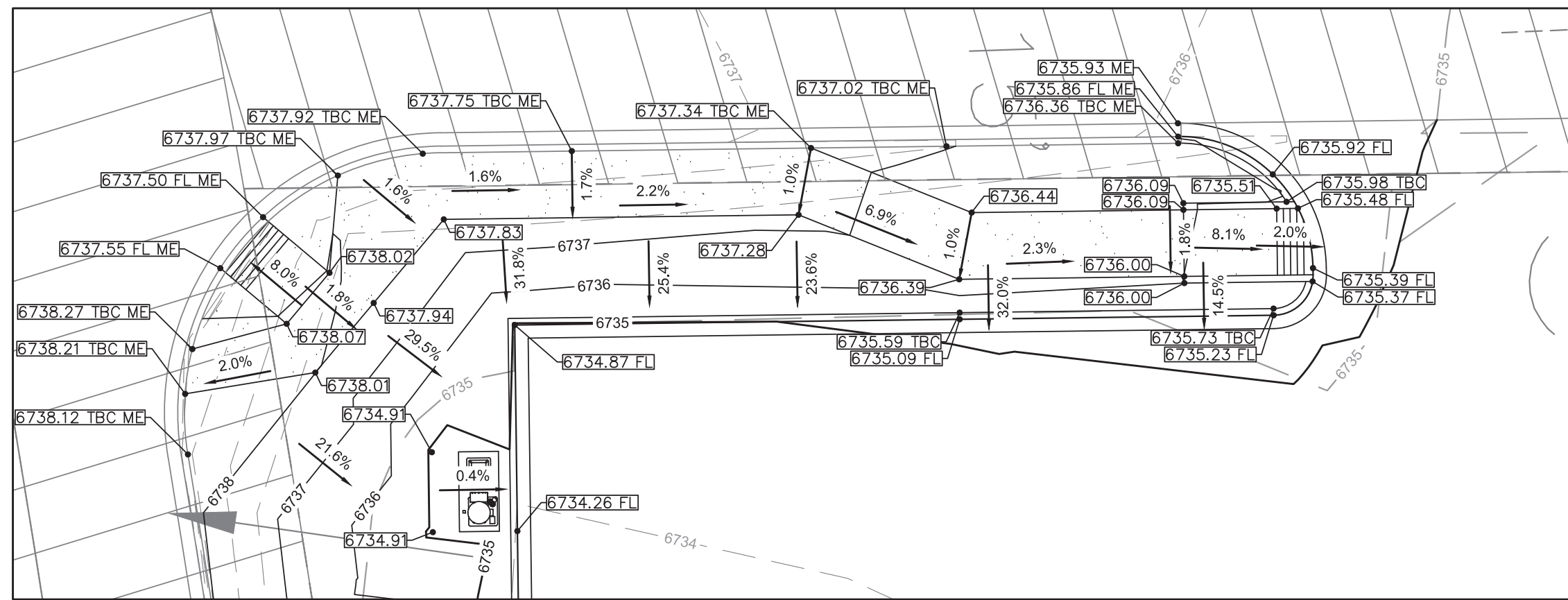
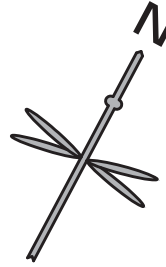
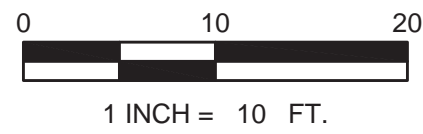
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SHEET 3 OF 16

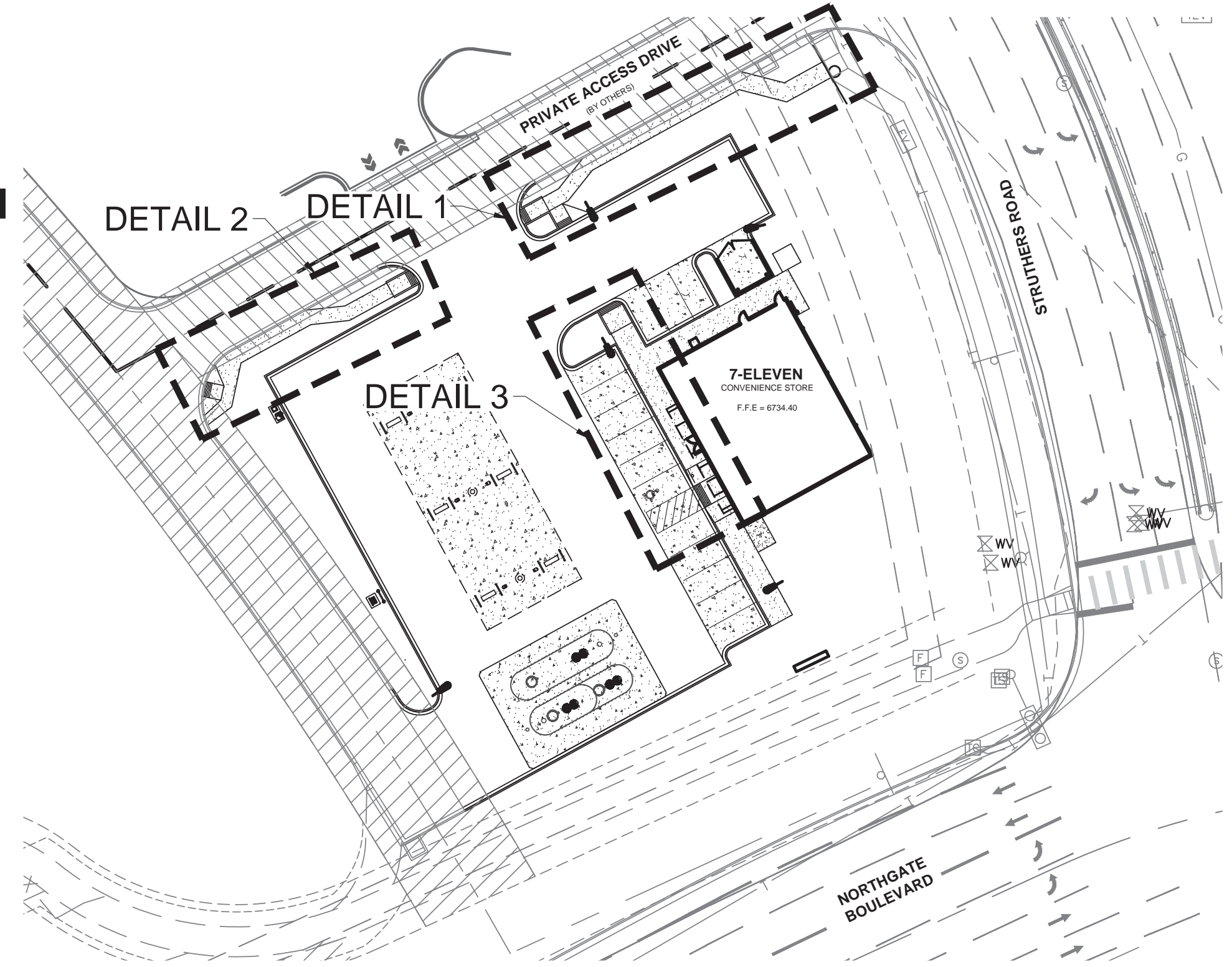
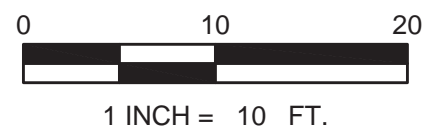
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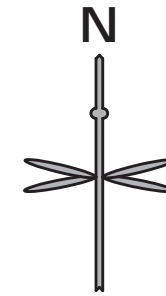
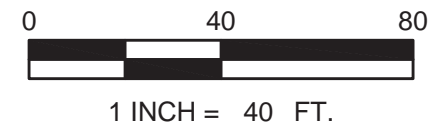
DETAIL 1



DETAIL 2



KEYMAP



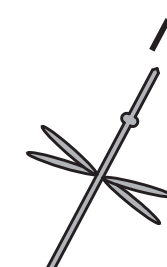
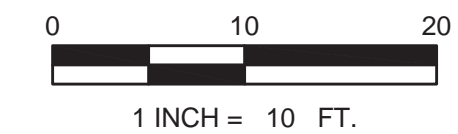
LEGEND

---	PROPERTY LINE
---	SETBACK
---	EXISTING EASEMENT LINE
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	STREAMSIDE BUFFER OVERLAY
---	MINOR CONTOUR
---	MAJOR CONTOUR
---	CURB AND GUTTER
---	BUILDING
---	MONUMENT SIGN
---	HANDICAP PARKING SIGN
---	SPOT ELEVATION
---	FLOW LINE ELEVATION
---	HIGH POINT
---	PROPOSED GRADE TO MATCH EXISTING
---	PROPOSED GRADE AT TOP BACK OF CURB
---	PROPOSED GRADE AT BOTTOM OF WALL
---	FLOW ARROW AND GRADE
---	SITE LIGHT
---	EXISTING FIRE HYDRANT
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM INLET
---	EXISTING STORM GRATE
---	EXISTING STORM LINE

GENERAL NOTES

- NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.
- CATCH CURB AND GUTTER FLOWLINE GRADES SHALL BE A MINIMUM 0.6%.
- ALL ADA SIDEWALKS, RAMPS AND PARKING STALLS SHALL COMPLY WITH CITY AND STATE APPLICABLE CODES AND STANDARDS WHEN POSSIBLE.
- ALL PROPOSED STORM SEWER WILL BE PRIVATE.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL APPROVED BY GEOTECHNICAL ENGINEER. SEE "SOIL PREPARATION NOTE" ON COVERS SHEET.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- GRADES SHOWN ARE FLOWLINE UNLESS OTHERWISE NOTED.
- RETAINING WALL MAXIMUM HEIGHT IS FROM FINISHED GRADE TO TOP OF WALL TO FINISHED GRADE AT BOTTOM OF WALL AND DOES NOT INCORPORATE FOOTING DEPTH OR WALL HEIGHT ABOVE FINISHED REFER TO MANUFACTURERS SPECIFICATIONS FOR WALL DESIGN AND FULL HEIGHT OF WALL.
- EROSION CONTROL BLANKET TO BE INSTALLED ON ALL SLOPES STEEPER THAN 4:1.

DETAIL 3

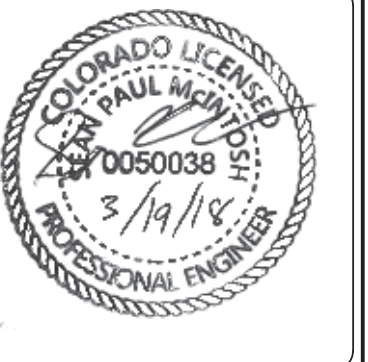


Know what's below.
Call before you dig.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE
1	EL PASO COUNTY RESUBMITTAL	SPM	01/31/18
2	EL PASO COUNTY RESUBMITTAL- STAMPED SET	SPM	03/19/18

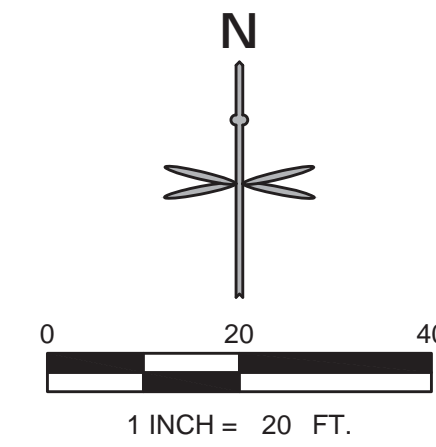


DEVELOPMENT PLAN	7-ELEVEN	LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1	GRADING ENLARGEMENT PLAN
PROJECT NO.:	7EL024.01	DESIGNED BY:	SPM
DRAWN BY:	LER	DATE:	12/04/17
C2.1		SHEET 4 OF 16	

MAJOR SITE DEVELOPMENT PLAN

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 12 SOUTH, RANGE 67 AND THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO



LEGEND

	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	MINOR CONTOUR
	MAJOR CONTOUR
	CURB AND GUTTER
	FLOW ARROW
	STORM INLET AND MANHOLE
	SANITARY SEWER CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING SANITARY/STORM MANHOLE
	PROPOSED 1" WATER METER
	PROPOSED TELEPHONE
	PROPOSED GAS
	PROPOSED ELECTRIC
	PROPOSED SANITARY
	PROPOSED STORM PIPE
	BASIN PERIMETER
	DESIGN POINT
	BASIN DESIGNATION
	10-YR RUNOFF COEFFICIENT
	100-YR RUNOFF COEFFICIENT
	BASIN AREA IN ACRES

NOTES:

1. ALL STORM SEWER IS PRIVATE AND IS SIZED FOR THE 100 YEAR EVENT, UNLESS OTHERWISE NOTED.

BASIN SUMMARY RUNOFF TABLE						
BASIN	DESIGN POINT	CONTRIBUTING BASIN ACREAGE	10-YR C-VALUE	100-YR C-VALUE	10-YR RUNOFF (CFS)	100-YR RUNOFF (CFS)
1	1	0.07	0.90	0.95	0.37	0.56
2	2	0.14	0.85	0.90	0.70	1.07
3	3	0.45	0.81	0.87	2.23	3.44
OS-1	OS-1	0.22	0.31	0.41	0.41	0.77
OS-2	OS-2	0.28	0.26	0.36	0.45	0.88
OS-3	OS-3	0.03	0.54	0.62	0.11	0.18
RW-1	RW-1	0.07	0.90	0.95	0.37	0.57
RW-2	RW-2	0.05	0.90	0.95	0.28	0.42

811
Know what's below.
Call before you dig.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE	01/31/18
BY	SPM
REVISION	
1	EL PASO COUNTY RESUBMITTAL
2	EL PASO COUNTY RESUBMITTAL- STAMPED SET



EES
ENTITLEMENT AND
ENGINEERING
SOLUTIONS, INC.

518 17th Street
Suite 150
El Paso, CO 80022
www.ees-us.com
303-572-7997



DEVELOPMENT PLAN

7-ELEVEN

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

DRAINAGE PLAN

PROJECT NO.: 7EL024.01

DESIGNED BY: SPM

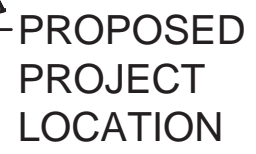
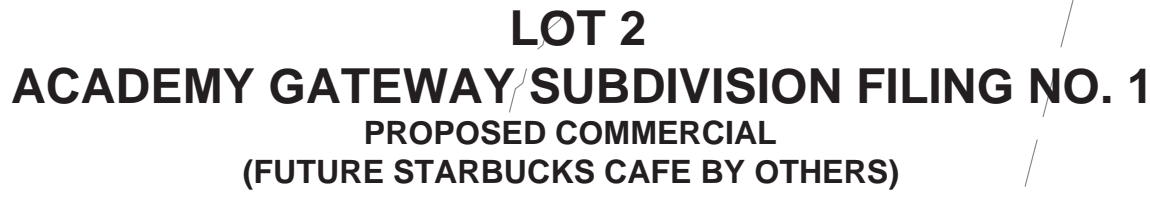
DRAWN BY: LER

DATE: 12/04/17

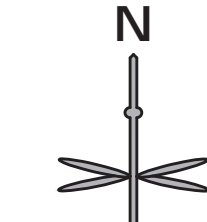
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SHEET 5 OF 16

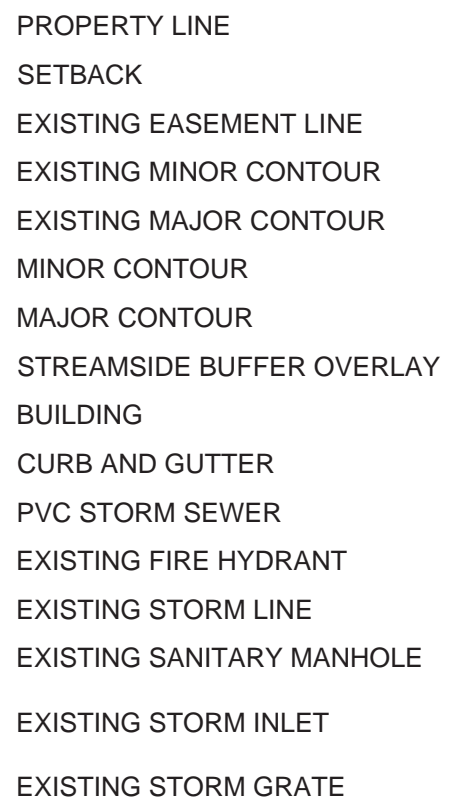
LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

MERIDIAN, EL PASO COUNTY, STATE OF COLORADO



1"= 500





1. SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.
2. THERE ARE NO USES WITHIN THE 7-ELEVEN PROJECT THAT UTILIZE OR GENERATE ANY SIGNIFICANT QUANTITIES OF TOXIC MATERIAL.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR ANY OFF-SITE CONSTRUCTION ACTIVITY.
4. THE SITE IS MASS GRADED WITH NO EXISTING VEGETATION.



CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

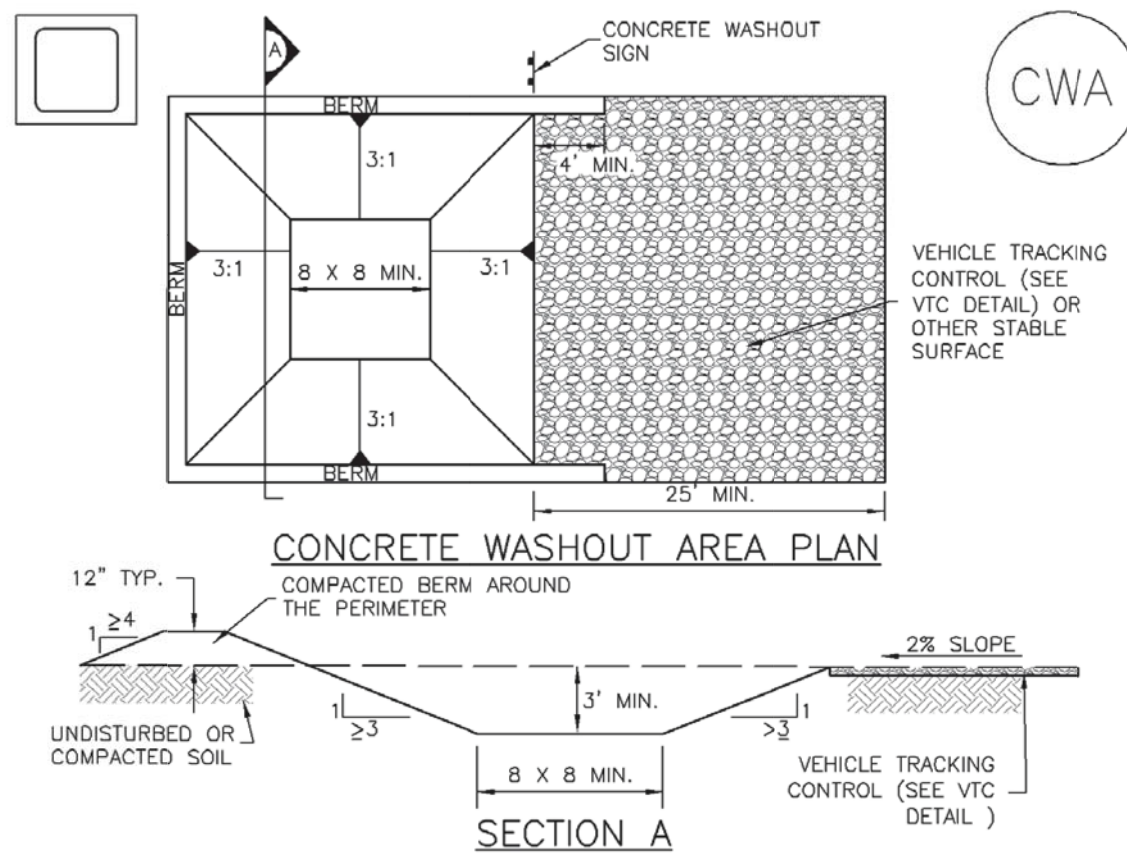
**A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 12 SOUTH, RANGE 67 AND THE SOUTHWEST QUARTER OF SECTION
6, TOWNSHIP 12 SOUTH, RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, STATE OF COLORADO**

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

3. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY OSD INSPECTIONS STAFF.
5. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
6. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
7. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
8. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
9. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
10. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
11. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
12. EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
13. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
14. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR TEMPORARY BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
16. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENT'S SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
17. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
18. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
19. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
20. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE

CURB AND GUTTER OR IN THE DITCHLINE

21. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE EGM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
22. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
23. PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
24. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
25. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY VIVID ENGINEERING GROUP AND SHALL BE CONSIDERED A PART OF THESE PLANS.
26. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

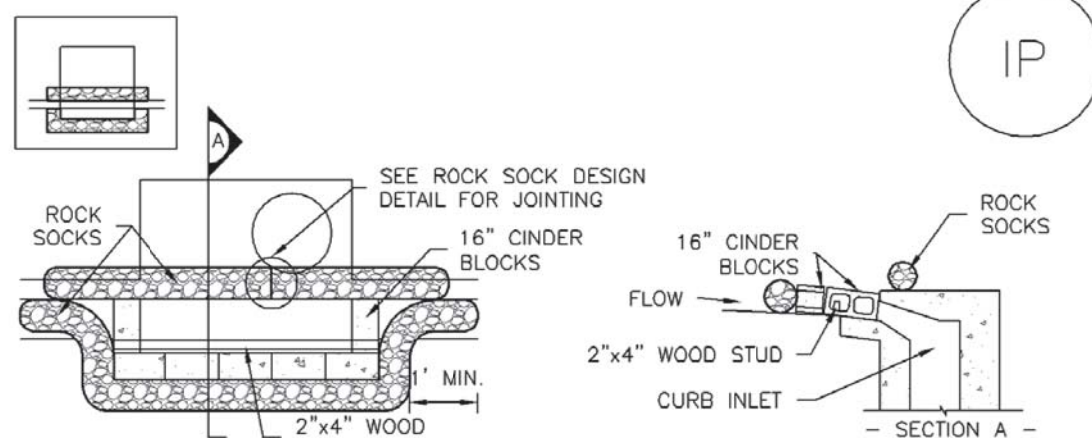
1. SEE PLAN VIEW FOR:
 - CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT TO THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRIGS.
8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

CWA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIAL HAS REACHED A DEPTH OF 2'.
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS FROM THE SURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD).

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE
INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
3. GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.

INLET PROTECTION MAINTENANCE NOTES

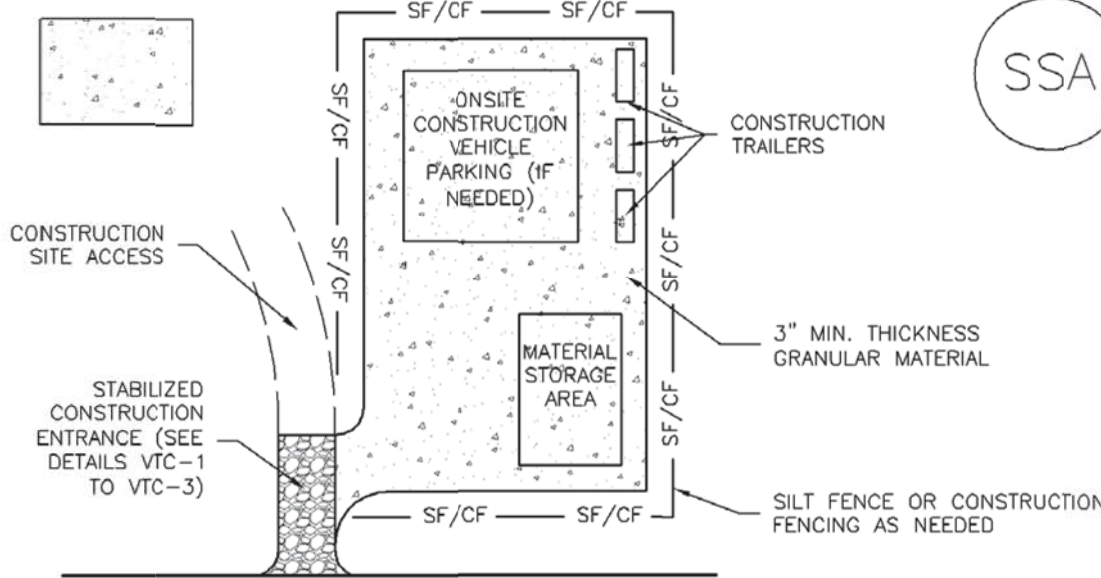
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE AFTER A STORM, WITHIN 24 HOURS FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR $\frac{1}{2}$ OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.



SSA-1. STABILIZED STAGING AREA

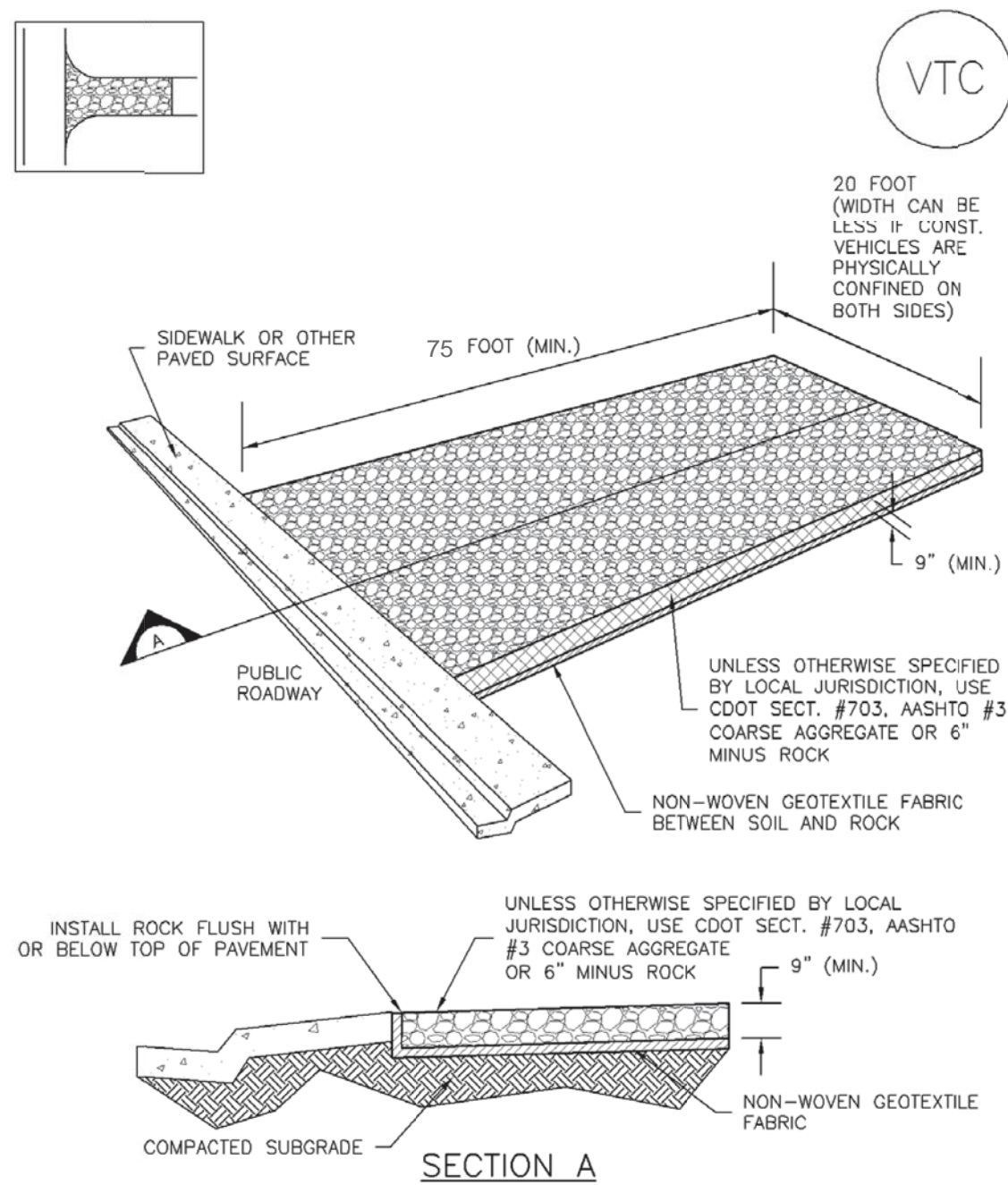
STABILIZED STAGING AREA INSTALLATION NOTES

1. SEE PLAN VIEW FOR
-LOCATION OF STAGING AREA(S).
-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DO SIZE #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1. SEE PLAN VIEW FOR
 -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
 -TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED FOR SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE WATER TO PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)



Know what's **below**.
Call before you dig

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

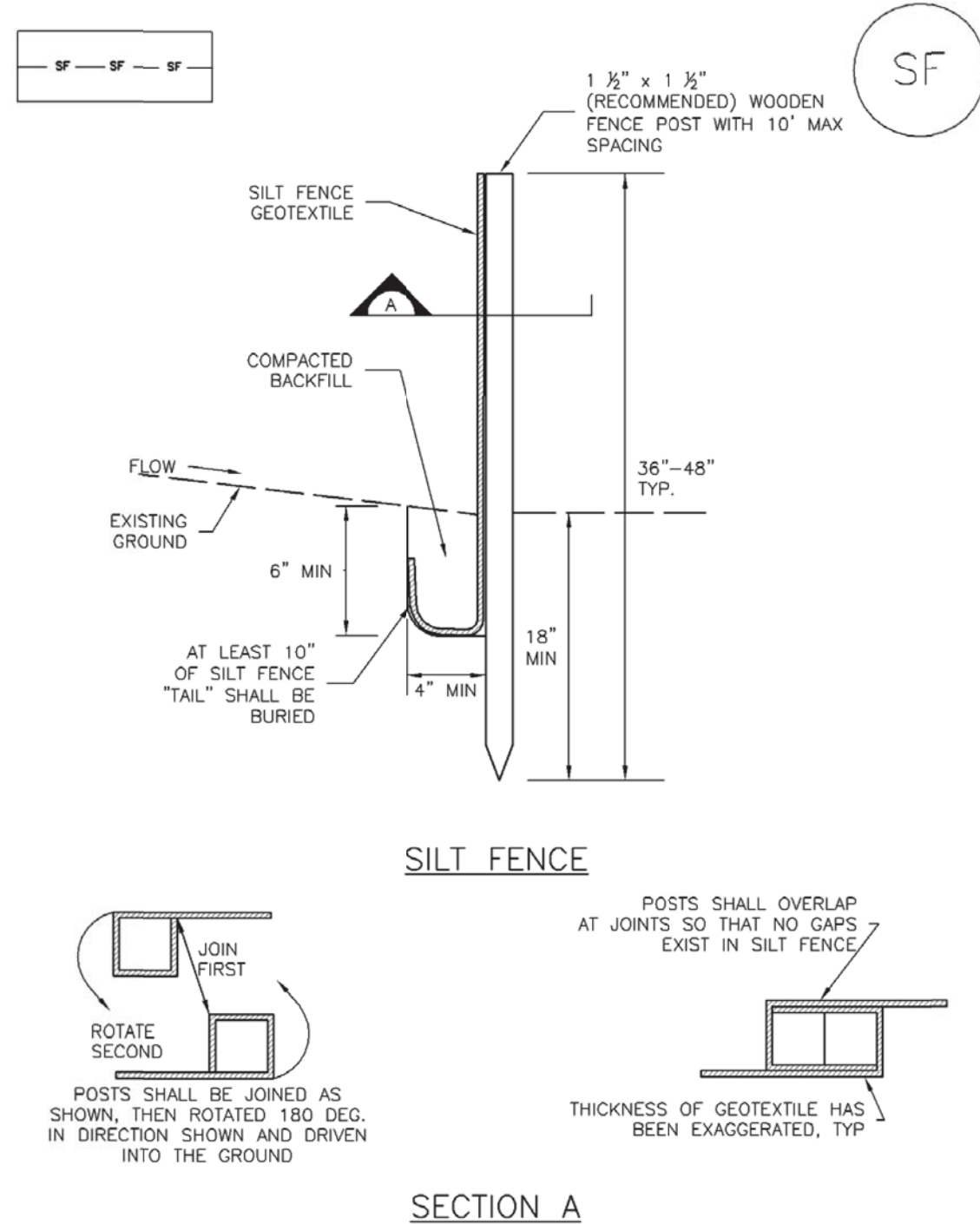
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



MAJOR SITE DEVELOPMENT PLAN

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 12 SOUTH, RANGE 67 AND THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO



SILT FENCE INSTALLATION NOTES

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK". THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
- REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

Temporary and Permanent Seeding (TS/PS) EC-2

Seeding dates for the highest success probability of perennial species along the Front Range are generally in the spring from April through early May and in the fall after the first of September until the ground freezes. If the area is irrigated, seeding may occur in summer months, as well. See Table TS/PS-3 for appropriate seeding dates.

Table TS/PS-1. Minimum Drill Seeding Rates for Various Temporary Annual Grasses

Species ^a (Common name)	Growth Season ^b	Pounds of Pure Live Seed (PLS)/acre ^c	Planting Depth (inches)
1. Oats	Cool	35 - 50	1 - 2
2. Spring wheat	Cool	25 - 35	1 - 2
3. Spring barley	Cool	25 - 35	1 - 2
4. Annual ryegrass	Cool	10 - 15	½
5. Millet	Warm	3 - 15	½ - ¾
6. Sudangrass	Warm	5-10	½ - ¾
7. Sorghum	Warm	5-10	½ - ¾
8. Winter wheat	Cool	20-35	1 - 2
9. Winter barley	Cool	20-35	1 - 2
10. Winter rye	Cool	20-35	1 - 2
11. Triticale	Cool	25-40	1 - 2

^a Successful seeding of annual grass resulting in adequate plant growth will usually produce enough dead-plant residue to provide protection from wind and water erosion for an additional year. This assumes that the cover is not disturbed or mowed closer than 8 inches.

Hydraulic seeding may be substituted for drilling only where slopes are steeper than 3:1 or where access limitations exist. When hydraulic seeding is used, hydraulic mulching should be applied as a separate operation, when practical, to prevent the seeds from being encapsulated in the mulch.

^b See Table TS/PS-3 for seeding dates. Irrigation, if consistently applied, may extend the use of cool season species during the summer months.

^c Seeding rates should be doubled if seed is broadcast, or increased by 50 percent if done using a Brillion Drill or by hydraulic seeding.

EC-2 Temporary and Permanent Seeding (TS/PS)

Table TS/PS-2. Minimum Drill Seeding Rates for Perennial Grasses

Common ^a Name	Botanical Name	Growth Season ^b	Growth Form	Seeds/ Pound	Pounds of PLS/acre
Alkali Soil Seed Mix					
Alkali sacaton	<i>Sporobolus airoides</i>	Cool	Bunch	1,750,000	0.25
Basin wildrye	<i>Elymus cinereus</i>	Cool	Bunch	165,000	2.5
Sodar streambank wheatgrass	<i>Agropyron riparium 'Sodar'</i>	Cool	Sod	170,000	2.5
Jose tall wheatgrass	<i>Agropyron elongatum 'Jose'</i>	Cool	Bunch	79,000	7.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
Total					17.75
Fertile Loamy Soil Seed Mix					
Ephraim crested wheatgrass	<i>Agropyron cristatum 'Ephraim'</i>	Cool	Sod	175,000	2.0
Dural hard fescue	<i>Festuca ovina 'duriscula'</i>	Cool	Bunch	565,000	1.0
Lincoln smooth brome	<i>Bromus inermis leysii 'Lincoln'</i>	Cool	Sod	130,000	3.0
Sodar streambank wheatgrass	<i>Agropyron riparium 'Sodar'</i>	Cool	Sod	170,000	2.5
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	7.0
Total					15.5
High Water Table Soil Seed Mix					
Meadow foxtail	<i>Alopecurus pratensis</i>	Cool	Sod	900,000	0.5
Redtop	<i>Agrostis alba</i>	Warm	Open sod	5,000,000	0.25
Reed canarygrass	<i>Phalaris arundinacea</i>	Cool	Sod	68,000	0.5
Lincoln smooth brome	<i>Bromus inermis leysii 'Lincoln'</i>	Cool	Sod	130,000	3.0
Pathfinder switchgrass	<i>Panicum virgatum 'Pathfinder'</i>	Warm	Sod	389,000	1.0
Alkar tall wheatgrass	<i>Agropyron elongatum 'Alkar'</i>	Cool	Bunch	79,000	5.5
Total					10.75
Transition Turf Seed Mix^c					
Ruebens Canadian bluegrass	<i>Poa compressa 'Ruebens'</i>	Cool	Sod	2,500,000	0.5
Dural hard fescue	<i>Festuca ovina 'duriscula'</i>	Cool	Bunch	565,000	1.0
Citation perennial ryegrass	<i>Lolium perenne 'Citation'</i>	Cool	Sod	247,000	3.0
Lincoln smooth brome	<i>Bromus inermis leysii 'Lincoln'</i>	Cool	Sod	130,000	3.0
Total					7.5

Temporary and Permanent Seeding (TS/PS) EC-2

Table TS/PS-2. Minimum Drill Seeding Rates for Perennial Grasses (cont.)

Common Name	Botanical Name	Growth Season ^b	Growth Form	Seeds/ Pound	Pounds of PLS/acre
Sandy Soil Seed Mix					
Blue grama	<i>Bouteloua gracilis</i>	Warm	Sod-forming bunchgrass	825,000	0.5
Camper little bluestem	<i>Schizachyrium scoparium 'Camper'</i>	Warm	Bunch	240,000	1.0
Prairie sandreed	<i>Calamovilfa longifolia</i>	Warm	Open sod	274,000	1.0
Sand dropseed	<i>Sporobolus cryptandrus</i>	Cool	Bunch	5,298,000	0.25
Vaughn sidecoats grama	<i>Bouteloua curtipendula 'Vaughn'</i>	Warm	Sod	191,000	2.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
Total					10.25
Heavy Clay, Rocky Foothill Seed Mix					
Ephraim crested wheatgrass ^d	<i>Agropyron cristatum 'Ephraim'</i>	Cool	Sod	175,000	1.5
Oahe Intermediate wheatgrass	<i>Agropyron intermedium 'Oahe'</i>	Cool	Sod	115,000	5.5
Vaughn sidecoats grama ^e	<i>Bouteloua curtipendula 'Vaughn'</i>	Warm	Sod	191,000	2.0
Lincoln smooth brome	<i>Bromus inermis leysii 'Lincoln'</i>	Cool	Sod	130,000	3.0
Arriba western wheatgrass	<i>Agropyron smithii 'Arriba'</i>	Cool	Sod	110,000	5.5
Total					17.5

^a All of the above seeding mixes and rates are based on drill seeding followed by crimped straw mulch. These rates should be doubled if seed is broadcast and should be increased by 50 percent if the seeding is done using a Brillion Drill or is applied through hydraulic seeding. Hydraulic seeding may be substituted for drilling only where slopes are steeper than 3:1. If hydraulic seeding is used, hydraulic mulching should be done as a separate operation.

^b See Table TS/PS-3 for seeding dates.

^c If site is to be irrigated, the transition turf seed rates should be doubled.

^d Crested wheatgrass should not be used on slopes steeper than 6H to 1V.

^e Can substitute 0.5 lbs PLS of blue grama for the 2.0 lbs PLS of Vaughn sidecoats grama.

EC-2 Temporary and Permanent Seeding (TS/PS)

Table TS/PS-3. Seeding Dates for Annual and Perennial Grasses

Seeding Dates	Annual Grasses (Numbers in table reference species in Table TS/PS-1)		Perennial Grasses	
	Warm	Cool	Warm	Cool
January 1–March 15			✓	✓
March 16–April 30	4	1,2,3	✓	✓
May 1–May 15	4		✓	
May 16–June 30	4,5,6,7			
July 1–July 15	5,6,7			
July 16–August 31				
September 1–September 30		8,9,10,11		
October 1–December 31			✓	✓

Mulch

Cover seeded areas with mulch or an appropriate rolled erosion control product to promote establishment of vegetation. Anchor mulch by crimping, netting or use of a non-toxic tackifier. See the Mulching BMP Fact Sheet for additional guidance.

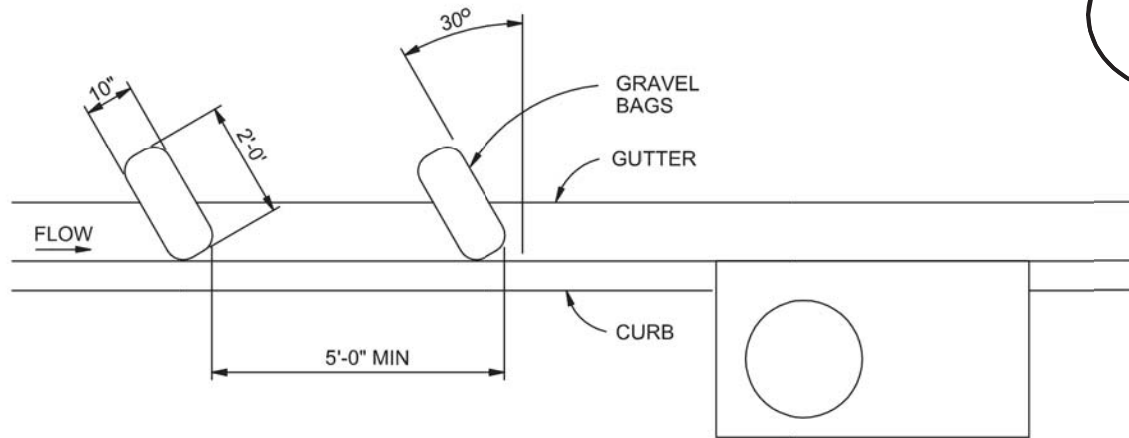
Maintenance and Removal

Monitor and observe seeded areas to identify areas of poor growth or areas that fail to germinate. Reseed and mulch these areas, as needed.

An area that has been permanently seeded should have a good stand of vegetation within one growing season if irrigated and within three growing seasons without irrigation in Colorado. Reseed portions of the site that fail to germinate or remain bare after the first growing season.

Seeded areas may require irrigation, particularly during extended dry periods. Targeted weed control may also be necessary.

Protect seeded areas from construction equipment and vehicle access.



CURB SOCK INLET PROTECTION

NTS

CURB SOCK INLET PROTECTION NOTES

INSTALLATION REQUIREMENTS

- INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF INLET.
- SOCK IS TO BE MADE OF 1/4 INCH WIRE MESH (USED WITH GRAVEL ONLY) OR GEOTEXTILE.
- WASHED SAND OR GRAVEL 3/4 INCH TO 4 INCHES IN DIAMETER IS PLACED INSIDE THE SOCK.
- PLACEMENT OF THE SOCK IS TO BE 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
- SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED AT A MINIMUM 5 FEET APART.
- AT LEAST 2 CURB SOCKS IN SERIES IS REQUIRED.

MAINTENANCE REQUIREMENTS

- CONTRACTOR SHALL INSPECT INLET PROTECTION IMMEDIATELY AFTER EACH RAINFALL. AT LEAST DAILY DURING PROLONGED RAINFALL AND WEEKLY DURING PERIODS NO RAINFALL.
- DAMAGED OR INEFFECTIVE INLET PROTECTION SHALL PROMPTLY BE REPAIRED OR REPLACED.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE SOCK WHEN GUTTER WIDTH IS FILLED.
- INLET PROTECTION SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED WITHIN THE DRAINAGE AREA AS APPROVED BY THE CITY.



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

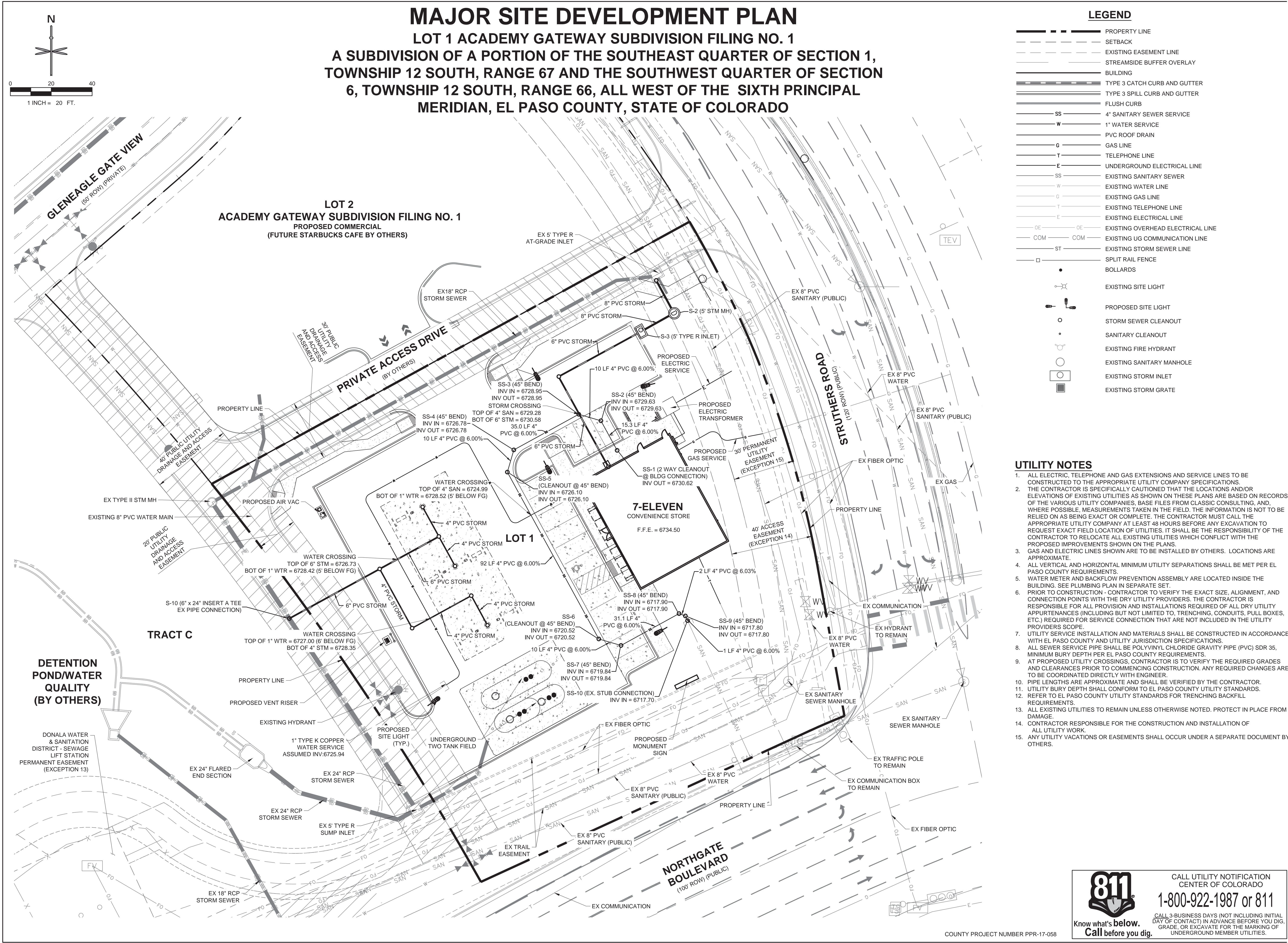
DATE	BY	REVISION	No.
01/31/18	SPM		1
03/19/18	SPM		2



DEVELOPMENT PLAN	LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1	EROSION CONTROL DETAILS
7-ELEVEN		

PROJECT NO:	7EL024.01
DESIGNED BY:	SPM
DRAWN BY:	LER
DATE:	12/04/17

C3.2
SHEET 8 OF 16



LEGEND

- PROPERTY LINE
- SETBACK
- EXISTING EASEMENT LINE
- STREAMSIDE BUFFER OVERLAY
- BUILDING
- TYPE 3 CATCH CURB AND GUTTER
- TYPE 3 SPILL CURB AND GUTTER
- FLUSH CURB
- SS 4" SANITARY SEWER SERVICE
- W 1" WATER SERVICE
- PVC ROOF DRAIN
- G GAS LINE
- T TELEPHONE LINE
- E UNDERGROUND ELECTRICAL LINE
- SS EXISTING SANITARY SEWER
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- T EXISTING TELEPHONE LINE
- E EXISTING ELECTRICAL LINE
- OE EXISTING OVERHEAD ELECTRICAL LINE
- COM EXISTING UG COMMUNICATION LINE
- ST EXISTING STORM SEWER LINE
- SPLIT RAIL FENCE
- BOLLARDS
- EXISTING SITE LIGHT
- PROPOSED SITE LIGHT
- STORM SEWER CLEANOUT
- SANITARY CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING SANITARY MANHOLE
- EXISTING STORM INLET
- EXISTING STORM GRATE

UTILITY NOTES

- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS AND SERVICE LINES TO BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. BASE FILES FROM CLASSIC CONSULTING, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- GAS AND ELECTRIC LINES SHOWN ARE TO BE INSTALLED BY OTHERS. LOCATIONS ARE APPROXIMATE.
- ALL VERTICAL AND HORIZONTAL MINIMUM UTILITY SEPARATIONS SHALL BE MET PER EL PASO COUNTY REQUIREMENTS.
- WATER METER AND BACKFLOW PREVENTION ASSEMBLY ARE LOCATED INSIDE THE BUILDING. SEE PLUMBING PLAN IN SEPARATE SET.
- PRIOR TO CONSTRUCTION - CONTRACTOR TO VERIFY THE EXACT SIZE, ALIGNMENT, AND CONNECTION POINTS WITH THE DRY UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PROVISION AND INSTALLATIONS REQUIRED OF ALL DRY UTILITY APURTENANCES (INCLUDING BUT NOT LIMITED TO, TRENCHING, CONDUITS, PULL BOXES, ETC.) REQUIRED FOR SERVICE CONNECTION THAT ARE NOT INCLUDED IN THE UTILITY PROVIDERS SCOPE.
- UTILITY SERVICE INSTALLATION AND MATERIALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EL PASO COUNTY AND UTILITY JURISDICTION SPECIFICATIONS.
- ALL SEWER SERVICE PIPE SHALL BE POLYVINYL CHLORIDE GRAVITY PIPE (PVC) SDR 35, MINIMUM BURY DEPTH PER EL PASO COUNTY REQUIREMENTS.
- AT PROPOSED UTILITY CROSSINGS, CONTRACTOR IS TO VERIFY THE REQUIRED GRADES AND CLEARANCES PRIOR TO COMMENCING CONSTRUCTION. ANY REQUIRED CHANGES ARE TO BE COORDINATED DIRECTLY WITH ENGINEER.
- PIPE LENGTHS ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR.
- UTILITY BURY DEPTH SHALL CONFORM TO EL PASO COUNTY UTILITY STANDARDS.
- REFER TO EL PASO COUNTY UTILITY STANDARDS FOR TRENCHING BACKFILL REQUIREMENTS.
- ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED. PROTECT IN PLACE FROM DAMAGE.
- CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION AND INSTALLATION OF ALL UTILITY WORK.
- ANY UTILITY VACATIONS OR EASEMENTS SHALL OCCUR UNDER A SEPARATE DOCUMENT BY OTHERS.



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

REVISION		DATE	
No.	BY	SPM	SPM
1	EL PASO COUNTY RESUBMITTAL	01/31/18	03/19/18
2	EL PASO COUNTY RESUBMITTAL-STAMPED SET		

DEVELOPMENT PLAN

7-ELEVEN

UTILITY PLAN

PROJECT NO.: 7EL024.01

DESIGNED BY: SPM

DRAWN BY: LER

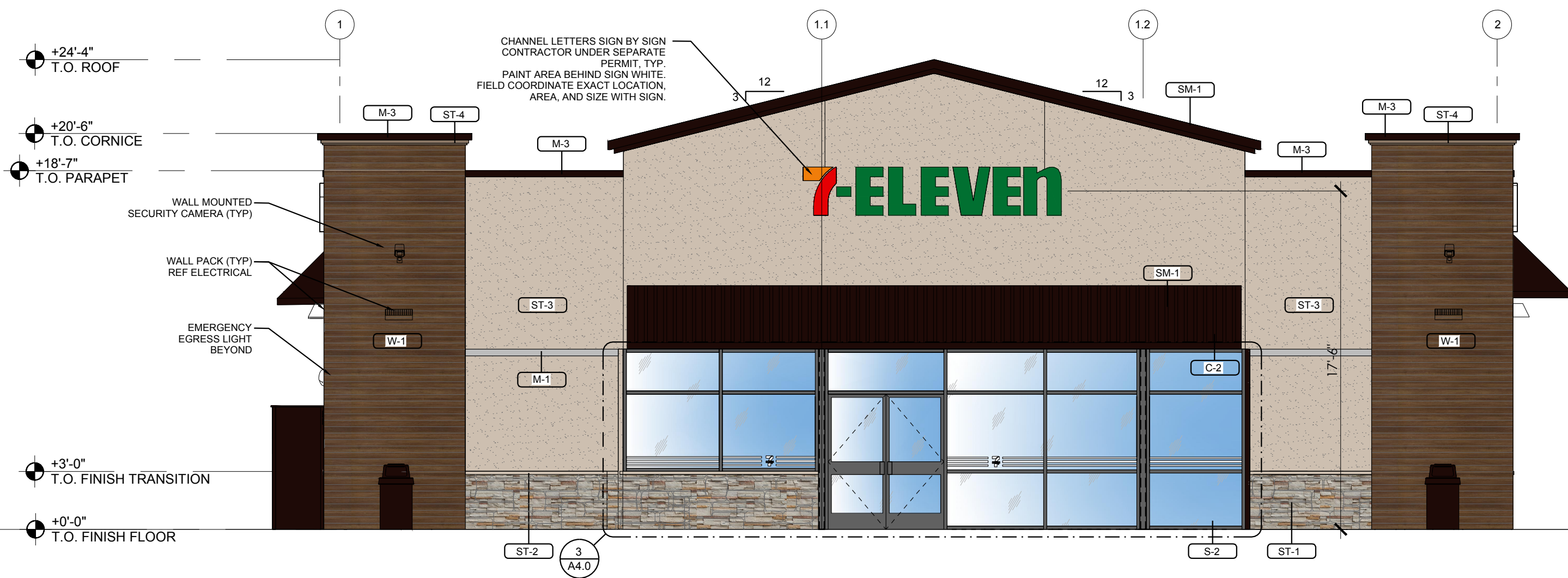
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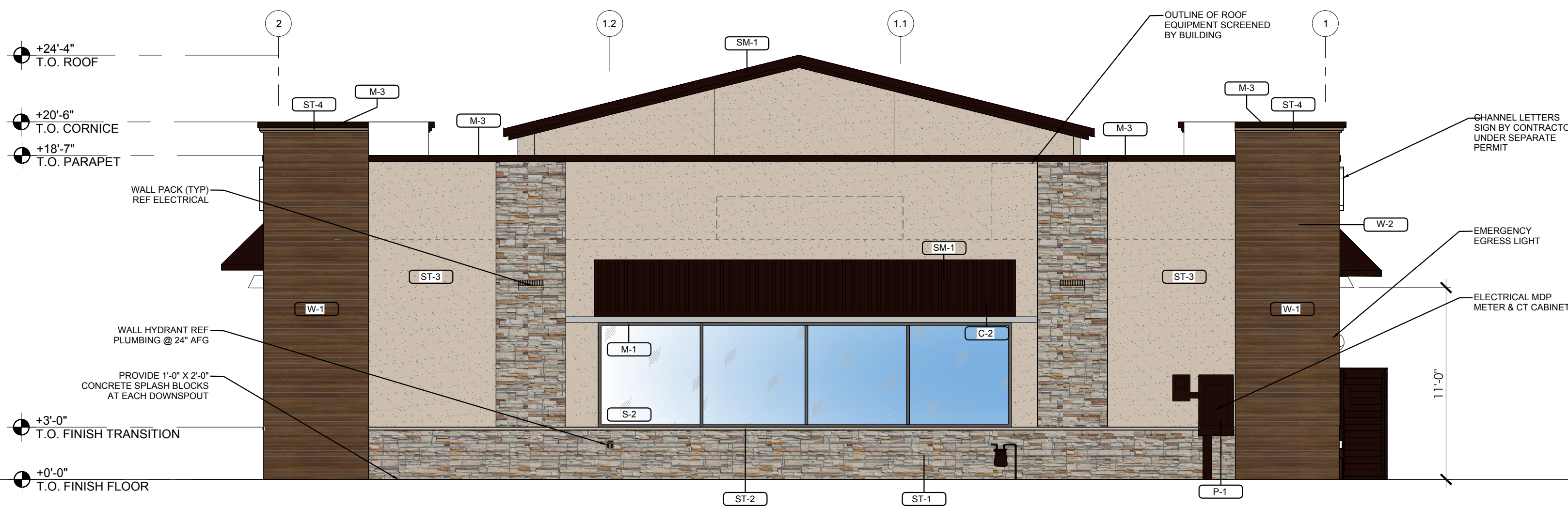
SHEET 9 OF 16

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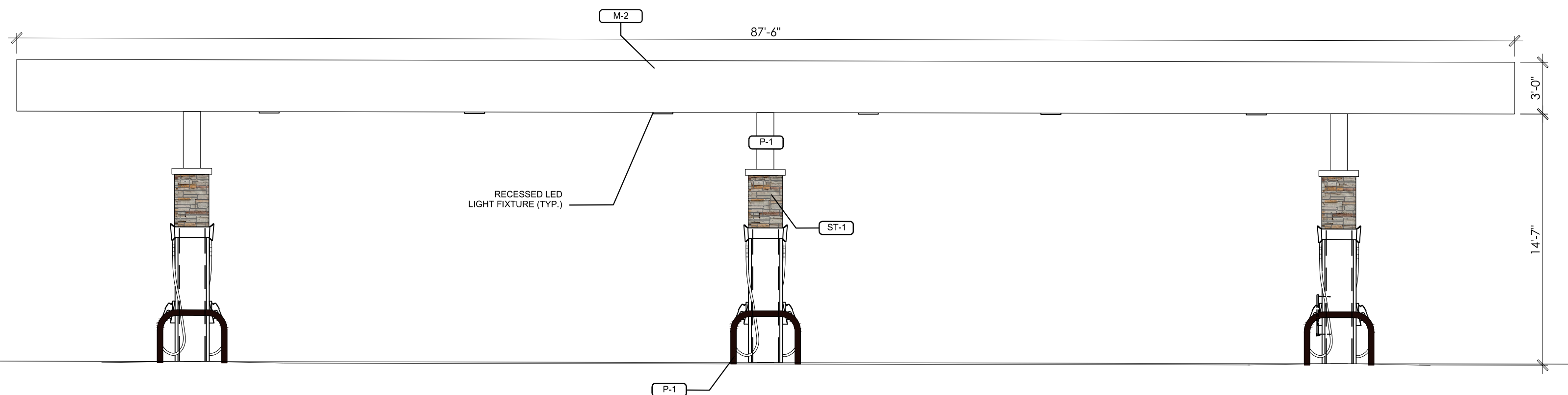
1/31/2018 2:38 PM L:\7-ELEVEN\2017\7-003 1030079 STRUTHERS EL PASO CO\01 PRELIMINARY\FLOORPLAN & ELEVATIONS\10-20-2017 (6049 LEFT)\BUILDING & CANOPY ELEVATIONS.DWG



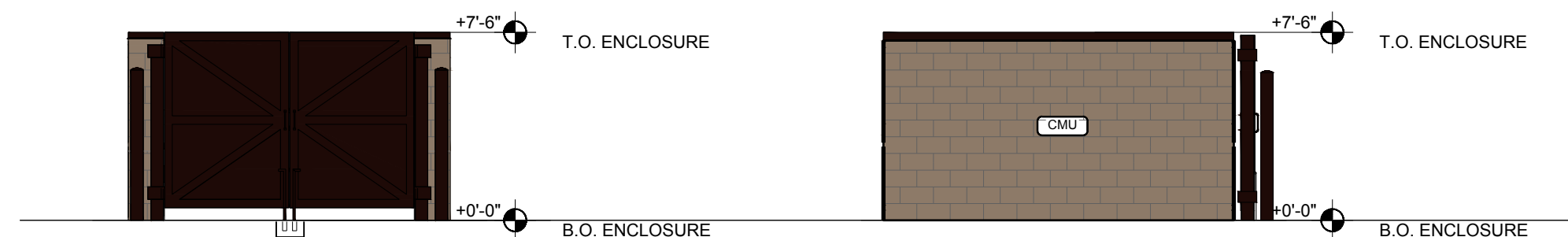
1 **FRONT ELEVATION**
SCALE 3/16" = 1'-0"



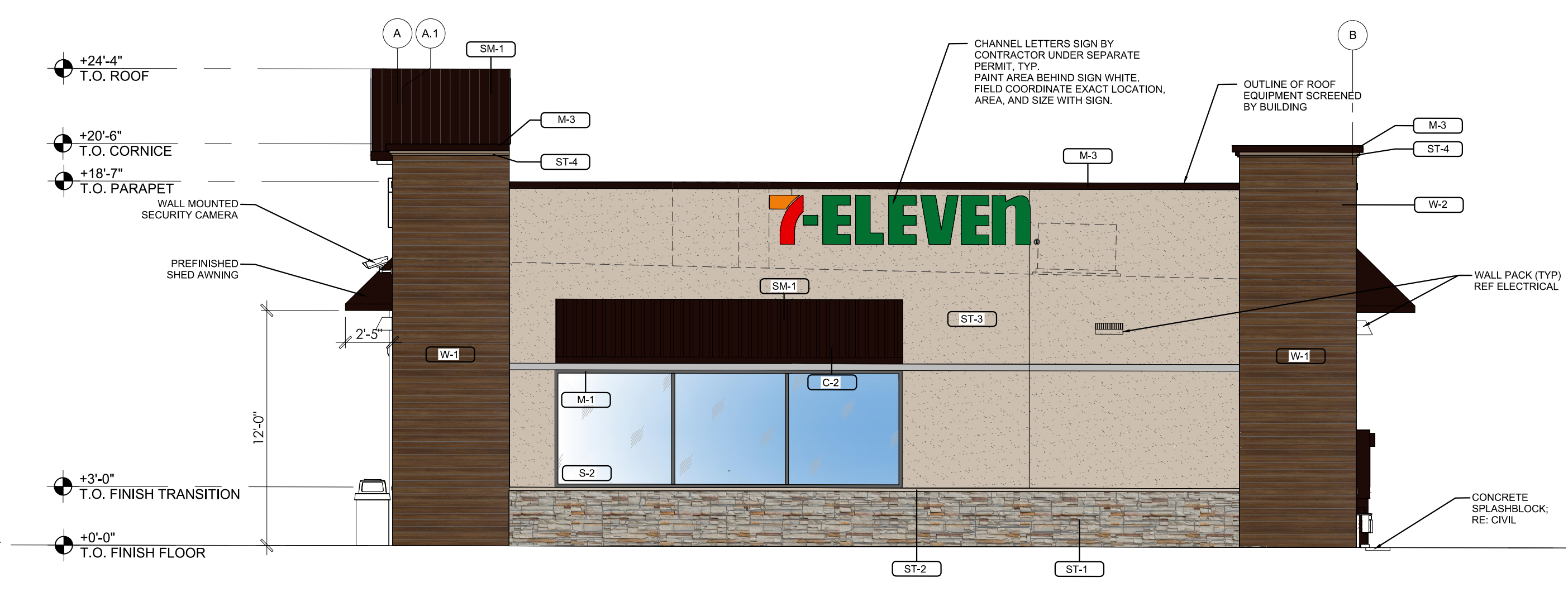
3 **BACK ELEVATION**
SCALE 3/16" = 1'-0"



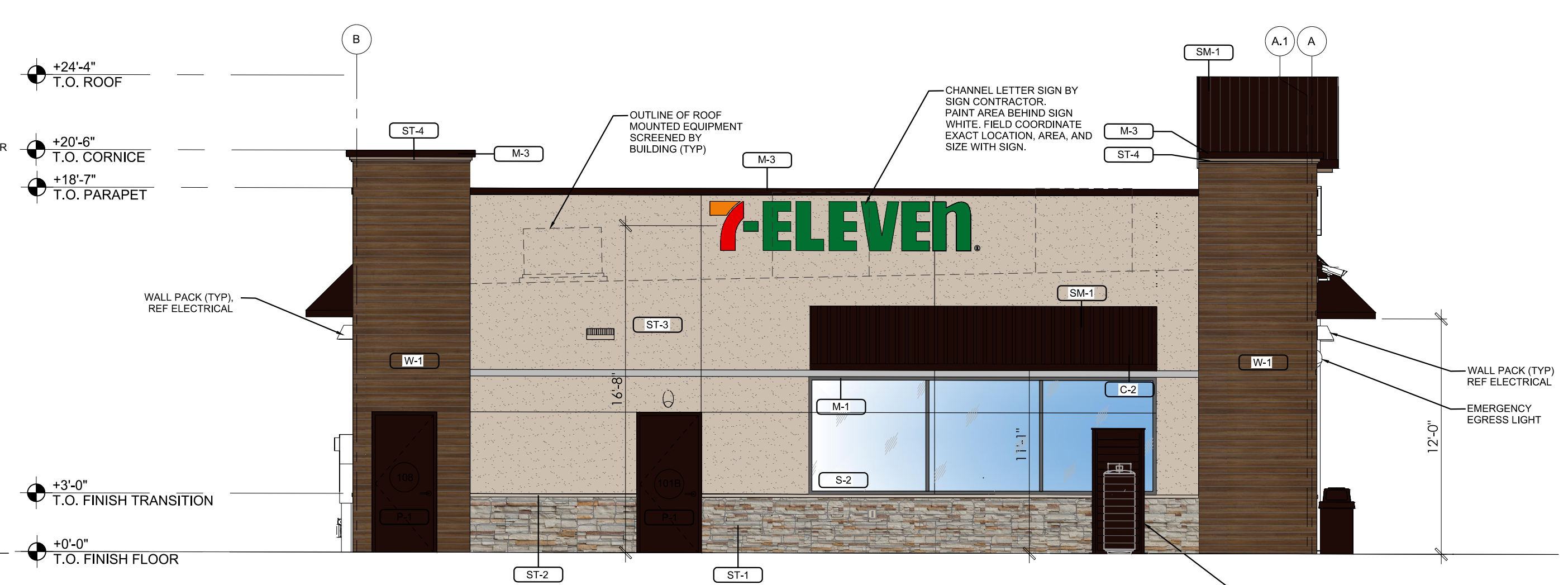
5 **FUEL CANOPY ELEVATION - SIDE VIEW**
SCALE 3/16" = 1'-0"



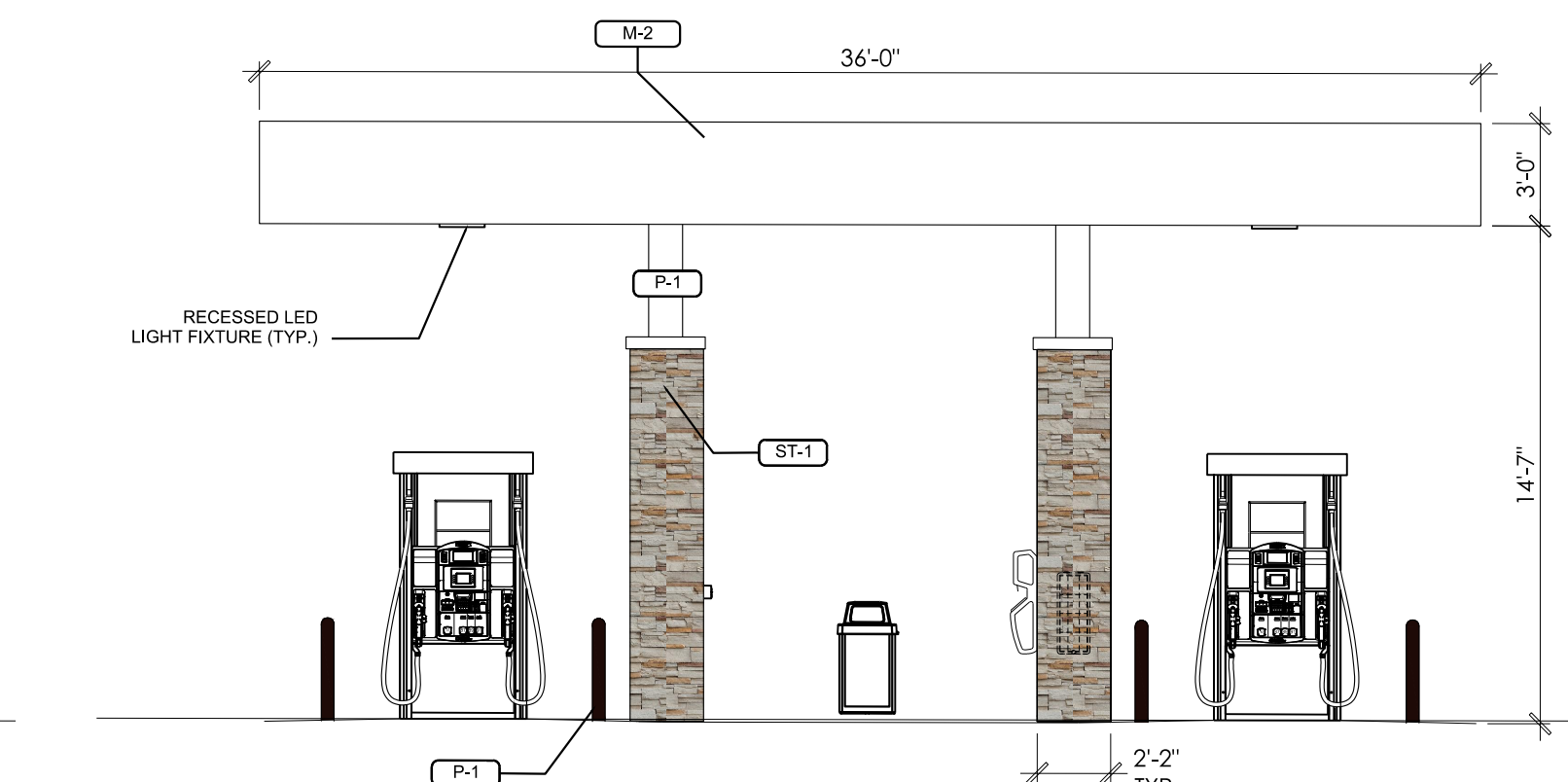
7 **DUMPSTER ENCLOSURE ELEVATIONS**
SCALE 3/16" = 1'-0"



2 **RIGHT ELEVATION**
SCALE 3/16" = 1'-0"



4 **LEFT ELEVATION**
SCALE 3/16" = 1'-0"



6 **FUEL CANOPY ELEVATION - END VIEW**
SCALE 3/16" = 1'-0"

EXTERIOR MATERIALS SCHEDULE (NOT ALL MATERIALS IN SCHEDULE ARE USED)		
NO.	MATERIAL	MANUF.-COLOR
C-1	CAST-IN-PLACE CONCRETE	TBD
C-2	PRE-FINISHED SHED CANOPY	SHED CANOPY - BRONZE STANDING SEAM METAL ROOF W/ POWDER-COATED METAL SUPPORTS
CMU	MASONRY FOR TRASH ENCLOSURE	DUST BLOCK OR = COLOR TO MATCH BUILDING
M-1	PRE-FINISHED METAL - GRAVEL STOP, AWNINGS, DOWNSPOUTS, ETC.	TO MATCH SHERWIN WILLIAMS SEAL SKIN SW 7675
M-2	PRE-FINISHED METAL - FUEL CANOPY	TO MATCH DRYVIT #133 - DIRFTWOOD
M-3	PRE-FINISHED METAL COPING	TO MATCH DRYVIT #452 - STORMY NIGHT
P-1	PAINT	SHERWIN WILLIAMS 'SEAL SKIN' - SW 7675 - EXTERIOR HM DOORS, LIGHT POLES, BOLLARDS, TRASH ENCLOSURE GUARD, DOWNSPOUT, BIKE RACKS/LOCKERS/
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - 451T VG - DARK BRONZE
S-2	ALUMINUM STOREFRONT GLAZING	KAWNEER
SM-1	METAL STANDING SEAM	BERRIDGE PREWEATHERED GALVALUME - DARK BRONZE
ST-1	STONE VENEER	EL DORADO MOUNTAIN LEDGESTONE VENEER
ST-2	STONE SILL - WAINSCOTT	EL DORADO MOUNTAIN LEDGESTONE WAINSCOTT SILL
ST-3	STUCCO	DRYVIT - #133 DRIFTWOOD
ST-4	STUCCO	DRYVIT - #452 STORMY NIGHT
W-1	WOOD PANEL SYSTEM	NICHIHA - "TOBACCO" - OR SIMILAR

All rooftop mechanical equipment and vents greater than eight inches in diameter must be screened. Screening may be done either with an extended parapet wall or a free-standing screen wall. Screens shall be at least as high as the equipment they hide. If equipment is visible because screens don't meet this minimum height requirement, the Director of Planning may require construction modifications prior to the issuance of a permanent Certificate of Occupancy.

COUNTY PROJECT NUMBER PPR-17-XXX





Know what's below.
Call before you dig.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE	11/02/17
BY	
REVISION	
1	CITY SUBMITTAL
2	CITY SUBMITTAL
3	CITY SUBMITTAL



5600 S. QUEBEC ST., STE 310B
GREENWOOD VILLAGE, CO 80111
O: 720.536.5188
dimensiongrp.com

DEVELOPMENT PLAN

7-ELEVEN

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

BUILDING ELEVATIONS

PROJECT NO: C7-003

DESIGNED BY: AEG

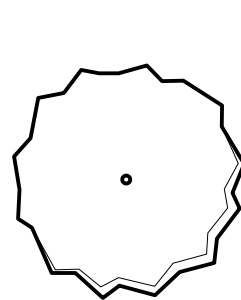
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DATE: 02/23/2018

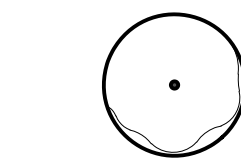
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SHEET 10 OF 16

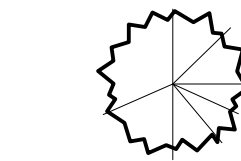
LANDSCAPE PLANT LIST



DECIDUOUS SHADE TREES								
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY
ABM	Autumn Blaze Maple	Acer x freemanii Autumn Blaze	40-50'	30'-40'	Medium	Sun	2" Cal., B&B	6
WEH	Western Hackberry	Celtis occidentalis	50-60'	40-50'	Low	Sun	2.5" Cal., B&B	6
SHL	Shademaster Honeylocust	Gleditsia triacanthos inermis 'Shademaster'	40-50'	30-40'	Low	Sun	2.5" Cal., B&B	5
KYC	Kentucky Coffeetree	Gymnocladus dioica	50-60'	40-50'	Low	Sun	2.5" Cal., B&B	3



ORNAMENTAL TREES								
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY
RDC	Radiant Crabapple	Malus 'Radiant'	20-25'	15-20'	Medium	Sun	2" Cal., B&B	5



EVERGREEN TREES								
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY
CBS	Colorado Blue Spruce	Picea pungens	40-60'	20-30'	Medium	Sun / Part Shade	6' ht, B&B	3
VPP	Vanderwolfs Pyramid Pine	Pinus flexilis 'Vanderwolfs Pyramid'	30-50'	15-30'	Low	Sun / Part Shade	8' ht, B&B	2
AUS	Austrian Pine	Pinus nigra	40-60'	30-40'	Low	Sun	8' ht, B&B	4



DECIDUOUS SHRUBS								
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY
SSB	Saskatoon Serviceberry	Amelanchier alnifolia	6-12'	6-12'	Low	Sun / Part Shade	5 Gallon Cont.	4
LEP	Leadplant	Amorpha canescens	2-4'	2-4'	Very Low	Sun	5 Gallon Cont.	5
BMS	Blue Mist Spirea	Caryopteris x clandonensis 'Blue Mist'	3-4'	2-3'	Low	Sun	5 Gallon Cont.	14
FEB	Fernbush	Chamaebatia millefolium	3-5'	3-6'	Very Low	Sun	5 Gallon Cont.	23
CRC	Cranberry Cobnesteer	Cobnesteer apiculatus	18-24"	4-6'	Low	Sun / Part Shade	5 Gallon Cont.	3
SGB	Spanish Gold Broom	Cytisus purgans Spanish Gold	2-4'	4-6'	Low	Sun	5 Gallon Cont.	10
DNB	Diabolo Ninebark	Physocarpus opulifolius 'Diabolo'	6-8'	6-8'	Low	Sun	5 Gallon Cont.	19
DSP	Dakota Sunspot Potentilla	Potentilla frutcosa Dakota Sunspot	2-3'	2-3'	Low	Sun	5 Gallon Cont.	17
CWS	Creeping Western Sand Cherry	Prunus besseyi Pawnee Buttes	15-18"	4-6'	Low	Sun	5 Gallon Cont.	11
KOR	Knock Out Rose	Rosa Knock Out	2-3'	2-3'	Medium	Sun	5 Gallon Cont.	10
RVS	Renaissance Vanhoutte Spirea	Spiraea x vanhouttei 'Renaissance'	5-7'	6-8'	Medium	Sun / Part Shade	5 Gallon Cont.	6
MWT	Mohican Wayfaring Tree	Viburnum lantana 'Mohican'	6-8'	6-8'	Low	Sun / Part Shade	5 Gallon Cont.	5



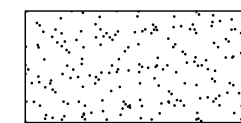
EVERGREEN SHRUBS								
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY
ARJ	Armstrong Juniper	Juniperus chinensis 'Armstrong'	3-4'	3-4'	Low	Sun	5 Gallon Cont.	24
MAJ	Medora Juniper	Juniperus scopulorum 'Medora'	15-20'	3-5'	Very Low	Sun	5 Gallon Cont.	7
BNS	Birds Nest Spruce	Picea abies 'Nidiformis'	3-4'	3-4'	Medium	Sun / Part Shade	5 Gallon Cont.	6
BTM	Big Tuna Mugo Pine	Pinus mugo 'Big Tuna'	6-8'	5-6'	Low	Sun	5 Gallon Cont.	16
HCP	Hillside Creeper Pine	Pinus sylvestris 'Hillside Creeper'	3'	8'	Low	Sun	5 Gallon Cont.	16
BAY	Banana Yucca	Yucca baccata	3-4'	3-5'	Very Low	Sun	5 Gallon Cont.	3
VAY	Variegated Yuca	Yucca filamentosa 'Color Guard'	2-3'	2-4'	Low	Sun / Part Shade	5 Gallon Cont.	7



ORNAMENTAL GRASSES								
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND CONDITION	QTY
BAM	Blonde Ambition Grama Grass	Bouteloua gracilis 'Blonde Ambition'	2-3'	1-2'	Very Low	Sun	5 Gallon Cont.	14
VFG	Variegated Feather Reed Grass	Calamagrostis acutiflora 'Overdam'	1-3'	1-3'	Low	Sun / Part Shade	5 Gallon Cont.	42
BAG	Blue Avena Grass	Helictotrichon sempervirens	2-3'	18-24"	Low	Sun	5 Gallon Cont.	9
SRS	Shenandoah Red Switch Grass	Panicum virgatum 'Shenandoah'	3-4'	12-18"	Low	Sun	5 Gallon Cont.	30
ISI	Indian Steel Indian Grass	Sorghastrum nutans 'Indian Steel'	5-7'	2-3'	Low	Sun	5 Gallon Cont.	9



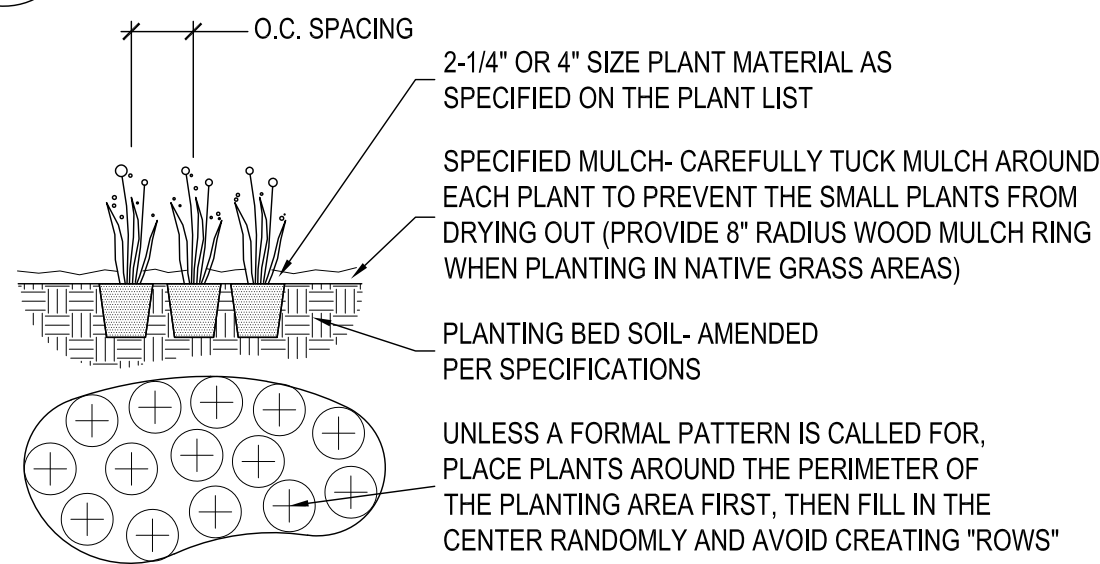
PERENNIALS								
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WATER USE	SUN/SHADE	SIZE AND SPACING	QTY
MPY	Mixed Pastels Yarrow	Achillea 'Summer Pastels'	18-24"	2-3'	Low	Sun	1 Gallon Cont.	1
DBM	Double Bubblemint	Agastache cana	2-3'	18-24"	Low	Sun	1 Gallon Cont.	4
CCF	Cheyenne Spirit Coneflower	Echinacea 'Cheyenne Spirit'	18-30"	10-20"	Low	Sun	1 Gallon Cont.	11
MNS	May Night Purple Salvia	Salvia x sylvestris 'May Night'	18-24"	12-18"	Low	Sun	1 Gallon Cont.	9
RBT	Red Birds in a Tree	Scrophularia macrantha	15-40"	1-3'	Low	Sun	1 Gallon Cont.	4



SOD
90 / 10 Fescue/Bluegrass Mix

PLANTING DETAIL FOR PERENNIALS, ANNUALS, & ALL CONTAINER PLANTS 1 GALLON OR SMALLER

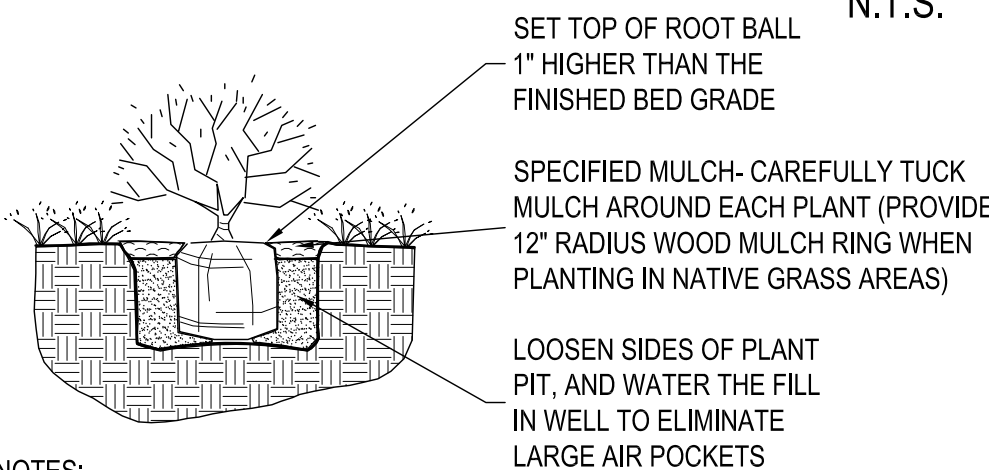
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NOTE: IF INDIVIDUAL PLANT LOCATIONS ARE NOT SHOWN ON THE LANDSCAPE PLAN, SPACE PLANTS AT THE O.C. SPACING SHOWN ON THE LANDSCAPE PLANT LIST

PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON

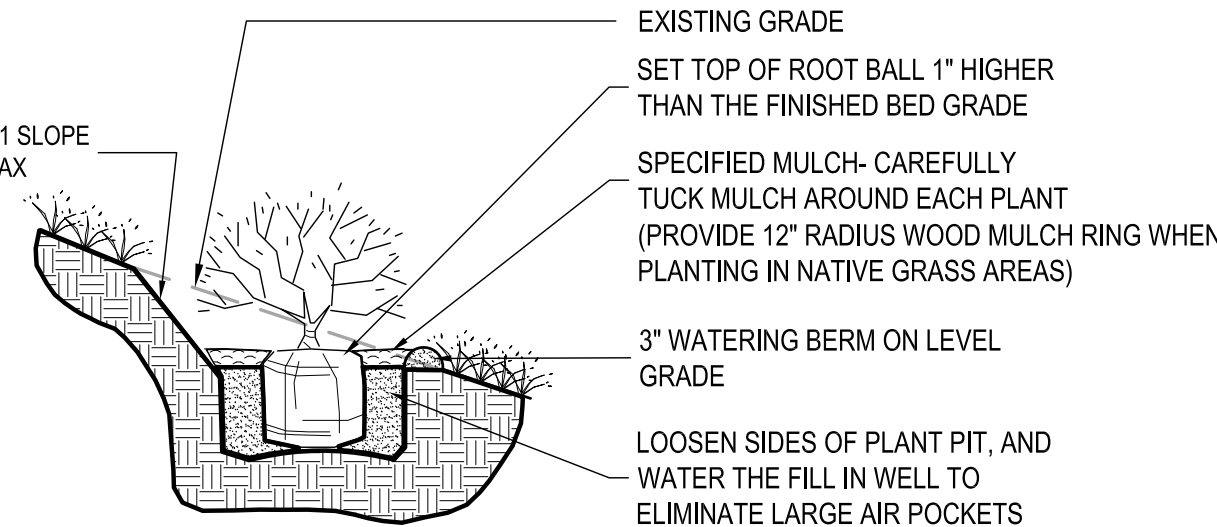
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- NOTES:
1. PRUNE ALL DEAD OR DAMAGED BRANCHES PRIOR TO, AND AFTER PLANTING.
 2. CRUMBLING OR BROKEN ROOT BALLS WILL BE REJECTED.
 3. DIG PLANT PIT TWICE AS WIDE AND HIGH AS CONTAINER.
 4. TAKE CARE NOT TO DAMAGE ROOT BALL WHEN REMOVING THE PLANT FROM IT'S CONTAINER.
 5. FOR ALL PLANTS IDENTIFIED WITH WATER USE OF "LOW" OR "VERY LOW" ON THE PLANT LIST, KEEP WOOD MULCH 2" BACK FROM TRUNK OR STEM.
 6. FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX AND 1/2 PIT SOIL.
 7. SCORE ROOT BOUND ROOT BALLS TO FREE UP ROOTS.

SLOPE PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON

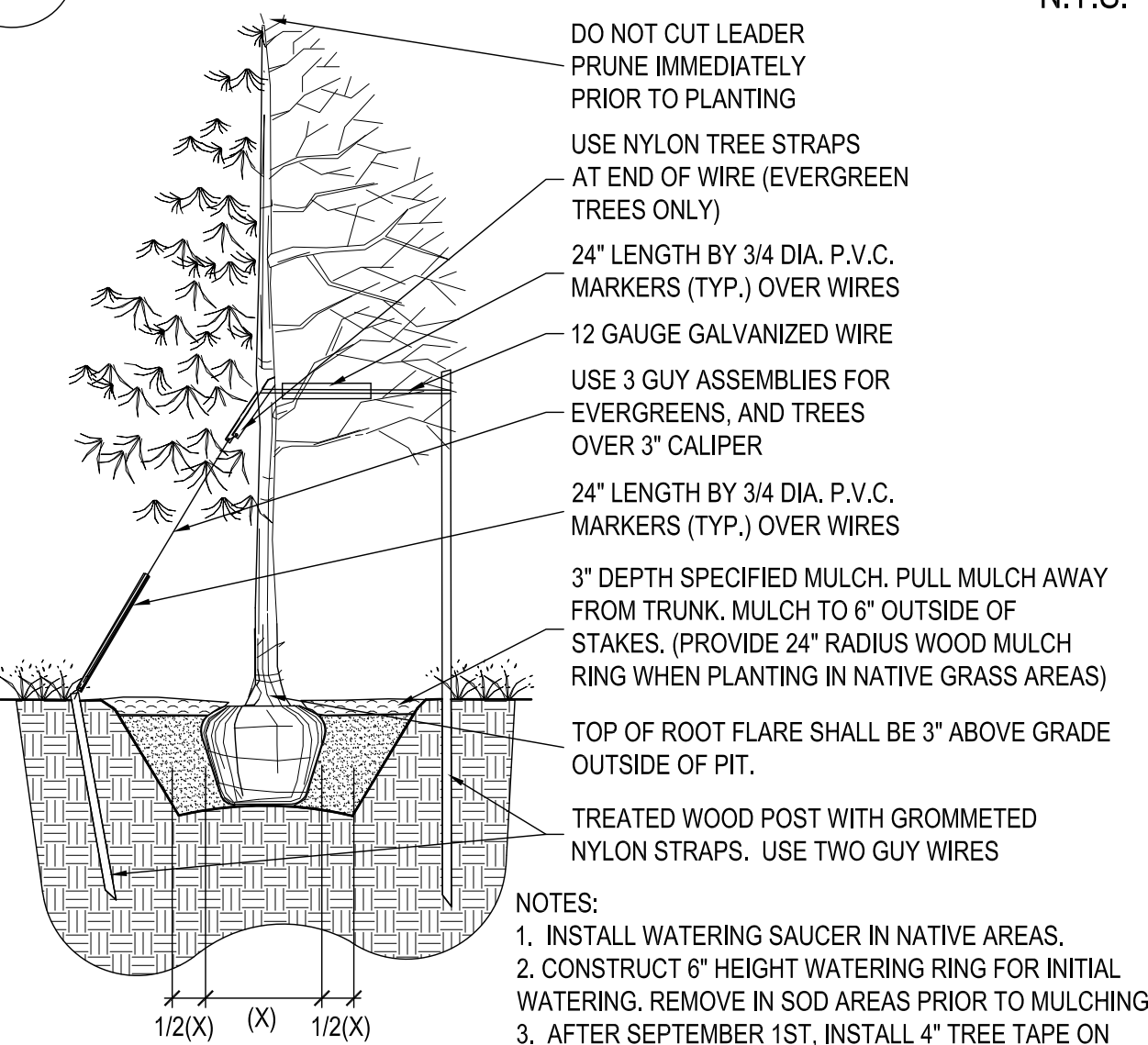
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- NOTES:
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 2. CRUMBLING OR BROKEN ROOT BALLS WILL BE REJECTED.
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PLANTING DETAIL FOR ALL TREES & B&B SHRUBS

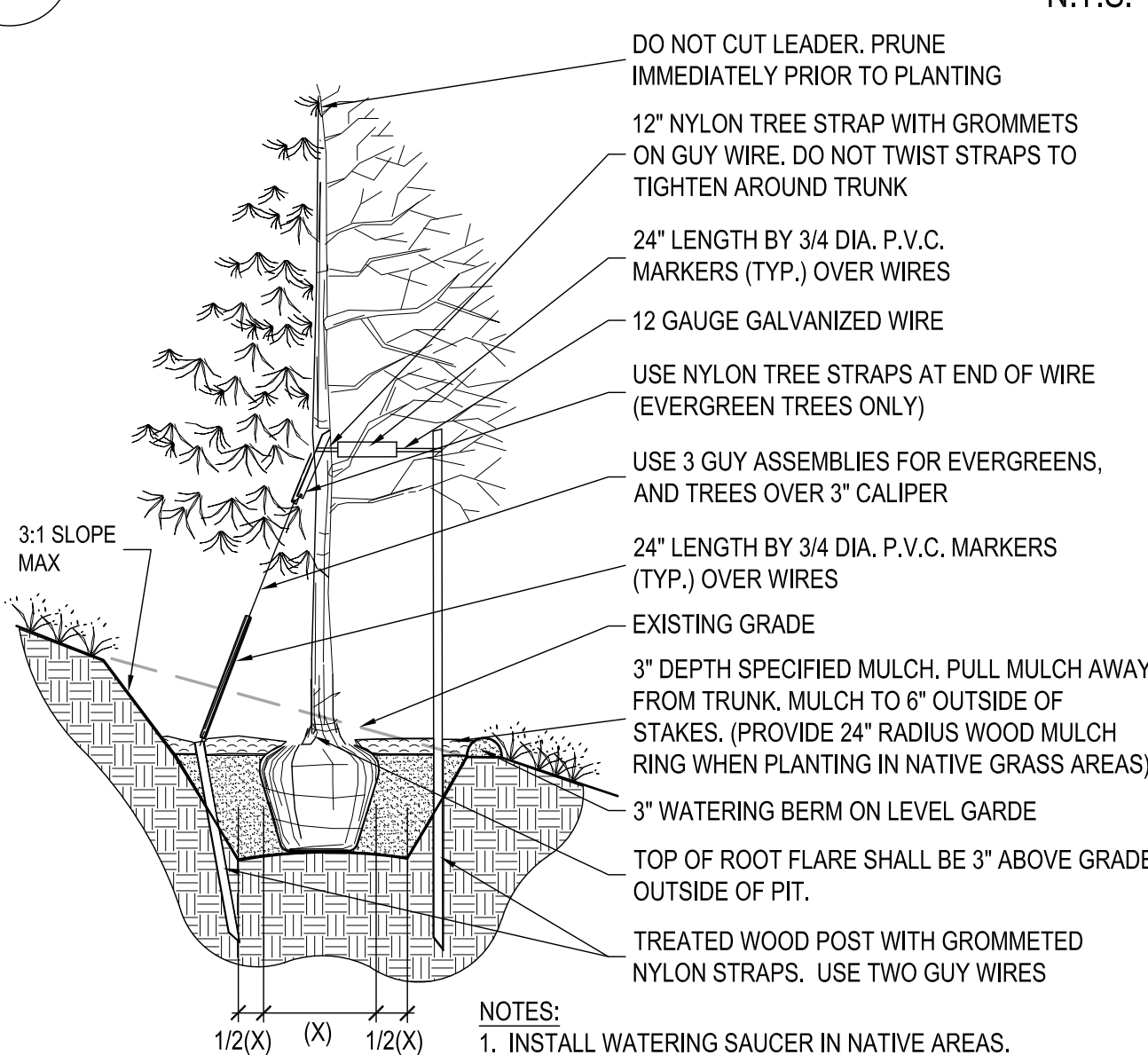
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- NOTES:
1. INSTALL WATERING SAUCER IN NATIVE AREAS.
 2. CONSTRUCT 6" HEIGHT WATERING RING FOR INITIAL WATERING. REMOVE IN SOD AREAS PRIOR TO MULCHING.
 3. AFTER SEPTEMBER 1ST, INSTALL 4" TREE TAPE ON DECIDUOUS TREES FROM 6" OFF THE GROUND TO THE FIRST BRANCH. REMOVE PROMPTLY IN SPRING.
 4. COMPLETELY REMOVE WIRE BASKET, ALL TWINE & PLASTIC. REMOVE BURLAP OFF TOP 2/3 OF BALL.
 5. FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX AND 1/2 PIT SOIL.

SLOPE PLANTING DETAIL FOR ALL TREES & B&B SHRUBS

N.T.S.



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PLAN SET INDEX

SHEET	NAME
C6.0	LANDSCAPE COVER SHEET & PLANT LIST
C6.1	LANDSCAPE PLAN
C6.2	IRRIGATION PLAN
C6.3	IRRIGATION DETAILS

GENERAL LANDSCAPE NOTES

1. ALL PLANTING BED AREAS SHALL BE MULCHED WITH 1-1/2" GRAY ROSE MULTI-COLORED RIVER ROCK, AT A DEPTH OF 3", INSTALLED OVER PERMEABLE WEED BARRIER FABRIC. DO NOT INSTALL EDGING BETWEEN COBBLE ROCK MULCH AND ROCK MULCH AREAS.
2. WHERE INDICATED ON THE LANDSCAPE PLANS, ALL OTHER PLANTING BEDS SHALL BE MULCHED WITH 2-12" SIZE COBBLE ROCK MULCH ("GRAY ROSE" COLOR, FILL GAPS WITH 3/4" ROCK OR PEA GRAVEL OF SIMILAR COLOR TO COBBLE) OVER PERMEABLE WEED BARRIER FABRIC. NO FABRIC SHALL BE VISIBLE THROUGH THE MULCH OR AT THE EDGES OF BEDS. DO NOT INSTALL EDGING BETWEEN COBBLE ROCK MULCH AND ROCK MULCH AREAS.
3. SOD EDGER SHALL BE 14 GAUGE ROLLED TOP STEEL EDGING (DARK GREEN COLOR) IN THE LOCATIONS SHOWN ON THE PLANS. EDGER IS NOT REQUIRED WHERE SOD ABUTS CONCRETE.
4. ALL AREAS TO BE LANDSCAPED SHALL HAVE ORGANIC AMENDMENTS THOROUGHLY INCORPORATED INTO THE SOIL AT A RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET, AND TILLED TO A DEPTH OF 6 INCHES.
5. ALL SOD AREAS, BED AREAS, AND LANDSCAPE AREAS SHALL BE FINE GRADED PRIOR TO INSTALLATION OF NEW PLANT MATERIAL. ROCKS, WOOD, AND ANY MATERIAL LARGER THAN 1" IN DIAMETER SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO SODDING AND PLANTING NEW MATERIALS.
6. EXISTING TURF, SHRUBS, TREES, AND PLANT MATERIAL TO BE REMOVED SHALL BE FULLY REMOVED FROM THE SITE, INCLUDING ALL ROOTS.
7. ALL LANDSCAPED AREAS SHALL BE WATERED BY A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
8. SOD AREAS SHALL BE ZONED SEPARATELY THAN BEDS, AND SHALL BE IRRIGATED VIA POP-UP SPRAY HEADS PROVIDING FULL (HEAD TO HEAD) COVERAGE. HEADS SHALL BE COMMERCIAL GRADE WITH REPLACEABLE NOZZLES, PRESSURE REGULATORS, AND CHECK VALVES.
9. BED AREAS SHALL BE ZONED SEPARATELY THAN SOD AREAS, AND SHALL BE IRRIGATED BY INDIVIDUAL DRIP EMITTERS TO EACH PLANT. DRIP COMPONENTS SHALL BE COMMERCIAL GRADE RAIN-BIRD OR EQUAL POINT SOURCE EMITTERS, WITH ALL PLANTS RECEIVING IRRIGATION.

ROADWAY & BUFFER LANDSCAPE REQUIREMENTS

LANDSCAPE AREA	DEPTH OF LS AREA REQUIRED	DEPTH OF LS AREA PROVIDED	TREES REQUIRED	TREES PROVIDED
NORTH GATE BLVD. (195 LF)	25 FEET	44 FEET	1 TREE/20 FEET = 195 / 20 = 10 TREES (4 EVERGREEN)	10 (4 EVERGREEN)
STRUTHERS ROAD (253 LF)	10 FEET	40 FEET	1 TREE/30 FEET = 253 / 30 = 9 TREES (3 EVERGREEN)	14 (5 EVERGREEN)
LS BUFFER (BETWEEN NON-RES. & RES. DISTRICTS) (253 LF)	15 FEET	40 FEET	1 TREE/15 FEET = 253 / 15 = 17 TREES (6 EVERGREEN)	*14 (5 EVERGREEN)

- NOTES:
- 1) "LANDSCAPE BUFFER TREES ARE UNABLE TO BE MET DUE TO SEVERAL EXISTING UTILITIES ALONG STRUTHERS ROAD. HOWEVER, SEVERAL LARGE DECIDUOUS & EVERGREEN SHRUBS HAVE BEEN PROVIDED HERE TO AID IN BUFFER SCREENING.
 - 2) DUE TO SEVERAL EASEMENTS AND UTILITIES, TREES HAVE BEEN CLUSTERED AND LOCATED WITHIN 50 FEET OF ROAD ROW, INSTEAD OF THE MINIMUM.

PARKING LOT LANDSCAPE REQUIREMENTS

LANDSCAPE AREA	TREES REQUIRED (2 PER ISLANDS THE SIZE OF 2 SPACES)	TREES PROVIDED	SHRUBS REQUIRED (10 PER ISLANDS THE SIZE OF 2 SPACES)	SHRUBS PROVIDED
PARKING LOT ISLANDS (2 TOTAL)	2 (ISLANDS ARE ONLY THE SIZE OF 1 SPACE)	2	10 (ISLANDS ARE ONLY THE SIZE OF 1 SPACE OR LESS)	10
PARKING LOT SCREENING	2/3 OF ROAD FRONTAGE OR LOT BOUDARY	11	2/3 OF ROAD FRONTAGE OR LOT BOUDARY	63

INTERNAL LANDSCAPING REQUIREMENTS

GROSS SITE AREA	MINIMUM LANDSCAPE AREA REQUIRED (5%)	LANDSCAPE AREA PROVIDED	MIN. TREES REQ'D (1 TREE / 500 SF OF REQ'D LS AREA)	TREES PROVIDED
57,067 S.F.	2,853 S.F.	24,494 S.F.	2,853 SF / 500 = 6 TREES	9

- NOTE:
- 1) THE INTERNAL LANDSCAPING TREE COUNT DOES NOT REFLECT TREES PREVIOUSLY COUNTED IN OTHER LANDSCAPE REQUIREMENT CATEGORIES.



OUTDOOR DESIGN GROUP, INC.
5690 WEBSTER STREET
ARVADA, CO 80002
(303) 992-4811
WWW.ODGDESIGN.COM

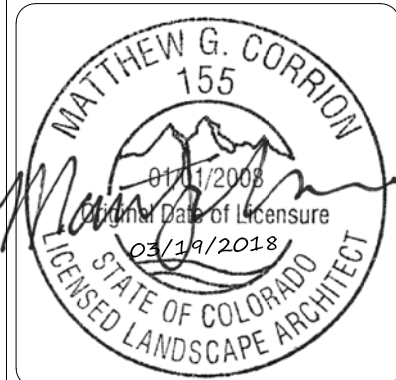


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CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE	11/02/17	12/05/17	01/18/18	02/23/18
BY				
REVISION				
No.	1	2	3	4
	CITY SUBMITTAL	CITY SUBMITTAL	CITY SUBMITTAL	CITY SUBMITTAL

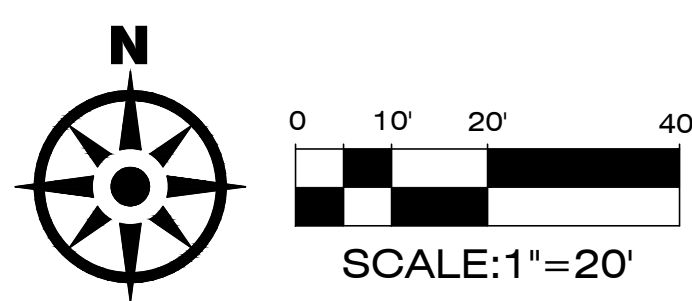
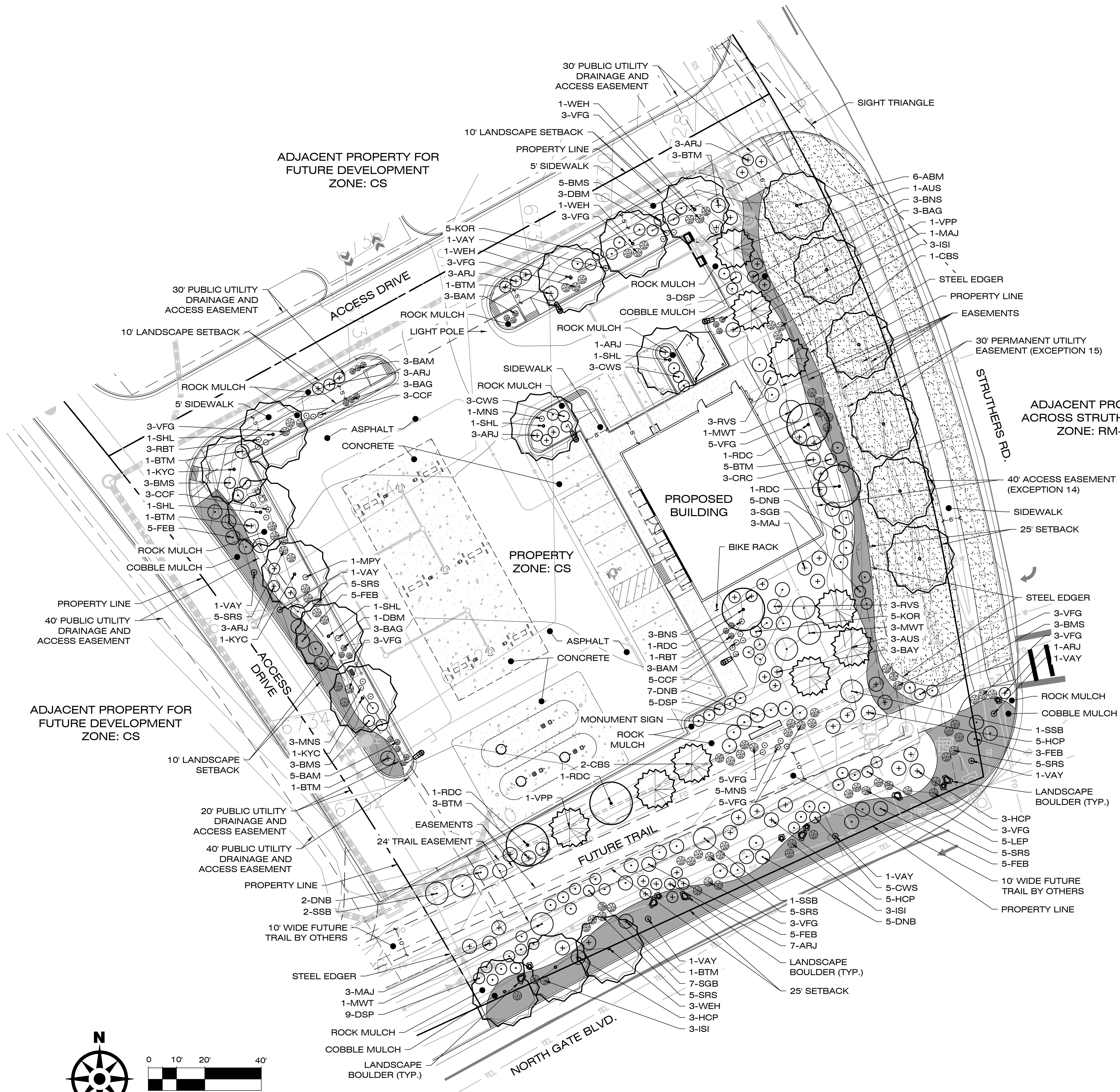


DEVELOPMENT PLAN	7-ELEVEN	LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1	LANDSCAPE COVER SHEET & PLANT LIST
PROJECT NO:	7EL024.01		
DESIGNED BY:			
DRAWN BY:			
DATE:	02/23/18		
C6.0			
SHEET 12 OF 16			

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LANDSCAPE PLAN



LANDSCAPE LEGEND (SEE SHEET 6.0 FOR FULL PLANT LIST)

- DECIDUOUS SHADE TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- LARGE PERENNIALS
- SOD
- COBBLE MULCH



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UNDERGROUND MEMBER UTILITIES.

DATE	BY	REVISION	No.
11/02/17		CITY SUBMITTAL	1
12/05/17		CITY SUBMITTAL	2
01/18/18		CITY SUBMITTAL	3
02/23/18		CITY SUBMITTAL	4

MATTHEW G. CORRON
155
2018
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

EES
ENTITLEMENT AND
ENGINEERING
SOLUTIONS, INC.
518 17th Street
Suite 1570
Arvada, CO 80002
www.eesinc.com
303-572-7997

7-ELEVEN

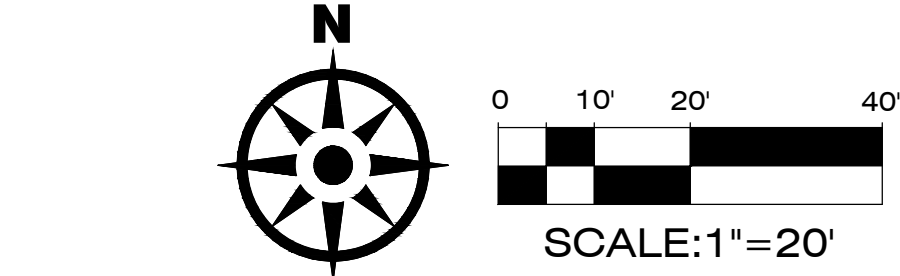
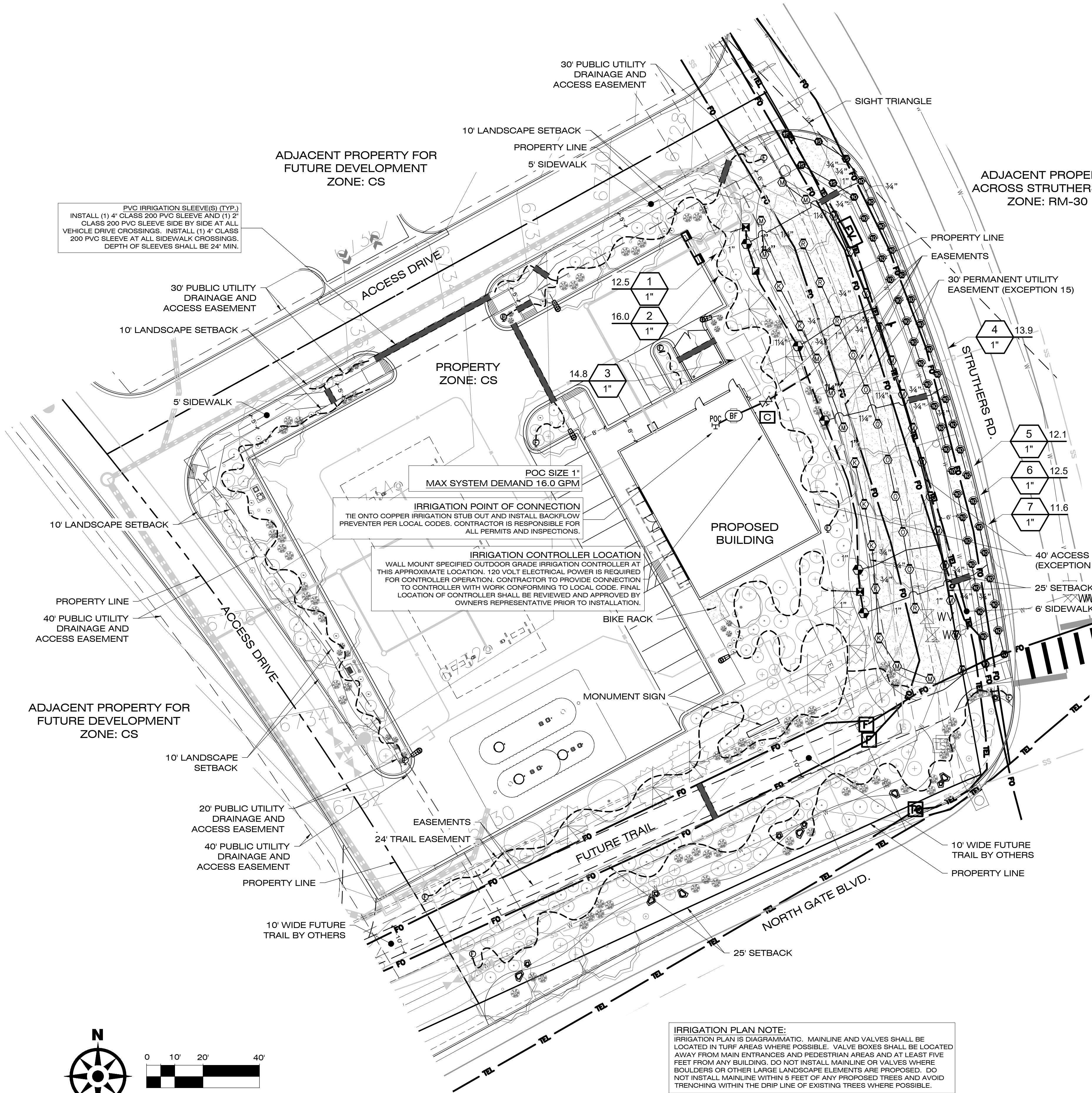
DEVELOPMENT PLAN
7-ELEVEN
LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1
LANDSCAPE PLAN

PROJECT NO: 7EL024.01
DESIGNED BY:
DRAWN BY:
DATE: 02/23/18
C6.1
SHEET 13 OF 16

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3/14/2018 4:28 PM X:\17057 7-ELEVEN EL PASO COUNTY DRAWINGS\7-ELEVEN EL PASO COUNTY_ IRRIGATION PLANS.DWG

IRRIGATION PLAN



IRRIGATION PLAN NOTE:
IRRIGATION PLAN IS DIAGRAMMATIC. MAINLINE AND VALVES SHALL BE LOCATED IN TURF AREAS WHERE POSSIBLE. VALVE BOXES SHALL BE LOCATED AWAY FROM MAIN ENTRANCES AND PEDESTRIAN AREAS AND AT LEAST FIVE FEET FROM ANY BUILDING. DO NOT INSTALL MAINLINE OR VALVES WHERE BOULDERS OR OTHER LARGE LANDSCAPE ELEMENTS ARE PROPOSED. DO NOT INSTALL MAINLINE WITHIN 5 FEET OF ANY PROPOSED TREES AND AVOID TRENCHING WITHIN THE DRIP LINE OF EXISTING TREES WHERE POSSIBLE.

IRRIGATION SCHEDULE

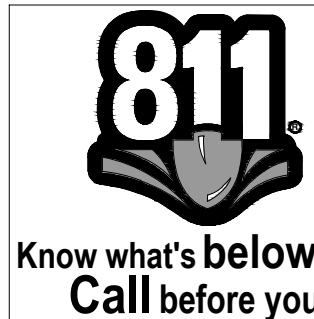
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird 1806-U-SAM-PRS U10 Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	39	30
	Rain Bird 1806-U-SAM-PRS ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	8	30
	Hunter MP1000 PROS-06-PRS40-CV Turf Rotator, 6" (15.24 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	28	40
	Hunter MP2000 PROS-06-PRS40-CV Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	13	40
	Rain Bird XC2-100-PRF Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3gpm - 15gpm.		
	Rain Bird MDCFCAP Dripline Flush Valve cap in compression fitting coupler.		
	Rain Bird XB-PC Single Outlet Emitter Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Refer to drip emitter schedule for type and quantity of emitter for each plant.		
	Rain Bird 100-HV-MB Electric Remote Control Valve 1" with Male x Barb Configuration.	5	
	Rain Bird 44-RC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 2-Piece Body.	1	
	Matco-Norca 770S PVC White Ball Valve for Sch 40 and Sch 80 Pipe, solvent slip ends with T" Handle, same size as mainline. 1/2" to 4".	1	
	Febco 82SY 1" Reduced Pressure Backflow Preventer	1	
	Rain Bird ESP4ME with (1) ESP-SM3 7 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Applications.	1	
	Irrigation Lateral Line: CPVC Schedule 40	1,072 l.f.	
	Irrigation Mainline: PVC Schedule 40	181.8 l.f.	
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	152.1 l.f.	
	Valve Callout Valve Number Valve Flow Valve Size		

IRRIGATION NOTES

- SOD AREAS SHALL BE ZONED SEPARATELY THAN BEDS, AND SHALL BE IRRIGATED VIA 4" POP-UP SPRAY HEADS PROVIDING FULL (HEAD TO HEAD) COVERAGE. HEADS SHALL BE COMMERCIAL GRADE WITH REPLACEABLE NOZZLES, PRESSURE REGULATORS, AND CHECK VALVES.
- BED AREAS SHALL BE ZONED SEPARATELY THAN SOD AREAS, AND SHALL BE IRRIGATED BY INDIVIDUAL DRIP EMITTERS TO EACH PLANT. DRIP COMPONENTS SHALL BE COMMERCIAL GRADE RAIN-BIRD OR EQUAL POINT SOURCE EMITTERS, WITH ALL PLANTS RECEIVING IRRIGATION.
- REFER TO "IRRIGATION DRIP EMITTER SCHEDULE" IN THIS DRAWING SET FOR QUANTITIES AND SIZES OF DRIP EMITTERS DEPENDING ON THE WATER NEEDS OF EACH PARTICULAR PLANT.
- VALVES AND VALVE BOXES SHALL BE COMMERCIAL GRADE WITH PRESSURE REDUCING VALVES USED FOR ALL DRIP ZONES.
- CONTRACTOR SHALL INSTALL A NEW IRRIGATION CONTROLLER FOR THESE IMPROVEMENTS (SEE LOCATION ON PLANS).
- CONTRACTOR SHALL INSTALL A NEW IRRIGATION BACKFLOW PREVENTER FOR THESE IMPROVEMENTS (SEE LOCATION ON PLANS).
- CONTRACTOR SHALL VERIFY WATER PRESSURE AND FLOW AVAILABLE FOR THE IRRIGATION SYSTEM, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY IF PRESSURE OR FLOW IS INADEQUATE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL SLEEVING REQUIRED FOR IRRIGATION. CONTRACTOR SHOULD COORDINATE WITH THOSE INSTALLING FLATWORK, TO AVOID BORING UNDER WALKS, IF POSSIBLE. CONTRACTOR SHALL INCLUDE IN THEIR BID, ALL COSTS ASSOCIATED WITH LOCATING, EXPOSING, AND BACKFILLING SLEEVES UP TO, AND INCLUDING, A DEPTH OF 60 INCHES.
- INSTALL (1) 4" CLASS 200 PVC SLEEVE AND (1) 2" CLASS 200 PVC SLEEVE SIDE BY SIDE AT ALL VEHICLE DRIVE CROSSINGS. INSTALL (1) 4" CLASS 200 PVC SLEEVE AT ALL SIDEWALK CROSSINGS. DEPTH OF SLEEVES SHALL BE 24" MIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL SET THE IRRIGATION CLOCK FOR A TWO-WEEK ESTABLISHMENT PERIOD FOR THE PLANTS. CONTRACTOR IS RESPONSIBLE TO RE-SET THE CLOCK FOR NORMAL OPERATION FOR THE REMAINING SEASON AFTER THE TWO WEEK ESTABLISHMENT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEAD PLANT MATERIAL RESULTING FROM OVER WATERING.
- THE PLANT MATERIALS SPECIFIED FOR THIS PROJECT ARE MOSTLY LOW WATER-USE PLANTS. THE CONTRACTOR SHALL CONSULT WITH THE OWNER, AND THE LANDSCAPE ARCHITECT IF POSSIBLE, PRIOR TO SETTING THE CLOCK FOR IRRIGATION TIMES AFTER THE TWO WEEK ESTABLISHMENT PERIOD.



OUTDOOR DESIGN GROUP, INC.
5690 WEBSTER STREET
ARVADA, CO 80002
(303) 993-4811
WWW.ODGDESIGN.COM




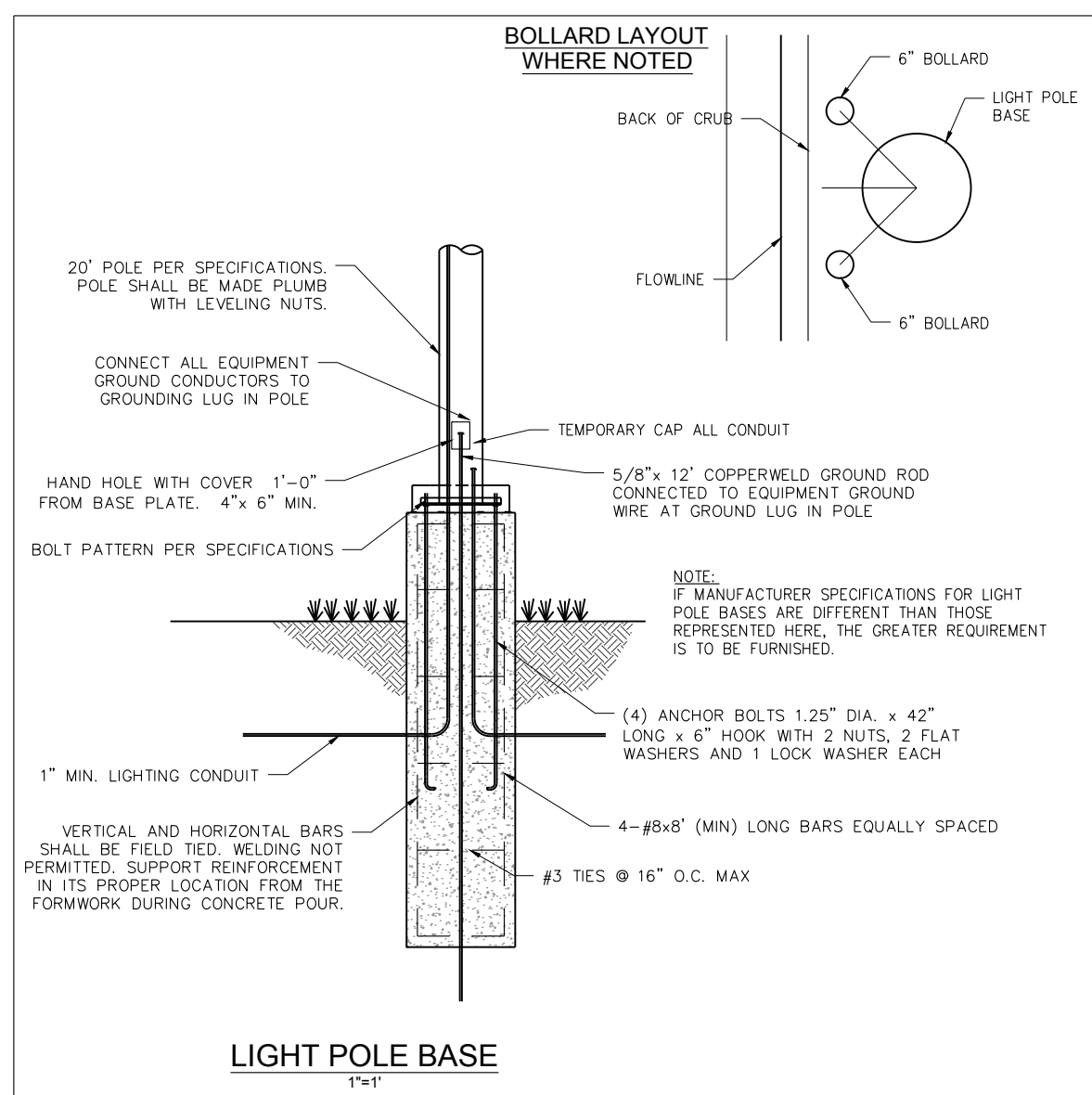
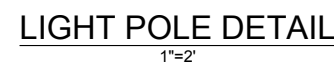
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE	11/02/17	12/05/17	01/18/18	02/23/18
BY				
REVISION				
No.	1	2	3	4
	CITY SUBMITTAL	CITY SUBMITTAL	CITY SUBMITTAL	CITY SUBMITTAL

DEVELOPMENT PLAN
7-ELEVEN
LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1
IRRIGATION PLAN

PROJECT NO: 7EL024.01
DESIGNED BY:
DRAWN BY:
DATE: 02/23/18
C6.2
SHEET 14 OF 16





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Air Pump	illumiance	Fc	0.3	0.3	0.2	1.3	1.5
Canopy	illumiance	Fc	11.7	15.4	7.3	1.6	2.1
Dumpster	illumiance	Fc	3.9	4.6	3.2	1.2	1.4
Entry 1	illumiance	Fc	0.3	0.3	0.2	1.4	1.5
Entry 2	illumiance	Fc	0.3	0.5	0.2	1.7	2.5
General Approach	illumiance	Fc	2.6	10.4	0.2	12.9	52.0
Parking 1	illumiance	Fc	5.7	9.2	1.6	3.5	5.8
Parking 2	illumiance	Fc	5.8	8.3	3.1	1.9	2.7
Property Line	illumiance	Fc	0.1	0.1	0.0	N.A.	N.A.


LIGHTING NOTE: ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC ROW, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.

AR DP 17-00070

COUNTY PROJECT NUMBER PPR-17-XXX

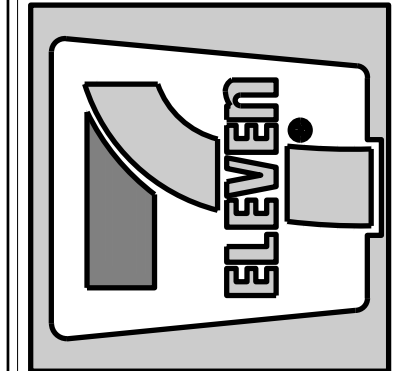
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SHEET 16 OF 16



THE
DIMENSION
GROUP

5600 S. QUEBEC ST., STE 310B
GREENWOOD VILLAGE, CO 80111
O: 720.536.3180
dimensiongrp.com



DEVELOPMENT PLAN

7-ELEVEN

SITE PHOTOMETRIC PLAN

SHEET 16 OF 16