SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT, made between Jackson Dearborn Partners, LLC., Colorado Limited Liability Corporations, hereinafter called the "Subdivider," and El Paso County by and through the Board of County Commissioners of El Paso County, Colorado, hereinafter called the "County," shall become effective the date of approval of the Final Plat by the Board of County Commissioners.

WITNESSETH:

WHEREAS, the Subdivider, as a condition of approval of the final plat of the Solace Apartments Filing No. 1 Subdivision, wishes to enter into a Subdivision Improvements Agreement as provided for by Section 30-28-137 (C.R.S.), Chapter 5 of the El Paso County Engineering Criteria Manual (ECM) and Chapter 8 of the El Paso County Land Development Code incorporated herein; and

WHEREAS, pursuant to the same authority, the Subdivider is obligated to provide security or collateral sufficient in the judgment of the Board of County Commissioners to make reasonable provision for completion of certain public improvements set forth on Exhibit A, attached hereto and incorporated herein; and

WHEREAS, the Subdivider wishes to provide collateral to guarantee performance of this Agreement including construction of the above-referenced improvements by means of a surety bond.

NOW, THEREFORE, in consideration of the following mutual covenants and agreements, the Subdivider and the County agree as follows:

- 1. The Subdivider agrees to construct and install, at his sole expense, all of those improvements as set forth on Exhibit A, attached hereto. To secure and guarantee performance of its obligations as set forth herein, the Subdivider agrees to provide collateral to remain in effect at all times until the improvements are completed and accepted in accordance with Chapter 5 of the ECM. Collateral shall be posted in the form of a surety bond issued by <u>USI Insurance Services</u>, <u>LLC</u> in the amount of \$4,027,986.35.
- 2. Subdivider is responsible for providing any renewals of collateral to ensure that there is never a lapse in security coverage. Subdivider shall procure renewal/extension/replacement collateral at least fifteen (15) days prior to the expiration of the original or renewal/extension/replacement collateral then in effect. Failure to procure renewal/extension/replacement collateral within this time limit shall be a default under this Agreement and shall allow the County to execute on the collateral. In addition, if Subdivider allows collateral to lapse at any time, no lots in the subdivision may be sold, conveyed or transferred, whether by Deed or Contract, after the expiration date of such collateral until the improvements identified on Exhibit A have been completed and final acceptance is received from the County. If replacement collateral is used for renewal, approval by Board of County Commissioners is required.
- 4. No lots in the subdivision, shall be sold, conveyed or transferred, whether by Deed or by Contract, nor shall building permits be issued until and unless the required improvements for the subdivision have been constructed and completed in accordance with the approved construction plans and preliminary acceptance is received from the County. In the alternative, lots within the subdivision may be sold, conveyed or transferred and/or have building permits issued upon receipt of collateral acceptable to the County, pursuant to this Agreement, which is sufficient to guarantee construction of the improvements, identified by phase if applicable, in the attached Exhibit A.

Chuck Broerman 12/16/2021 11:35:00 AM

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Pages

El Paso County, CO

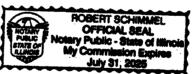
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- 5. The Subdivider agrees that all of those certain public improvements to be completed as identified on Exhibit A shall be constructed in compliance with the following:
 - a. All laws, resolutions and regulations of the United States, State of Colorado, El Paso County and its various agencies, affected special districts and/or servicing authorities.
 - b. Such other designs, drawings, maps, specifications, sketches and other matter submitted to and approved by any of the above-stated governmental entities.
- 6. All improvements shall be completed by the Subdivider, meeting all applicable standards for preliminary acceptance, within 24 (twenty-four) months from the date of notice to proceed in the Construction Permit for the Subdivision. If the Subdivider determines that the completion date needs to be extended, the Subdivider shall submit a written request for a change in the completion date to the ECM Administrator at least 90 days in advance of the required completion date. The request shall include the reasons for the requested change in completion date, the proposed new completion date, and prove collateral is in place to cover the extension time requested. The completion date for the Subdivision may be extended one time, for a period no longer than 6 months at the discretion of the ECM Administrator. Any additional requests for extension of the completion date will be scheduled for hearing by the Board of County Commissioners. The ECM Administrator or the Board of County Commissioners may require an adjustment in the amount of collateral to take into account any increase in cost due to the delay including inflation.
- 7. It is mutually agreed pursuant to the provisions of Section 30-28-137 (3) C.R.S. that the County or any purchaser of any lot, lots, tract or tracts of land subject to a plat restriction which is the security portion of a Subdivision Improvements Agreement shall have the authority to bring an action in any District Court to compel the enforcement of any Subdivision Improvements Agreement on the sale, conveyance, or transfer of any such lot, lots, tract or tracts of land or of any other provision of this article. Such authority shall include the right to compel rescission of any sale, conveyance, or transfer of any lot, lots, tract or tracts of land contrary to the provisions of any such restrictions set forth on the plat or in any separate recorded instrument, but any such action shall be commenced prior to the issuance of a building permit by the County where so required or otherwise prior to commencement of construction on any such lot, lots, tract or tracts of land.
- 8. It is further mutually agreed that, pursuant to the provisions of Section 30-28-137 (2) C.R.S., and Chapter 5 of the County's Engineering Criteria Manual, as improvements are completed, the Subdivider may apply to the Board of County Commissioners for a release of part or all of the collateral deposited with said Board. Upon inspection and approval, the Board shall release said collateral. The County agrees to respond to an inspection request in a reasonable time upon receipt of the request. If the Board determines that any of such improvements are not constructed in substantial compliance with specifications it shall furnish the Subdivider a list of specific deficiencies and shall be entitled to withhold collateral sufficient to ensure such substantial compliance. If the Board of County Commissioners determines that the Subdivider will not construct any or all of the improvements in accordance with all of the specifications, the Board of County Commissioners may withdraw and employ from the deposit of collateral such funds as may be necessary to construct the improvements in accordance with the specifications.
- 9. The Subdivider agrees, and both parties acknowledge that the construction of the improvements identified and guaranteed through this Subdivision Improvements Agreement shall follow the inspection, collateral, and acceptance process that is identified in Chapter 5 of the County's Engineering Criteria Manual. This is to include among other things, a Preliminary Acceptance process, replacement of performance collateral with appropriate Warranty collateral at that time, and a 2 year warranty period prior to final acceptance. Where any inconsistency exists between

- Chapter 5 of the Engineering Criteria Manual and the Land Development Code with respect to these inspections, collateral and acceptance processes, the Engineering Criteria Manual is the controlling document.
- 10. The Subdivider agrees to provide the County with a title insurance commitment at time of final platting evidencing that fee simple title of all lands in the subdivision is vested with the subdivider.
- 11. The County agrees to approval of the final plat of Solace Apartments Filing No. 1 Subdivision subject to the terms and conditions of this Agreement.
- 12. Parties hereto mutually agree that this Agreement may be amended from time to time provided that such amendment be in writing and signed by all parties hereto.
- 13. This Agreement shall take effect on the date of approval of the Final Plat by the Board of County Commissioners.
- 14. The Subdivider agrees for itself and its successors and assigns that Subdivider and/or its said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program, at or prior to the time of building permit submittals. Subdivider has elected to petition, through separate action, for inclusion of the Solace Apartments Filing No. 1 Subdivision in El Paso County Public Improvement District No. _.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the day and year below written.

EL PASO COUNTY, COLORADO	
Administrative (Date Final Plat Appendicular) Stan VanderWerf, Chair)
Approved as to form: South & Seage County Clarent Research County Afterney's Office	
County Chicand Research County Afforney's Office Subdivider	
By: Representative (if applicable)	•
Subscribed, sworn to and acknowledged before me this 9 day of Pecember, 2 by the parties above named.	<u>م2</u> (
My commission expires: 7/31/25 Notary Public	n sakki vivadi kadija .
ROBERT SCHIMMEL NOTATIVE OFFICIAL SEAL	



2021 Financial Assurance Estimate Form

(with pre-plat construction)

Updated: 12/22/2020

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bject to defect warranty financial assurance. A minimum of 20% shall be ad until final acceptance (MAXIMUM OF 50% COMPLETE ALLOWED) TERM 2 * PUBLIC IMPROVEMENTS ONSTRUCTION TRAFFIC CONTROL Ogregate Base Course (135 lbs/cf) ogregate Base Course (147 lbs/cf) ogregate Base Course (148 lbs/cf) ogregate Base Cours	2,314 657 2,572 120 2,624 97 920	LS Tons CY SY SY Tons SF EA EA EA LF LF LF SY SY SY SY SY SY SY SY	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 311.00 \$ 24.00 \$ 24.00 \$ 27.00 \$ 31.00 \$ 31.		68,328,00 13,140.00 1,244.00 1,800.00 2,880.00 - 78,244.00 - 3,007.00 - 69,000.00	\$	398,619.7 68,328 13,140 1,244 1,800 36,008 2,860 78,244 3,007 69,000 7,140		
bject to defect warrany financial assurance. A minimum of 20% shall be ad until final acceptance (MAXIMUAL OF 80% COMPLETE ALLOWED) TERM 2 * PUBLIC IMPROVEMENTS ONSTRUCTION TRAFFIC CONTRO! Ggregate Base Course (135 lbs/cf) sphalt Pavement (4" thick) sphalt Pavement (4" thick) sphalt Pavement (6" thick) sphalt Pavement (6" thick) sphalt Pavement (6" thick) sphalt Pavement (4" thick) sphalt Pavement (5" thick) sphalt Pavement (6" thick) sphalt	2,314 657 2,572 120 2,584 87 200 66	LS Tons CY SY SY Tons SF EA EA LF LF LF SY SY SY SY	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 301.00 \$ 207.00 \$ 25.00 \$ 31.00 \$ 31.00 \$ 31.00 \$ 52.00 \$ 31.00 \$ 31		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 78,244.00 3,007.00 69,000.00 9,324.00	\$	398,619.3 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324		
bject to defect warranty financial assurance. A minimum of 20% shall be ad until final acceptance (MAXIMUM OF 50% COMPLETE ALLOWED) TEAM 2 * PUBLIC IMPROVEMENTS ONSTRUCTION TRAFFIC CONTROL ggregate Base Course (135 lbs/cf) gghalt Pavement (4" thick) sphalt Pavement (6" thick) sphalt	2,314 657 2,572 120 2,624 97 920	LS Tons CY SY SY Tons SF EA EA LF LF LF SY SY SY LF	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 830 \$ 311.00 \$ 24.00 \$ 27.00 \$ 25.00 \$ 31.00 \$ 31.00		68,328,00 13,140.00 1,244.00 1,800.00 2,880.00 - 78,244.00 - 3,007.00 - 69,000.00	\$	398,619. 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324		
bject to defect warrany financial assurance. A minimum of 20% shall be ad until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED) TERM 2 * PUBLIC INPROVEMENTS ONSTRUCTION TRAFFIC CONTROL Oggregate Base Course (135 lbs/cf) oggregate Base Course (147 lbs/cf) oggregate Base Course (148 lbs/cf) o	2,314 657 2,572 120 2,584 87 200 66	LS Tons CY SY SY Tons SF EA EA LF LF LF SY SY SY LF	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 301.00 \$ 207.00 \$ 25.00 \$ 31.00 \$ 31.00 \$ 31.00 \$ 52.00 \$ 31.00 \$ 31		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 - 78,244.00 3,007.00 - 7,140.00 9,324.00	\$	398,619. 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324 10,450		
bject to defect warranty financial assurance. A minimum of 20% shall be and until final acceptance (MAXIMUAL OF 40% COMPLETE ALLOWED) TEACH 2 * PUBLIC IMPROVEMENTS CONTAY IMPR	1,314 ES7 6 2,572 120 7,584 87 200 6 140	LS Tons CY SY SY Tons SF EA EA LF LF LF SY SY SY LF	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 830 \$ 311.00 \$ 24.00 \$ 27.00 \$ 25.00 \$ 31.00 \$ 31.00		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 78,244.00 3,007.00 69,000.00 9,324.00	\$	398,619. 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324 10,450		
bject to defect warranty financial assurance. A minimum of 20% shall be ad until final acceptance (MAXSMUAL OF 40% COMPLETE ALLOWED) CTESM 2 * PUBLIC IMPROVEMENTS construction Traffic Control ggregate Base Course (135 ibs/cf) ggregate Base Course (147 ibs/cf) sphalt Pavement (4" thick) sphalt Pavement (6" thick) s	1,314 657 4 6 2,577 120 2,524 90 90 26 10	LS Tons CY SY SY Tons SF EA EA LF LF LF SY SY SY LF	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 311.00 \$ 24.00 \$ 24.00 \$ 25.00 \$ 31.00 \$ 31.		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 - 78,244.00 3,007.00 - 7,140.00 9,324.00	\$	398,619.3 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324 10,450		
bject to defect warranty financial assurance. A minimum of 20% shall be ad until final acceptance (MAXIMUAL OF 80% COMPLETE ALLOWED) TERM 2 * PUBLIC IMPROVEMENTS ONSTRUCTION Traffic Control ggregate Base Course (135 lbs/cf) ggregate Base Course (147 lbs/cf) ggregate Base Course (148 lbs/cf) ggregate Base Cour	1,314 657 4 6 2,577 120 2,524 90 90 26 10	LS Tons CY SY SY Tons SF EA EA LF LF LF SY SY SY LF	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 311.00 \$ 24.00 \$ 24.00 \$ 27.00 \$ 31.00 \$ 31.		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 - 78,244.00 3,007.00 - 7,140.00 9,324.00	\$	398,619.3 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324 10,450		
bject to defect warrany financial assurance. A minimum of 20% shall be ad until final acceptance (MAXIMUAL OF 50% COMPLETE ALLOWED) TERM 2 * PUBLIC IMPROVEMENTS ONSTRUCTION TRAFFIC CONTRO! Gyregate Base Course (135 lbs/cf) gyregate Base Course (147 lbs/cf) sphalt Pavement (4" thick) sphalt Pavement (4" thick) sphalt Pavement (6" thick) sphalt Pavement (6" thick) sphalt Pavement (4" thick) sphalt Pavement (5" thick) sphalt Pavement (6" thick) sidewalt (147 lbs/cf) sidewalt (5" thick (6" vide to include return) ross Pan, local (6" thick, 6" wide to include return) uardrail Type 3 (W-Beem) uardrail Type 3 (W-Beem) uardrail Type 7 (Concrete) uardrail End Anchorage	1,314 657 4 6 2,577 120 2,524 90 90 26 10	LS Tons CY SY SY Tons SF EA EA EA LF LF LF SY SY SY LF	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 311.00 \$ 300.00 \$ 14.00 \$ 24.00 \$ 27.00 \$ 25.00 \$ 31.00 \$ 31.00 \$ 31.00 \$ 50.00 \$ 50		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 - 78,244.00 3,007.00 - 7,140.00 9,324.00	\$	398,619.3 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324 10,450		
bject to defect warrany financial assurance. A minimum of 20% shall be ad until final acceptance (MAXIMUM OF 50% COMPLETE ALLOWED) TERM 2 * PUBLIC IMPROVEMENTS ONSTRUCTION TRAFFIC CONTROL Oggregate Base Course (135 lbs/cf) oggregate Base Course (147 lbs/cf) oggregate Base Course (148 lbs/cf) o	1,314 657 4 6 2,577 120 2,524 90 90 26 10	LS Tons CY SY SY Tons SF EA EA LF	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 300.00 \$ 14.00 \$ 24.00 \$ 227.00 \$ 25.00 \$ 31.00 \$ 31		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 - 78,244.00 3,007.00 - 7,140.00 9,324.00	\$	398,619.3 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324 10,450		
bject to defect warrany financial assurance. A minimum of 20% shall be ad until final acceptance (MAXIMUAL OF 80% COMPLETE ALLOWED) ETEGRI 2 * PUBLIC IMPROVEMENTS onstruction Traffic Control ggregate Base Course (135 ibs/cf) sphalt Pavement (4" thick) sphalt Pavement (6" thick) sphalt Pavement (6" thick) sphalt Pavement (6" thick) sphalt Pavement (6" thick) sphalt Pavement (147 ibs/cf) aised Median, Paved agulatory Sign/Advisory Sign unide/Streat Name Sign poxy Pavement Marking hermoptastic Pavement Marking arricade - Type 3 elineator - Type 1 urb and Gutter, Type A (6" Vertical) urb and Gutter, Type A (6" Vertical) urb and Gutter, Type C (Ramp) "Sidewalk (common areas only) "Sidewalk (common areas only) "Sidewalk sidewalk sidewalk sidewalk sidewalk sidewalk sidewalk sidewalk sidewald in Concrete userdrail Type 7 (Concrete) userdrail End Anchorage userdrail Impact Alternulor ound Barrier Fence (CMU block, 6' high)	1,314 657 4 6 2,577 120 2,524 90 90 26 10	LS Tons CY SY SY Tons SF EA EA LF LF LF SY SY SY LF LF EA	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 830 \$ 311.00 \$ 24.00 \$ 277.00 \$ 31.00 \$ 31.0		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 - 78,244.00 3,007.00 - 7,140.00 9,324.00	\$	398,619.3 68,328 13,140 1,244 1,800 36,008 2,880 78,244 3,007 69,000 7,140 9,324 10,450		
ubject to defect warranty financial assurance. A minimum of 20% shall be ned until final acceptance (MAXIMALA OF 80% COMPLETE ALLOWED) ETEMP 2 * PUBLIC EMPROVEMENTS Construction Traffic Control (ogregate Base Course (135 lbs/cf) (ogregate Base Course (135 lbs	1,314 657 4 6 2,577 120 2,524 90 90 26 10	LS Tons CY SY SY Tons SF EA EA LF	\$ 29.00 \$ 52.00 \$ 14.50 \$ 20.00 \$ 30.00 \$ 91.00 \$ 311.00 \$ 300.00 \$ 14.00 \$ 24.00 \$ 24.00 \$ 25.00 \$ 31.00 \$ 31		68,328.00 13,140.00 1,244.00 1,800.00 36,008.00 2,880.00 - 78,244.00 3,007.00 - 7,140.00 9,324.00	\$	14,918. 398,619.7 68,328. 13,140. 1,244. 1,800. 36,008. 2,860. 78,244. 3,007. 69,000. 7,140. 9,324. 10,450. 2,550.		

Berger with the Committee of the Committ	PROJECT INFORMATION	
Solace Apertments Filing No. 1	11/11/2021	2000-5174.00
Project Name	Date	PCD File No. SF-20-032/PPR2047

			Unit	The state of the s			(with Pre-Plat Construction) % Complete Remaining		
Description	Quantity	Units	Cost		Total	% Complete			
O'CAG	50	ᄕ	\$ 30.00		\$ 1,500.00	S	1,500.0 8,175.0		
Concrete Peving	109	_ SY	\$ 75.00	•	\$ 8,175.00	Laboration Control of the Control of	6,1/3.0		
STORM DRAIN IMPROVEMENTS		ĽF	· F		15 -	or the company of the			
Concrete Box Culvert (M Standard), Size (W x H)	93	LF LF	\$ 67.00		\$ 6,231.00	1	6,231.0		
18" Reinforced Concrete Pipe	41	LF	\$ 81.00	-	\$ 3,321.00		3,321.0		
24" Reinforced Concrete Pipe	Later Control	LF	5 100.00		\$ 3,321.00				
30° Reinforced Concrete Pipe	186	 LF	S 124 00		\$ 23,312.00	14:3:400	23,312.0		
36" Reinforced Concrete Pipe	31	LF	\$ 166.00	-	\$ 5,146.00	5	5,146.0		
42" Reinforced Concrete Pipe	31	ŰF	\$ 202.00		\$ -		J,2 1010		
48" Reinforced Concrete Pipe	Americani,	LF	\$ 254 00						
54" Reinforced Concrete Pipe	14-14	LF	\$ 298.00		A CONTRACTOR OF THE STATE OF TH				
60° Reinforced Concrete Pipe 66° Reinforced Concrete Pipe	100	Ŀ	\$ 344 00						
The second section will be a second section of the second section of the second section sectio	1. 14 to 12	LF	\$ 393 00						
72" Reinforced Concrete Pipe			\$ 87.00	-		Control of the contro			
18" Corrugated Steel Pipe	18 m 18 m		\$ 99.00			1			
24" Corrugated Steel Pipe	1	LF	\$ 126.00						
30" Corrugated Steel Pipe	1000000	Ŀ	\$ 152.00		•				
36" Corrugated Steel Pipe	1444	LF	\$ 174 00		\$	1			
42" Corrugated Steel Pipe		LF	\$ 184 00	=	\$	4			
48" Corrugated Steel Pipe	La Property	Ĭ.	\$ 269 00	- 10 - 1000 - 100 - 100 - 1		1 7	Andrew Control of the		
54" Corrugated Steel Pipe 60" Corrugated Steel Pipe		LF	\$ 290 00	•					
the state of the s		ur Ur	\$ 352.00		The second secon	l s			
66" Corrugated Steel Pipe	1. 1. 1. 1.	LF	\$ 414.00		\$	AL LATERAL S			
72" Corrugated Steel Pipe	25,765,050,050	LF.	\$ 476.00		The state of the s	3			
78" Corrugated Steel Pipe 84" Corrugated Steel Pipe		LF	\$ 569.00		\$				
Flared End Section (FES) RCP Size =	10 2 7 7 7 7 7	M	27-10-10-10-10-10-10-10-10-10-10-10-10-10-						
(unit cost = 6x pipe unit cost)	Section .	EA		=	•				
Flered End Section (FES) CSP Size =				_	•				
(unit cost = fix pipe unit cost)		EA				AND SECTION	K . •		
End Treatment- Headwall	14 数 4	EA	4450m			*			
End Treatment- Wingwell	1	EA							
End Treatment - Cutoff Wall	.	EA	Office Contract			5			
Curb inlet (Type R) L=5: Depth < 5	1	EA	\$ 5,735.00		\$ 5,736.00	\$	5,736.0		
Curb Inlet (Type R) L=5' 5' ≤ Depth < 10'	1	EA	\$ 7,440.00		\$ 7,440.00	1	7,440.0		
Curb Inlet (Type R) L =5', 10' ≤ Depth < 15'		EA	\$ 8,637.00		\$	• • • • •			
Curb Inlet (Type R) L =10", Depth < 5"	1	EA	\$ 7,894.00		\$ 7,894.00	1 (kir 5	7,894.0		
Curb Inlet (Type R) L =10', 5' ≤ Depth < 10'	3	EA	\$ 8,138.00		\$ 24,408.00	10000000	24,406.0		
Curb inlet (Type R) L =10', 10' ≤ Depth < 15'	14	EA	\$ 10,185.00		\$	E-Vag San St.	40.300.0		
Curb Inlet (Type R) L =15'. Depth < 5'	1	EA	\$ 10,265.00	. =	\$ 10,265.00		10,265.0		
Curb Inlet (Type R) L =15' 5' ≤ Depth < 10'	*1	EA	\$ 11,005.00		\$ 11,005.00		11,005.0		
Curb inlet (Type R) L =15', 10' ≤ Depth < 15'	13,42,500	EA	\$ 12,034.00						
Curb inlet (Type R) L =20'. Depth < 5'		EA	\$ 10,940.00		\$				
Curb Inlet (Type R) L =20'. 5' ≤ Depth < 10'	1, 176.57	EA	\$ 12,075.00		\$				
Grated Iniat (Type C), Depth < 5'		EA	\$ 4,802.00	📆	\$	5			
Grated Infet (Type D). Depth < 5'	1.25	EA	\$ 5,932 00		\$	\$			
Storm Sewer Manhola, Box Base	2	EA	\$ 12,034.00	***************	\$ 24,068.00		24,068.0		
Storm Sewer Manhole, Stab Base	A 50 (42)	EA	\$ 6,619.00		•	5 to 10 to 1	managara a a cara a a a a a a a a a a a a a a		
Geotextile (Erosion Control)	Section 1	SY	\$ 6.20		\$	1			
Rip Rep, d50 size from 6" to 24"		Tons	\$ 83.00		A CONTRACTOR OF THE CONTRACTOR	\$			
Rip Rap, Grouted	4.00	Tons	\$ 98.00			5			
Drainage Channal Construction, Size (W x H-)	1000000	LF	The Control of Control		<u> </u>	[S S S S S S S S S S	.,		
Drainage Channel Lining, Concrete		CY	\$ 590.00			[· · · · · · · · ·] •			
Drainage Channel Lining, Rip Rap		CY	\$ 115.00		!	5 S			
Drainege Channel Lining, Grass		AC CARROL STATES	\$ 1,520.00			A A \$. According to the contract of		
Brainage Channel Lining, Other Stabilization	1.00	198 N. 188	· · · · · · · · · · · · · · · · · · ·		\$				
LOMP	1	. LS	\$ 20,000.00		\$ 20,000.00	[] San [] \$	20,000.0		
finsert items not listed but part of construction plans)	* [] * []		The state of the s	**	\$	[. ,		
 Subject to delect warranty financial assurance. A minimum of 20% shall be etained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED).)					* \$55.00000000000000000000000000000000000			

	PROJECT INFORMATION	
Solace Apertments Filing Ne. 1	11/11/2021	2000-5174.00
Project Name	Date	PCD File No. SF-20-032/PPR2047

_			1	Unit .		Ē		(with Pre-F	fat Construction)
Description	Quantity	Units	1.	Cost			Total	% Complete	Remaining
SECTION 3 - COMMON DEVELOPMENT IMPR	OVERTEXTS (Priv	rate or Di	tric	t and NO	Maintai	ned by	EPC)**	e sectorista	1986年1月1日 東東西部市場
ROADWAY IMPROVEMENTS									
Appregate Base Course (135 lbelcf)	4.967	CY	1 5	50.00	•	\$	248,350,00		248,350,0
Asphalt Paverient (4" thick)	22,350	5 Y	\$	19.00	#	\$	424,650.00		424,650,0
Regulatory Sign/Advisory Sign	7	ËA	1 5	308.00		\$	2,100.00		2.100.0
Guide/Street Name Sign	12	EA	1 8	300.00		\$	3,600.00		3,600.0
Curb and Gutter, Type A (6" Vertical)	1,609	Ē	1	36.00		\$	258,270.00		
5" Sidesell	3,655	SY.		72.00	******		263,160.00		the annual control of the first of the profits.
Pedesirien Remo	42	EA	1 5	1.150.00	-	į	48,300.00	704 (1970)	48,300.0
Concrete Paving			1	e Programme		7			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
- White and applications of the same - with the same of the same o	otion Permanent Pon	AIRNO chair	ha da	mised under	Caction 11				
18" Reinforced Concrete Pipe	1,254	LF	T s	65.00	Section ()		81.510.00	and the second	81,510.0
The condition of the co	763	LF.	5	78.00		?	59.514.00		59,514.0
24" Reinforced Concrete Pipe	763 464	i.	14.5	78.00 97.00		•	45.008.00	SCAN CALL	45.008.0
30" Reinforced Concrete Pipe	327	LF.	\$	120.00			AND THE RESERVE OF THE PERSON NAMED IN COMPANIES.		
36" Reinforced Concrete Pipe		Mill Committee Committee Committee	\$	SCI CO Security and Alexander		•	39,240.00		39,240.0
42" Reinforced Concrete Pipe	44	· F	\$	160.00	•	\$	7,040.00	1	7,040.0
Flered End Section (FES) RCP Size = 18"	2			399.00			780.00		780.0
List of Birg Service (LES) L/OL Orts - In	- 1 -	EA	\$	350.00		7	750.00	1	780.0
	1. 3.55		1						
Flered End Section (FES) RCP Size = 24"	1		\$	468.00		5	468.00	\$	468.0
		EA				17			
Curb Inlet (Type R) L=5', Depth < 5'	5	EA	\$	5,542.00		\$	27,710.00		27,710.0
Curb Inlet (Type R) L=5', 5' ≤ Depth < 10'	3	EĀ	\$	7,188.00		\$	21,564.00	\$	21,564.0
Grated Inlet (Type 13 Valley),	7	EA	5	4,640.00		\$	32,480.00	\$	32,480.0
Storm Sevier Manhole, Box Base	3	EA	\$	11.627.00		\$	34,881.00	s	34,681,0
Storm Sewer Manhola, Sleb Base	19	EA	5	6.395.00		\$	115,110.00		115,110.0
Drainage Channel Lining, Concrete	971	CY	1	570.00		Š	553,470.00		553,470.0
Drainage Channel Lining, Rio Rao	198	CY	\$	112.00		Ţ.	22,176,00		22.176.0
Drainage Chennel Lining, Grass	0.40	AC	\$	1.469.00		7	587.60		587.6
WATER SYSTEM IMPROVEMENTS	4.10		#CL * 3	2,703.00		* *	307.00	(100 12 Care 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
Water Main Pipe (PVC), Size 8"	4.476	LF	5	66.00			295,416.00	and the second second second	295,416.0
The companies of the co	-1,776 563	LF	S	78.00			43,914.00	3	43,914.0
Water Mein Pipe (Ductile Iron), Size 8"	30	EA	\$	1 923 00			57.690.00	1	57.690.0
Gate Valves, 8"	4.4 (3.6) (3.6) (3.6) (3.6)						and a control of the	100	
Fire Hydrant Assembly, w/ all valves	14	EA	\$	6,828.00			95,592.00	\$	95,592.0
Water Service Line Installation, inc. tap and valves	16	EA	- State of	1,370.00			21,920.00	\$	21,920.0
Fire Cistern Installation, complete	40.00	EA	1	All Company				\$	programme and the second paper
Paragraph and the second secon			1			. \$		\$	
[insert items not listed but part of construction plans]			i			\$		\$	
SANITARY SEWER IMPROVEMENTS	week the transport of the second of the seco							960 (sparre / 1000), 1000 (1984)	
Sewer Main Pipe (PVC), Size 8"	3,239	U	\$	66.00			213,774.00		213,774.0
Sanitary Sewer Manhole, Depth < 15 feet	19	EA	\$	4,540.00		\$	86,260.00	\$	86,260.00
Sanitary Service Line Installation, complete	15	EA	\$	1,451 00		\$	23,216.00	\$	23,216.00
Senitary Sewer Lift Station, complete		EA	1		-	\$		\$	
			1			\$		\$	
[insert items not listed but part of construction plans]			1			\$	*	\$	
LANDSCAPING IMPROVEMENTS	(For subdivision spe	afic conditio	n of a	pproval, or P	UD)			, while control and the control of t	
		EA	100	1		\$	•	\$	
		EA	145			\$	The second secon	\$	
	1	EA				Ś		s	The second secon
		EA				Ś			
		EA	198		*******	\$		3	
F - Section 3 is not subject to defect warranty requirements			1386363	Subtotal			3,127,750.60		3,127,750.60

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Solace Apartments Filing No. 1	11/11/2021	2000-5174.00
Project Name	Date	PCD File No. SF-20-032/PPR2047

		1	Unit		(with Pre-Plat Construct)		
Description	Quantity	Units	Cost	Total	% Complete	Remaining	
AS-BUILT PLANS (Public Improvements Inc. Permanent WQC POND/BMP CERTIFICATION (Inc. elevations and volume calcu		LB	8 20,000.00 \$ 20,000.00	 \$ 20,000.00 \$ 20,000.00		\$ 20,000.00 \$ 20,000.00	

Total Construction Financial Assurance \$ 4,027,986.35

(Sum of all section subtotals plus as-builts and pond/BMP certification)

Total Remaining Construction Financial Assurance (with Pre-Ptat Construction) <u>\$ 4,027,986,35</u> (Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)

Total Defect Warranty Financial Assurance \$ 160,538.40

(20% of all items identified as (*). To be colleteralized at time of preliminary acceptance)

Approvals

I hereby certify that this is an accurate and complete estimate of costs for the work as shown on the Grading and Erosion Control Plan and Construction Drawings associated with the Project.

Engineer (P.E. Seel Required)

1)...

poroued by Owner / Applicant

Approved by El Paso County Engineer / ECH Administrator

11/18/2021

APPROVED

Q:16 AM

Engineering Department

11/30/20

EPC Plan Community
Development

