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**OWNER**

7-ELEVEN, INC.  
5600 S. QUEBEC STREET, STE. 200C  
GREENWOOD VILLAGE, CO 80111  
ATTN: JAMES H. SCHULTZ  
P: (303) 720-8629

**ENGINEERING CONSULTANT**

ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.  
518 17TH STREET, SUITE 1575  
DENVER, CO 80202  
ATTN: LAUREN ROOT  
P: (303) 572-7997

**ARCHITECT**

THE DIMENSION GROUP  
5600 SOUTH QUEBEC STREET, STE 310B  
GREENWOOD VILLAGE, CO 80111  
ATTN: TANNER KINDE  
P: (720) 536-3180

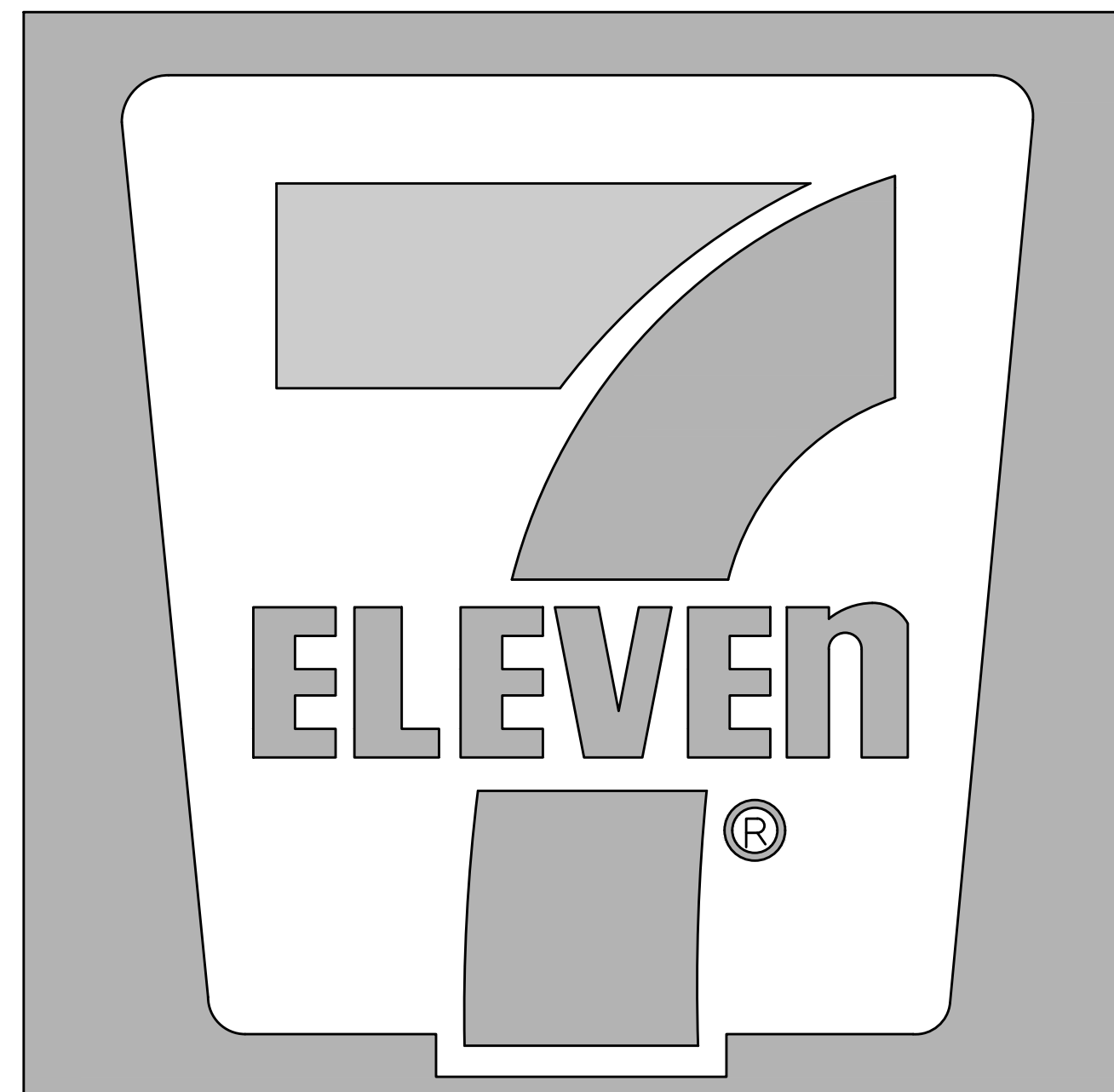
**MEP ENGINEER**

THE DIMENSION GROUP  
5600 SOUTH QUEBEC STREET, STE 310B  
GREENWOOD VILLAGE, CO 80111  
ATTN: JOSH GUNLOCK  
P: (720) 536-3180

**LANDSCAPE ARCHITECT**

OUTDOOR DESIGN GROUP  
5690 WEBSTER STREET  
ARVADA, CO 80002  
ATTN: MATT CORRION  
P: (303) 993-4811

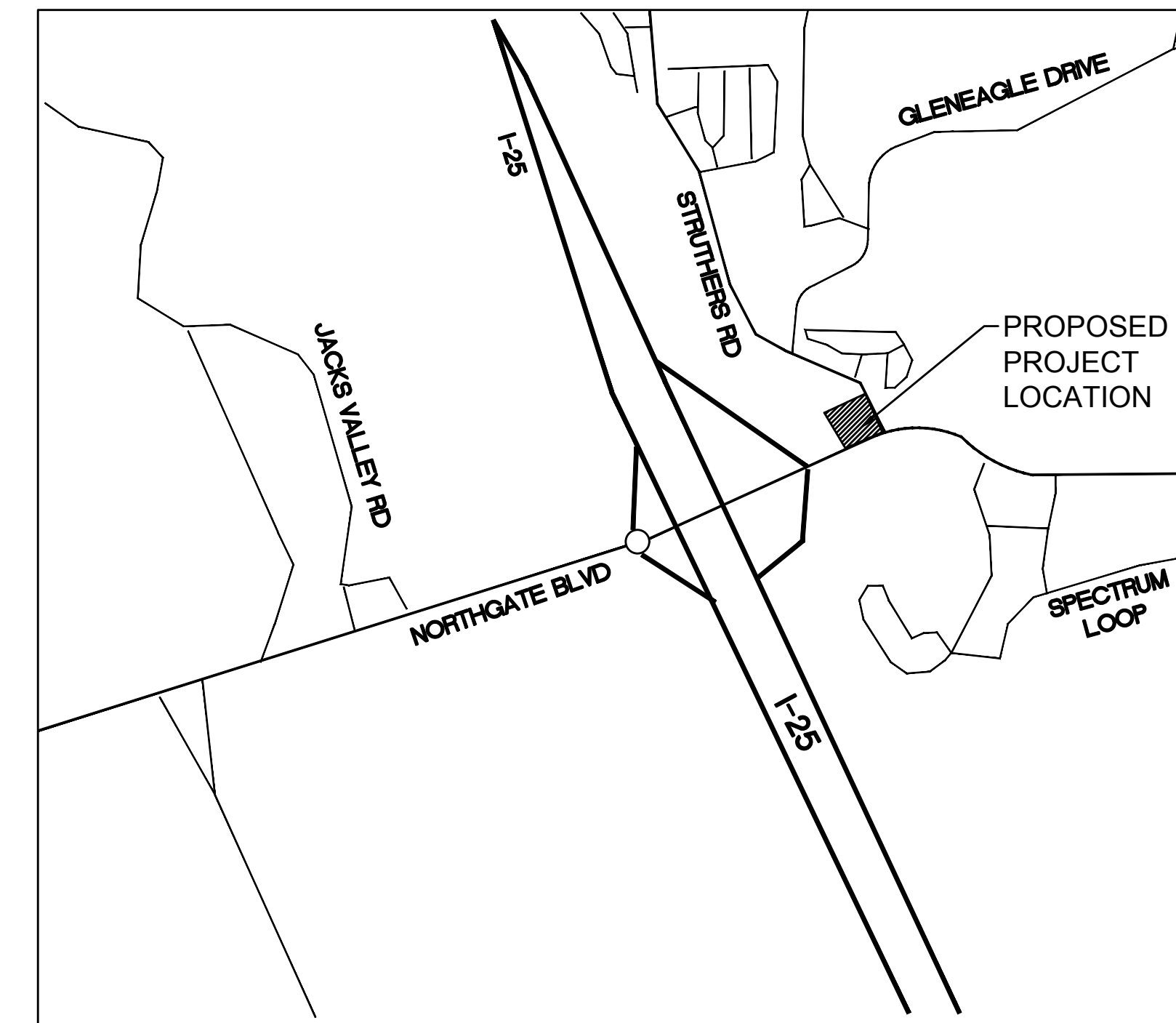
Add subdivision developer, EPC PCD, and serving districts contact information.



**MAJOR SITE DEVELOPMENT PLAN**

**7-ELEVEN**

**LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1  
A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER  
OF SECTION 1, TOWNSHIP 12 SOUTH, RANGE 67 AND THE  
SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH,  
RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL  
PASO COUNTY, STATE OF COLORADO  
12/04/17**



**VICINITY MAP**

1"= 500'

**LEGAL DESCRIPTION**

LEGAL DESCRIPTION PER ALTA NSPS LAND TITLE SURVEY COMPLETED BY CLASSIC CONSULTING ENGINEERS AND SURVEYORS, DATED JULY 27, 2017.

**PARCEL A:**

LOT 1, ACADEMY GATEWAY SUBDIVISION FILING NO. 1, IN THE COUNTY OF EL PASO, STATE OF COLORADO ACCORDING TO THE PLAT THEREOF RECORDED JULY 11, 2017 UNDER RECEPTION NO. 217713997.

**PARCEL B:**

NON-EXCLUSIVE EASEMENTS FOR INGRESS, EGRESS, DRAINAGE AND UTILITY PURPOSES OVER AND ACROSS PORTIONS OF ACADEMY GATEWAY SUBDIVISION FILING NO. 1 AS SET FORTH AND DESCRIBED IN DECLARATION OF COVENANTS FOR ACADEMY GATEWAY RECORDED JUNE 29, 2017 UNDER RECEPTION NO. 217078379 AND AS SHOWN ON THE PLAT THEREOF RECORDED JULY 11, 2017 UNDER RECEPTION NO. 217713997.

**PROJECT BASIS OF BEARING**

BASIS OF BEARINGS: A PORTION OF THE EASTERLY BOUNDARY OF ACADEMY GATEWAY SUBDIVISION FILING NO. 1 RECORDED UNDER RECEPTION NO. 217713997, RECORDS OF EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE NORTHERLY END BY A 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38012" AND AT THE SOUTHERLY END BY A 1-1/2" WASHER STAMPED "PLS 38012" IS ASSUMED TO BEAR S 10° 12'03" E, A DISTANCE OF 75.53 FEET.

**FLOODPLAIN STATEMENT**

PER ALTA

NO PORTION OF THE SURVEYED PROPERTY IS WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08041C0287F, EFFECTIVE DATE MARCH 17, 1997, (ZONE X)

**SOIL PREPARATION NOTE**

SOIL PREPARATION FOR NON-LANDSCAPE AREAS SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: VIVID ENGINEERING GROUP  
PROJECT: PROPOSED 7-ELEVEN CONVENIENCE STORE NW CORNER OF NORTHGATE BOULEVARD AND STRUTHERS ROAD DATED FEBRUARY, 6 2017,  
VIVID PROJECT # D16-2-021

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES. REFER TO THE LANDSCAPE PLANS FOR SPECIFIC PLANTING AREA SOIL AMENDMENT PROCEDURES.

**CAUTION - NOTICE TO CONTRACTOR**

**NOTE: CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL INVESTIGATION/REPORT PREPARED BY VIVID ENGINEERING GROUP.**

- 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND ARE TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

**GENERAL SITE NOTES:**

- 1. NO WORK IS TO BEGIN UNTIL NECESSARY PERMITS HAVE BEEN OBTAINED.
- 2. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- 3. GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE.
- 4. GENERAL CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY PROVIDER. GENERAL CONTRACTOR TO VERIFY AND FOLLOW ALL UTILITY PROVIDER REQUIREMENTS, PROCEDURES, STANDARDS AND SPECIFICATIONS.
- 5. GENERAL CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
- 6. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT THE COMPLETION OF WORK.
- 7. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH EL PASO COUNTY STANDARDS AND SPECIFICATIONS, LATEST REVISION THEREOF. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN A COPY OF THESE MANUALS FOR REFERENCE DURING ALL SITE CONSTRUCTION.
- 8. THE STANDARDS AND SPECIFICATIONS SHALL GOVERN SHOULD A DISCREPANCY ARISE BETWEEN THE STANDARDS AND SPECIFICATIONS AND THE PLANS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- 9. ALL ASPHALT CUTS FOR UTILITIES AND PAVEMENT WITHIN PUBLIC RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH EL PASO COUNTY STANDARDS AND SPECIFICATIONS.
- 10. GENERAL CONTRACTOR SHALL PROVIDE COMPREHENSIVE TRAFFIC CONTROL PLAN AS NEEDED, WHICH SHALL BE SUBMITTED TO AND APPROVED BY EL PASO COUNTY PRIOR TO ANY WORK IN THE PUBLIC R.O.W. CONTRACTOR IS RESPONSIBLE FOR SAFETY TO THE PUBLIC BY MINIMIZING THE INTERRUPTION OF THE USE OF ROADS AND PROVIDING SIGNS, FLARES, BARRICADES, ETC. AS NECESSARY.
- 11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND ELEVATION OF EXISTING UTILITIES WHICH MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION. IF A CONFLICT DOES EXIST, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER.
- 12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITIES WHEN CONSTRUCTION WORK BEGINS IN THE VICINITY OF ANY UTILITY LINES AND TO ARRANGE FOR A REPRESENTATIVE OF THE UTILITY TO BE PRESENT IF THE CONTRACTOR'S OPERATIONS ARE IN CLOSE PROXIMITY TO ANY LINES IN THEIR EXISTING OR RELOCATED POSITION WHICH COULD CREATE A HAZARDOUS CONDITION.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTION AND TESTING REQUIRED FOR APPROVAL OF WORK.
- 14. NOTES LOCATED ON ANY SHEET IN THE SET ARE APPLICABLE TO ENTIRE SET.
- 15. THE CONTRACTOR SHALL FURNISH A SET OF "AS-BUILT" PLANS AS NECESSARY TO GOVERNING JURISDICTION PRIOR TO FINAL ACCEPTANCE.
- 16. SEE THE SIGNAGE PACKAGE FOR ALL SITE SIGNAGE.

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:  
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

SHEET INDEX	
SHEET NO.	DESCRIPTION
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	GRADING PLAN
C2.1	GRADING ENLARGEMENT PLAN
C2.2	DRAINAGE PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL NOTES & DETAILS
C3.2	EROSION CONTROL DETAILS
C4.0	UTILITY PLAN
C5.0	BUILDING ELEVATIONS
C5.1	SITE PLAN DETAILS
C6.0	LANDSCAPE COVER SHEET AND PLANT LIST
C6.1	LANDSCAPE PLAN
C6.2	IRRIGATION PLAN
C6.3	IRRIGATION DETAILS
C7.1	PHOTOMETRIC PLAN



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**1-800-922-1987 or 811**  
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

COUNTY PROJECT NUMBER PPR-17-XXX

PPR-17-058

12/4/2017 4:19 PM P:\7-ELEVEN\CO. EL PASO COUNTY NORTHGATE AND STRUTHERS 103807908 CAD\CO.0 COVER SHEET.DWG

DATE	BY	REVISION

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CONSTRUCTION**



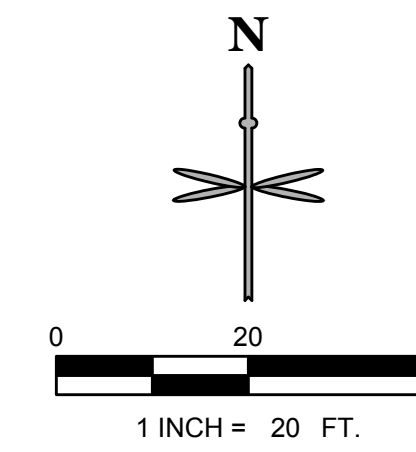
**DEVELOPMENT PLAN  
7-ELEVEN  
COVER SHEET**  
LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

PROJECT NO: 7EL024.01  
DESIGNED BY: SPM  
DRAWN BY: LER  
DATE: 12/04/17  
**C0.0**  
SHEET 1 OF 16



# MAJOR SITE DEVELOPMENT PLAN

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1  
 A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,  
 TOWNSHIP 12 SOUTH, RANGE 67 AND THE SOUTHWEST QUARTER OF SECTION  
 6, TOWNSHIP 12 SOUTH, RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL  
 MERIDIAN, EL PASO COUNTY, STATE OF COLORADO



LEGEND	
	PROPERTY LINE
	SETBACK
	EASEMENT LINE
	BUILDING
	MONUMENT SIGN
	EXISTING SIGN
	HANDICAPPED PARKING SIGN
	PARKING COUNT
	TYPE 3 CATCH CURB AND GUTTER
	TYPE 3 SPILL CURB AND GUTTER
	CONCRETE DRIVE/PARKING
	CONCRETE WALK
	LIGHT
	SANITARY MANHOLE (BY OTHERS)
	SANITARY SEWER CLEANOUT
	1" WATER METER
	EXISTING FIRE HYDRANT
	EXISTING SANITARY/STORM MANHOLE
	PROPOSED SIGHT LIGHT

## SITE DATA

LOT AREA	1.31 ACRES - 57,068 SF
ZONING	(CS) COMMERCIAL SERVICES
BUILDING SQUARE FOOT	2,940 SF
OVERALL LOT COVERAGE	32,574 SF (57.08%)
TOTAL LANDSCAPE COVERAGE	24,494 SF (42.92%)
PARKING REQUIRED	12 SPOTS; 1 PER 250 SF BUILDING
PARKING PROVIDED	13 REGULAR, 1 ACCESSIBLE SPACE
BIKE RACKS PROVIDED	1 BIKE RACK EQUALS 2 BIKE PARKING SPOTS

## NOTES

1. THE 7-ELEVEN HOURS OF OPERATION WILL BE 24 HOURS A DAY.
2. THERE ARE NO USES WITHIN THE 7-ELEVEN PROJECT THAT UTILIZE OR GENERATE ANY SIGNIFICANT QUANTITIES OF TOXIC MATERIAL.
3. ALL DIMENSIONS ARE FLOWLINE TO FLOWLINE UNLESS OTHERWISE NOTED.
4. ALL PARKING LOT STRIPING SHALL BE WHITE.
5. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF EL PASO COUNTY AS APPLICABLE.
6. HANDICAP PARKING AREAS PROVIDED PER COUNTY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, SERVICE AREA DIMENSIONS AND ELEVATIONS.
8. MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH EL PASO COUNTY ZONING ORDINANCE.
9. ALL SIGNAGE CONTINGENT UPON APPROVAL BY EL PASO COUNTY.
10. ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.
11. ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12:1.
12. UNLESS OTHERWISE NOTED, ALL RADII ON PARKING ISLAND SHALL BE 3'.
13. THE CONTRACTOR SHALL OBTAIN THE LATEST CAD FILE OF SITE IMPROVEMENTS FROM THE ENGINEER OF RECORD FOR HORIZONTAL AND VERTICAL SURVEY CONTROL PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY WITH ENGINEER OF RECORD ANY DISCREPANCIES BETWEEN THE CAD FILES AND CONSTRUCTION PLANS PRIOR TO INSTALLATION OF PLAN IMPROVEMENTS.

**811**  
 Know what's below.  
 Call before you dig.

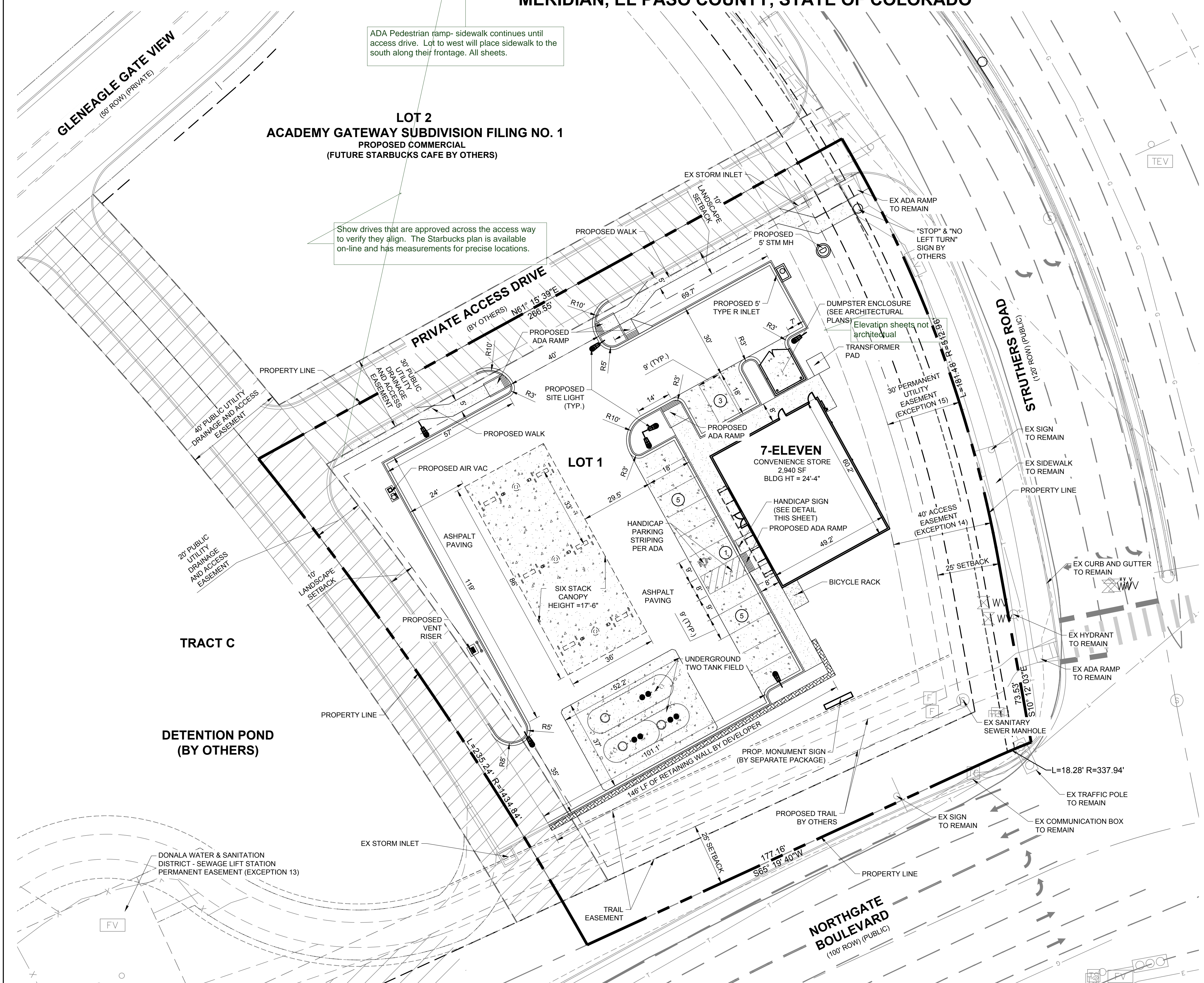
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COUNTY PROJECT NUMBER PPR-17-XXX

ADA Pedestrian ramp- sidewalk continues until access drive. Lot to west will place sidewalk to the south along their frontage. All sheets.

Show drives that are approved across the access way to verify they align. The Starbucks plan is available on-line and has measurements for precise locations.



DATE	BY	REVISION

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518 7th Street  
 Suite 1700  
 El Paso, CO 80902  
 www.ees.usa.com  
 303-572-7997



DEVELOPMENT PLAN  
**7-ELEVEN**  
 SITE PLAN

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

PROJECT NO:	7EL024.01
DESIGNED BY:	SPM
DRAWN BY:	LER
DATE:	12/04/17

**C1.0**  
 SHEET 2 OF 16

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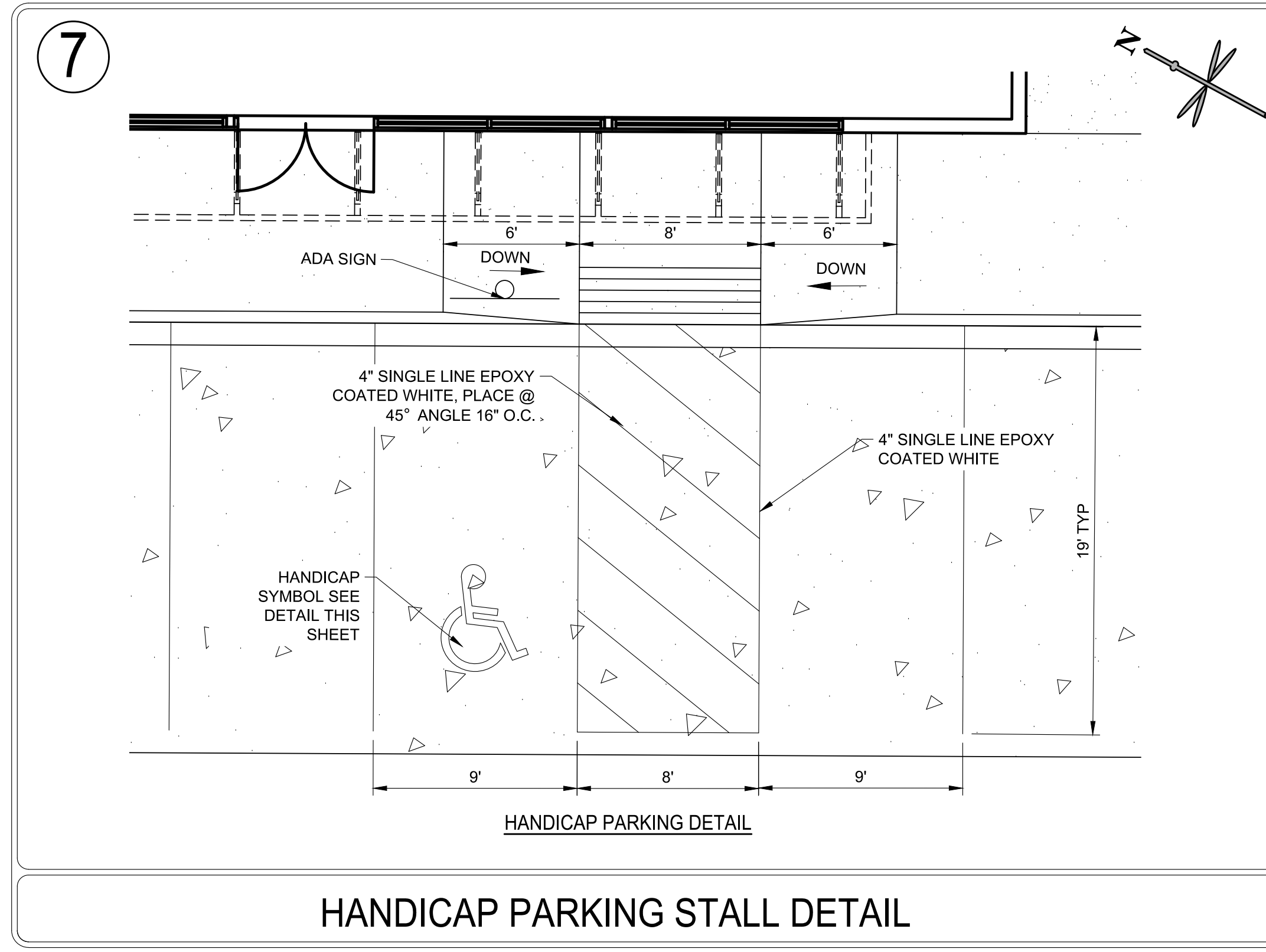
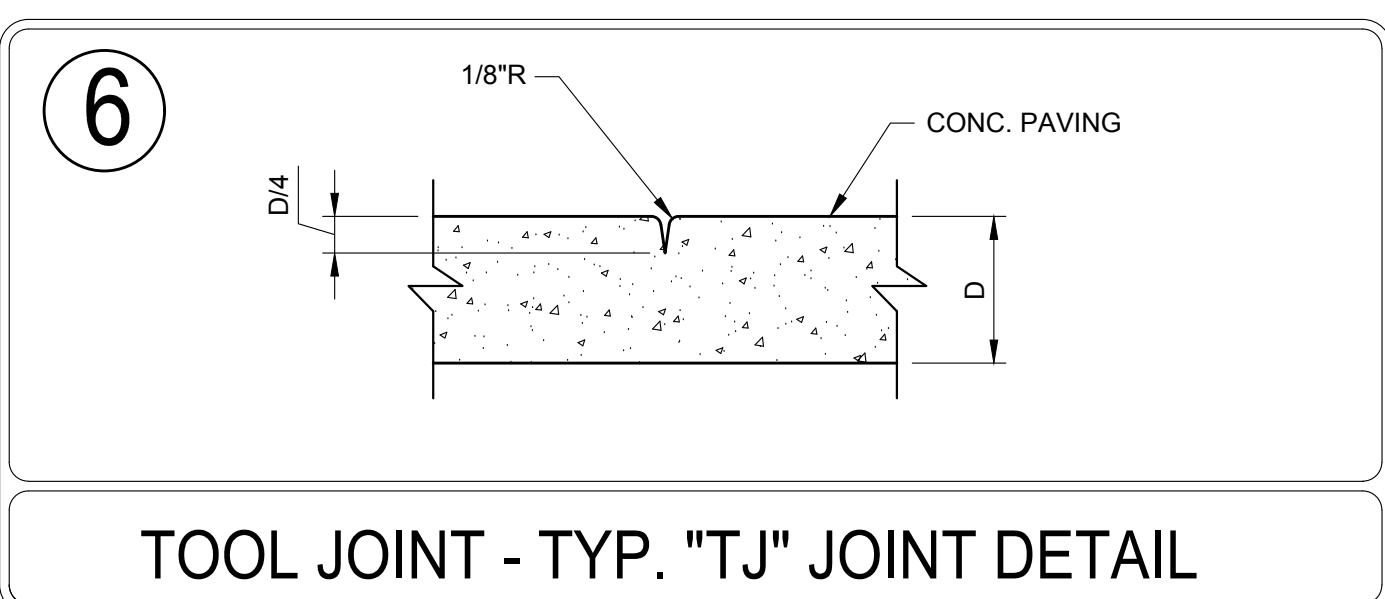
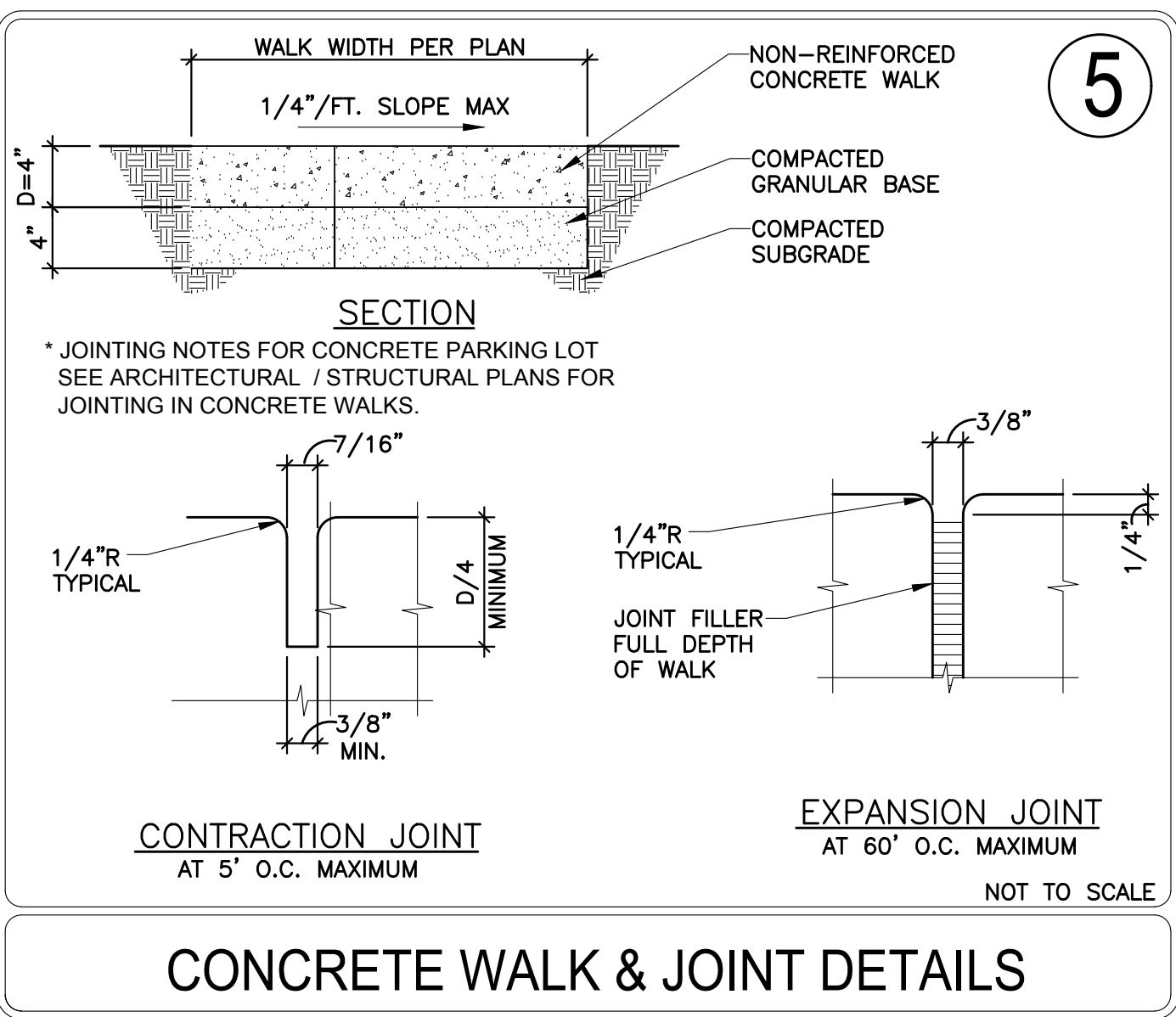
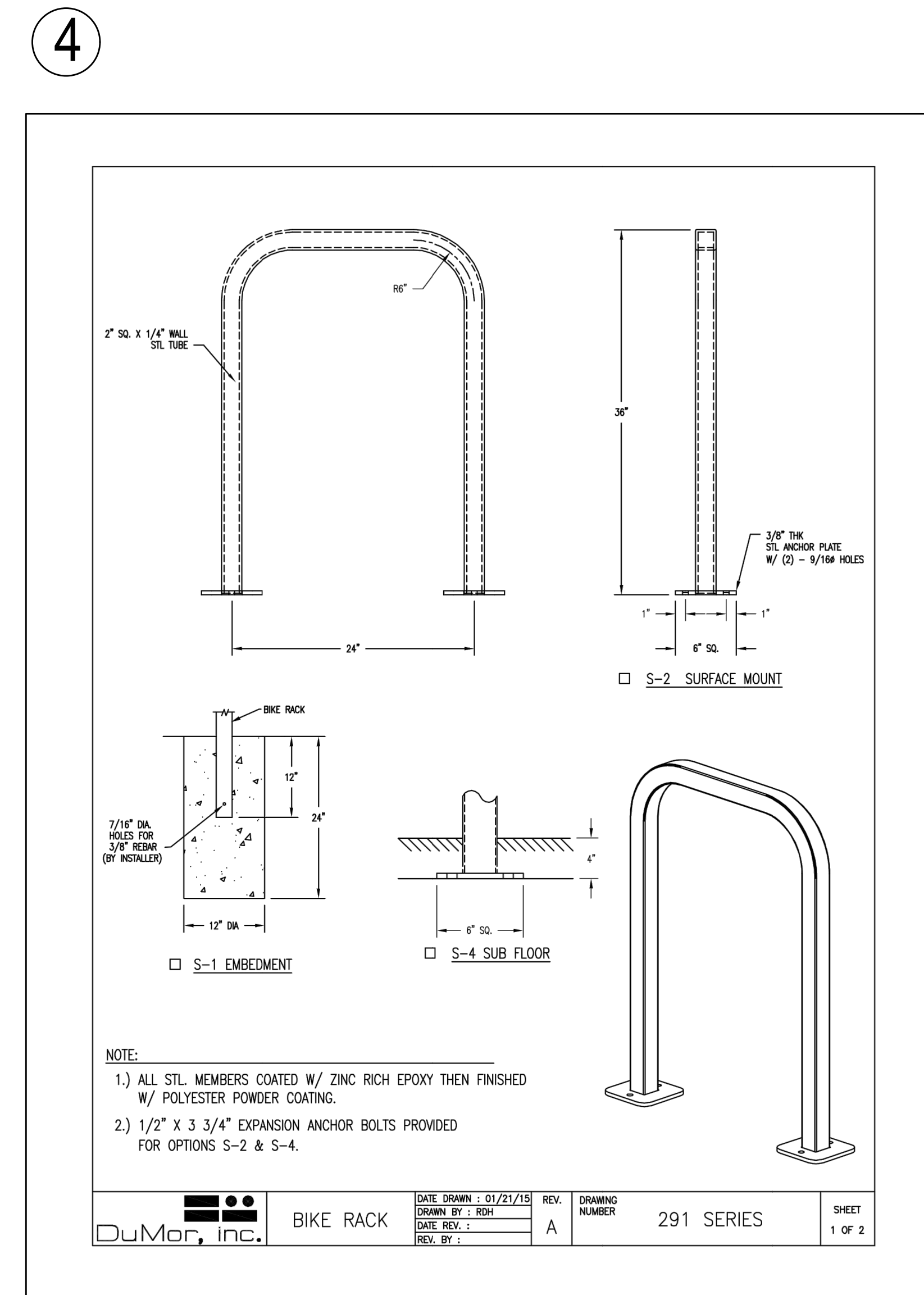
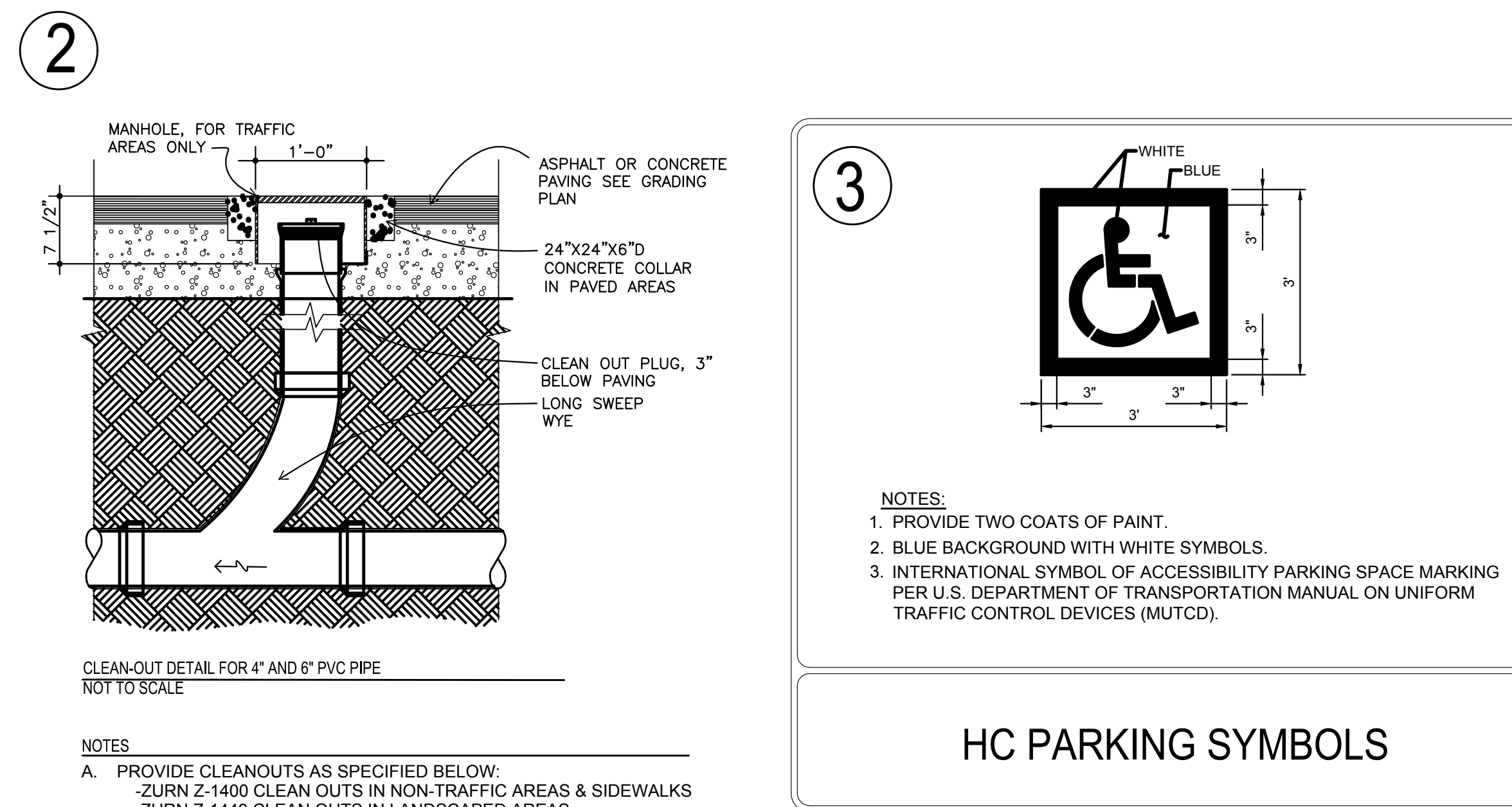
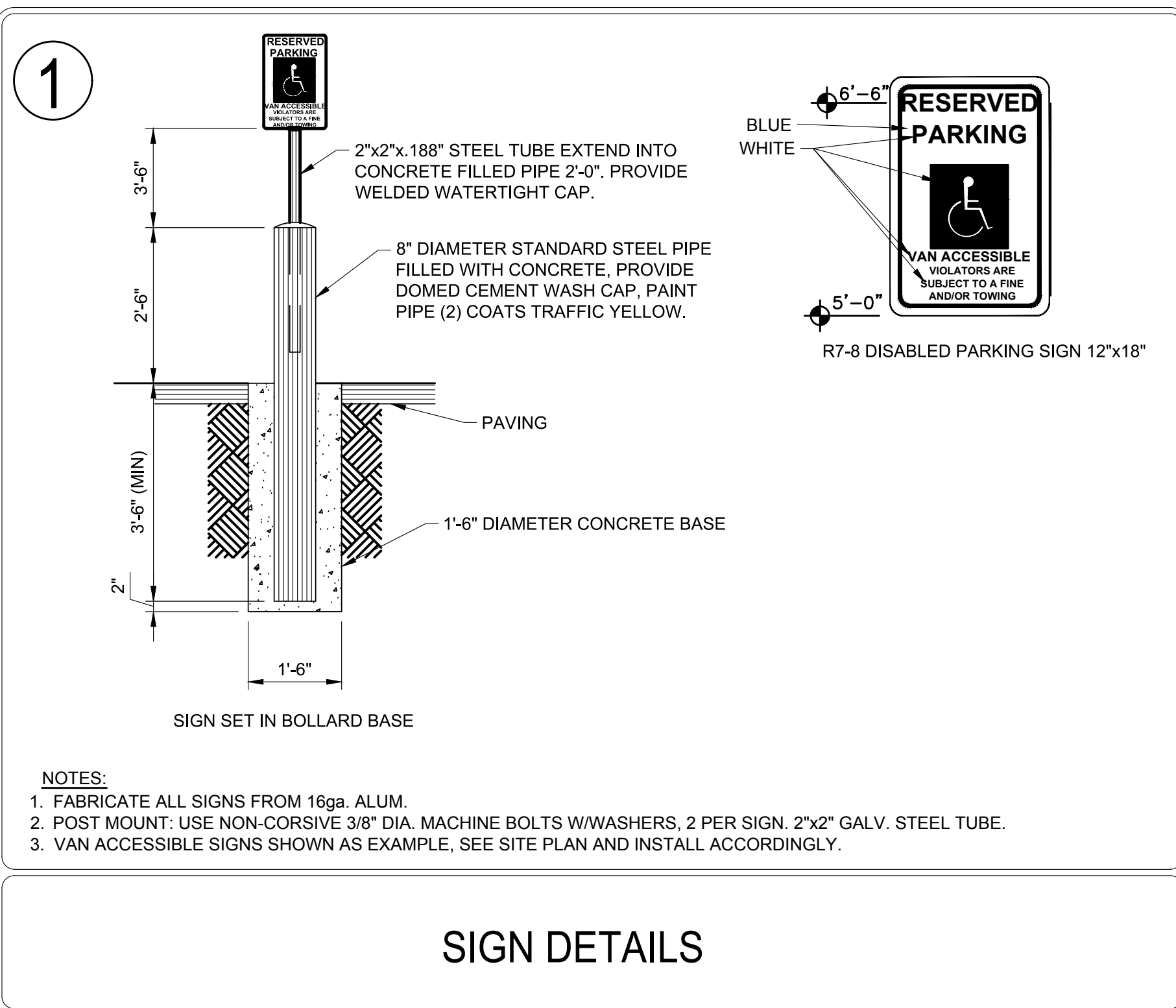


# MAJOR SITE DEVELOPMENT PLAN

## LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1 A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 12 SOUTH, RANGE 67 AND THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO

### STANDARD JOINTING NOTES \*

- CONCRETE AND JOINTING STANDARDS: CONCRETE PAVING SHALL FOLLOW THE GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS, ACI 330R-08 (OR LATEST EDITION). WORK IN THE PUBLIC RIGHT-OF-WAY SHALL FOLLOW JURISDICTIONAL STANDARDS AND/OR ACI 318, WHICHEVER IS MORE STRINGENT. IF THERE IS A DISCREPANCY BETWEEN PLANS, NOTES AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT WILL ALWAYS APPLY. THE CONTRACTOR SHALL SUBMIT MIX DESIGNS TO GEOTECHNICAL AND CIVIL ENGINEER FOR REVIEW PRIOR TO PAVING.
- JOINT SPACING: CONCRETE SHALL BE JOINTED IN RELATIVELY SQUARE PANELS AND SHOULD HAVE THE LENGTH NO GREATER THAN 20% OF THE WIDTH. MAXIMUM SPACING BETWEEN JOINTS SHALL BE 30 TIMES THE SLAB THICKNESS UP TO A MAXIMUM OF 15'. EVEN JOINT SPACING IS PREFERABLE FOR VISUAL CONSISTENCY. CONTRACTOR SHOULD AVOID JOINTING TO SHARP ANGLES AND TRY TO PLACE JOINTS PERPENDICULAR TO RADIIUSES OR ANGLED AREAS.
- JOINT DEPTH: JOINTS SHALL BE CUT AT LEAST  $\frac{1}{2}$  THE THICKNESS OF THE SLAB THICKNESS OR 1", WHICHEVER DISTANCE IS GREATER.
- JOINT TYPES: ISOLATION JOINTS SHALL BE USED TO SEPARATE CONCRETE SLABS FROM STRUCTURES (I.E. BUILDING) OR FIXED OBJECTS (PLEASE REFER TO STRUCTURAL PLANS FOR PAVING AT BUILDING DOOR OPENINGS). CONCRETE AREAS ADJACENT TO BUILDING OR DOCK WALLS OR THAT ARE DIFFICULT TO SAW CUT SHALL BE TOOL JOINTED USING A GROOVING TOOL OR BY INSERTING A PREMOLDED FILLER STRIP. IN OPEN CONCRETE PAVED AREAS, CONCRETE MAY BE SAW CUT ONCE THE CONCRETE HAS HARDENED ENOUGH TO SUPPORT THE SAWS AND AVOID RAVELING, TYPICALLY WITHIN 4 HOURS (HOT WEATHER) TO 12 HOURS (COLD WEATHER), BUT NOT GREATER THAN 24 HOURS AFTER THE POUR. CONTRACTOR SHALL USE KEVED CONSTRUCTION JOINT TO PROVIDE CLEAN INTERFACE BETWEEN AREAS OF CONCRETE POURED AT DIFFERENT TIMES.
- JOINT SEALING: ISOLATION JOINTS BETWEEN BUILDING WALLS AND SIDEWALKS SHALL BE CLEANED WITH COMPRESSED AIR TO REMOVE FOREIGN MATERIAL AND SEALED WITH AN ELASTOMERIC SEALER TO MINIMIZE WATER INFILTRATION PER ACI 504R. OTHER JOINTS SHALL ONLY BE SEALED IF GEOTECHNICAL OR CIVIL ENGINEER DETERMINES THAT SUBGRADE PERFORMANCE WARRANTS JOINT SEALING. REFERENCE STRUCTURAL DRAWINGS FOR DETAILS FOR PAVEMENT SURROUNDING BUILDING.



DATE	
BY	
REVISION	
No.	

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Colorado Springs, CO 80902  
www.ees-us.com  
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**ELEVEN**

DEVELOPMENT PLAN  
**7-ELEVEN**  
SITE PLAN DETAILS

LOT 1 ACADEMY GATEWAY SUBDIVISION FILING NO. 1

PROJECT NO: 7EL024.01  
DESIGNED BY: SPM  
DRAWN BY: LER  
DATE: 12/04/17

**C5.1**  
SHEET 11 OF 16

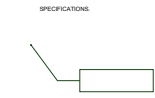
**811**  
Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987 or 811**

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

# Markup Summary

dspdparsons (6)



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The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:  
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.



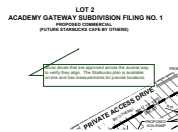
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PPR-17-058



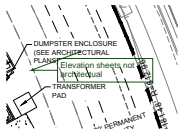
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ADA Pedestrian ramp- sidewalk continues until access drive. Lot to west will place sidewalk to the south along their frontage. All sheets.



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Show drives that are approved across the access way to verify they align. The Starbucks plan is available on-line and has measurements for precise locations.



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**Date:** 12/18/2017 10:54:02 AM  
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Elevation sheets not architectural

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dsdrice (1)



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Add subdivision developer, EPC PCD, and serving districts contact information.