

P:\Thompson Thirt(Venetucci Boulevard\Drawings\Planning\PP(Venetucci_DP.dwg) [DP - COVER] 7/2/2025 8:39:12 AM jsmith

LEGAL DESCRIPTION

LOT 1 AND TRACT A, VENTURE ON VENETUCCI FILING NO. 1 AS RECORDED AT RECEPTION NO. _____ IN THE RECORDS OF EL PASO COUNTY, BEING A PORTION OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 4, AS MONUMENTED BY A RECOVERED 2-1/2" ALUMINUM CAP, 0.1 FEET ABOVE GRADE, STAMPED "ASC 1999 PLS 28651", WHENCE THE EAST QUARTER CORNER OF SAID SECTION 4, AS MONUMENTED BY A RECOVERED 2-1/2" ALUMINUM CAP STAMPED "ASC 1999 PLS 28651", IN RANGE BOX, BEARS N 01°01'43" W, FOR A DISTANCE OF 2633.35 FEET, FORMING THE BASIS OF BEARINGS FOR THIS DESCRIPTION;

THENCE N 74°01'44" W, A DISTANCE OF 2749.72 FEET TO THE NORTH LINE OF SOUTH ACADEMY HIGHLANDS FILING NO. 4 AS RECORDED AT RECEPTION NO. 222714970 IN SAID RECORDS AND THE POINT OF BEGINNING;

THENCE COINCIDENT WITH SAID NORTH LINE THE FOLLOWING THREE (3) COURSES:

1) S 89°29'47" W, A DISTANCE OF 46.61 FEET;

2) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 35°30'48", A RADIUS OF 238.00 FEET, AN ARC LENGTH OF 147.52 FEET, AND A CHORD BEARING AND DISTANCE OF S 71°44'24" W, 145.17 FEET;

3) S 53°58'49" W, A DISTANCE OF 190.82 FEET;

THENCE N 36°03'36" W, A DISTANCE OF 155.64 FEET;

THENCE N 21°58'50" W, A DISTANCE OF 272.69 FEET;

THENCE N 02°31'59" W, A DISTANCE OF 127.26 FEET;

THENCE N 21°58'47" W, A DISTANCE OF 284.99 FEET;

THENCE N 08°14'28" W, A DISTANCE OF 450.13 FEET;

THENCE N 18°57'10" E, A DISTANCE OF 234.76 FEET;

THENCE N 68°01'13" E, A DISTANCE OF 452.74 FEET TO THE WEST LINE OF SOUTH ACADEMY HIGHLANDS FILING NO. 1 AS RECORDED AT RECEPTION NO. 214713425 OF SAID RECORDS;

THENCE COINCIDENT WITH SAID WEST LINE THE FOLLOWING FOUR (4) COURSES:

1) S 05°08'13" W, A DISTANCE OF 273.60 FEET;

2) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 27°13'21", A RADIUS OF 605.00 FEET, AN ARC LENGTH OF 287.45 FEET, AND A CHORD BEARING AND DISTANCE OF S 08°28'22" E, 284.75 FEET;

3) S 22°05'08" E, A DISTANCE OF 501.71 FEET;

4) ALONG A TANGENT CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 03°52'19", A RADIUS OF 560.00 FEET, AN ARC LENGTH OF 37.84 FEET, AND A CHORD BEARING AND DISTANCE OF S 20°08'58" E, 37.84 FEET TO THE NORTH CORNER OF THAT PARCEL DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 213146604 OF SAID RECORDS;

THENCE COINCIDENT WITH THE WEST LINE OF SAID SPECIAL WARRANTY DEED PARCEL THE FOLLOWING EIGHT (8) COURSES:

1) S 12°22'00" W, A DISTANCE OF 5.95 FEET;

2) ALONG A NON-TANGENT CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 07°30'59", A RADIUS OF 557.00 FEET, AN ARC LENGTH OF 73.07 FEET, AND A CHORD BEARING AND DISTANCE OF S 13°55'54" E, 73.02 FEET;

3) ALONG A COMPOUND CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 17°31'05", A RADIUS OF 43.00 FEET, AN ARC LENGTH OF 13.15 FEET, AND A CHORD BEARING AND DISTANCE OF S 01°24'52" E, 13.10 FEET;

4) S 07°20'54" W, A DISTANCE OF 128.67 FEET;

5) ALONG A NON-TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 07°51'01", A RADIUS OF 77.00 FEET, AN ARC LENGTH OF 10.55 FEET, AND A CHORD BEARING AND DISTANCE OF S 03°25'17" W, 10.54 FEET;

6) S 00°30'13" E, A DISTANCE OF 116.24 FEET;

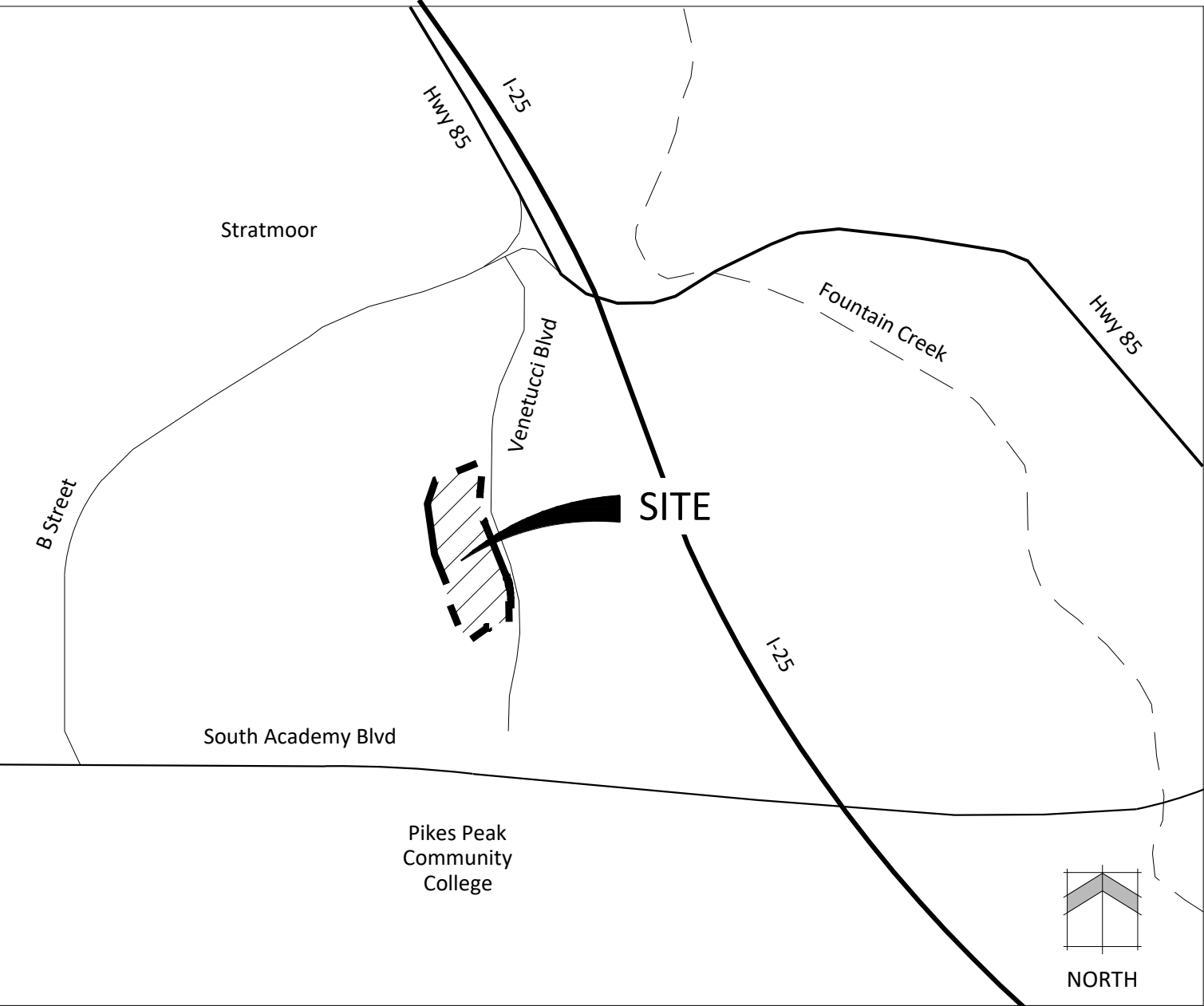
7) S 29°29'47" W, A DISTANCE OF 7.17 FEET;

8) S 00°30'13" E, A DISTANCE OF 34.55 FEET TO THE POINT OF BEGINNING.

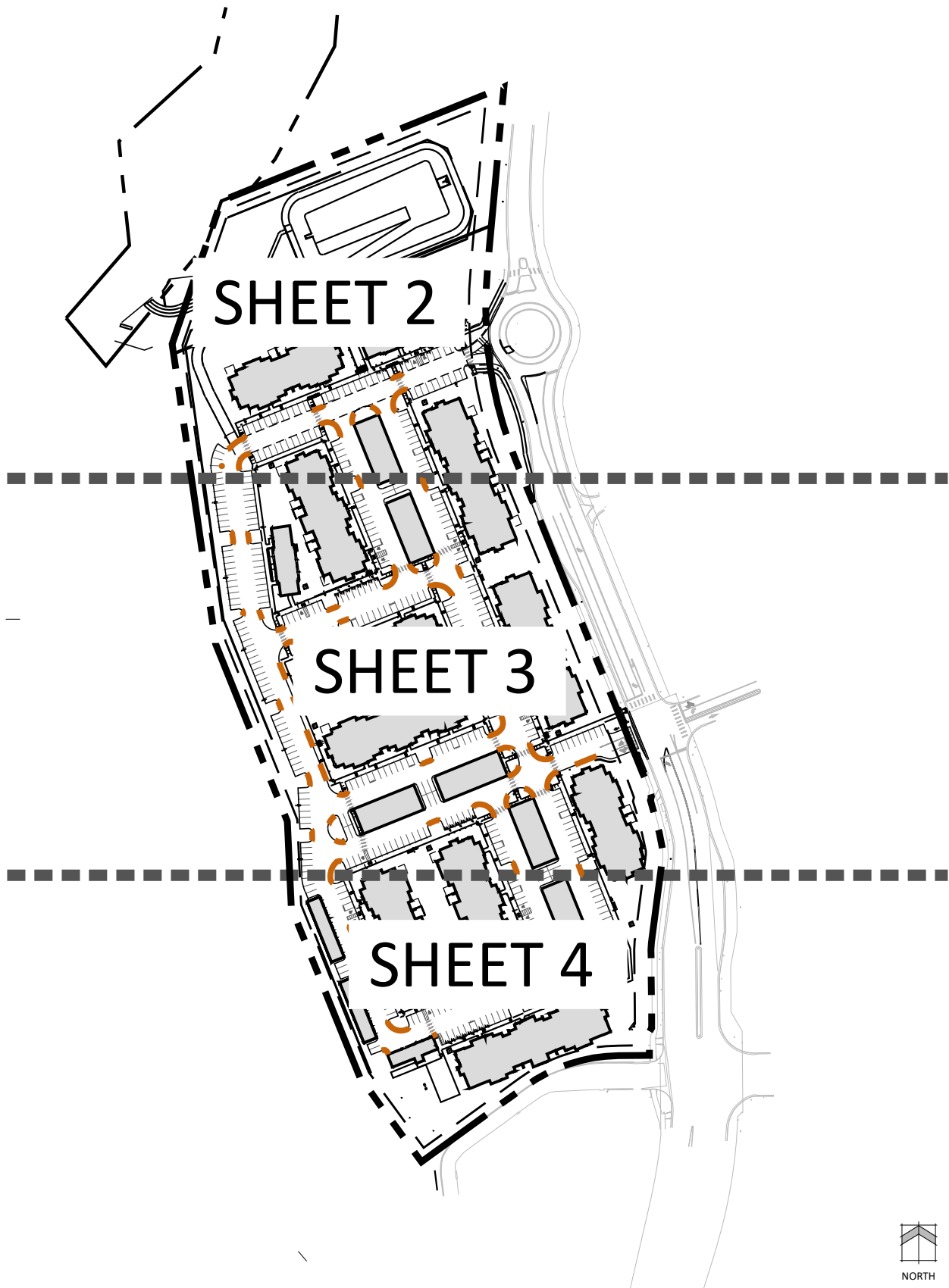
CONTAINING AN AREA OF 702,150 SQ. FT. OR 16.1192 ACRES, MORE OR LESS.

GENERAL NOTES

- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
- PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGNAGE PLAN IS REQUIRED.
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY(C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
- PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0743G, EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
- THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO INSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.
- THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY PROFESSIONAL SERVICES INDUSTRIES INC., DATED 5/8/2025 WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARDS ON THE PROPERTY: (ARTIFICIAL FILL, EXPANSIVE SOILS, POTENTIALLY UNSTABLE SLOPES, LANDSLIDE SUSCEPTIBLE AREAS, LANDSLIDE DEPOSIT, AND STEEPLY DIPPING BEDROCK).
- THE PRIVATE ROADS AS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.
- THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 24-377), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
- DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G., PREBLE'S MEADOW JUMPING MOUSE).



VICINITY MAP



OVERALL SITE - KEY MAP

SITE DATA

| | |
|--|---|
| Site Address: | Venetucci Blvd |
| Tax ID Number: | 6504300049 |
| Total Area: | 16.12 Acres |
| Development Schedule: | 2025 - 2026 |
| Current Zoning: | RM-30 |
| Proposed Use: | Multi-Family |
| Units: | 336 |
| Gross Density: | 20.8 DU/AC |
| Height Information: | |
| Max. Height Allowed: | 40' |
| Max. Height Proposed: | 40'-0" |
| Lot Coverage: | |
| Max. Allowed: | 60% |
| Max Proposed: | 28% |
| Building Setbacks: | |
| East (Venetucci Blvd): | 25' |
| Side: | 15' |
| Rear: | 15' |
| *Administrative relief is requested to reduce 20% of the 25' building setback along Venetucci Blvd at Building 10. | |
| Landscape Setbacks/Buffers: | |
| Venetucci Blvd: | 25' |
| Walmart Heights: | 15' |
| Parking Standards: | |
| Standard Formula: | 1.5 spaces / 1-bedroom unit (132 units): 198 spaces 1.7 spaces / 2-bedroom unit (168 units): 286 spaces 2 spaces / 3-bedroom unit (36 units): 72 spaces Guest Spaces 1 space / 3 dwelling units (336 total units): 112 spaces |
| Standard Required: | 668 spaces |
| Alternate Formula*: | 1.72 spaces per unit* |
| Units: | 336 |
| Alternate Provided: | 580 spaces |
| ADA Required/Provided: | 14 / 14 (11 stalls and 3 garages) |
| Garage Spaces Provided: | 115 spaces |
| Total Provided: | 580 spaces |
| *Approved Alternative Parking Ratio by PCD Director: 1.72 parking spaces per unit. | |
| Bike Parking Required (5% of Standard Code Required Parking): | 34 |
| Bike Parking Provided: | 36 |

LAND USE DATA TABLE

| LAND USE | DENSITY | UNITS | AREA | % OF LAND |
|---------------------|------------|-------|------------|-----------|
| ROADS & ASPHALT | N/A | N/A | 171,863 SF | 24.5% |
| IMPERMEABLE SURFACE | N/A | N/A | 38,481 SF | 5.5% |
| BUILDINGS (10) | 20.7 du/ac | 336 | 160,540 SF | 22.9% |
| DETENTION | N/A | N/A | 42,531 SF | 6% |
| OPEN SPACE | N/A | N/A | 111,578 SF | 15.9% |
| LANDSCAPING | N/A | N/A | 176,948 SF | 25.2% |
| TOTAL | 20.8 du/ac | 336 | 702,150 SF | 100% |

TRACT TABLE

| TRACT | AREA | USE | MAINTENANCE |
|-------|-----------|----------------------------------|----------------------------|
| A | 85,142 SF | DETENTION, OPEN SPACE, LANDSCAPE | OWNER AND/OR THEIR ASSIGNS |

PROJECT TEAM

| | |
|------------|---|
| OWNER: | CS 2005 Investments, LLC 10801 W Charleston Blvd, Suite 170 Las Vegas, NV 89135 Chad Ellington (303) 503-1016 |
| DEVELOPER: | Thompson Thrift Residential 111 Monument Circle, Suite 1500 Indianapolis, IN 46204 Donaldangu (463) 237-3261 |
| APPLICANT: | N.E.S. Inc. 619 N. Cascade Ave., Suite 200 Colorado Springs, CO 80903 Kim Johnson (719) 471-0073 |

SHEET INDEX

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| Sheet 43 of 45: | Photometric Plan |
| Sheet 44 of 45: | Photometric Plan |
| Sheet 45 of 45: | Lighting Cutsheets |



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

PROJECT INFO

| | |
|--------------|------------|
| DATE: | 11/05/2024 |
| PROJECT MGR: | K. JOHNSON |
| PREPARED BY: | J. SMITH |

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

ISSUE / REVISION

COVER SHEET

SHEET TITLE

1

1 OF 45

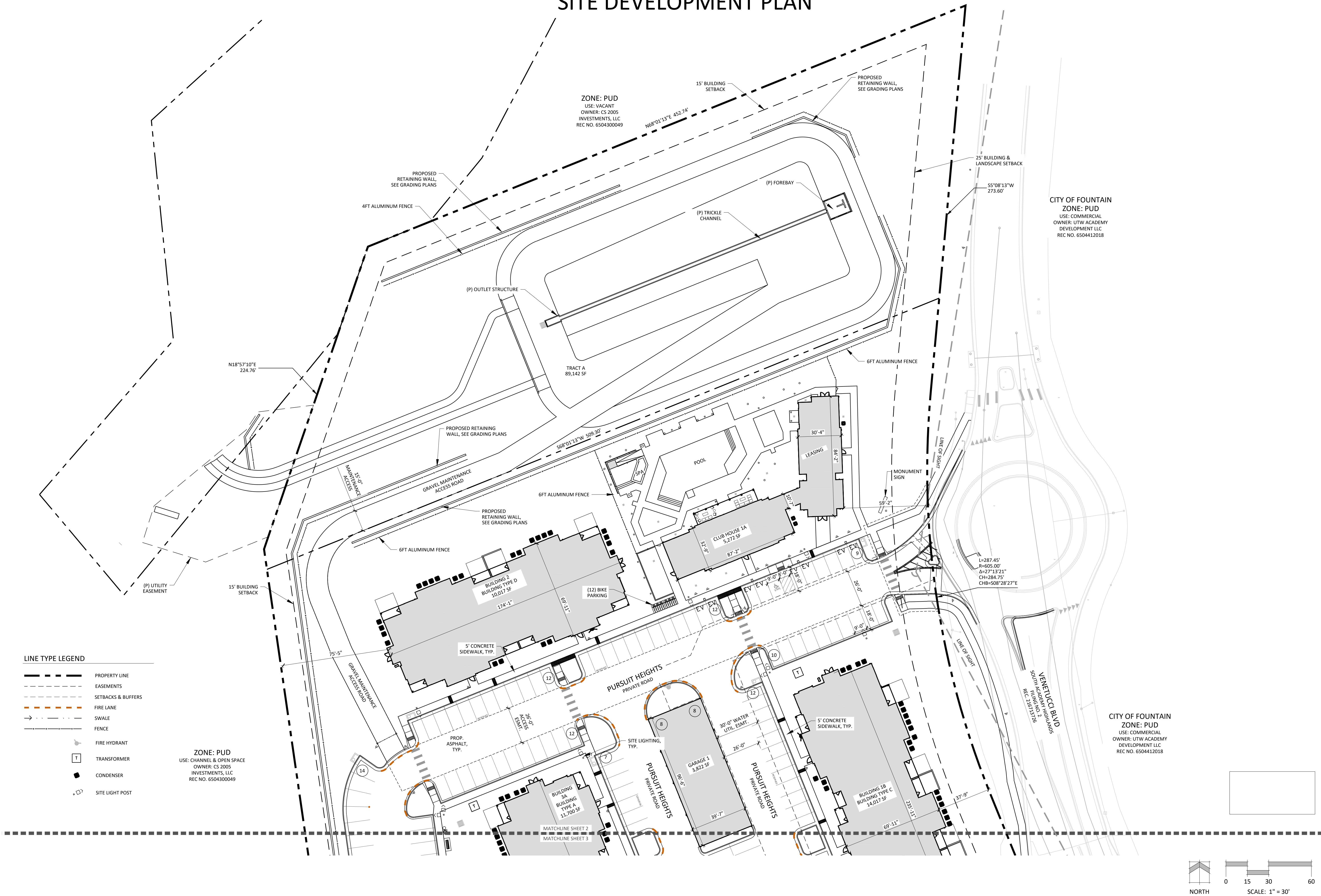
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PLAN FILE #

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VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN

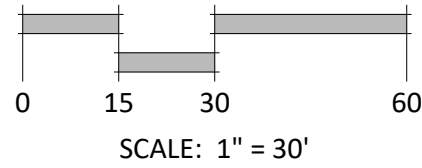
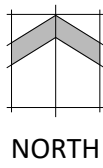


LINE TYPE LEGEND

- PROPERTY LINE
- EASEMENTS
- SETBACKS & BUFFERS
- FIRE LANE
- SWALE
- FENCE
- FIRE HYDRANT
- TRANSFORMER
- CONDENSER
- SITE LIGHT POST

ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005
INVESTMENTS, LLC
REC NO. 6504300049

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY
DEVELOPMENT LLC
REC NO. 6504412018



SCALE: 1" = 30'



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PLANNER / LANDSCAPE ARCHITECT

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VENETUCCI BLVD

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STAMP

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ISSUE / REVISION

SITE DEVELOPMENT PLAN

SHEET TITLE

2

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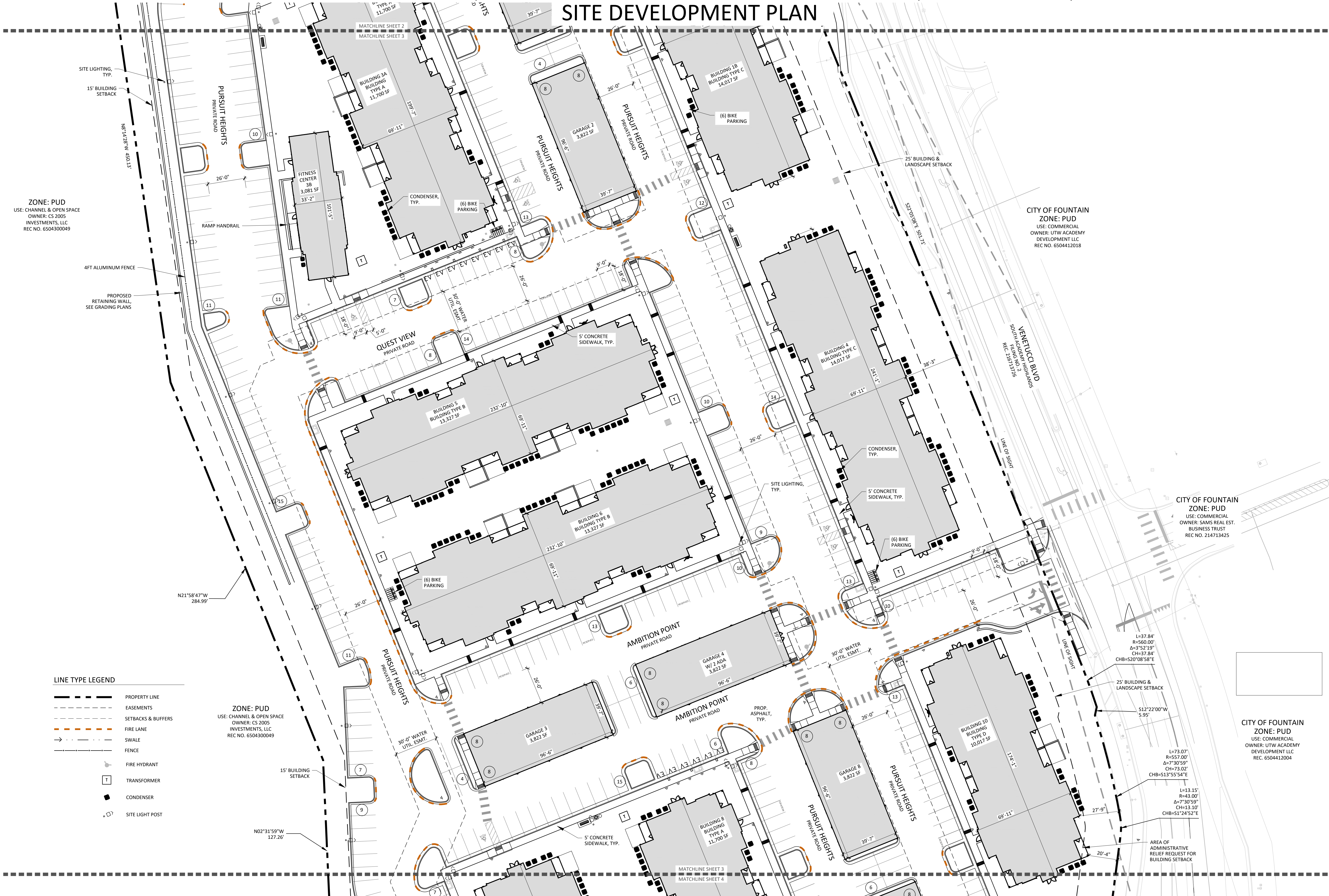
SHEET NUMBER

PLAN FILE #

PPR2444

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO SITE DEVELOPMENT PLAN



ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005 INVESTMENTS, LLC
REC NO. 6504300049

LINE TYPE LEGEND

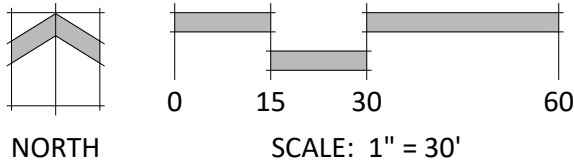
- PROPERTY LINE
- EASEMENTS
- SETBACKS & BUFFERS
- FIRE LANE
- SWALE
- FENCE
- FIRE HYDRANT
- TRANSFORMER
- CONDENSER
- SITE LIGHT POST

ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005 INVESTMENTS, LLC
REC NO. 6504300049

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC NO. 6504412018

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: SAMS REAL EST. BUSINESS TRUST
REC NO. 214713425

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC. 6504412004



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VENTURE ON VENETUCCI

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SITE DEVELOPMENT PLAN

3

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PPR2444

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN

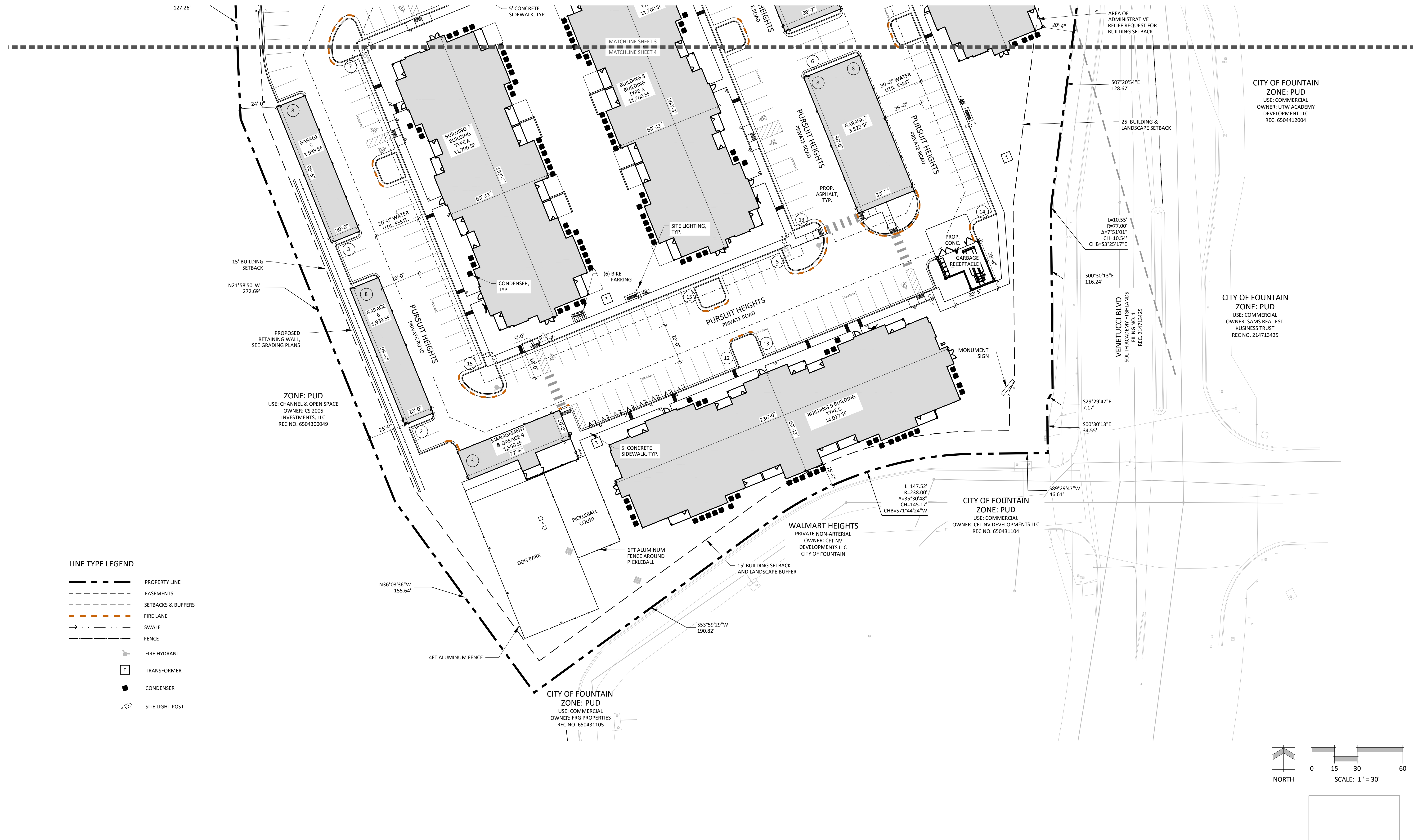


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EL PASO COUNTY, CO

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SITE DEVELOPMENT PLAN

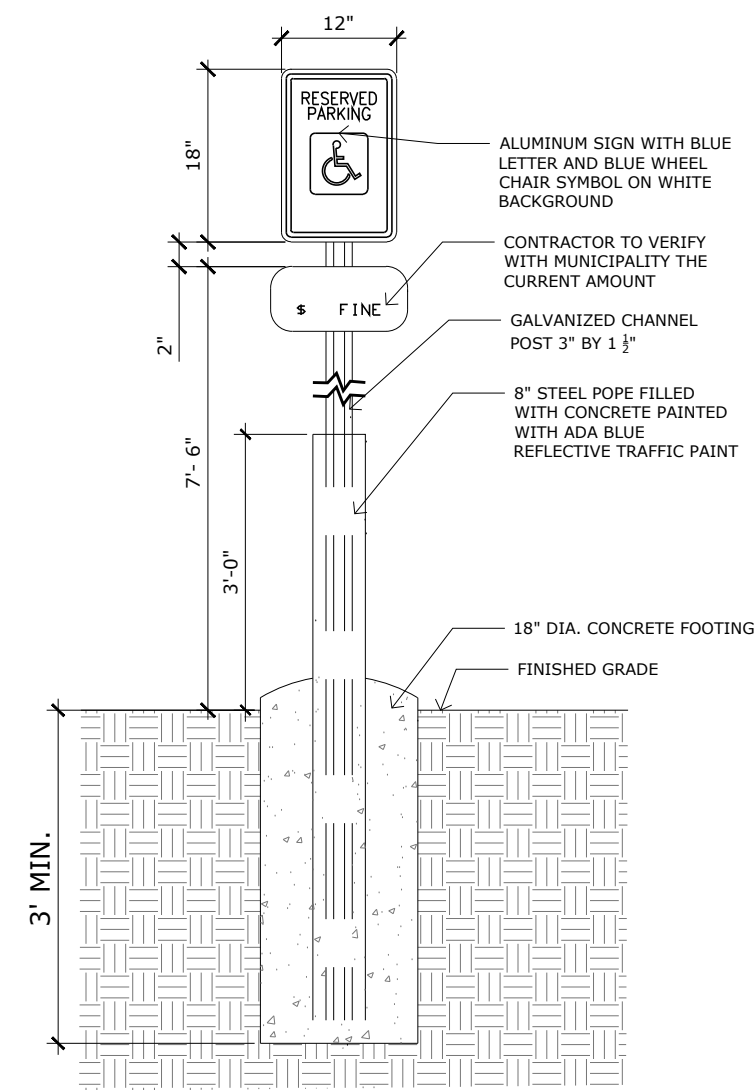
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4 OF 45

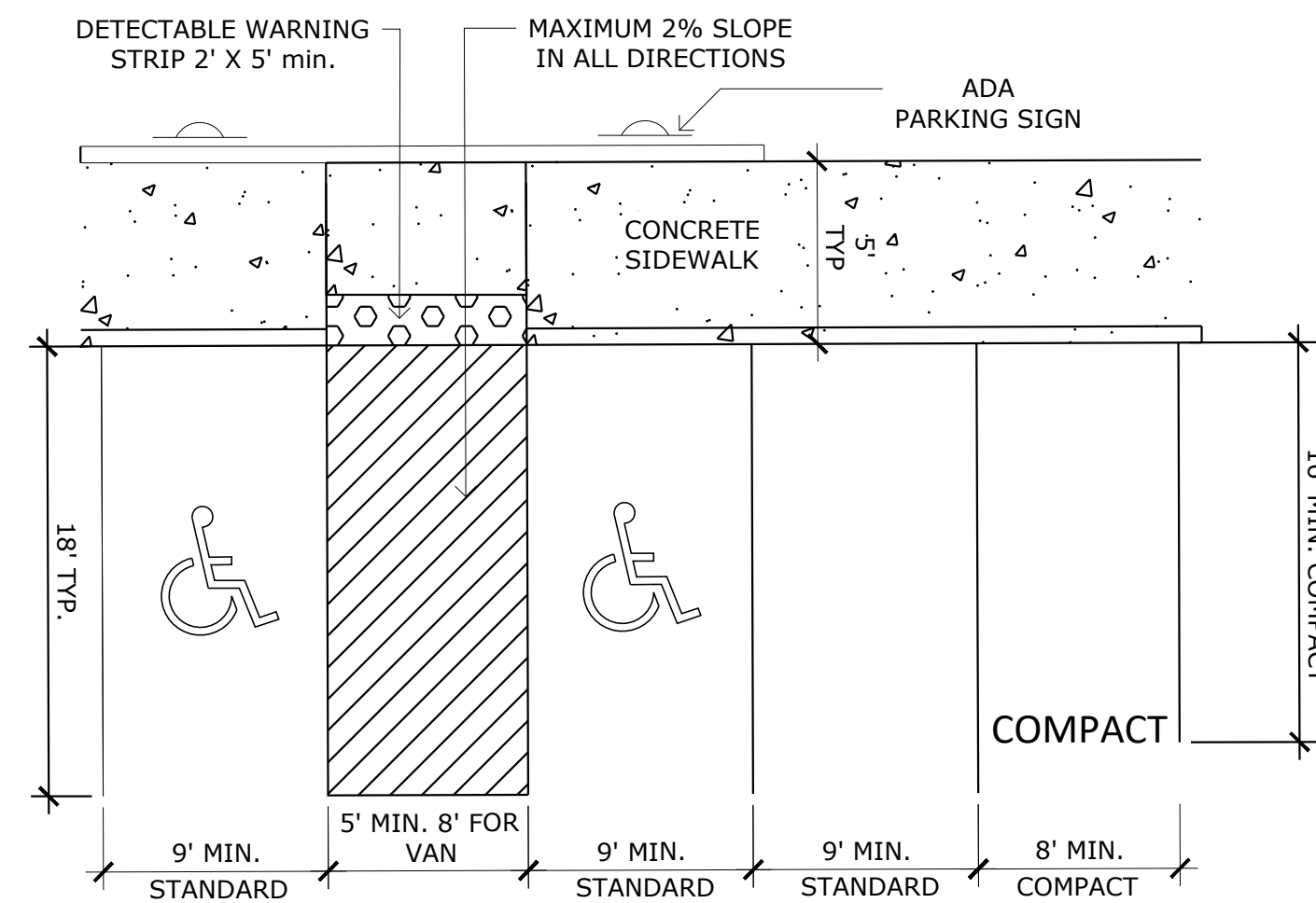
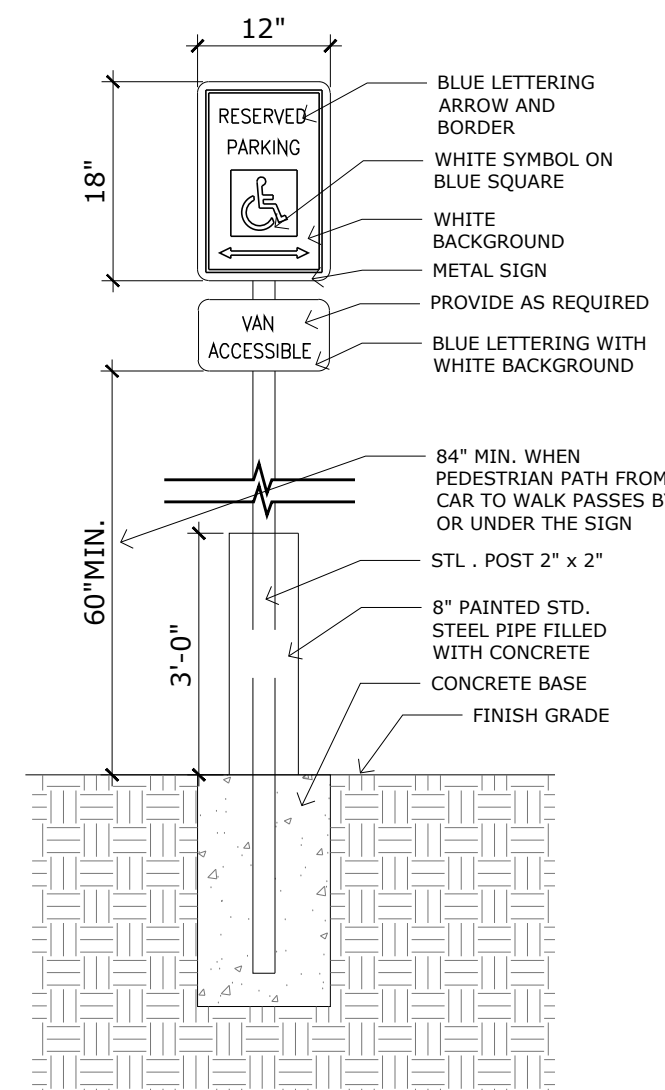
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SITE DEVELOPMENT PLAN

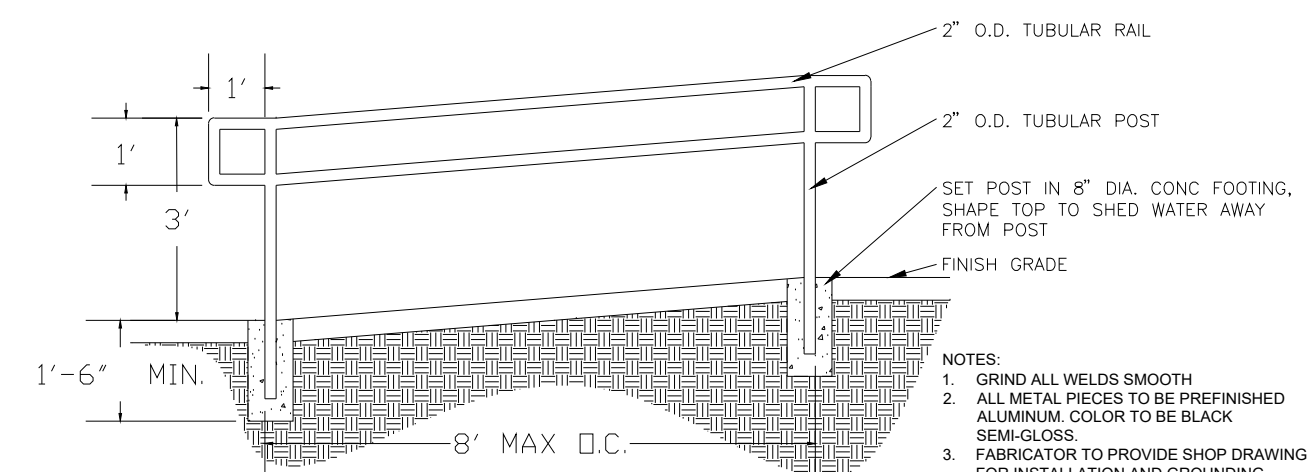
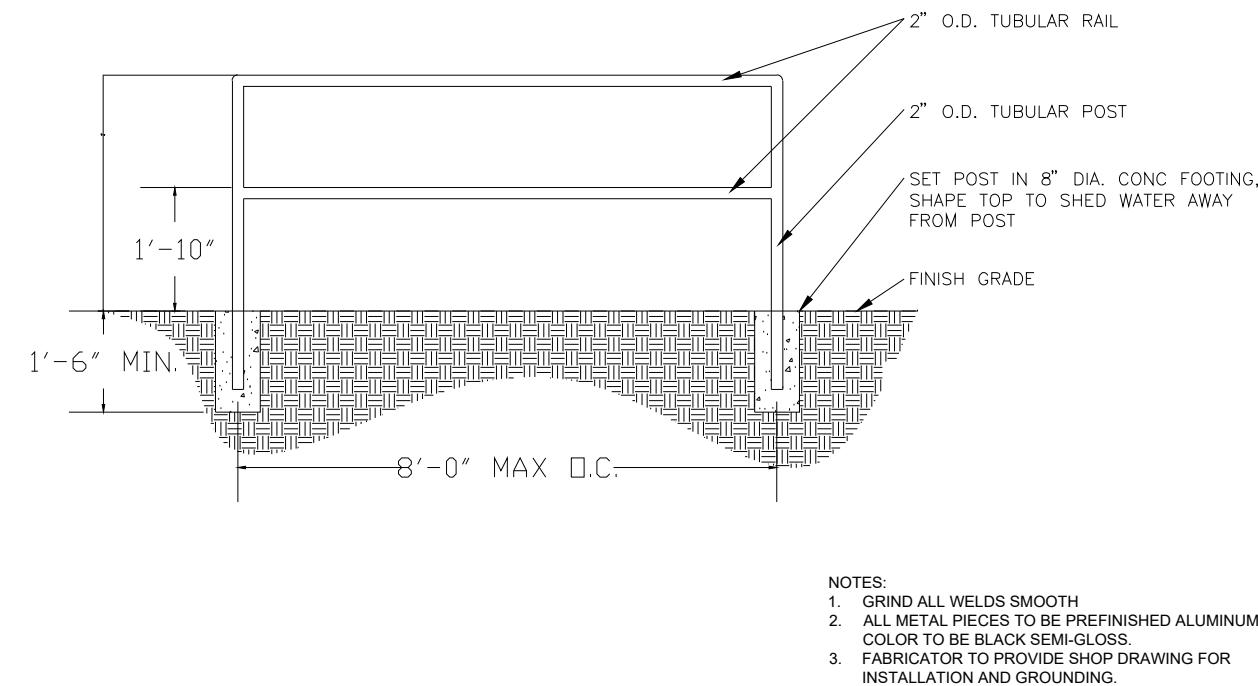


NOTES:
1. PROVIDE
SIGNAGE ON
BOTH SIDES OF
POST WHEN
REQUIRED



ADA / VAN ACCESSIBLE PARKING SIGNS

PARKING STALL LAYOUT DETAILS



NOTES:

1. GRIND ALL WELDS SMOOTH
2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
3. FABRICATOR TO PROVIDE SHOP DRAWING FOR INSTALLATION AND GROUNDING.

1 GUARDRAIL

NTS

P-TT-20

2 HANDRAIL

NTS

P-TT-21



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IN ASSOCIATION WITH

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VENETUCCI BLVD

EL PASO COUNTY, CO

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/ REVISION _____

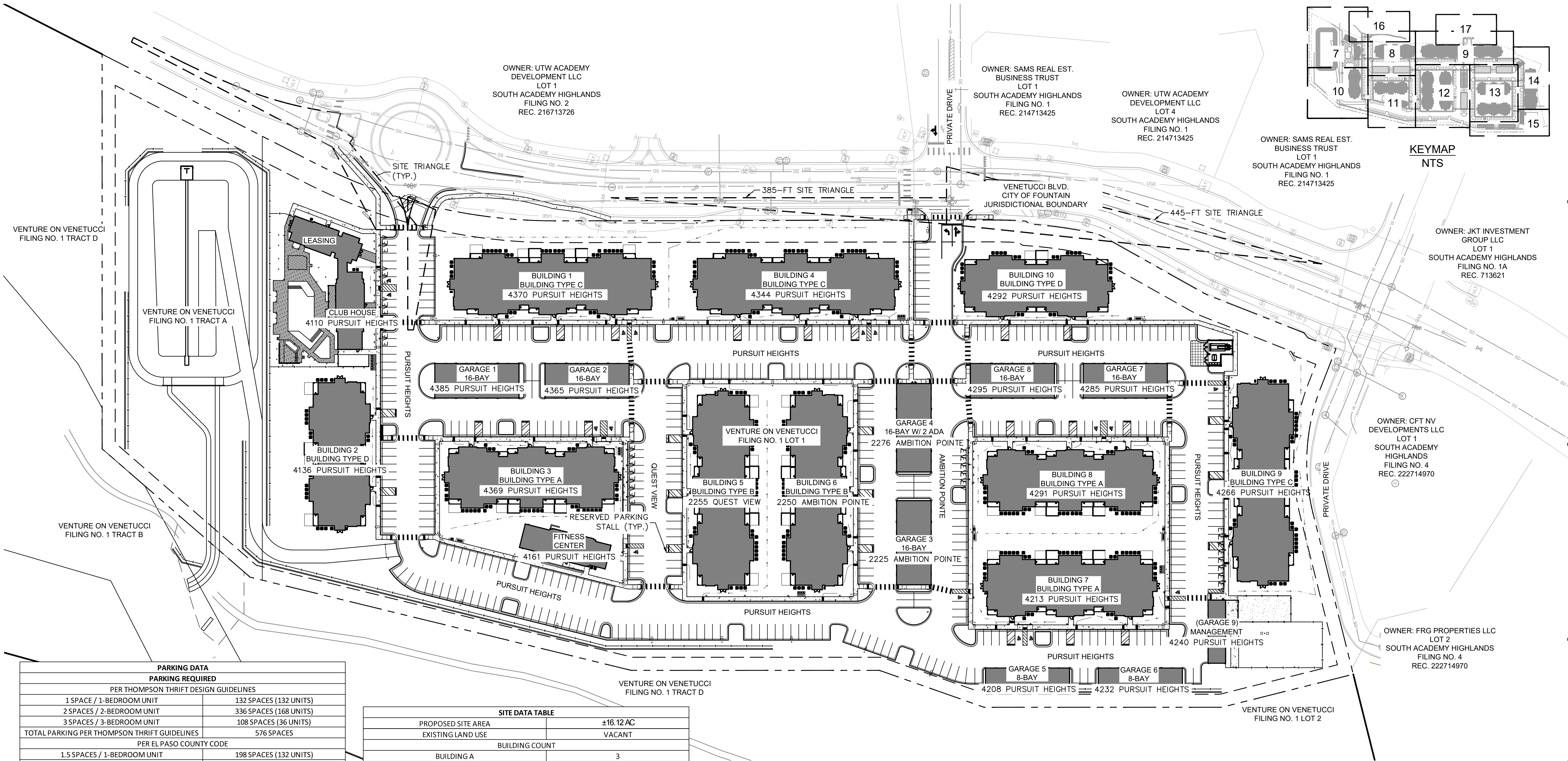
SITE DETAILS

5

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FILE PPR2444

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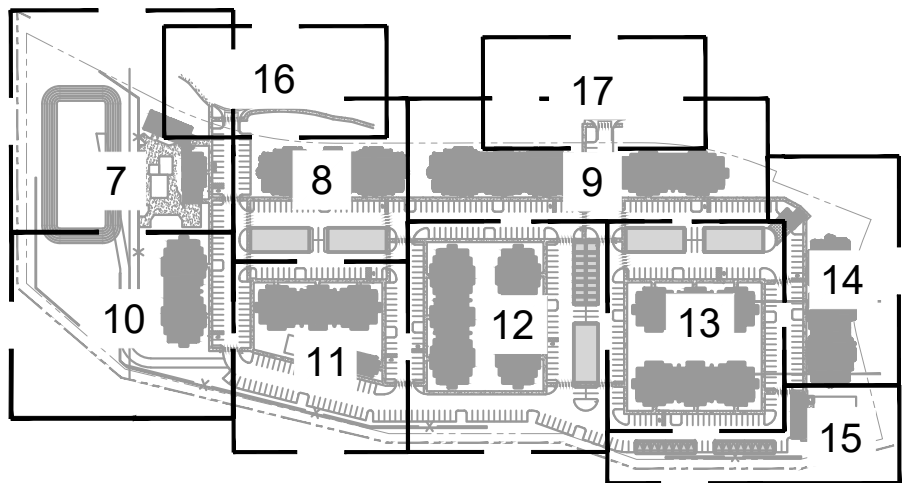
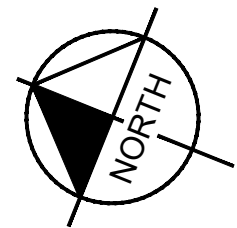
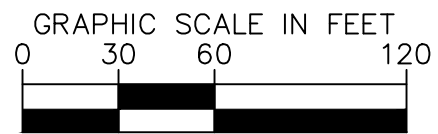


| PARKING DATA | |
|--|------------------------|
| PARKING REQUIRED | |
| PER THOMPSON THRIFT DESIGN GUIDELINES | |
| 1 SPACE / 1-BEDROOM UNIT | 132 SPACES (132 UNITS) |
| 2 SPACES / 2-BEDROOM UNIT | 336 SPACES (168 UNITS) |
| 3 SPACES / 3-BEDROOM UNIT | 108 SPACES (36 UNITS) |
| TOTAL PARKING PER THOMPSON THRIFT GUIDELINES | 576 SPACES |
| PER EL PASO COUNTY CODE | |
| 1.5 SPACES / 1-BEDROOM UNIT | 198 SPACES (132 UNITS) |
| 1.7 SPACES / 2-BEDROOM UNIT | 286 SPACES (168 UNITS) |
| 2 SPACES / 3-BEDROOM UNIT | 72 SPACES (36 UNITS) |
| TOTAL PARKING PER EL PASO COUNTY CODE | 682 SPACES* |
| ACCESSIBLE (2% OF STANDARD PARKING) | 14 SPACES |
| GUEST (1 SPACE / 3 DWELLING UNITS) | 112 SPACES (336 UNITS) |
| TOTAL PARKING PROVIDED | |
| STANDARD SURFACE PARKING | 397 |
| ELECTRIC VEHICLE (EV) PARKING | 27 |
| ELECTRIC VEHICLE (EV) ADA PARKING | 1 |
| ELECTRIC VEHICLE (EV) RESERVED | 1 |
| STANDARD ADA SURFACE PARKING | 8 |
| ADA VAN SURFACE PARKING | 3 |
| RESERVED SURFACE PARKING | 28 |
| TOTAL SURFACE PARKING | 465 |
| STANDARD GARAGE PARKING | 112 |
| STANDARD ADA GARAGE PARKING | 3 |
| TOTAL GARAGE PARKING | 115 |
| TOTAL PARKING PROVIDED | 580 |

*Variance was approved allowing a 15% reduction in required parking, making the required parking per El Paso County code 579 spaces.

| SITE DATA TABLE | | |
|--------------------|--|-----------|
| PROPOSED SITE AREA | | ±16.12 AC |
| EXISTING LAND USE | | VACANT |
| BUILDING COUNT | | |
| BUILDING A | | 3 |
| BUILDING B | | 2 |
| BUILDING C | | 3 |
| BUILDING D | | 2 |
| BUILDING UNITS | | 336 UNITS |
| 1-BEDROOM UNIT | | 132 UNITS |
| 2-BEDROOM UNIT | | 168 UNITS |
| 3-BEDROOM UNIT | | 36 UNITS |

| BUILDING DATA TABLE | | | | | |
|------------------------|---------------------|------------|-------------|------------------------|-----------------------------|
| BUILDING TYPE | NUMBER OF BUILDINGS | UNIT COUNT | TOTAL UNITS | TOTAL GSF PER BUILDING | TOTAL GSF PER BUILDING TYPE |
| THREE-STORY BUILDING A | 3 | 36 | 108 | 34747 | 104241 |
| THREE-STORY BUILDING B | 2 | 36 | 72 | 39639 | 79278 |
| THREE-STORY BUILDING C | 3 | 36 | 108 | 41743 | 125229 |
| THREE-STORY BUILDING D | 2 | 24 | 48 | 29748 | 59496 |
| TOTALS | 10 | | 336 | | 368244 |



KEYMAP
NTS



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Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

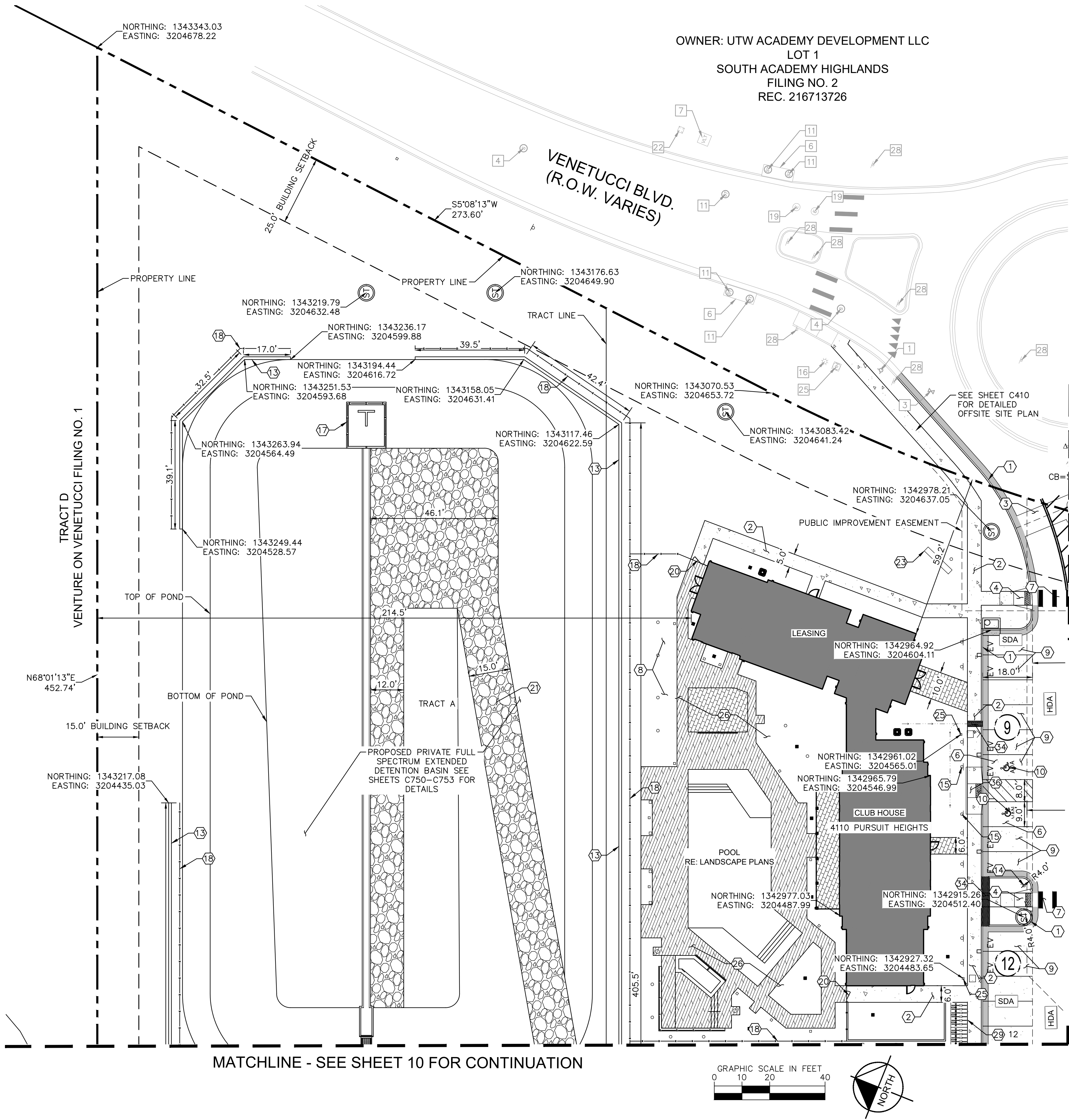
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

OVERALL SITE PLAN

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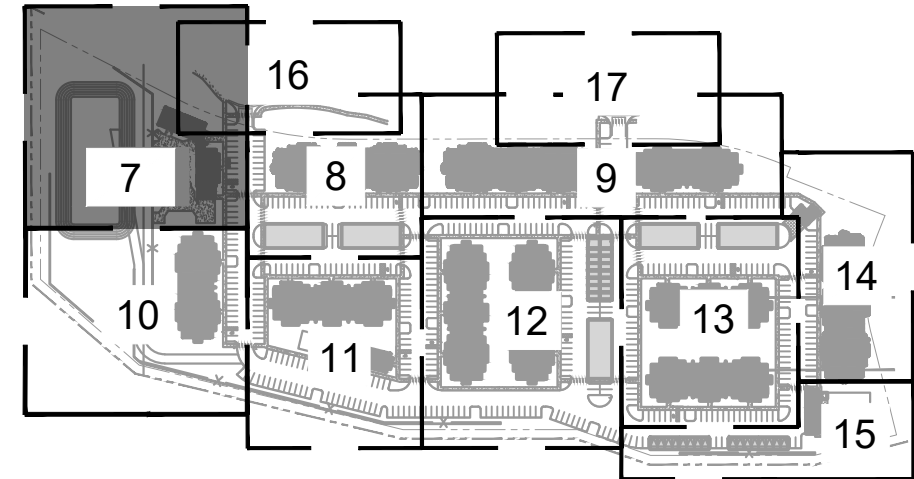


KEY NOTES: PROPOSED

- PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYPE B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
- PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL
- PROPOSED ACCESS AND CROSSPAN PER COLORADO SPRINGS DETAIL D7B
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- PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS
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- PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS FOR STRIPING AND SIGNAGE DETAILS
- PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS
- PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS
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- PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS
- PROPOSED GATE - REF. CONSTRUCTION DETAILS
- PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS
- PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS
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- PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
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- PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) REF. CONSTRUCTION DETAILS
- PROPOSED STRIPING - REF. CONSTRUCTION DETAILS
- PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25
- PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS
- PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
- RESERVED PARKING SIGNAGE BY OWNER, TYP.
- RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
- CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS

KEY NOTES: EXISTING

| | | |
|------------------------------|----------------------------------|-----------------------------|
| 1 EX. FIRE HYDRANT | 12 EX. TRAFFIC CONTROL STRUCTURE | 23 EX. TELEPHONE BOX |
| 2 EX. WATER LINE | 13 EX. UNDERGROUND ELECTRIC LINE | 24 EX. STORM GRATE |
| 3 EX. WATER VALVE | 14 EX. OVERHEAD ELECTRIC LINE | 25 EX. ELECTRICAL EQUIPMENT |
| 4 EX. SANITARY SEWER MANHOLE | 15 EX. ELECTRIC METER | 26 EX. ELECTRICAL BOX |
| 5 EX. SANITARY SEWER | 16 EX. STREETLIGHT | 27 EX. IRRIGATION EQUIPMENT |
| 6 EX. STORM SEWER INLET | 17 EX. TRANSFORMER | 28 EX. SIGN |
| 7 EX. ELECTRIC VAULT | 18 EX. WATER METER | |
| 8 EX. FIBER OPTIC VAULT | 19 EX. ELECTRIC MANHOLE | |
| 9 EX. GAS LINE | 20 EX. TRAFFIC VAULT | |
| 10 EX. TELEPHONE LINE | 21 EX. STORM SEWER | |
| 11 EX. STORM MANHOLE | 22 EX. FIBER OPTIC BOX | |



KEYMAP NTS

NOTES

- ALL INTERNAL DRIVES TO BE PRIVATE.
- ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
- SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
- ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
- NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
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ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
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- RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
- NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

LEGEND

- PROPERTY LINE
- BUILDING AND LANDSCAPE SETBACK
- PROPOSED EASEMENT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED RIP RAP
- PROPOSED GRAVEL MAINTENANCE PATH
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED POOL DECK CONCRETE AND SUBBASE PER LANDSCAPE PLANS
- PROPOSED PAVERS PER LANDSCAPE PLANS
- PROPOSED SIDEWALK CHASE PLATE
- PROPOSED CURB AND GUTTER (TYPE A)
- PROPOSED CURB AND GUTTER (TYPE B)
- PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
- PROPOSED HAND RAIL
- PROPOSED FENCE
- PROPOSED SWALE
- PROPOSED HVAC
- PROPOSED LIGHTPOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET, TYPE R
- PROPOSED TRANSFORMER
- PROPOSED AREA DRAIN
- PROPOSED STORM INLET, TYPE C



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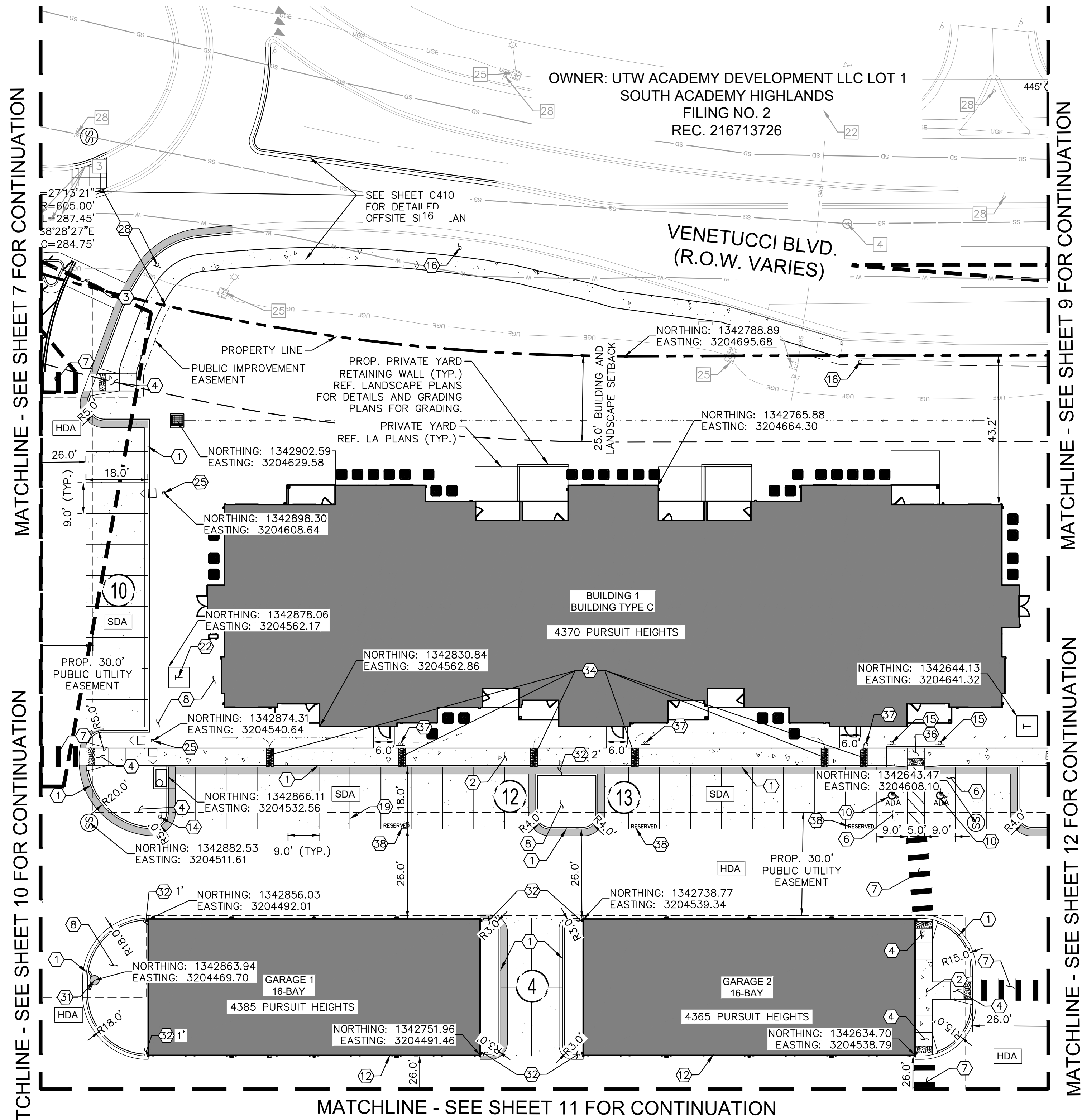
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE PLAN

7



LEGEND

PROPERTY LINE

BUILDING AND LANDSCAPE
SETBACK

PROPOSED EASEMENT






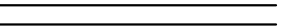


PROPOSED STANDARD DUTY
ASPHALT PAVEMENT







PROPOSED CONCRETE SIDEWALK

PROPOSED HEAVY DUTY
ASPHALT PAVEMENT

PROPOSED RIP RAP

PROPOSED CHASE PLATE

| | |
|---|---|
|  | PROPOSED GRAVEL MAINTENANCE PATH |
|  | PROPOSED HEAVY DUTY CONCRETE |
|  | PROPOSED CURB AND GUTTER |
|  | PROPOSED CURB AND GUTTER |
|  | PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV") |
|  | PROPOSED HAND RAIL |
|  | PROPOSED SWALE |
|  | PROPOSED HVAC |

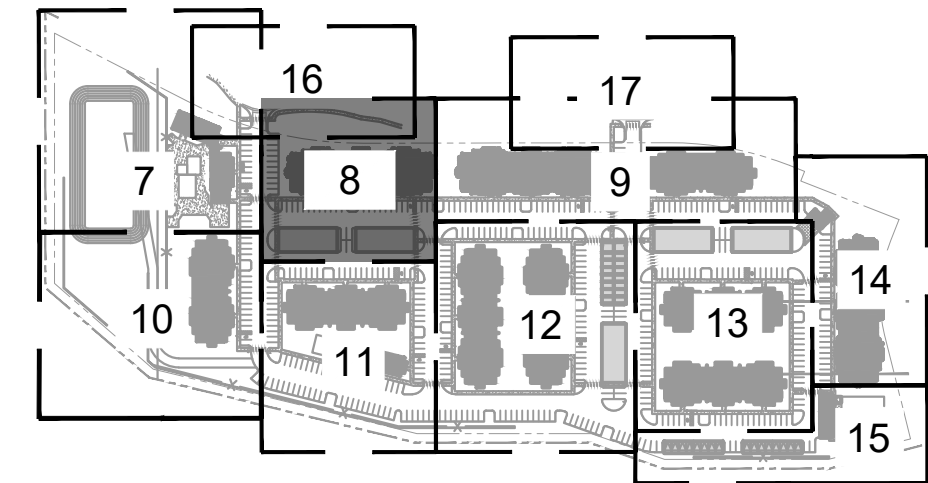
| | | |
|----|---|---------------------------------|
| a |  | PROPOSED LIGHTPOLE |
| |  | PROPOSED STORM SEWER MANHOLE |
| A) |  | PROPOSED STORM INLET, TYPE R |
| B) |  | PROPOSED TRANSFORMER |
| |  | PROPOSED AREA DRAIN |
| |  | PROPOSED STORM INLET, TYPE C |

NOTES

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| | |
|----|-------------------------------|
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| 3 | EX. WATER VALVE |
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| 21 | EX. STORM SEWER |
| 22 | EX. FIBER OPTIC BOX |
| 23 | EX. TELEPHONE BOX |
| 24 | EX. STORM GRATE |
| 25 | EX. ELECTRICAL EQUIPMENT |
| 26 | EX. ELECTRICAL BOX |
| 27 | EX. IRRIGATION EQUIPMENT |
| 28 | EX. SIGN |

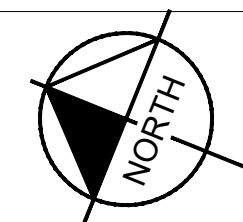
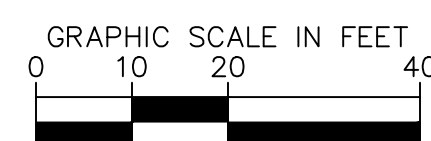


KEYMA



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| | |
|---|---|
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| ⑱ | PROPOSED FENCE – REF. LANDSCAPE PLANS FOR DETAILS |
| ⑲ | PROPOSED 4" WIDE PARKING STRIPE (TYP.) – REF. CONSTRUCTION DETAILS |
| ⑳ | PROPOSED GATE – REF. CONSTRUCTION DETAILS |
| ㉑ | PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD – REF. POND DETAILS |
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| ㊳ | RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING |
| ㊴ | CURB RAMP PER COLORADO SPRINGS DETAIL D-8A |
| ㊵ | 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS |



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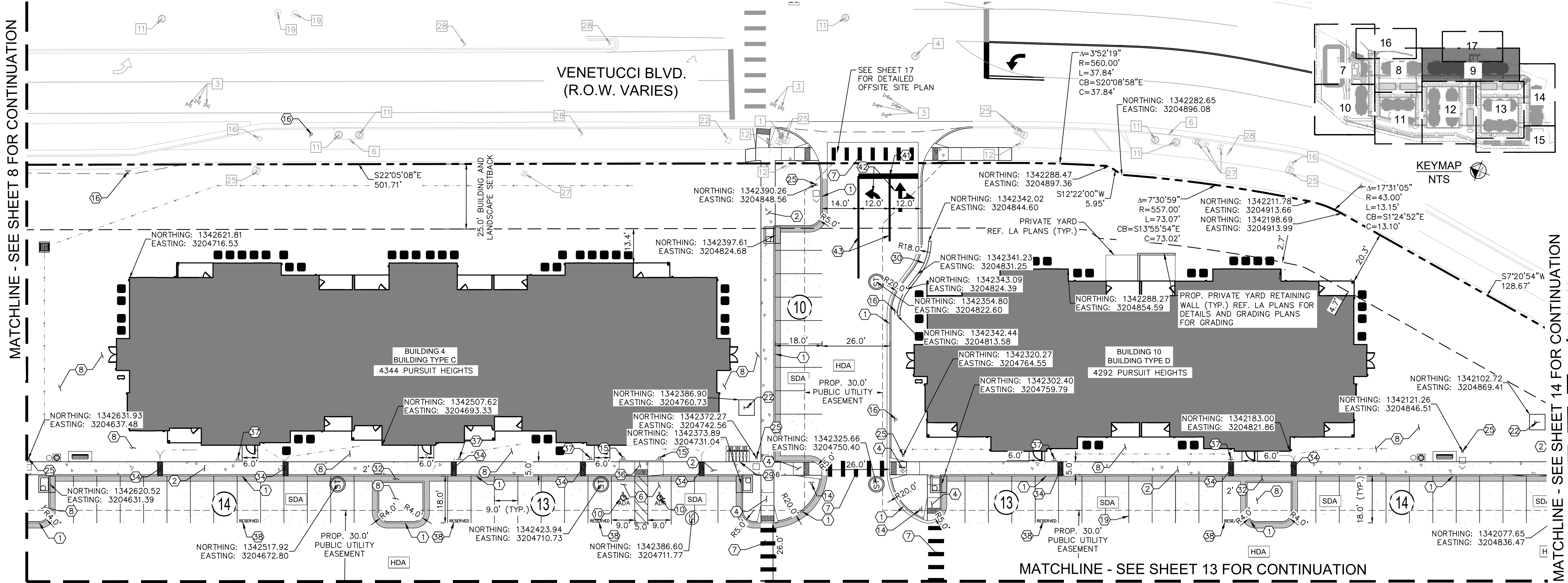
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DATE: BY: DESCRIPTION:

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8

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| | | | |
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| | | 37 | RESERVED PARKING SIGNAGE BY OWNER, TYP. |
| | | 38 | RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING |
| | | 39 | CURB RAMP PER COLORADO SPRINGS DETAIL D-8A |
| | | 40 | 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS |

KEY NOTES: EXISTING

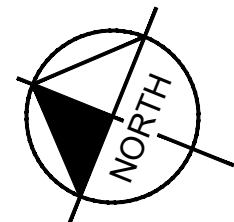
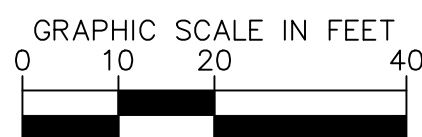
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|----|---|----|--------------------------|
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| 13 | EX. UNDERGROUND ELECTRIC LINE | 27 | EX. IRRIGATION EQUIPMENT |
| 14 | EX. OVERHEAD ELECTRIC LINE | 28 | EX. SIGN |
| 41 | PROPOSED STOP LINE, WHITE, 24" WIDE REF. CDOT STANDARD PLAN NO. S-627-1, SHEET 3 | | |
| 42 | PROPOSED PAVEMENT MARKING, WHITE, SIZE PER CDOT STANDARD PLAN NO. S-627-1, SHEET 8 | | |
| 43 | PROPOSED CHANNELIZING LINE, WHITE, 8" WIDE REF. CDOT STANDARD PLAN NO. S-627-1, SHEET 3 | | |

NOTES

- ALL INTERNAL DRIVES TO BE PRIVATE.
- ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
- SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
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- NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
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STORM INLETS (AREA): CENTER OF GRATE
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BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
6. RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
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LEGEND

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| --- | BUILDING AND LANDSCAPE SETBACK |
| --- | PROPOSED EASEMENT |
| SDA | PROPOSED STANDARD DUTY ASPHALT PAVEMENT |
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Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

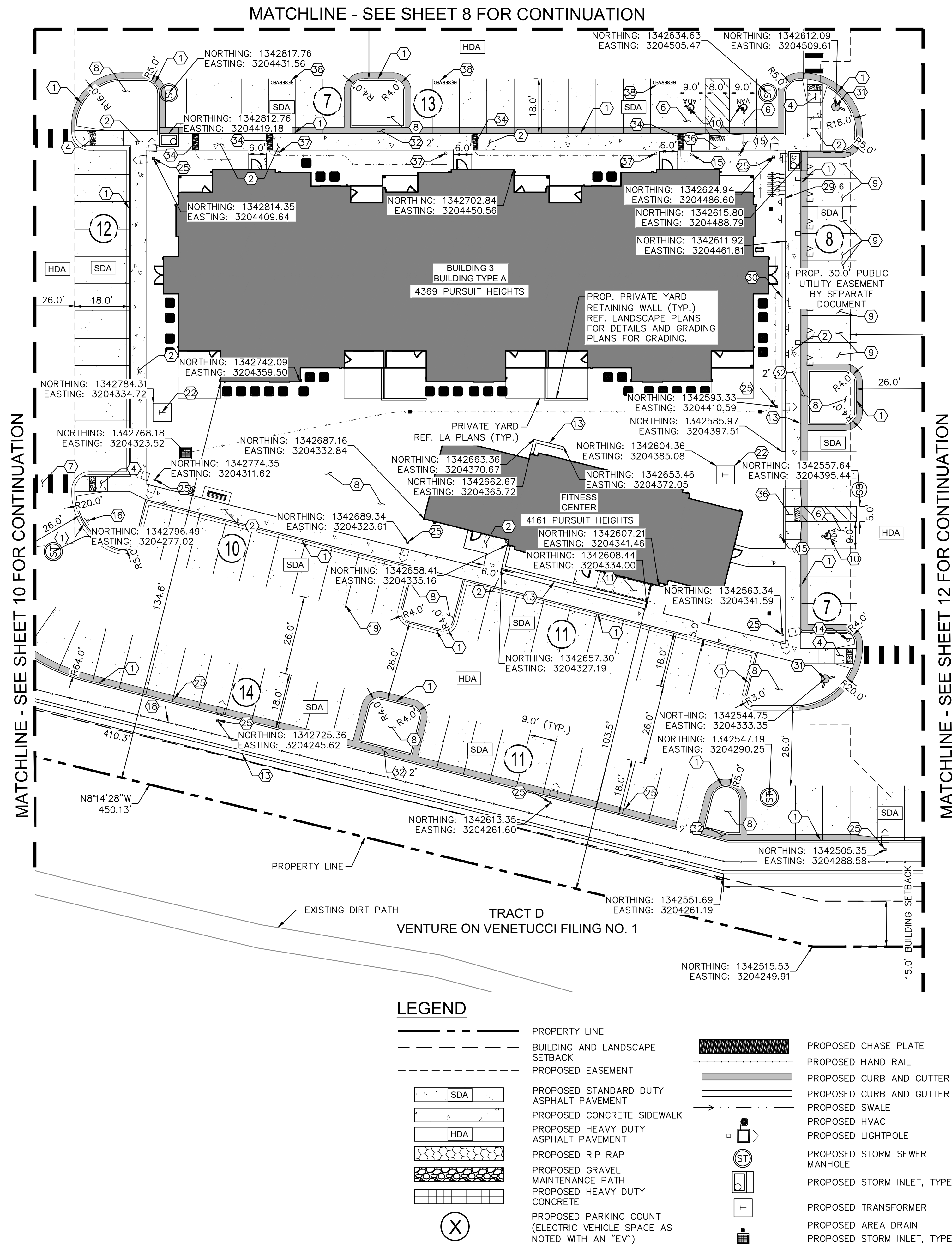
OTHER INFO

DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE PLAN



OTHER INFO

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| PROJECT INFO | DATE: | 05/22/2025 |
| | PROJECT MGR: | MTH |
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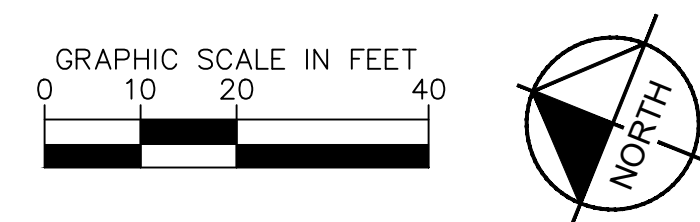
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| ⑲ | PROPOSED 4" WIDE PARKING STRIPE (TYP.) – REF. CONSTRUCTION DETAILS |
| ⑳ | PROPOSED GATE – REF. CONSTRUCTION DETAILS |
| ㉑ | PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD – REF. POND DETAILS |
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| ㉔ | PROPOSED STREET SIGN – REF. THOMPSON THRIFT SIGN DETAIL |
| ㉕ | PROPOSED LIGHT POLE (TYP.) – REF. LIGHTING PLANS FOR DETAILS |
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| ㉚ | NOT USED |
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| | | | | | |
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| 1 | EX. FIRE HYDRANT | 13 | EX. UNDERGROUND ELECTRIC LINE | 25 | EX. ELECTRICAL EQUIPMENT |
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0 GRAPHIC SCALE IN FEET 10 20 40

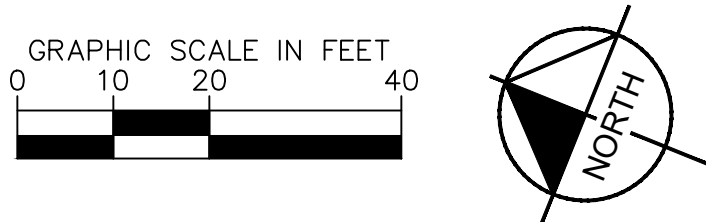
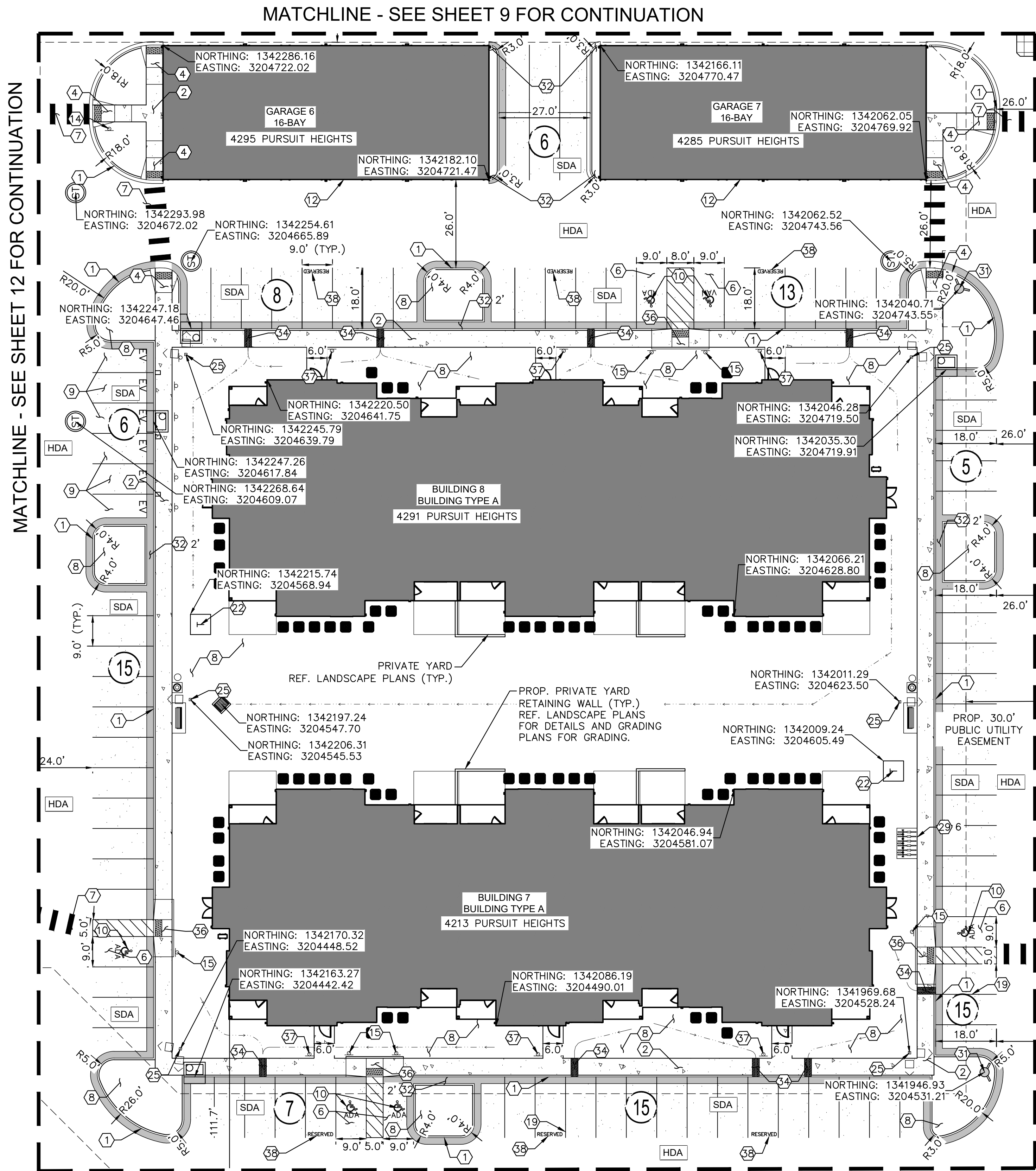
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MATCHLINE - SEE SHEET 8 FOR CONTINUATION

MATCHLINE - SEE SHEET 11 FOR CONTINUATION

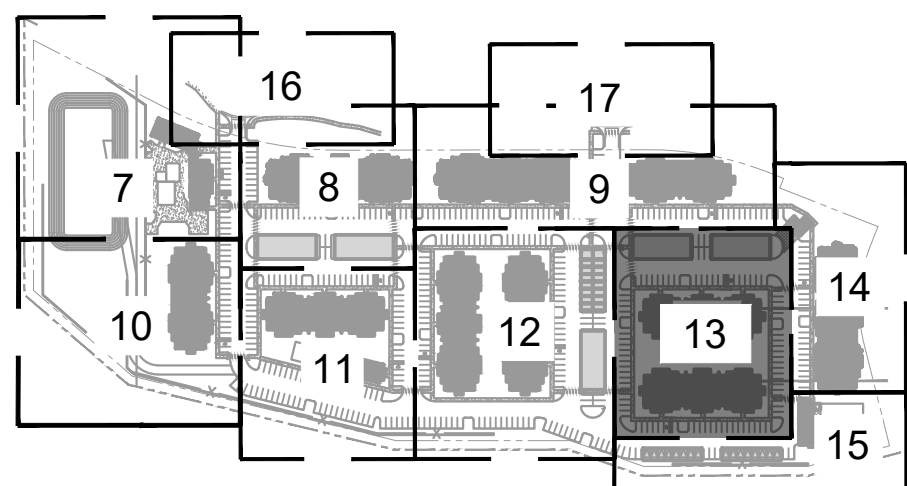
MATCHLINE - SEE SHEET 13 FOR CONTINUATION

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KEY NOTES: PROPOSED

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KEYMAP
NTS

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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

Kimley»Horn

2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

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VENETUCCI BLVD

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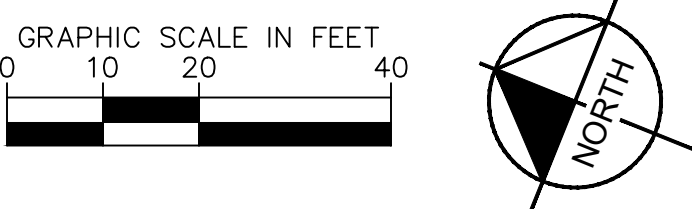
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| ㉒ | PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD – REF. POND DETAILS |
| ㉓ | PROPOSED TRANSFORMER – REF. MEP PLANS FOR DETAILS |
| ㉔ | PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT) |
| ㉕ | PROPOSED STREET SIGN – REF. THOMPSON THRIFT SIGN DETAIL |
| ㉖ | PROPOSED LIGHT POLE (TYP.) – REF. LIGHTING PLANS FOR DETAILS |
| ㉗ | PROPOSED AMENITY AREA – REF. LANDSCAPE PLANS FOR DETAILS |
| ㉘ | PROPOSED DOG PARK WITH FENCE – REF. LANDSCAPE PLANS FOR DETAILS |
| ㉙ | PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN) |
| ㉚ | PROPOSED BIKE RACKS (NUMBER PER PLAN) – REF. LANDSCAPE DETAILS |
| ㉛ | NOT USED |
| ㉜ | PROPOSED FIRE HYDRANT – REF. UTILITY PLANS FOR DETAILS |
| ㉝ | PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) – REF. CONSTRUCTION DETAILS |
| ㉞ | PROPOSED STRIPING – REF. CONSTRUCTION DETAILS |
| ㉟ | PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25 |
| ㊱ | PROPOSED WHEEL STOP, NUMBER PER PLAN – REF. CONSTRUCTION DETAILS |
| ㊲ | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50. |
| ㊳ | RESERVED PARKING SIGNAGE BY OWNER, TYP. |
| ㊴ | RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING |
| ㊵ | CURB RAMP PER COLORADO SPRINGS DETAIL D-8A |
| ㊶ | 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS |

| | | | | | |
|----|----------------------------|----|-------------------------------|----|--------------------------|
| 1 | EX. FIRE HYDRANT | 11 | EX. STORM MANHOLE | 21 | EX. STORM SEWER |
| 2 | EX. WATER LINE | 12 | EX. TRAFFIC CONTROL STRUCTURE | 22 | EX. FIBER OPTIC BOX |
| 3 | EX. WATER VALVE | 13 | EX. UNDERGROUND ELECTRIC LINE | 23 | EX. TELEPHONE BOX |
| 4 | EX. SANITARY SEWER MANHOLE | 14 | EX. OVERHEAD ELECTRIC LINE | 24 | EX. STORM GRATE |
| 5 | EX. SANITARY SEWER | 15 | EX. ELECTRIC METER | 25 | EX. ELECTRICAL EQUIPMENT |
| 6 | EX. STORM SEWER INLET | 16 | EX. STREETLIGHT | 26 | EX. ELECTRICAL BOX |
| 7 | EX. ELECTRIC VAULT | 17 | EX. TRANSFORMER | 27 | EX. IRRIGATION EQUIPMENT |
| 8 | EX. FIBER OPTIC VAULT | 18 | EX. WATER METER | 28 | EX. SIGN |
| 9 | EX. GAS LINE | 19 | EX. ELECTRIC MANHOLE | | |
| 10 | EX. TELEPHONE LINE | 20 | EX. TRAFFIC VAULT | | |





| | |
|---|--|
| ① | PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYPE B SP PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20 |
| ② | PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS |
| ③ | PROPOSED ACCESS AND CROSSPAN PER COLORADO SPRINGS DETAIL D7B |
| ④ | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41 |
| ⑤ | PROPOSED TRASH ENCLOSURE WITH SCREEN WALL – REF. ARCHITECT PLANS FOR DETAILS |
| ⑥ | PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) – REF. CONSTRUCTION DETAILS |
| ⑦ | PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) – REF. CONSTRUCTION DETAILS |
| ⑧ | PROPOSED LANDSCAPE AREA – REF. LANDSCAPE PLANS FOR DETAILS |
| ⑨ | PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) – REF. CONSTRUCTION DETAILS |
| ⑩ | PROPOSED ADA PARKING STRIPING – REF. CONSTRUCTION DETAILS |
| ⑪ | PROPOSED SIDEWALK RAMP WITH HANDRAILS – REF. CONSTRUCTION DETAILS |
| ⑫ | PROPOSED DETACHED GARAGE – REF. ARCHITECT PLANS FOR DETAILS |
| ⑬ | PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED – REF. DETAILED GRADING PLANS FOR HEIGHT |
| ⑭ | PROPOSED R1-1 STOP SIGN (30 IN X 30 IN) |
| ⑮ | PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN |
| ⑯ | PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN) |
| ⑰ | PROPOSED FOREBAY – REF. POND PLANS FOR DETAILS |
| ⑱ | PROPOSED FENCE – REF. LANDSCAPE PLANS FOR DETAILS |
| ⑲ | PROPOSED 4" WIDE PARKING STRIPE (TYP.) – REF. CONSTRUCTION DETAILS |
| ㉑ | PROPOSED GATE – REF. CONSTRUCTION DETAILS |
| ㉒ | PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD – REF. POND DETAILS |
| ㉓ | PROPOSED TRANSFORMER – REF. MEP PLANS FOR DETAILS |
| ㉔ | PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT) |

| | |
|----|---|
| 24 | PROPOSED STREET SIGN – REF. THOMPSON THRIFT SIGN DETAIL |
| 25 | PROPOSED LIGHT POLE (TYP.) – REF. LIGHTING PLANS FOR DETAILS |
| 26 | PROPOSED AMENITY AREA – REF. LANDSCAPE PLANS FOR DETAILS |
| 27 | PROPOSED DOG PARK WITH FENCE – REF. LANDSCAPE PLANS FOR DETAILS |
| 28 | PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN) |
| 29 | PROPOSED BIKE RACKS (NUMBER PER PLAN) – REF. LANDSCAPE DETAILS |
| 30 | NOT USED |
| 31 | PROPOSED FIRE HYDRANT – REF. UTILITY PLANS FOR DETAILS |
| 32 | PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) – REF. CONSTRUCTION DETAILS |
| 33 | PROPOSED STRIPING – REF. CONSTRUCTION DETAILS |
| 34 | PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25 |
| 35 | PROPOSED WHEEL STOP, NUMBER PER PLAN – REF. CONSTRUCTION DETAILS |
| 36 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50. |
| 37 | RESERVED PARKING SIGNAGE BY OWNER, TYP. |
| 38 | RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING |
| 39 | CURB RAMP PER COLORADO SPRINGS DETAIL D-8A |
| 40 | 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS |

1. ALL INTERNAL DRIVES TO BE PRIVATE.
2. ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
3. SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SITE DETAILS.
4. ALL PARKING CURB RADIUS SHALL BE 5' UNLESS SPECIFIED ON PLANS.
5. NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
 STORM INLETS (CURB): MIDPOINT/FLOWLINE
 STORM INLETS (AREA): CENTER OF GRATE
 MANHOLE: CENTER OF MANHOLE LID
 HYDRANTS: CENTER OF HYDRANT
 LIGHT POLES: CENTER OF BASE
 POLE SIGNS: CENTER OF POLE
 ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
 BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
 RETAINING WALLS: FACE OF WALL
6. RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL. FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
7. NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

| | | | |
|----|-------------------------------|----|--------------------------|
| 1 | EX. FIRE HYDRANT | 15 | EX. ELECTRIC METER |
| 2 | EX. WATER LINE | 16 | EX. STREETLIGHT |
| 3 | EX. WATER VALVE | 17 | EX. TRANSFORMER |
| 4 | EX. SANITARY SEWER MANHOLE | 18 | EX. WATER METER |
| 5 | EX. SANITARY SEWER | 19 | EX. ELECTRIC MANHOLE |
| 6 | EX. STORM SEWER INLET | 20 | EX. TRAFFIC VAULT |
| 7 | EX. ELECTRIC VAULT | 21 | EX. STORM SEWER |
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| 12 | EX. TRAFFIC CONTROL STRUCTURE | 26 | EX. ELECTRICAL BOX |
| 13 | EX. UNDERGROUND ELECTRIC LINE | 27 | EX. IRRIGATION EQUIPMENT |
| 14 | EX. OVERHEAD ELECTRIC LINE | 28 | EX. SIGN |

| | |
|--|---|
| | PROPERTY LINE |
| | BUILDING AND LANDSCAPE SETBACK |
| | PROPOSED EASEMENT |
| | PROPOSED STANDARD DUTY ASPHALT PAVEMENT |
| | PROPOSED HEAVY DUTY ASPHALT PAVEMENT |
| | PROPOSED RIP RAP |
| | PROPOSED GRAVEL MAINTENANCE PATH |
| | PROPOSED ASPHALT PATH PER LANDSCAPE PLANS |
| | PROPOSED HEAVY DUTY CONCRETE |
| | PROPOSED CHASE PLATE |
| | PROPOSED CURB AND GUTTER (TYPE A) |
| | PROPOSED CURB AND GUTTER (TYPE B) |
| | PROPOSED PARKING COURT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV") |
| | PROPOSED HAND RAIL |
| | PROPOSED SWALE |
| | PROPOSED HVAC |
| | PROPOSED LIGHTPOLE |



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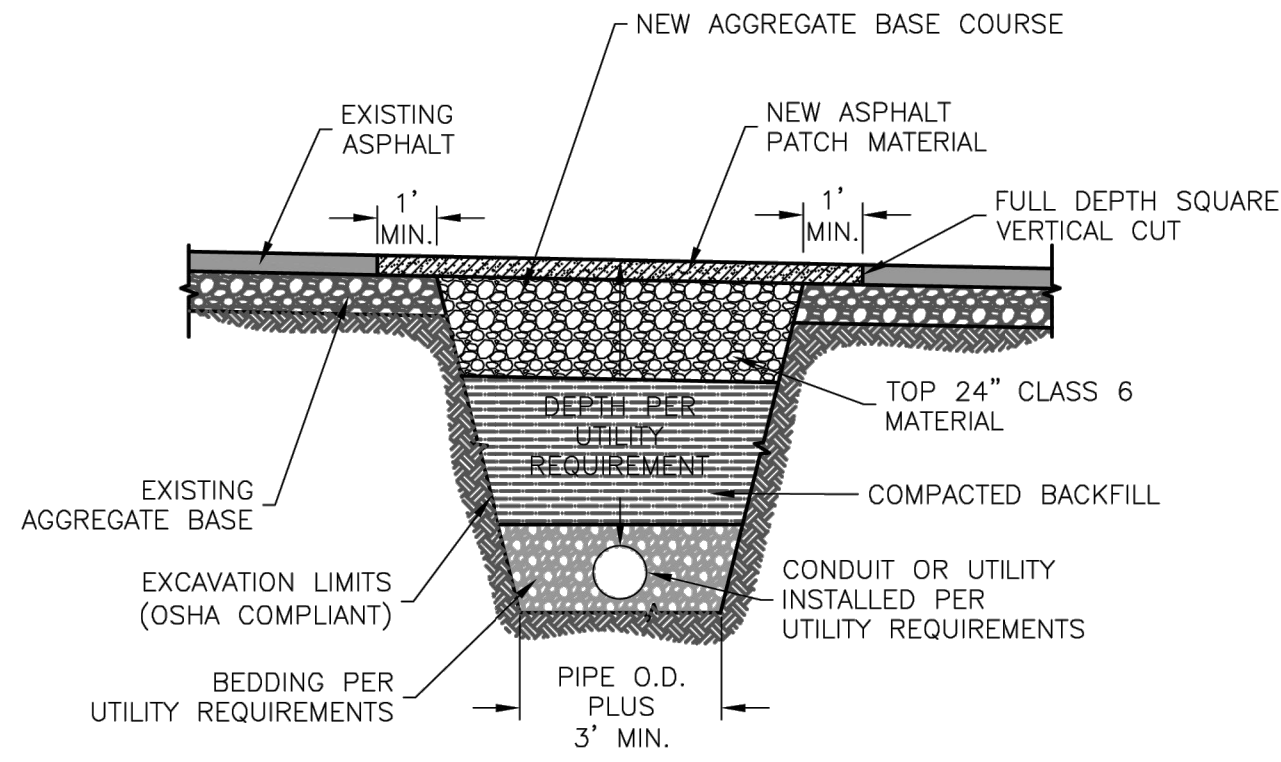
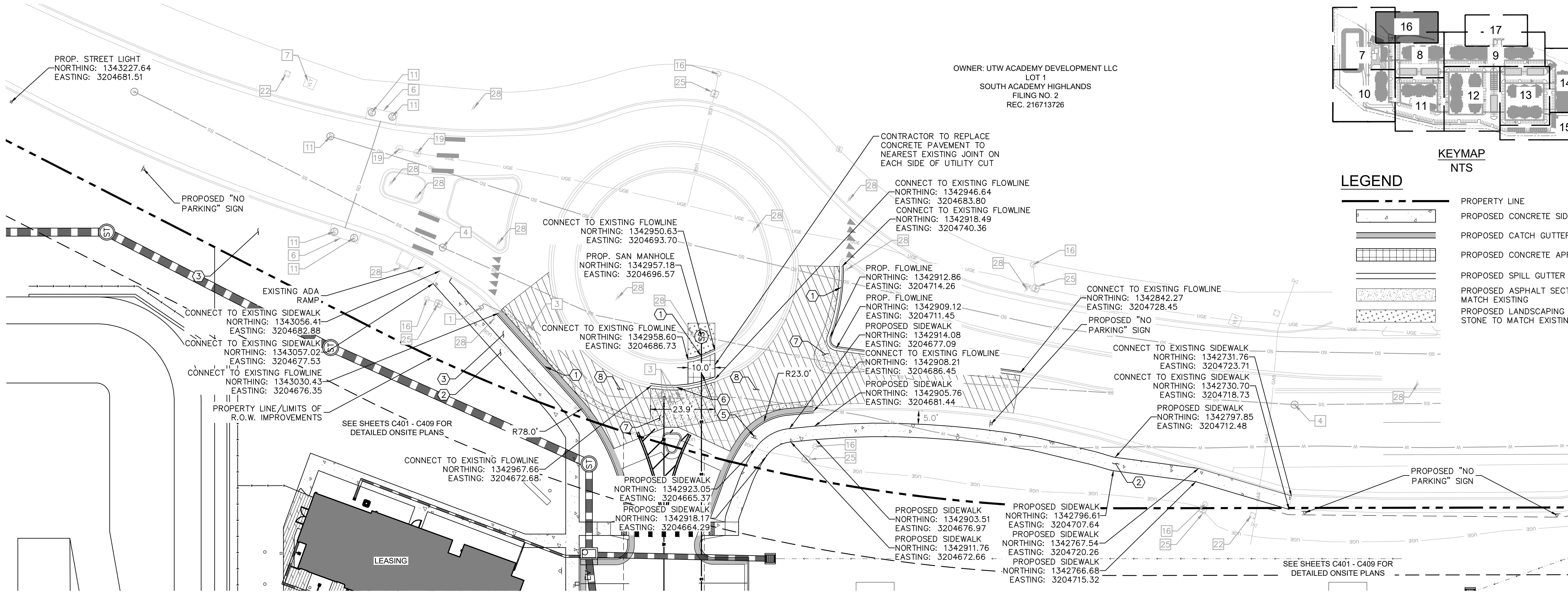
OTHER INFO

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| PROJECT INFO | DATE: | 05/22/2025 |
| | PROJECT MGR: | MTH |
| | PREPARED BY: | FCR |

[illegible]

15

K:\DEN_Civil\09\03\02017_Venetuoci Multi-Family CADD\PlanSheets\CD\09\03\02017 - SP - OFF.dwg [1:6 OFFSITE SITE PLAN] 7/1/2025 6:21:33 PM Michael Hart

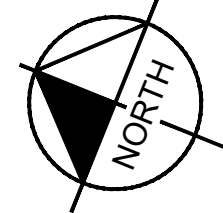
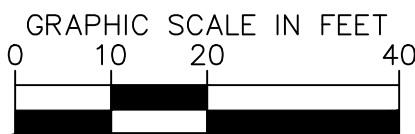


KEY NOTES: PROPOSED

| | |
|---|---|
| 1 | PROPOSED 6" VERTICAL CURB AND GUTTER PER COLORADO SPRINGS STANDARD DRAWING 6B (TYPE 2 CATCH, TYPE 3 SPILL) |
| 2 | PROPOSED 5' WIDE SIDEWALK PER COLORADO SPRINGS R.O.W. SIDEWALK DETAIL ON SHEET C803 |
| 3 | PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 4 | PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN) |
| 5 | PROPOSED YIELD SIGN (MUTCD R1-2) |
| 6 | PROPOSED ROUNDABOUT APRON PER COLORADO SPRINGS STANDARD DRAWING 6B ON SHEET C802 AND MATCHING EXISTING CONDITIONS |
| 7 | PROPOSED ASPHALT SECTION TO MATCH EXISTING, TRENCHING PER CITY OF FOUNTAIN TYPICAL PAVEMENT REPAIR DETAIL ON THIS SHEET |

KEY NOTES: EXISTING

| | | | |
|----|-------------------------------|----|--------------------------|
| 1 | EX. FIRE HYDRANT | 15 | EX. ELECTRIC METER |
| 2 | EX. WATER LINE | 16 | EX. STREETLIGHT |
| 3 | EX. WATER VALVE | 17 | EX. TRANSFORMER |
| 4 | EX. SANITARY SEWER MANHOLE | 18 | EX. WATER METER |
| 5 | EX. SANITARY SEWER | 19 | EX. ELECTRIC MANHOLE |
| 6 | EX. STORM SEWER INLET | 20 | EX. TRAFFIC VAULT |
| 7 | EX. ELECTRIC VAULT | 21 | EX. STORM SEWER |
| 8 | EX. FIBER OPTIC VAULT | 22 | EX. FIBER OPTIC BOX |
| 9 | EX. GAS LINE | 23 | EX. TELEPHONE BOX |
| 10 | EX. TELEPHONE LINE | 24 | EX. STORM GRATE |
| 11 | EX. STORM MANHOLE | 25 | EX. ELECTRICAL EQUIPMENT |
| 12 | EX. TRAFFIC CONTROL STRUCTURE | 26 | EX. ELECTRICAL BOX |
| 13 | EX. UNDERGROUND ELECTRIC LINE | 27 | EX. IRRIGATION EQUIPMENT |
| 14 | EX. OVERHEAD ELECTRIC LINE | 28 | EX. SIGN |



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VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

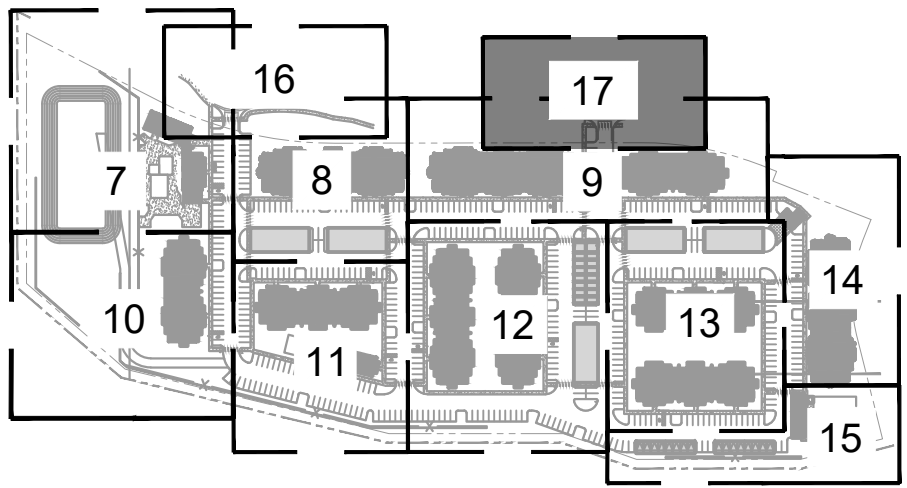
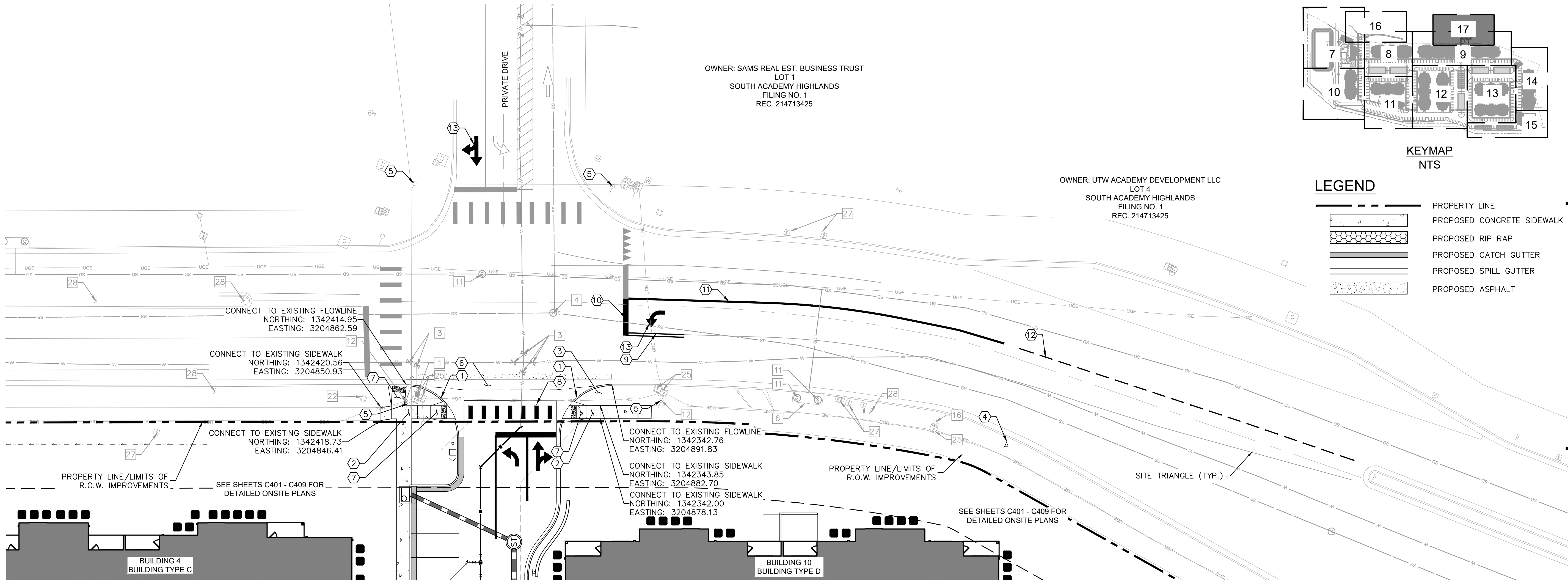
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DATE: BY: DESCRIPTION:

OFFSITE SITE PLAN

16

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KEYMAP
NTS

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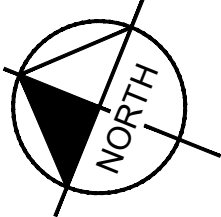
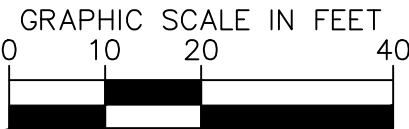
- PROPERTY LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED RIP RAP
- PROPOSED CATCH GUTTER
- PROPOSED SPILL GUTTER
- PROPOSED ASPHALT

KEY NOTES: PROPOSED

- PROPOSED 6" VERTICAL CURB AND GUTTER PER COLORADO SPRINGS STANDARD DRAWING 6B (TYPE 2 CATCH, TYPE 3 SPILL)
- PROPOSED 5' WIDE SIDEWALK PER R.O.W. SIDEWALK DETAIL ON SHEET C803
- PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
- PROPOSED SIGNAL IMPROVEMENTS, REFERENCE SIGNAL PLANS ON SHEET XXXX
- PROPOSED ACCESS AND CROSSSPAN COLORADO SPRINGS DETAIL D7B
- CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- PROPOSED CENTER LINES, YELLOW, 4" WIDE REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- PROPOSED STOP LINE, WHITE, 24" WIDE REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- PROPOSED CHANNELIZING LINE, WHITE, 8" WIDE REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- PROPOSED DASHED LANE LINE, WHITE, 4" WIDE REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- PROPOSED PAVEMENT MARKING, WHITE, SIZE PER CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801

KEY NOTES: EXISTING

| | | | |
|----|-------------------------------|----|--------------------------|
| 1 | EX. FIRE HYDRANT | 15 | EX. ELECTRIC METER |
| 2 | EX. WATER LINE | 16 | EX. STREETLIGHT |
| 3 | EX. WATER VALVE | 17 | EX. TRANSFORMER |
| 4 | EX. SANITARY SEWER MANHOLE | 18 | EX. WATER METER |
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| 14 | EX. OVERHEAD ELECTRIC LINE | 28 | EX. SIGN |



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

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6200 S. Syracuse Way #300
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VENTURE ON
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MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

STAMP

ISSUE INFO

ISSUE / REVISION

SHEET TITLE

SHEET NUMBER

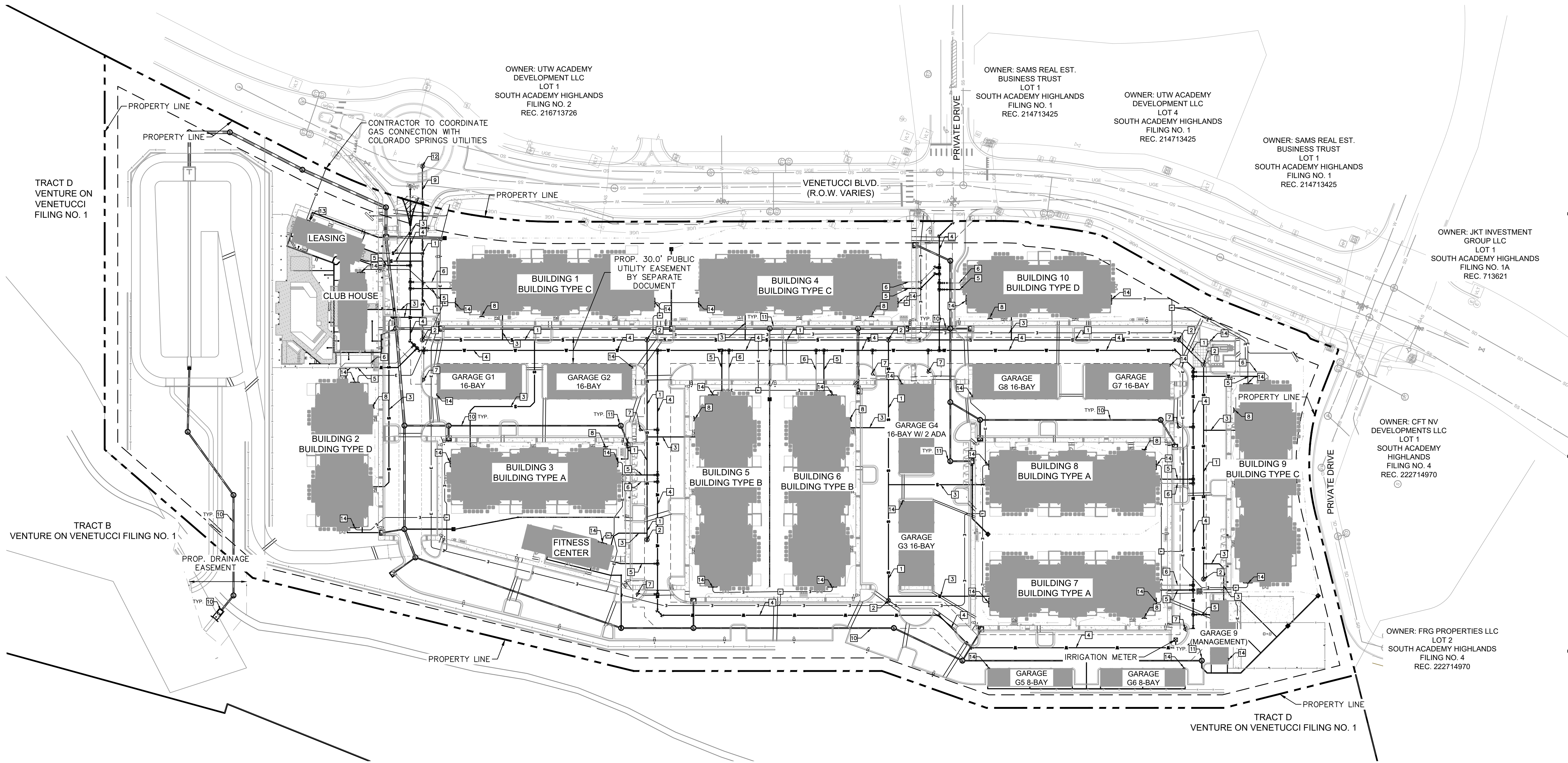
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OFFSITE SITE
PLAN

17



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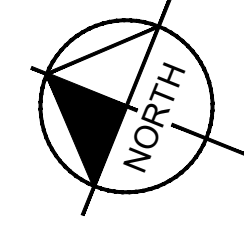
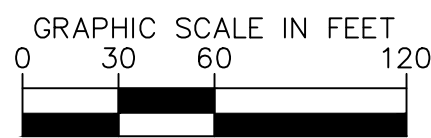
- PROPERTY LINE
- SS--- EXISTING SANITARY SEWER LINE
- S--- PROPOSED SANITARY SEWER LINE
- PROPOSED EASEMENT LINE
- SD--- EXISTING STORM SEWER
- SD--- PROPOSED STORM SEWER
- W--- EXISTING WATER LINE
- W--- PROPOSED WATER LINE
- ⦿ PROPOSED FIRE HYDRANT
- ⦿ PROPOSED WATER VALVE
- └┐ PROPOSED TEE
- ┐└ PROPOSED WATER BEND W/ THRUST BLOCK
- ⦿ EXISTING FIRE HYDRANT
- ⦿ TRANSFORMER
- ⦿ LIGHT POLE

UTILITY KEY NOTES

- 1 PRIVATE SANITARY SEWER PIPE
- 2 PRIVATE SANITARY SEWER MANHOLE
- 3 PRIVATE SANITARY SEWER SERVICE LINE
- 4 PUBLIC WATER MAIN
- 5 WATER SERVICE LINE
- 6 FIRE SERVICE LINE
- 7 FIRE HYDRANT
- 8 FDC
- 9 PUBLIC SANITARY SEWER PIPE
- 10 STORM PIPE (PRIVATE)
- 11 STORM MANHOLE (PRIVATE)
- 12 PUBLIC SANITARY SEWER MANHOLE
- 13 GAS METER
- 14 ELECTRIC METER

GENERAL NOTES

1. GAS METERS MUST BE A MINIMUM OF 3'-FEET FROM DOORS, OPERABLE WINDOWS, OR OPENINGS IN WALLS.
2. SEE IRRIGATION PLANS FOR IRRIGATION SLEEVE LOCATIONS AND IRRIGATION DETAILS.



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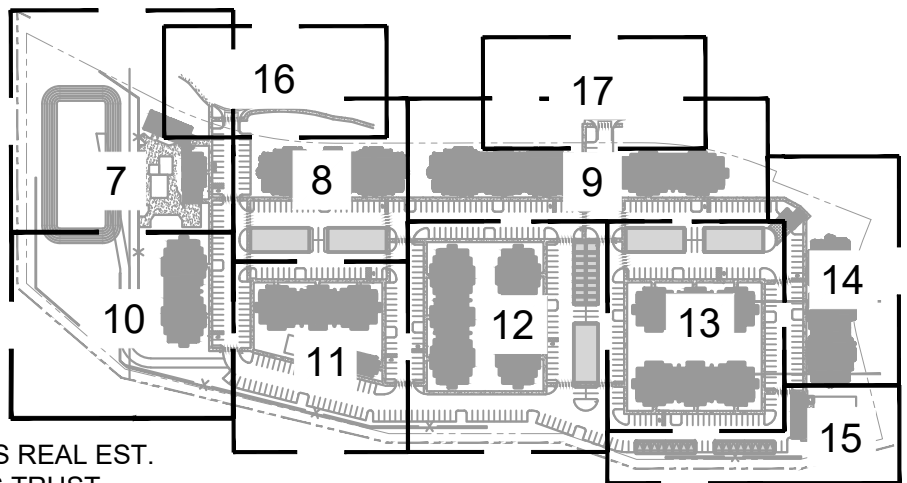
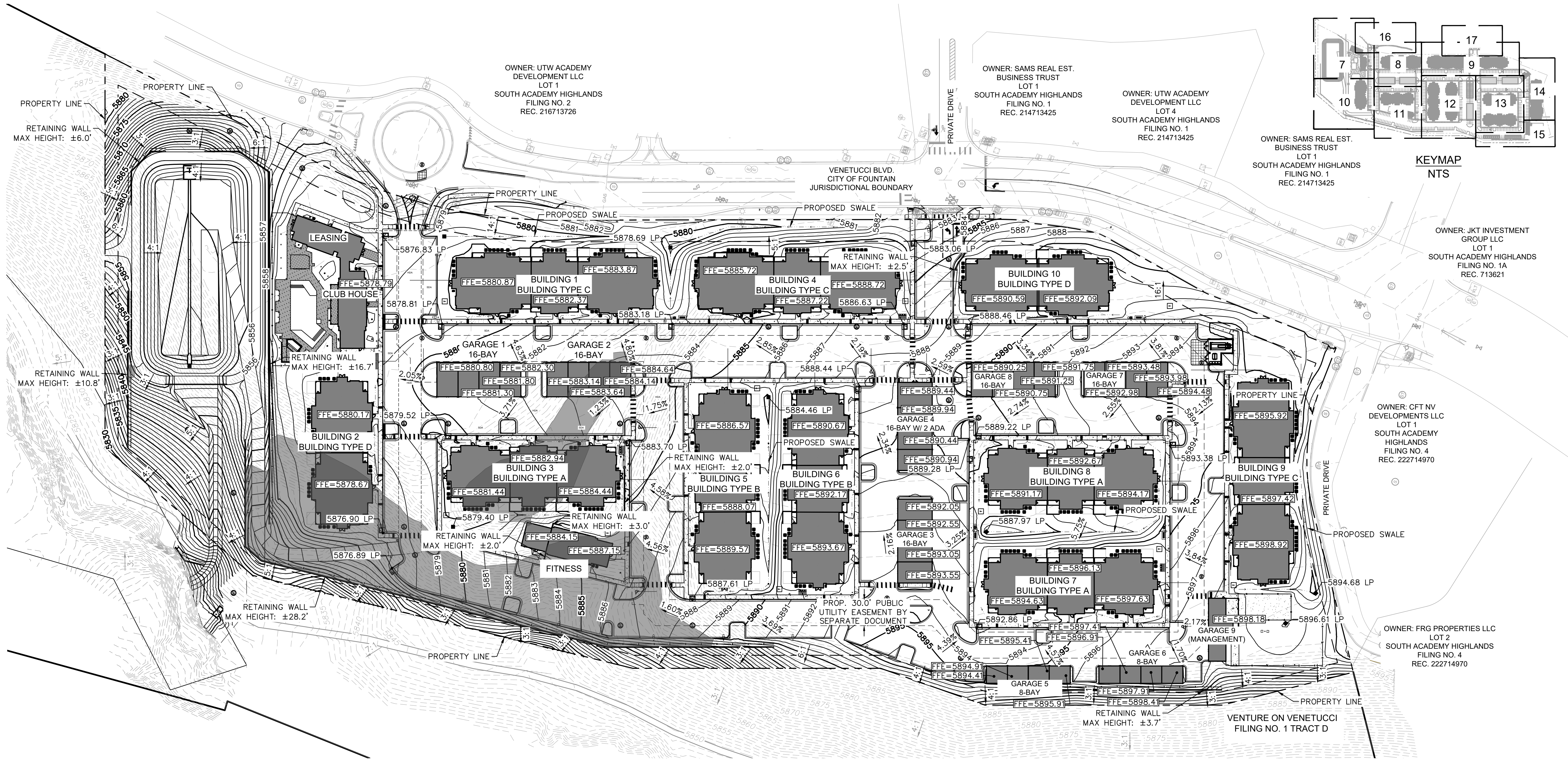
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OVERALL UTILITY PLAN

18

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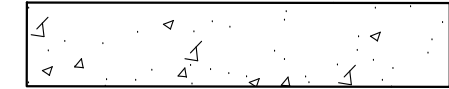
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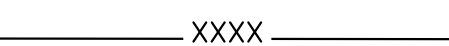
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- BUILDING SETBACK
- PROP. ESMT
- PROP. SWALE
- PROP. CATCH GUTTER
- PROP. SPILL GUTTER
- PROP. SLOPE ARROW
- EX. SLOPE ARROW



PROP. SIDEWALK



PROP. MAJOR CONTOUR



PROP. MINOR CONTOUR



EX. MAJOR CONTOUR



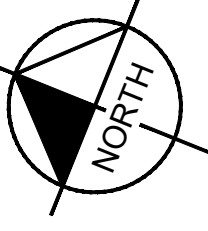
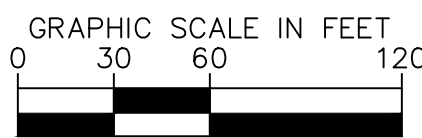
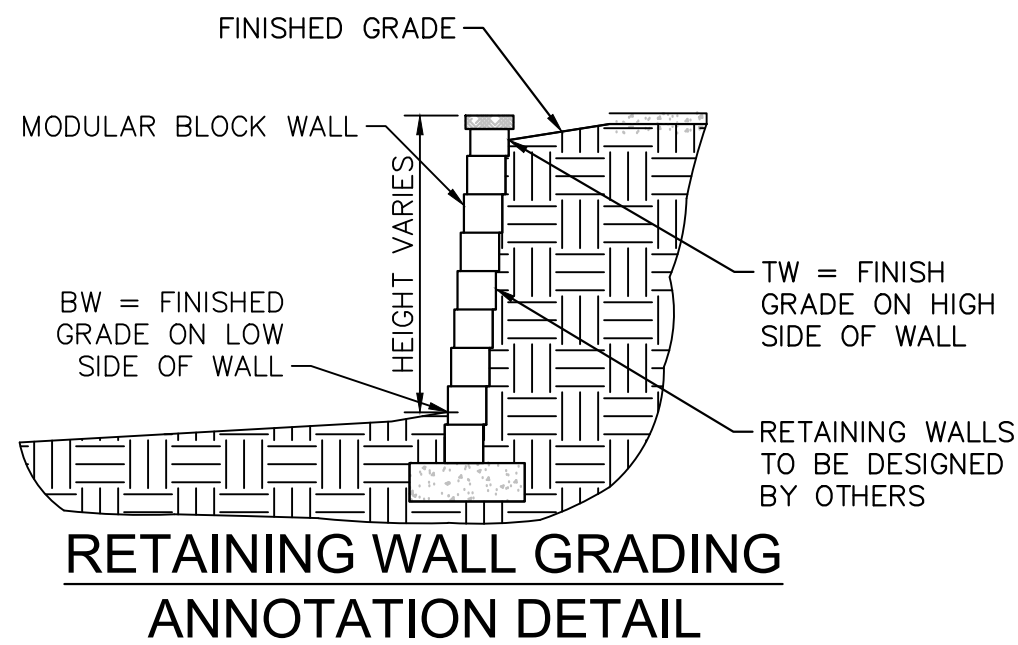
EX. MINOR CONTOUR



AREAS WITH 10 FT OR MORE OF FILL
(SEE NOTE TO CONTRACTOR)

*NOTE TO CONTRACTOR:

CONTRACTOR TO PROVIDE SETTLEMENT PLATE AT ALL BUILDINGS ON 10 FEET OR MORE OF FILL IN COORDINATION WITH GEOTECHNICAL ENGINEER. AREA OF 10 FEET OR MORE OF FILL IS SHOWN FOR REFERENCE ONLY AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



OVERALL GRADING PLAN

19

P:\Thompson Thirt\Venetucci Boulevard\Drawings\1-4\c\15\Venetucci_RLP.dwg (LS NOTES & SCHEDULES) 7/2/2025 8:39:50 AM jsmith

LANDSCAPE NOTES

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- SOD TO BE KENTUCKY BLUEGRASS BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- DECORATIVE ROCK MULCH: 3/4" BRECKSTONE GOLD, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL DECORATIVE ROCK MULCH AREAS.
- ALL PLANTS NOT LABELED AS FULFILLING A COUNTY LANDSCAPE REQUIREMENT ARE "EXTRA" PER COUNTY STANDARDS, AND WILL BE INSTALLED AT THE OWNER'S DISCRETION.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.

LANDSCAPE REQUIREMENTS

Landscape Setbacks and Buffers

See Code Section 6.2.2.B.1

| Street Name or Zone Boundary | Street Classification | Width (in Ft.) Req./Prov. | Linear Footage | Tree/Feet Required | No. of Trees Req. / Prov. |
|---------------------------------------|---|-------------------------------------|---|--------------------|---------------------------|
| East (Venetucci Blvd) | PRINCIPAL ARTERIAL | 25' / 25' | 1,505' | 1 / 20' | 76 / 76 |
| South (Walmart Heights) | NON-ARTERIAL | 15' / 15' | 400' | 1 / 25' | 16 / 16 |
| Shrub Substitutes Required / Provided | Ornamental Grass Sub. Required / Provided | Setback Plant Abbr. Denoted on Plan | Percent Ground Plane Veg. Req. / Provided | | |
| 0 / 0 | 0 / 0 | VB | 75% / 75% | | |
| 0 / 0 | 0 / 0 | SB | 75% / 75% | | |

Internal Landscaping

See Code Section 6.2.2.E

| Net Site Area (SF) | Percent Minimum Internal Area (%) | Internal Area (SF) Required/Provided | Internal Trees (1/500 SF) Required/Provided |
|---------------------------------------|--|--------------------------------------|---|
| 702,150 SF | 15% | 105,322 / 105,322 | 213/213 |
| Shrub Substitutes Required / Provided | Ornamental Grass Substitutes Required/Provided | Internal Plant Abbr. Denoted on Plan | Percent Ground Plane Veg. Req. / Prov. |
| 0 / 0 | 0 / 0 | -- | 75% / 75% |

Motor Vehicle Lots







See Code Section 6.2.2.C.1

| No. of Vehicles Spaces Provided | Shade Trees (1/15 spaces) Required/Provided | Plant Abbr. on Plan | Vehicle Lot Frontages | Length of Frontage (excluding driveways) |
|---------------------------------|---|--------------------------------------|-------------------------------------|--|
| 579 | 39 / 39 | MV | n/a | n/a |
| 2/3 Length of Frontage (ft.) | Length of Screening Wall or Berm Provided | Min. 3' Screening Plants Req. /Prov. | Evergreen Plants Req. (50%) / Prov. | Percent Ground Plane Veg. Req. / Prov. |
| n/a | Alternative Provided: All other requirements met; parking internal to site. | 0 / 0 | 0 / 0 | 75% / 75% |

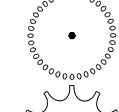

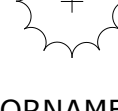
PLANT SCHEDULE

| SYMBOL | CODE | QTY | BOTANICAL / COMMON NAME | HEIGHT | WIDTH | SIZE | COND |
|--------|------|-----|-------------------------|--------|-------|------|------|
|--------|------|-----|-------------------------|--------|-------|------|------|

DECIDUOUS TREES

| | | | | | | | |
|---|----|----|---|-----|-----|-----------|-----|
|  | Cs | 5 | Catalpa speciosa / Northern Catalpa | 50' | 30' | 1.5" Cal. | B&B |
|  | Co | 12 | Celtis occidentalis / Common Hackberry | 50' | 50' | 1.5" Cal. | B&B |
|  | Fg | 28 | Fraxinus pennsylvanica / Green Ash | 60' | 40' | 1.5" Cal. | B&B |
|  | Qm | 12 | Quercus macrocarpa / Burr Oak | 60' | 60' | 1.5" Cal. | B&B |
|  | Qc | 13 | Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak | 40' | 15' | 1.5" Cal. | B&B |
|  | Tr | 14 | Tilia tomentosa / Silver Linden | 50' | 40' | 1.5" Cal. | B&B |

EVERGREEN TREES

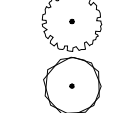
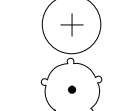

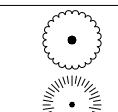
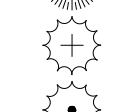
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|---|----|----|---|-----|-----|-------|-----|
|  | Pb | 10 | Picea pungens `Baby Blueeyes` / Baby Blue Eyes Spruce | 30' | 15' | 6' HT | B&B |
|  | Pd | 64 | Pinus edulis / Pinon Pine | 25' | 20' | 6' HT | B&B |
|  | Po | 30 | Pinus ponderosa / Ponderosa Pine | 65' | 30' | 6' HT | B&B |

ORNAMENTAL TREES

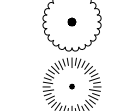
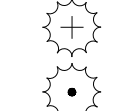

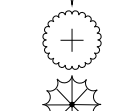
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|---|----|----|--|-----|-----|-----------|-----|
|  | Ao | 7 | Aesculus glabra / Ohio Buckeye | 30' | 30' | 1.5" Cal. | B&B |
|  | As | 40 | Amelanchier alnifolia / Serviceberry | 20' | 12' | 1.5" Cal. | B&B |
|  | Fn | 88 | Forestiera neomexicana / New Mexican Privet | 12' | 8' | 1.5" Cal. | B&B |
|  | Mp | 22 | Malus x `Prairifire` / Prairifire Crab Apple | 20' | 20' | 1.5" Cal. | B&B |

| SYMBOL | CODE | QTY | BOTANICAL / COMMON NAME | HEIGHT | WIDTH | SIZE | COND |
|--------|------|-----|-------------------------|--------|-------|------|------|
|--------|------|-----|-------------------------|--------|-------|------|------|

DECIDUOUS SHRUBS

| | | | | | | | |
|---|-----|-----|---|----|------|-------|------|
|  | Btg | 24 | Berberis thunbergii `Golden Rocket` / Golden Rocket Japanese Barberry | 4' | 2.5' | 5 GAL | CONT |
|  | Csf | 197 | Cornus stolonifera `Farrow` TM / Arctic Fire Red Twig Dogwood | 4' | 4' | 5 GAL | CONT |
|  | Ena | 91 | Ericameria nauseosa / Rubber Rabbitbrush | 5' | 5' | 5 GAL | CONT |
|  | Fpa | 14 | Fallugia paradoxa / Apache Plume | 6' | 6' | 5 GAL | CONT |
|  | Pmo | 42 | Physocarpus monogynus / Mountain Ninebark | 4' | 4' | 5 GAL | CONT |

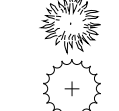
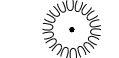

EVERGREEN SHRUBS

| | | | | | | | |
|---|-----|-----|--|-----|----|-------|------|
|  | Jbc | 65 | Juniperus horizontalis `Blue Chip` / Blue Chip Juniper | 1' | 8" | 5 GAL | CONT |
|  | Jgg | 11 | Juniperus scopulorum `Gray Gleam` / Gray Gleam Juniper | 12' | 5' | 6' HT | CONT |
|  | Jsg | 104 | Juniperus x media `Sea Green` / Sea Green Juniper | 6' | 8" | 5 GAL | CONT |
|  | Pmb | 36 | Pinus mugo `Big Tuna` / Big Tuna Mugo Pine | 8' | 6" | 5 GAL | CONT |

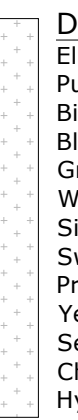
ANNUALS/PERENNIALS

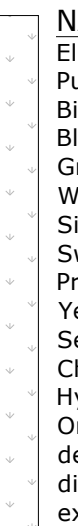
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|---|-----|-----|---|-------|----------|-------|------|
|  | Kna | 56 | Kniphofia x `Alcazar` / Alcazar Red Hot Poker | 2' | 2' | 1 GAL | CONT |
|  | Neg | 53 | Nepeta grandiflora / Catmint | 1.5' | 2' | 1 GAL | CONT |
|  | Pea | 130 | Perovskia atriplicifolia / Russian Sage | 3.5' | 3.5' | 1 GAL | CONT |
|  | Rap | 99 | Ratibida pinnata / Yellow Coneflower | 4'-6' | 1.5' | 1 GAL | CONT |
|  | Rfu | 49 | Rudbeckia fulgida / Black-Eyed Susan/Coneflower | 2' | 2' | 1 GAL | CONT |
|  | Sea | 207 | Sedum x `Autumn Fire` / Autumn Fire Sedum | 2' | 1.5' -2' | 1 GAL | CONT |
|  | Tuc | 31 | Tulipa clusiana / Lady Tulip | 1.5' | 1' | 1 GAL | CONT |
|  | Ygl | 76 | Yucca glauca / Soapweed | 2.5' | 2.5' | 1 GAL | CONT |

ORNAMENTAL GRASSES


| | | | | | | | |
|---|-----|-----|--|------|------|-------|------|
|  | Cab | 365 | Calamagrostis brachytricha / Korean Feather Reed Grass | 4' | 3' | 1 GAL | CONT |
|  | Clt | 25 | Chasmanthium latifolium / Northern Sea Oats | 2' | 1' | 1 GAL | CONT |
|  | Sph | 181 | Sporobolus heterolepis / Prairie Dropseed | 1.5' | 1.5' | 1 GAL | CONT |

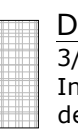
GROUND COVER LEGEND

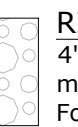
| | | |
|---|--|-----------|
|  | DETENTION SEED MIX El Paso County Conservation District All Purpose Mix Big Bluestem - 20% Blue Grama - 10% Green Needlegrass - 10% Western Wheatgrass - 20% Sideoats Grama - 10% Switchgrass - 10% Prairie Sandreed - 10% Yellow Indiangrass - 10% Seeding will be in compliance with SCM Ch. 5 Hydroseed @ 19.3 PLS/acre | 30,731 sf |
|---|--|-----------|

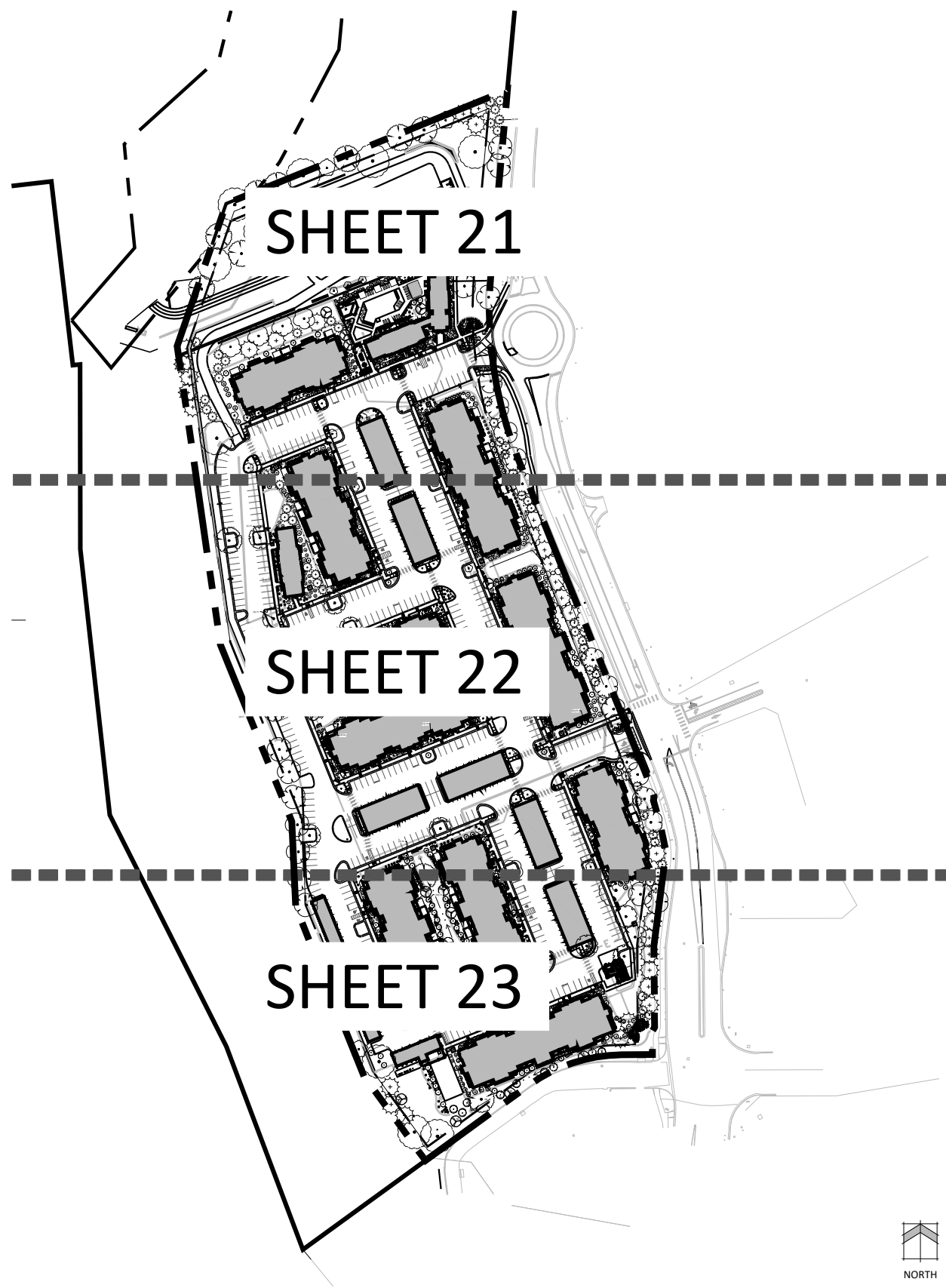
| | | |
|---|--|-----------|
|  | NATIVE SEED MIX El Paso County Conservation District All Purpose Mix Big Bluestem - 20% Blue Grama - 10% Green Needlegrass - 10% Western Wheatgrass - 20% Sideoats Grama - 10% Switchgrass - 10% Prairie Sandreed - 10% Yellow Indiangrass - 10% Seeding will be in compliance with SCM Ch. 5 Hydroseed @ 19.3 PLS/acre Only to be planted in areas where development has created a ground disturbance. In undisturbed areas existing ground cover to remain. | 93,773 sf |
|---|--|-----------|

| | | |
|---|---|----------|
|  | ARTIFICIAL TURF Clubhouse Amenity Turf: - Select LX by ForeverLawn Color: Field/Olive Green Dog Park & Private Yard Turf: - Classic+ by K9 Grass ForeverLawn Color: Summer Green | 7,047 sf |
|---|---|----------|

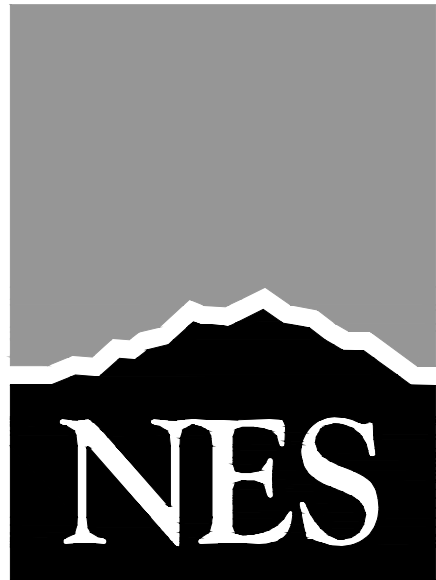
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|---|---|-----------|
|  | TURF SOD Kentucky Bluegrass Blend | 46,404 sf |
|---|---|-----------|

| | | |
|---|---|------------|
|  | DECORATIVE ROCK MULCH 3/4" Breckstone Gold at 3-4" depth. Install geotextile fabric under all decorative rock mulch areas | 104,450 sf |
|---|---|------------|

| | | |
|---|--|-----------|
|  | RIVER ROCK 4" - To match adjacent ROW rock. Rock material to be cleared with City of Fountain before installation. | 13,204 sf |
|---|--|-----------|



OVERALL SITE - KEY MAP



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

PROJECT INFO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

ISSUE / REVISION

LANDSCAPE NOTES & SCHEDULES

SHEET TITLE

20

20 OF 45

SHEET NUMBER

PPR2444

PLAN FILE #

P:\Thompson Thurf\Venetucci Boulevard Drawings\U_Arch\FVP\Venetucci_FLP.dwg [LS PLAN_1] 7/2/2025 8:39:59 AM jsmith

GROUND COVER LEGEND

DETENTION SEED MIX 30,773 sf
El Paso County Conservation District All Purpose Mix
Big Bluestem - 20%
Blue Grama - 10%
Green Needlegrass - 10%
Western Wheatgrass - 20%
Sideoats Grama - 10%
Switchgrass - 10%
Prairie Sandreed - 10%
Yellow Indiangrass - 10%
Seeding will be in compliance with SCM Ch. 5
Hydroseed @ 19.3 PLS/acre

NATIVE SEED MIX 93,773 sf
El Paso County Conservation District All Purpose Mix
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Switchgrass - 10%
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Only to be planted in areas where development has created a ground disturbance. In undisturbed areas existing ground cover to remain.

ARTIFICIAL TURF 7,047 sf
Clubhouse Amenity Turf:
- Select LX by ForeverLawn | Color: Field/Olive Green
Dog Park & Private Yard Turf:
- Classic+ by K9 Grass ForeverLawn | Color: Summer Green

TURF SOD 46,404 sf
Kentucky Bluegrass Blend

DECORATIVE ROCK MULCH 104,450 sf
3/4" Breckstone Gold at 3-4" depth.
Install geotextile fabric under all decorative rock mulch areas

RIVER ROCK 13,204 sf
4" - To match adjacent ROW rock. Rock material to be cleared with City of Fountain before installation.

LINE TYPE LEGEND

PROPERTY LINE
EASEMENTS
SETBACKS & BUFFERS
WATER LINE
SANITARY SEWER
STORM LINE
SWALE
FENCE
FIRE HYDRANT
TRANSFORMER
CONDENSER
SITE LIGHT POST

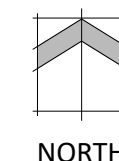
N18°57'10"E
224.76'

ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005 INVESTMENTS, LLC
REC NO. 6504300049

ZONE: PUD
USE: VACANT
OWNER: CS 2005 INVESTMENTS, LLC
REC NO. 6504300049

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC NO. 6504412018

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC NO. 6504412018



0 15 30 60
SCALE: 1" = 30'



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VENTURE ON VENETUCCI

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EL PASO COUNTY, CO

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PREPARED BY: J. SMITH

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| 07/02/2025 | JS | PER REVIEW COMMENTS |

FINAL LANDSCAPE PLAN

21

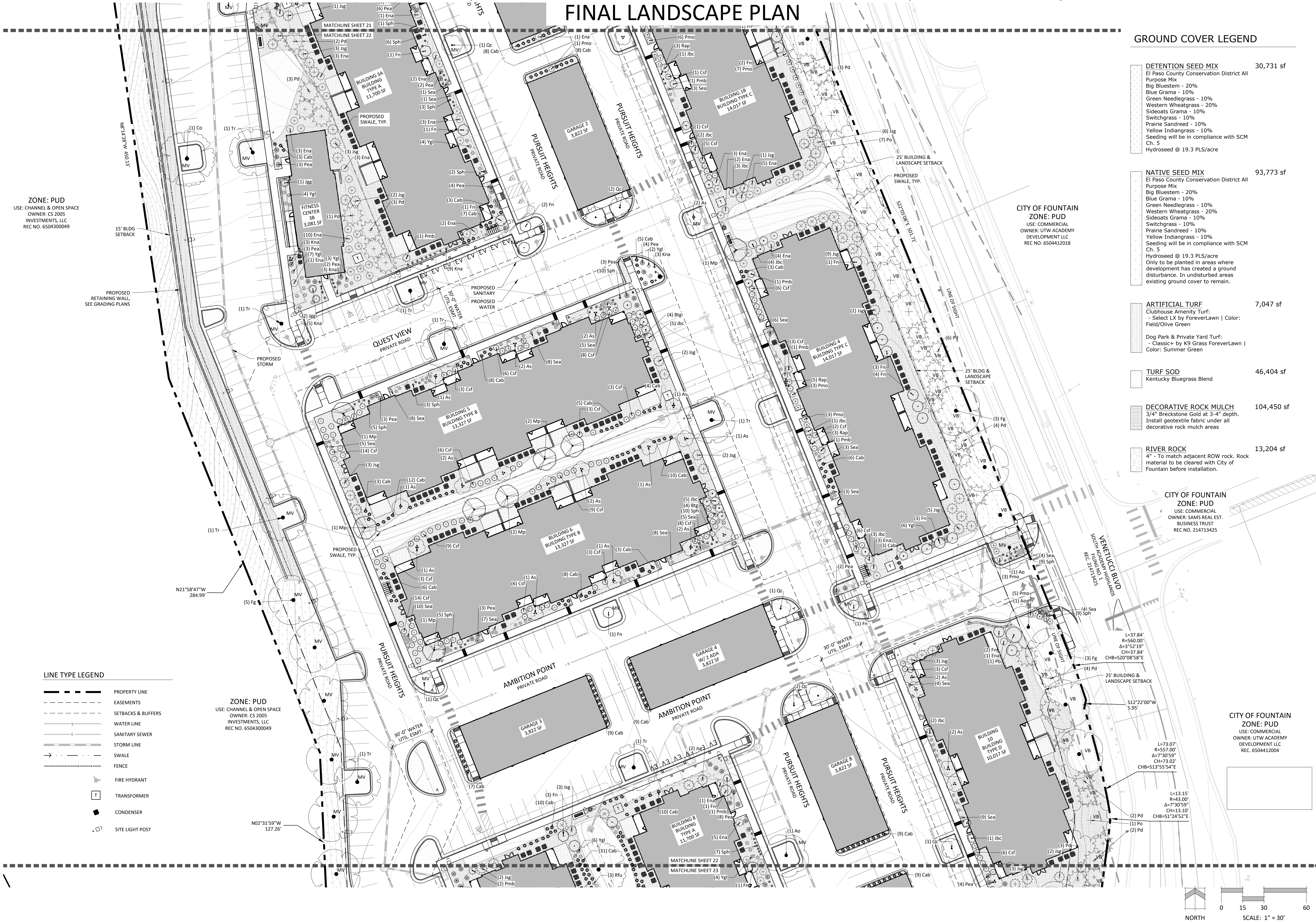
21 OF 45

PPR2444

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

FINAL LANDSCAPE PLAN



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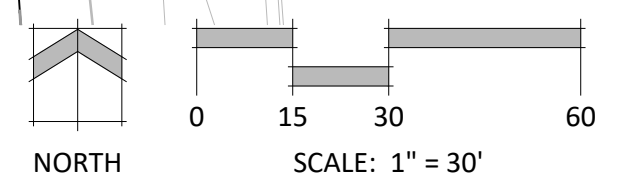
RIVER ROCK 13,204 sf
4" - To match adjacent ROW rock. Rock material to be cleared with City of Fountain before installation.

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: SAMS REAL EST.
BUSINESS TRUST
REC NO. 214713425

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY
DEVELOPMENT LLC
REC. 6504412004

LINE TYPE LEGEND

- PROPERTY LINE
- EASEMENTS
- SETBACKS & BUFFERS
- WATER LINE
- SANITARY SEWER
- STORM LINE
- SWALE
- FENCE
- FIRE HYDRANT
- TRANSFORMER
- CONDENSER
- SITE LIGHT POST



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VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD
EL PASO COUNTY, CO

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

FINAL LANDSCAPE PLAN

22
22 OF 45

PPR2444

FINAL LANDSCAPE PLAN



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Colorado Springs, CO 80903

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CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY
DEVELOPMENT LLC
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CITY OF FOUNTAIN
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MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

PROJECT INFO: DATE: 11/05/2024
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PREPARED BY: J. SMITH

TAMP

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
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| 07/02/2025 | JS | PER REVIEW COMMENTS |

NOTES

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SS1

FINAL LANDSCAPE PLAN

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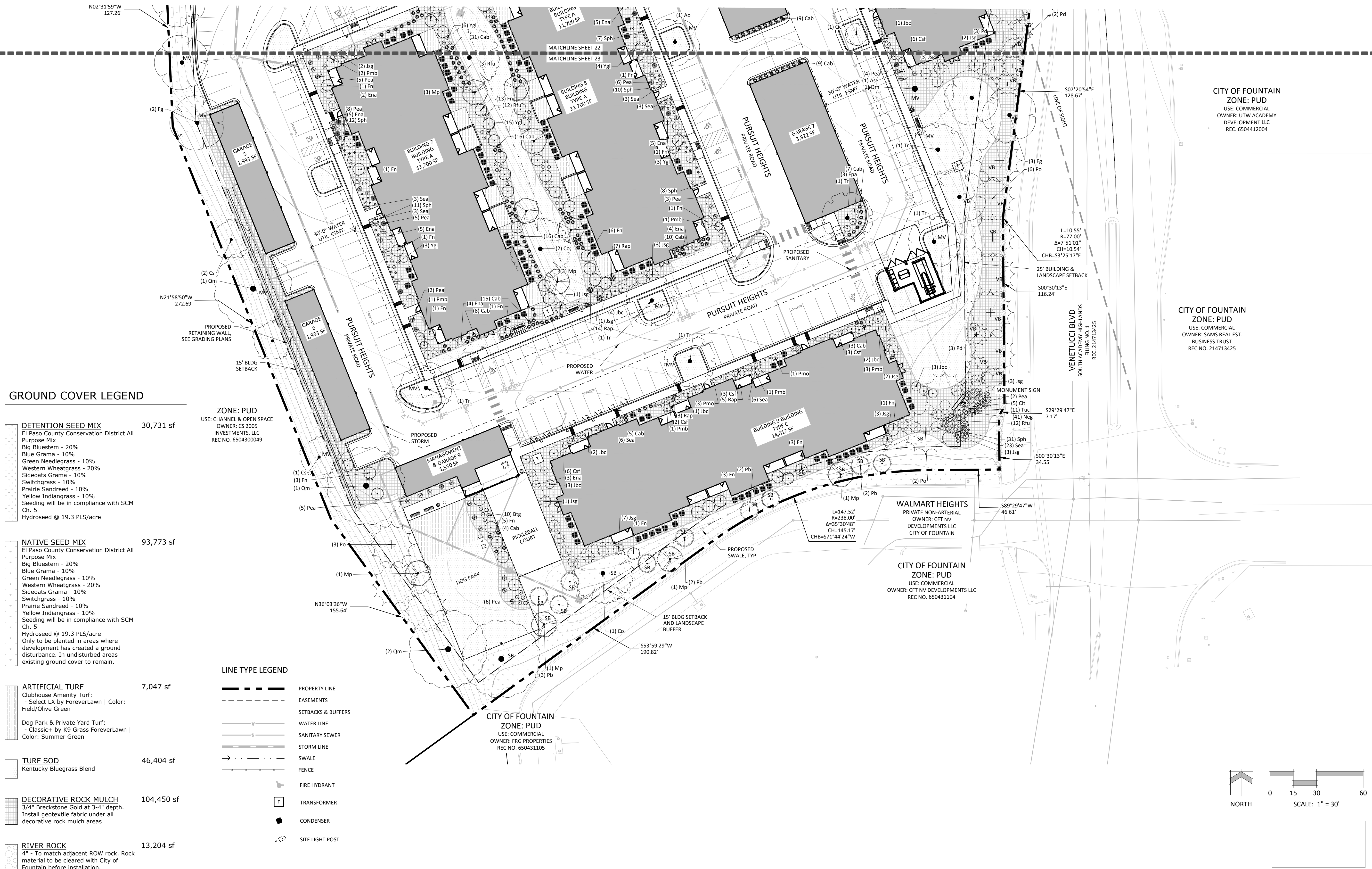
22

43

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Step 23 OF 45

FILE # PPR2444



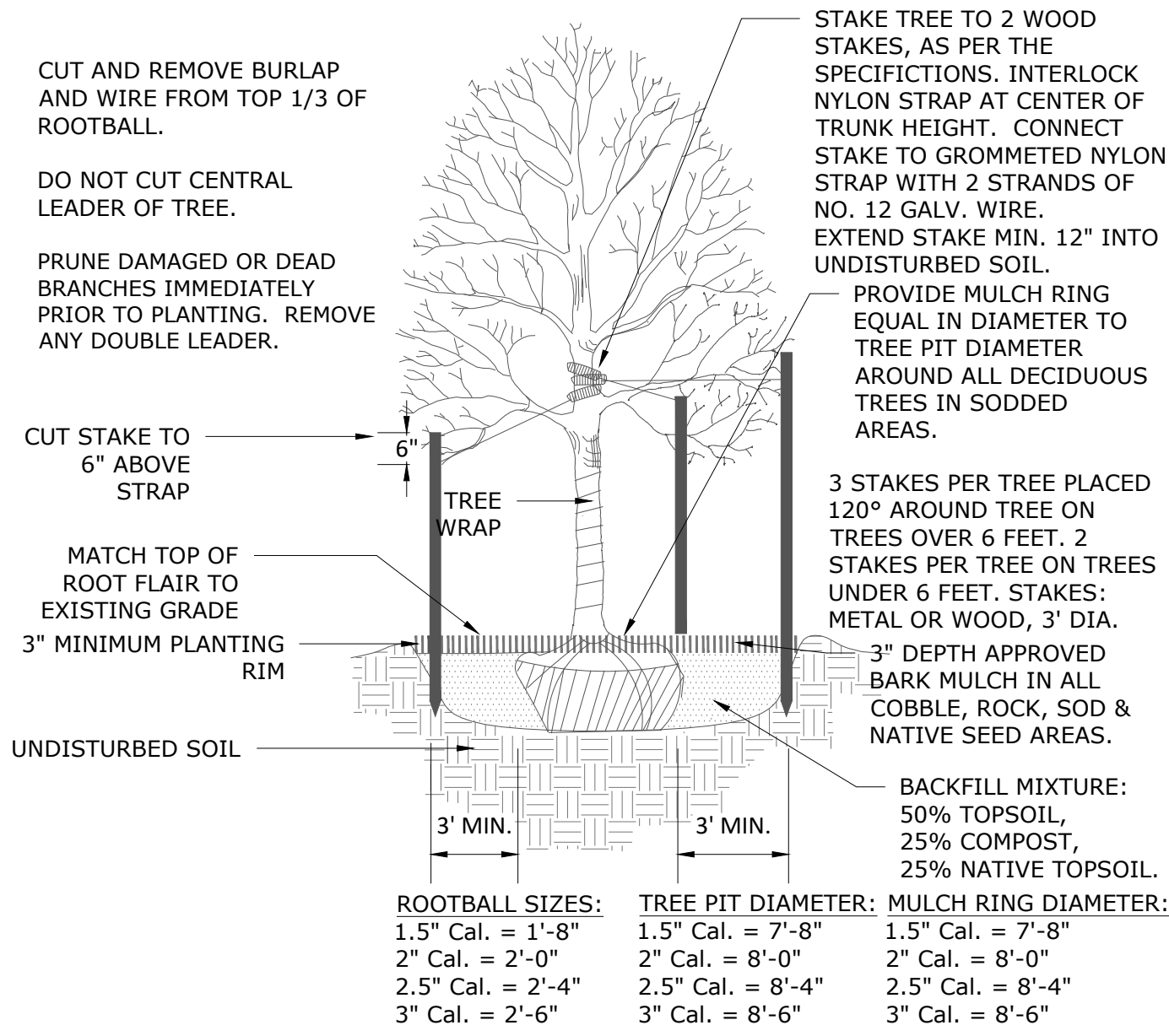
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VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

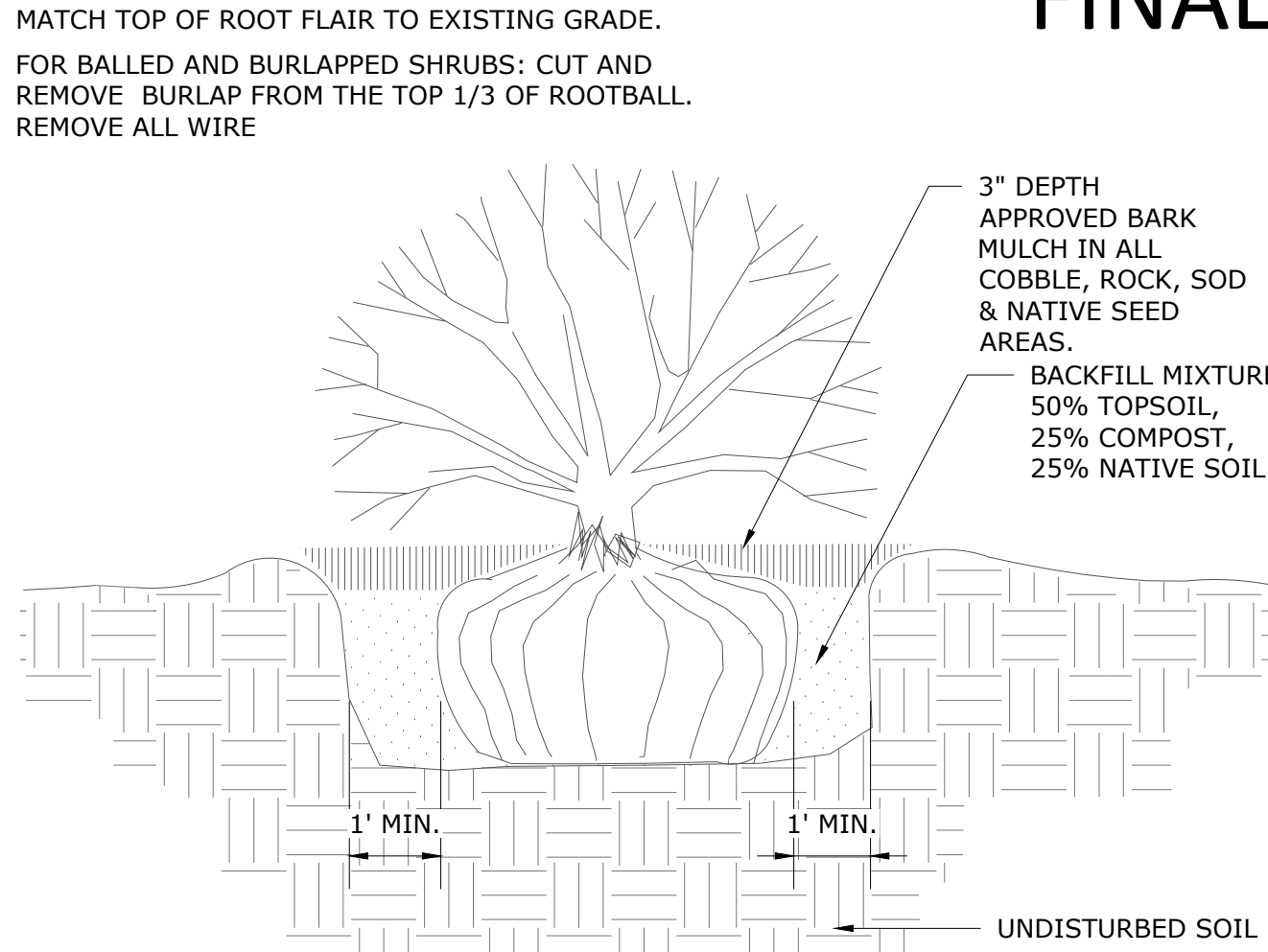
FINAL LANDSCAPE PLAN



1 DECIDUOUS TREE PLANTING DETAIL

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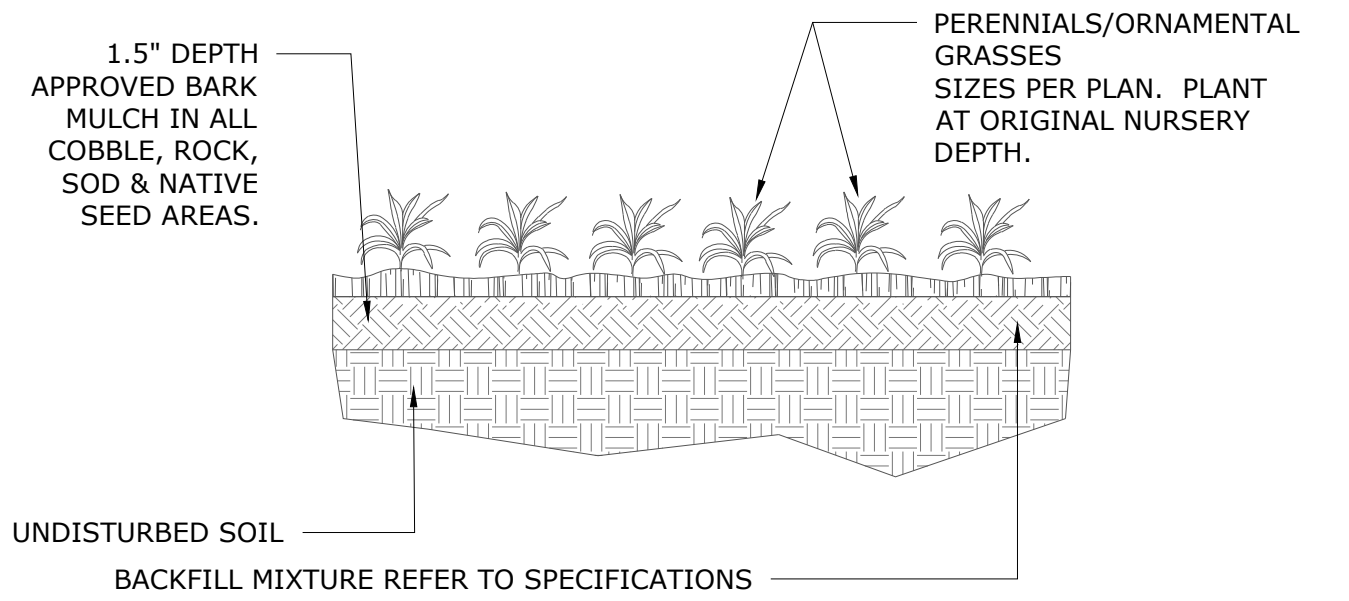
329343-01



2 SHRUB PLANTING DETAIL

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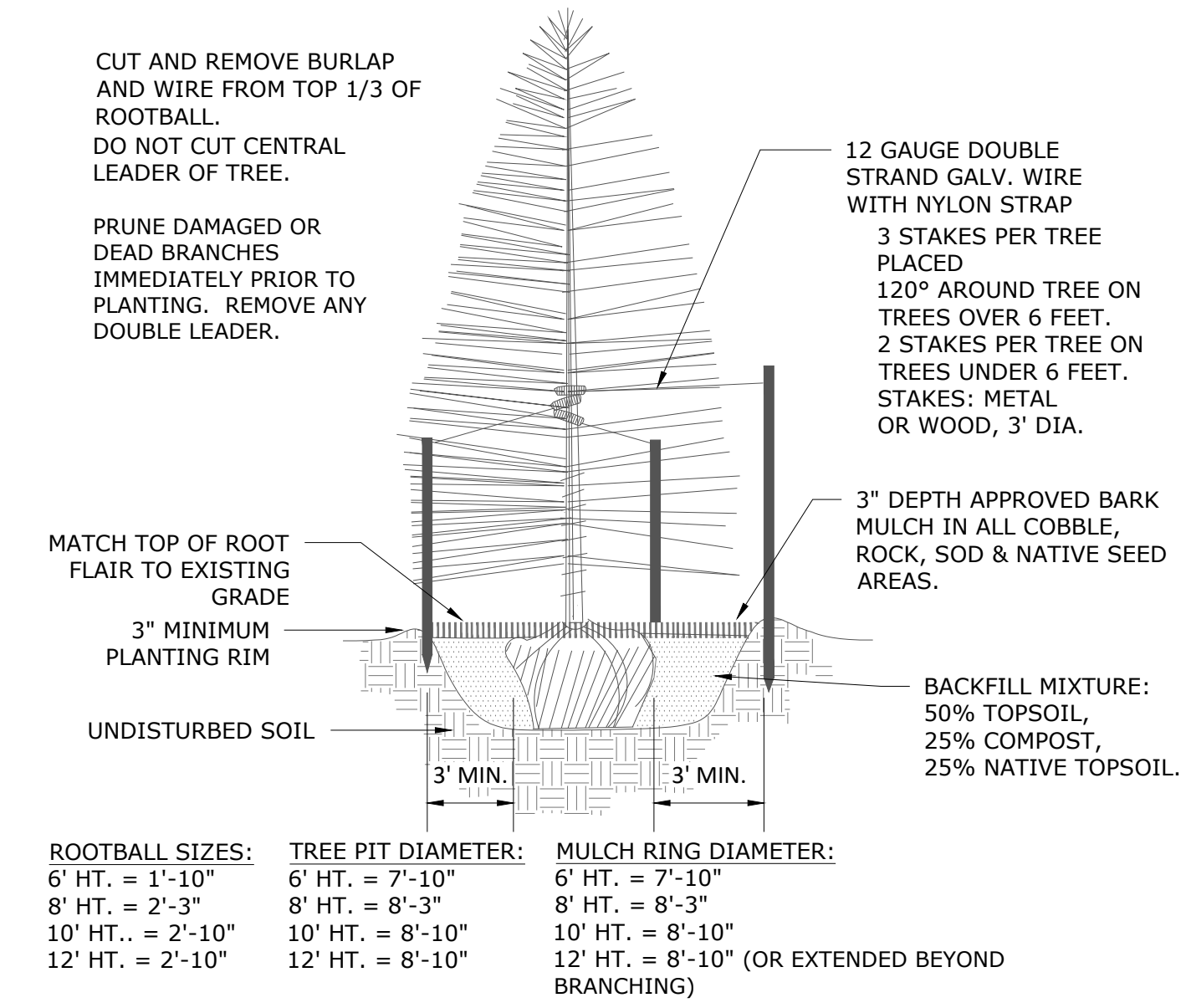
329343-03



3 PERENNIAL / ORNAMENTAL GRASS PLANTING

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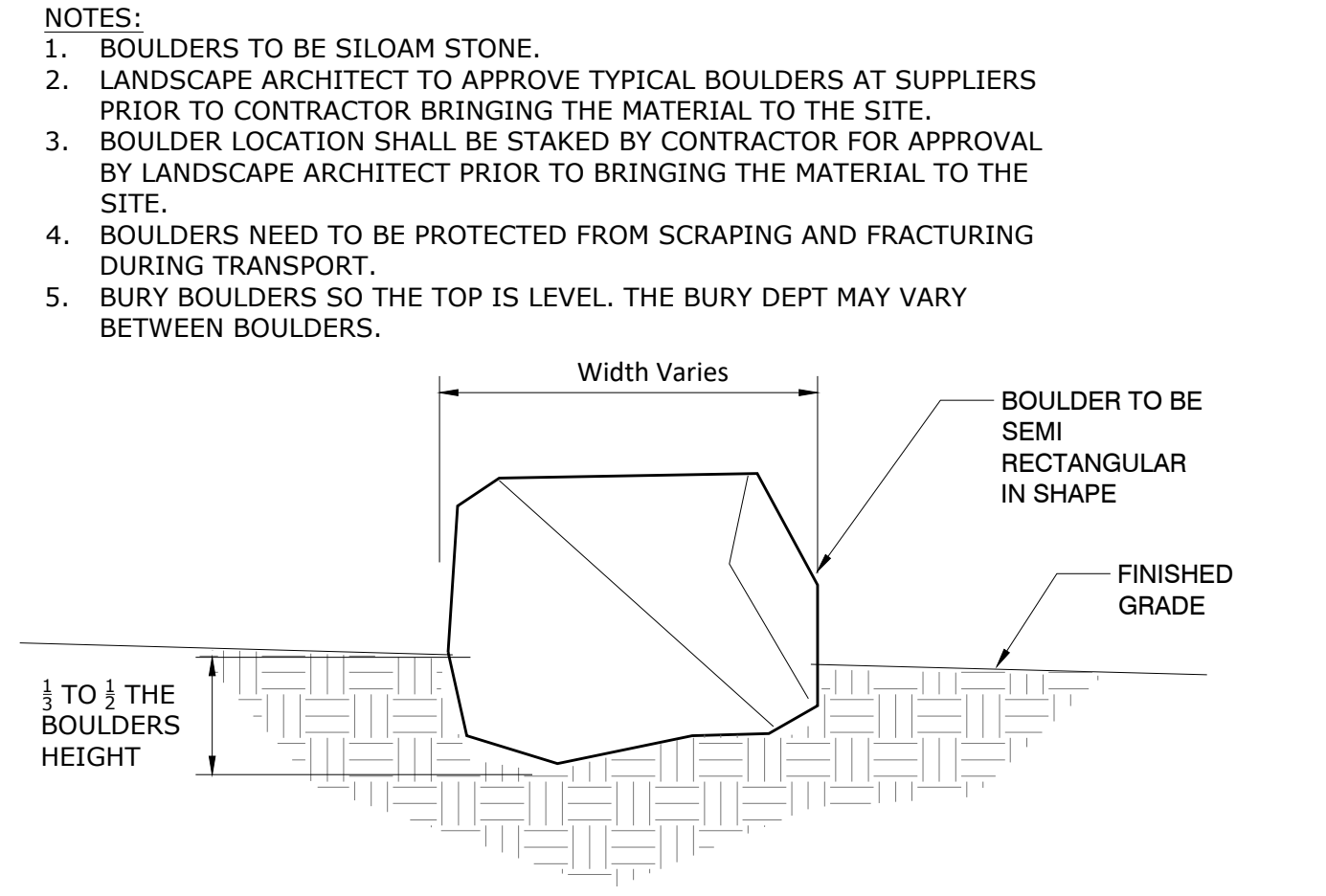
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4 CONIFEROUS TREE PLANTING DETAIL

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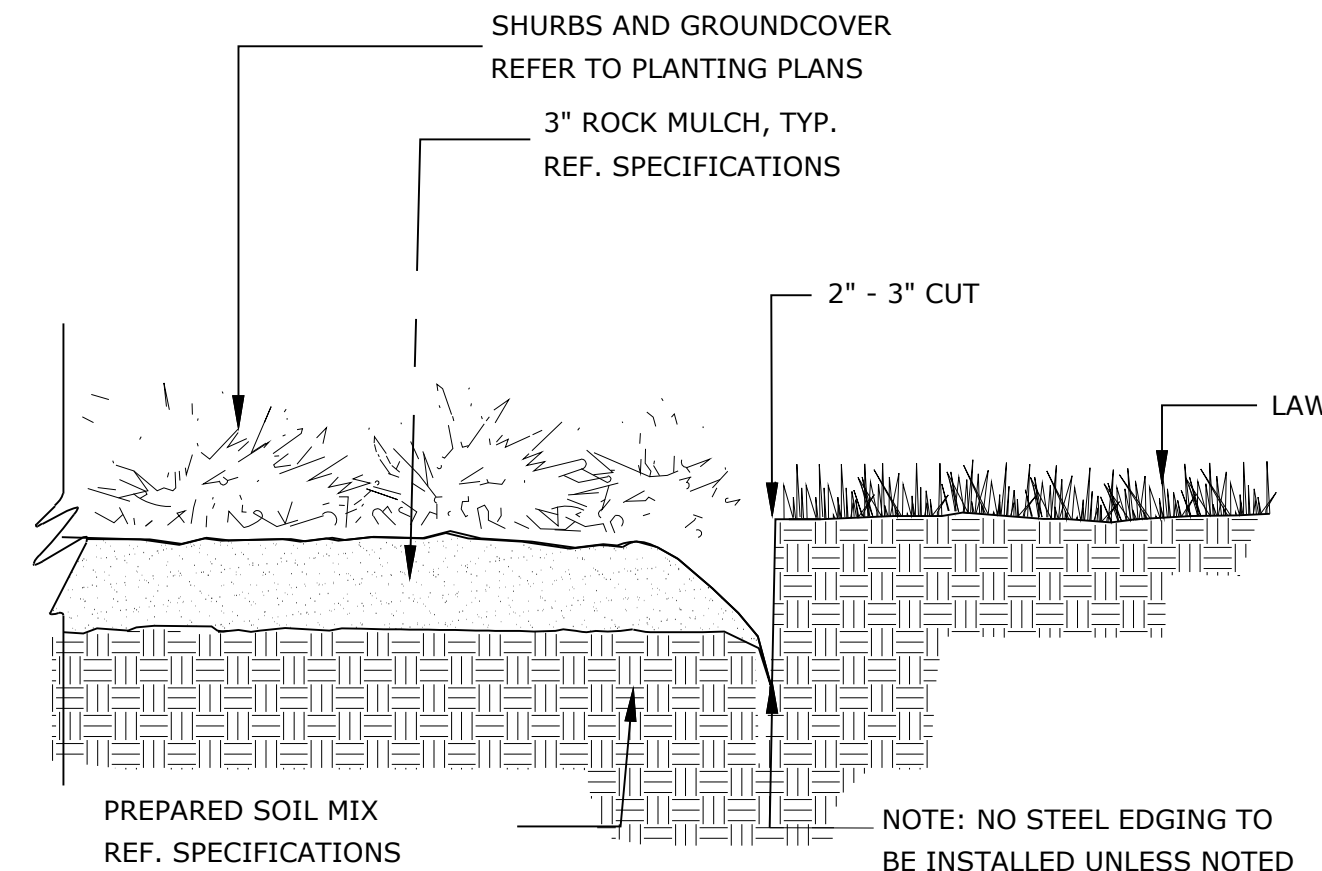
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5 LANDSCAPE BOULDER

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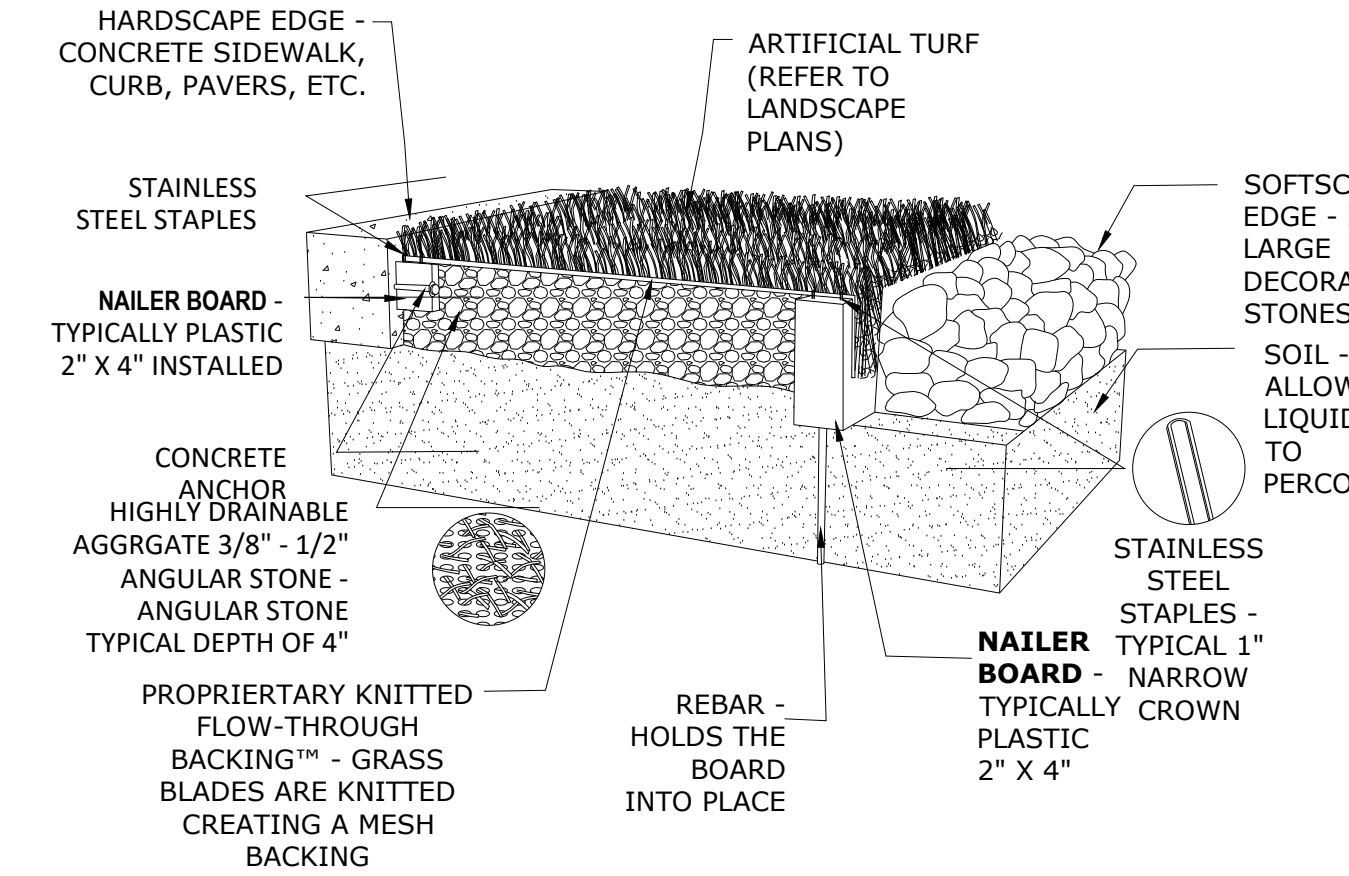
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6 BED EDGE

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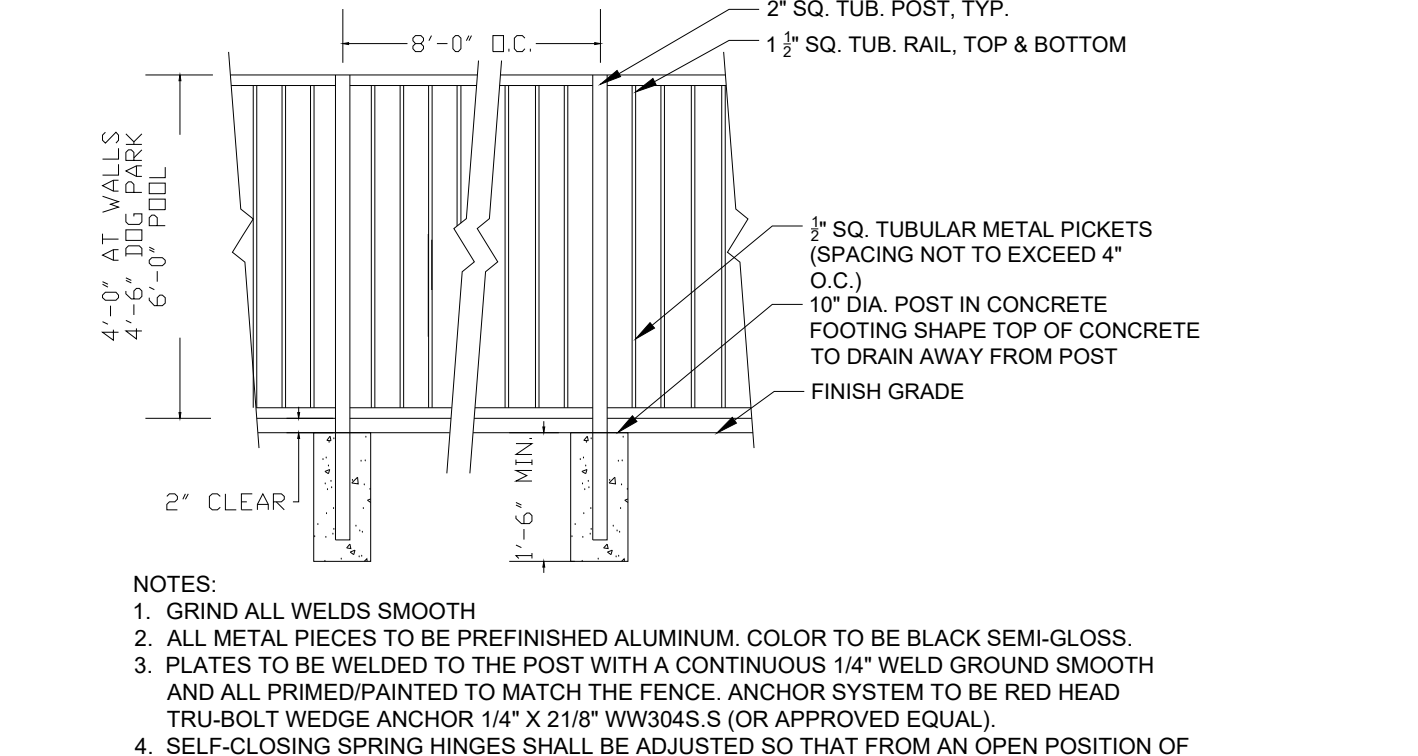
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7 ARTIFICIAL TURF

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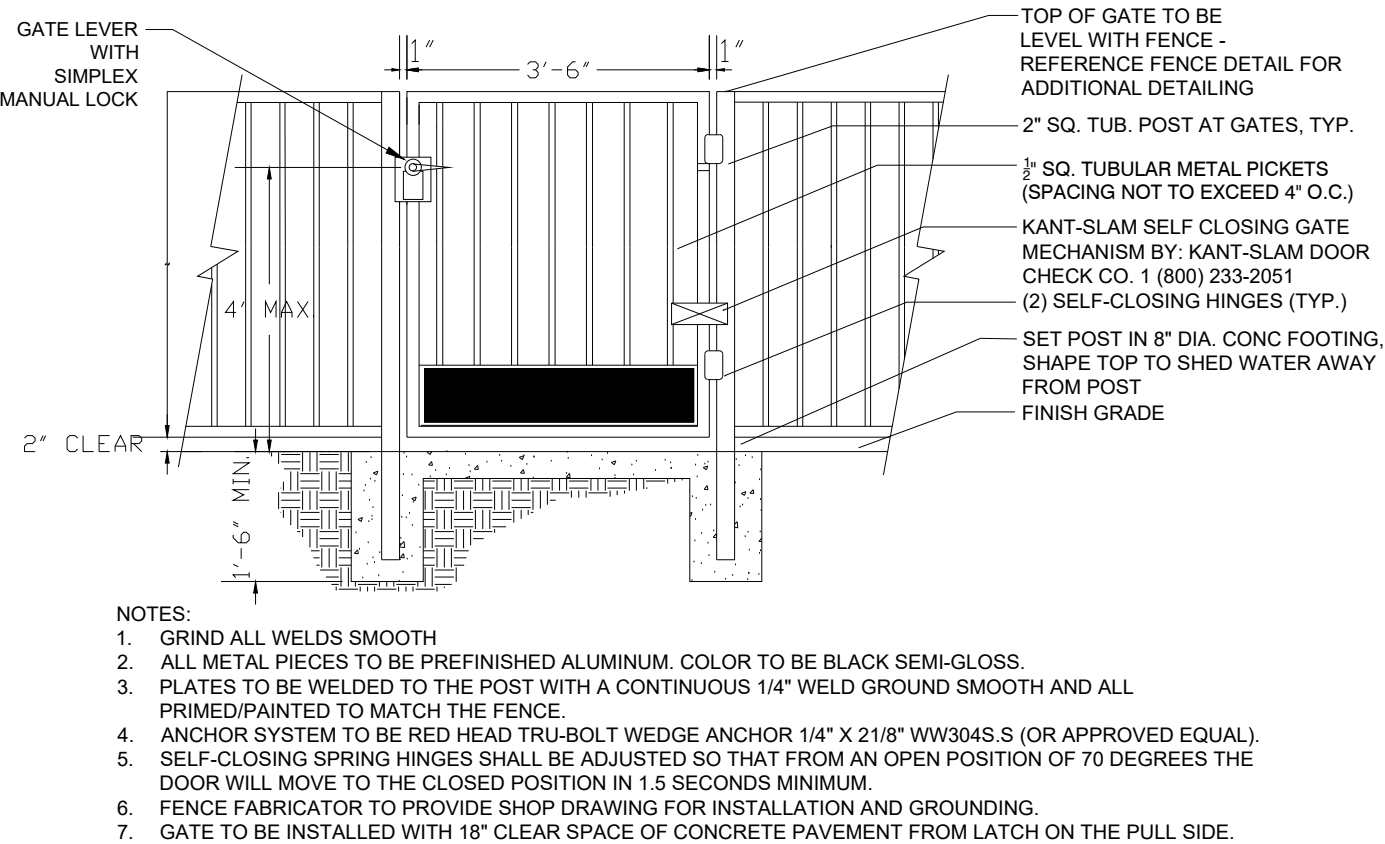
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8 FENCING

NTS

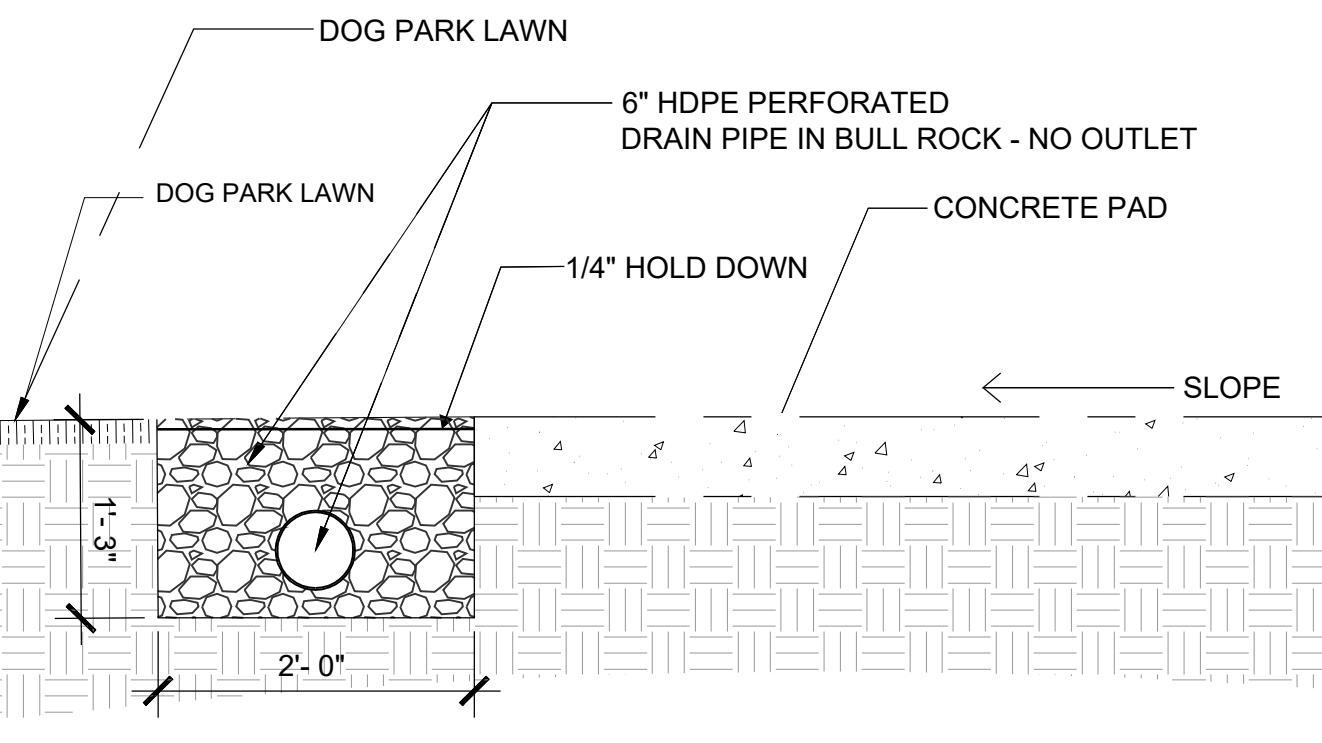
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9 GATE DOG PARK

NTS

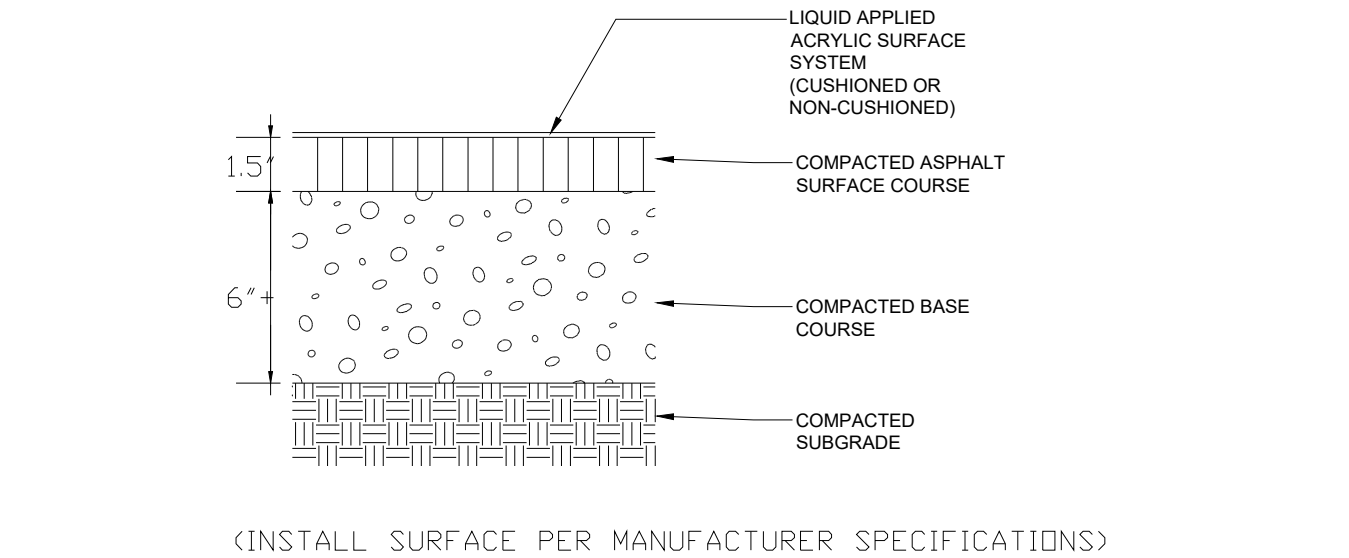
P-TT-13



10 DOG PARK DRAINAGE

NTS

P-TT-31



11 PICKLEBALL - ASPHALT COURT DESIGN

NTS

P-TT-26



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PLANNER / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

STAMP

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

ISSUE / REVISION

LANDSCAPE DETAILS

SHEET TITLE

24

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SHEET NUMBER

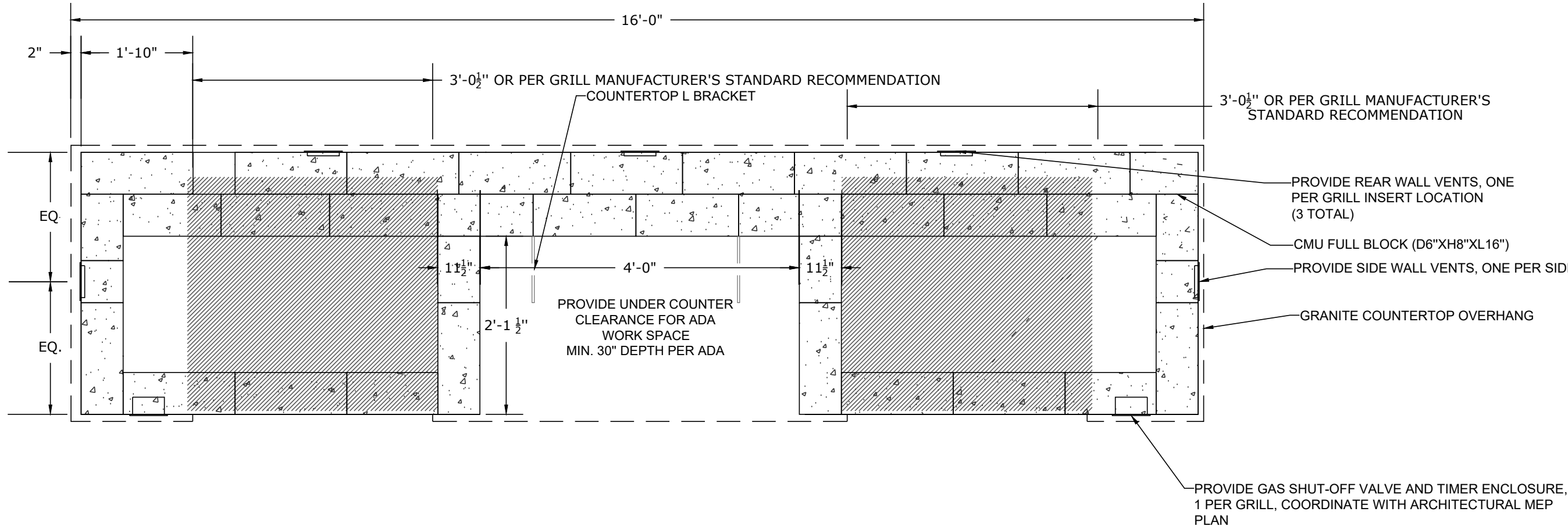
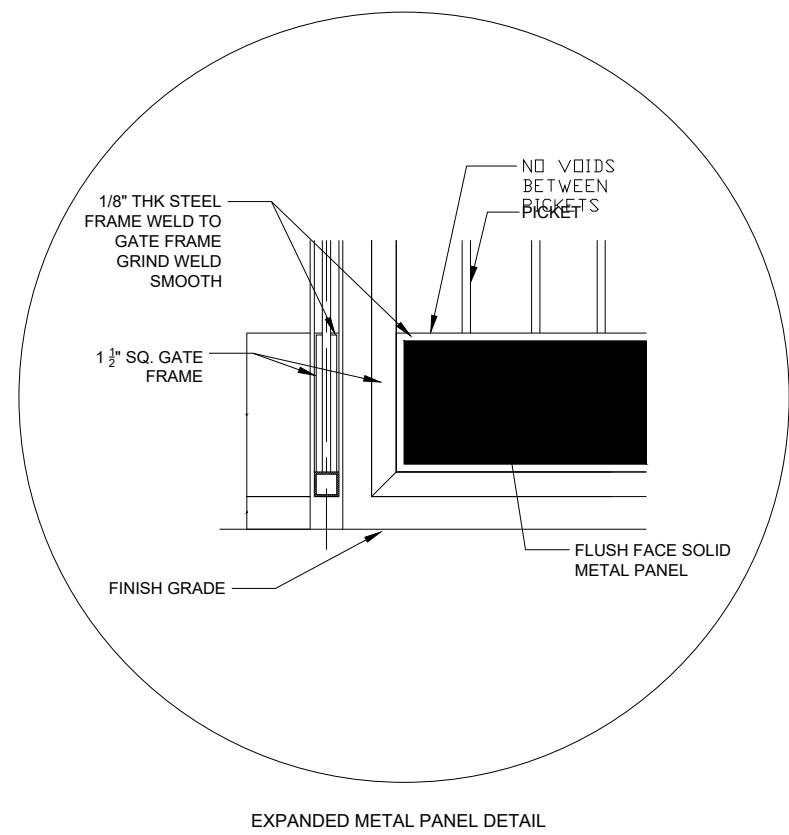
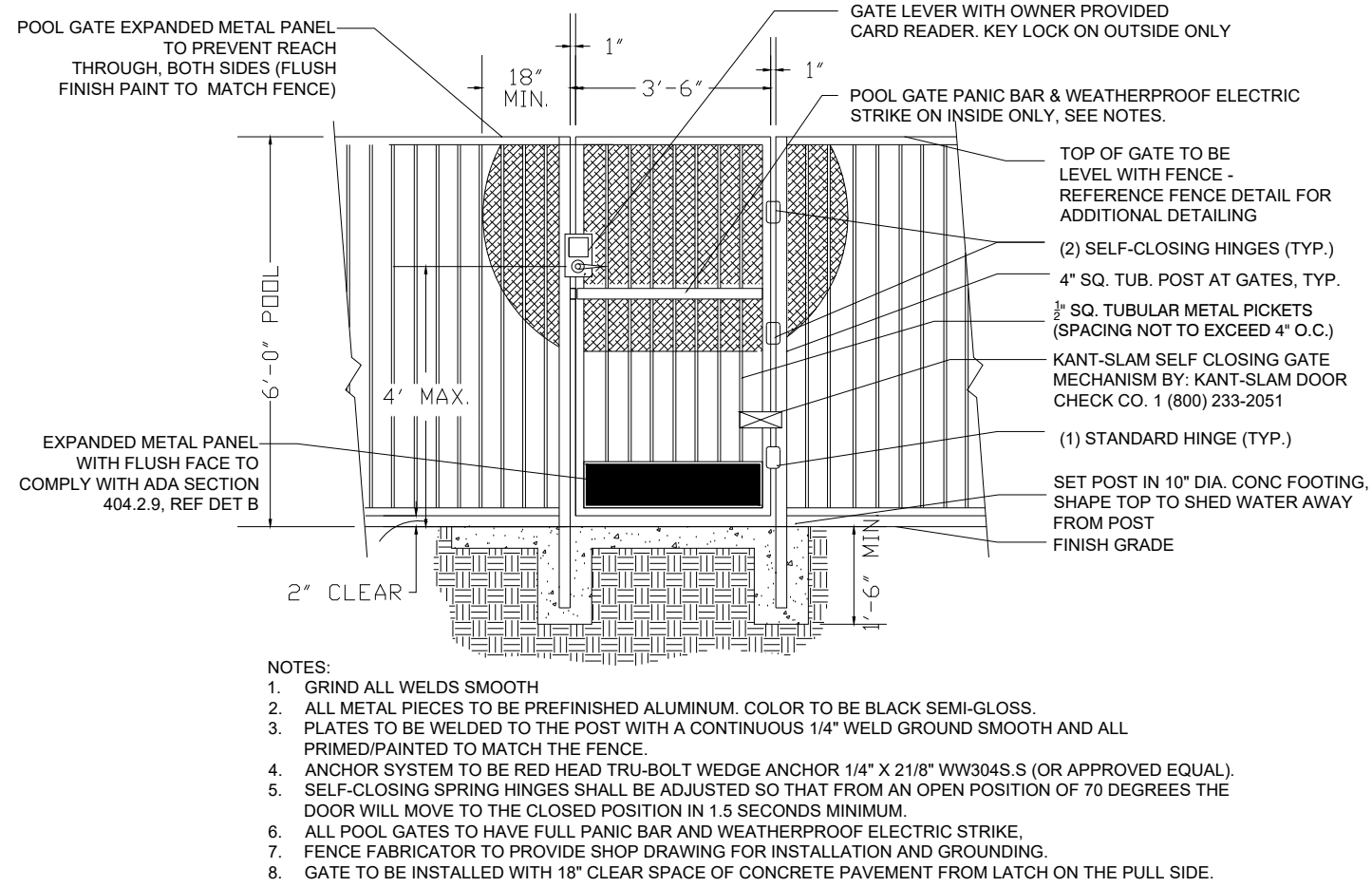
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VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO FINAL LANDSCAPE PLAN



1 POOL GATE

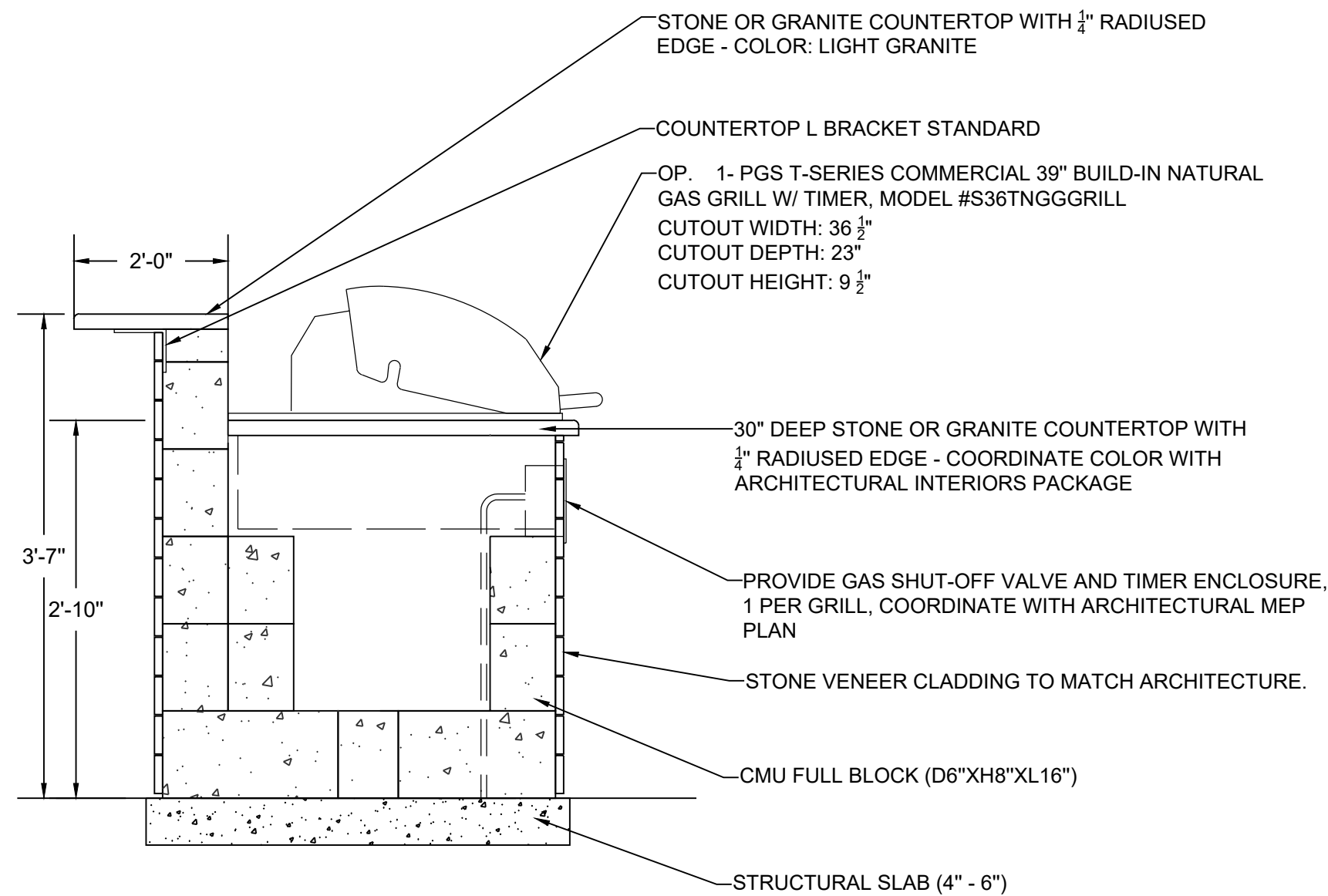
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P-TT-35

2 GRILL STATION

NTS

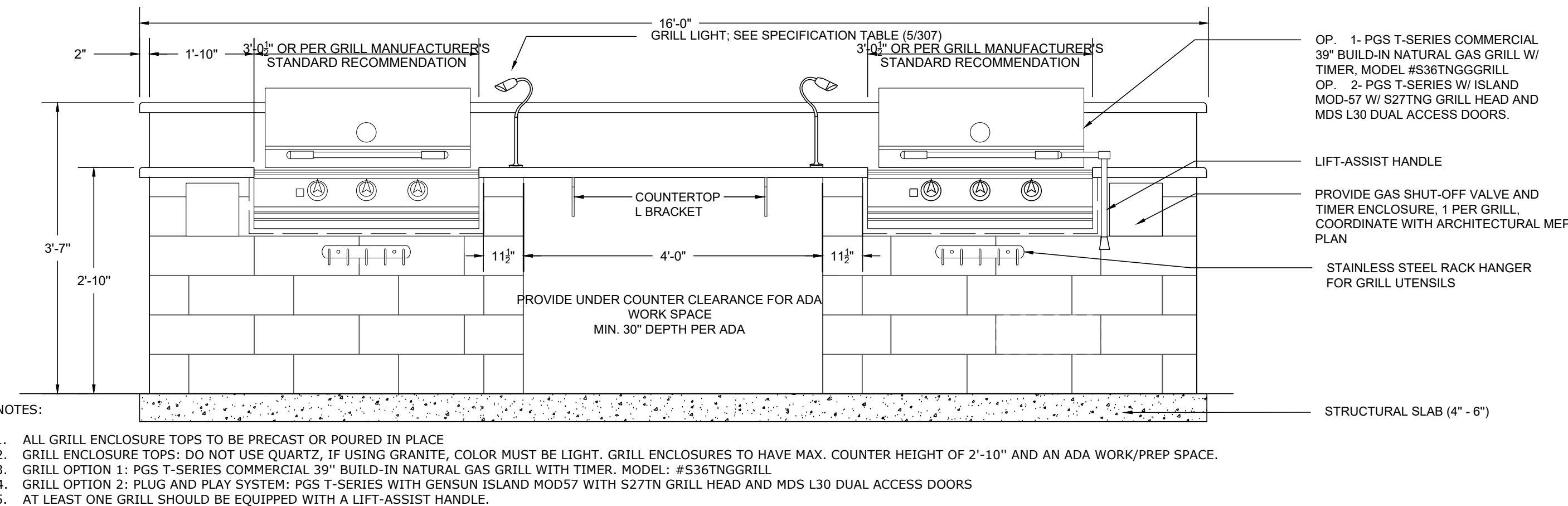
P-TT-61



3 GRILL STATION

NTS

P-TT-61



4 GRILL STATION

NTS

P-TT-61

| SPECIFICATION TABLE | | | | | | |
|---------------------|---|------------------------|---------------------------|--|---|---|
| | ITEM | PRODUCT | MANUFACTURER | COLOR/FINISH | NOTES | LINK |
| 1 | WASTE RECEPTACLE | SD-45 | VICTOR STANLEY | BLACK | Option: bottom recessed pedestal, side door opening, tapered formed lid | https://www.victorstanley.com/product/sd-35/ |
| 2 | PICNIC TABLE | SELECTION BY OWNER | | | | PROVIDED BY OWNER. |
| 3 | BENCH | RMS-24 | VICTOR STANLEY | BLACK | | |
| 4 | BIKE RACK | BWRS-101 IN-GROUT UNIT | VICTOR STANLEY | POWDER COAT BLACK | Spacing 3 foot on center | https://www.victorstanley.com/product/bwrs-101/ |
| 5 | PET WASTE STATION | DL-PWS100 | THE PET WASTE STATION | BLACK | | https://www.thepetwastestation.com/dog-poop/the-pet-waste-station-ig/ |
| 6 | FIRE PIT | CIR-M-18 CIR-M-18P | BENTO | CHARCOAL / BLACK | Natural gas option w/ electric ignition. vessel: hand cast concrete 250 lbs | https://paloform.com/bento/ |
| 7 | BOLLARD SERIES | BOL-608-32-S-MCTP-BK | WESTGATE | BLACK | | https://www.westgatemfg.com/variation-detail/BOL-608-32-S-MCTP-BK |
| 8 | UP LIGHT | EVO EW-31 | FX LUMINAIRE | BLACK, TEXTURED COMPOSITE | | |
| 9 | GRILL STATION LIGHT | BQFD02L134SS | FOCUS INDUSTRIES INC. | STAINLESS STEEL - BRUSHED | Option: 102V electric specification | https://www.landscapelightexperts.com/focus-deck-mount-angled-bullet-led-bbq-light/ |
| 10 | WALL MOUNTED PATH LIGHT | WE-EF | STL134 LED | BLACK | | https://we-ef.com/us/products/family/stl134-led |
| 11 | CABANA | SELECTION BY OWNER | | | | PROVIDED BY OWNER. |
| 12 | SPA POST / IGNITER TIMER POST | XPP2G30-BK | LEGRAND | BLACK | 2-GANG DEVICE PLATE | |
| 13 | ARTIFICIAL TURF (POOL DECK) | SELECT LX | LANDSCAPES BY FOREVERLAWN | PRIMARY: field/olive green SECONDARY: turf green/dark tan | | https://www.landscapesbyforeverlawn.com/solutions/foreverlawn-select/ |
| 14 | ARTIFICIAL TURF (DOG PARKS AND PRIVATE YARD) | CLASSIC+ | K9 GRASS BY FOREVERLAWN | PRIMARY: summer green SECONDARY: turf green | | https://k9grass.com/solutions-we-offer/architectural-specs/ |
| 15 | PAVERS AT AMENITY BUILDING (CLUBHOUSE ENTRY, PATIO & POOL DECK) | HOLLAND STONE | BELGARD | TOSCANA | RUNNING BOND PATTERN | https://www.belgard.com/products/pavers/holland-stone/ |



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IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

PROJECT INFO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

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ISSUE INFO

DATE: 03/14/2025
BY: JS
DESCRIPTION: PER EPC COMMENTS

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BY: JS
DESCRIPTION: PER REVIEW COMMENTS

ISSUE / REVISION

SHEET TITLE

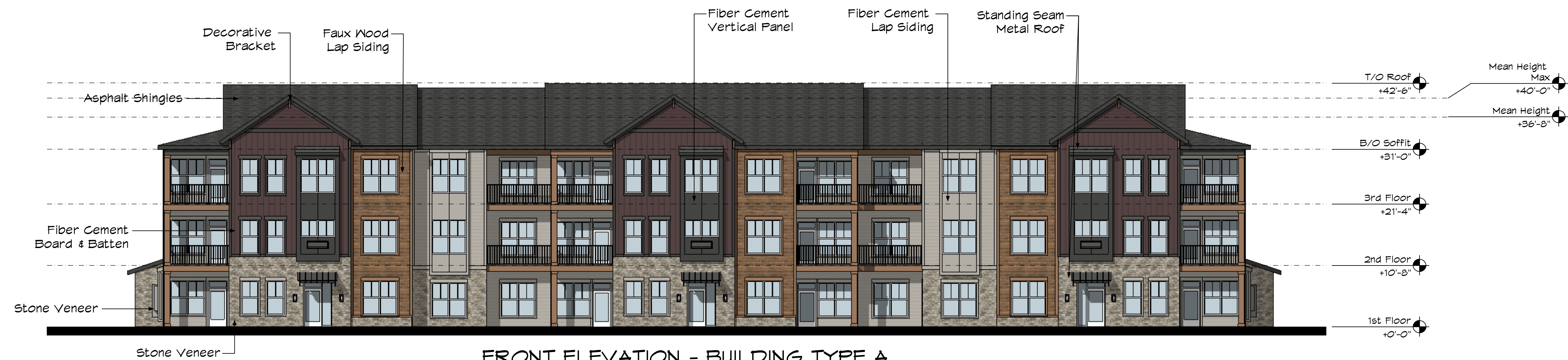
LANDSCAPE DETAILS

25

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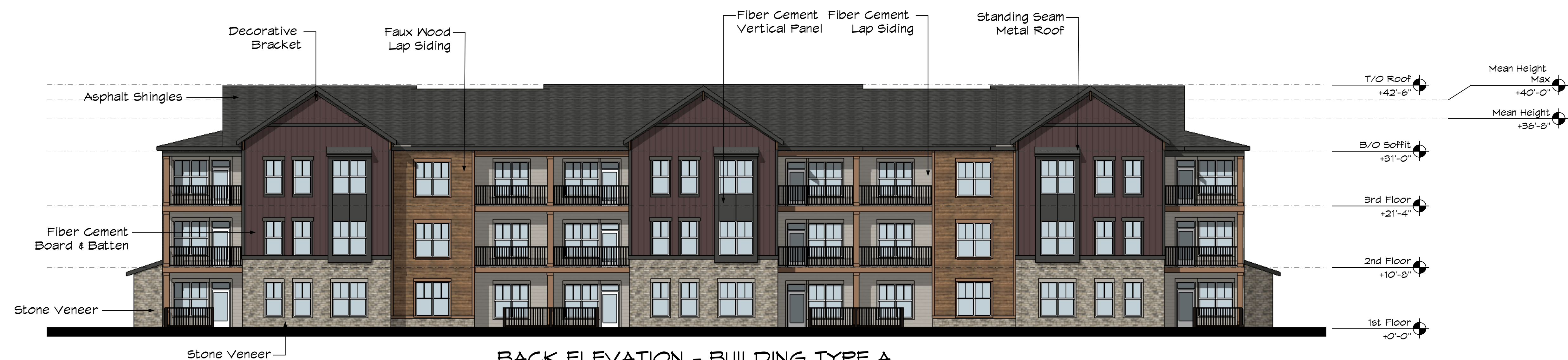
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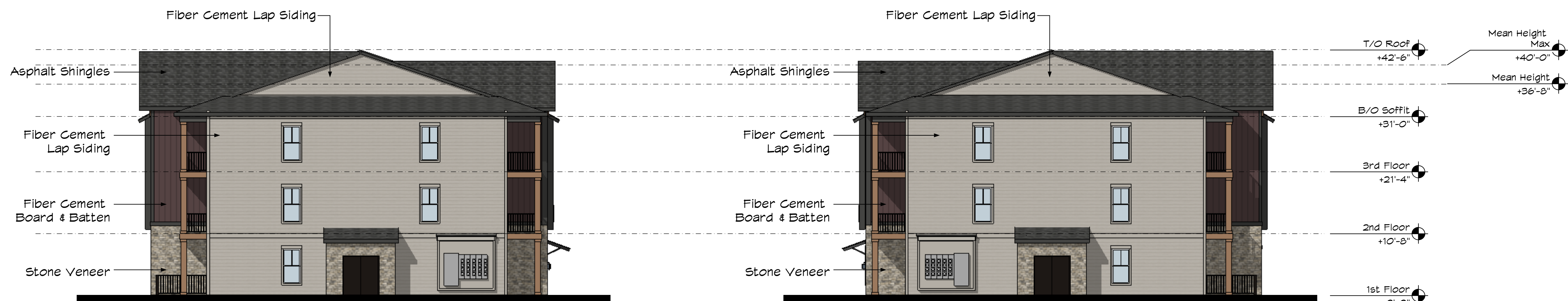
FRONT ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"



BACK ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"



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VENTURE ON VENETUCCI

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VENETUCCI BLVD

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DATE: 11/05/2024
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ENTITLEMENT

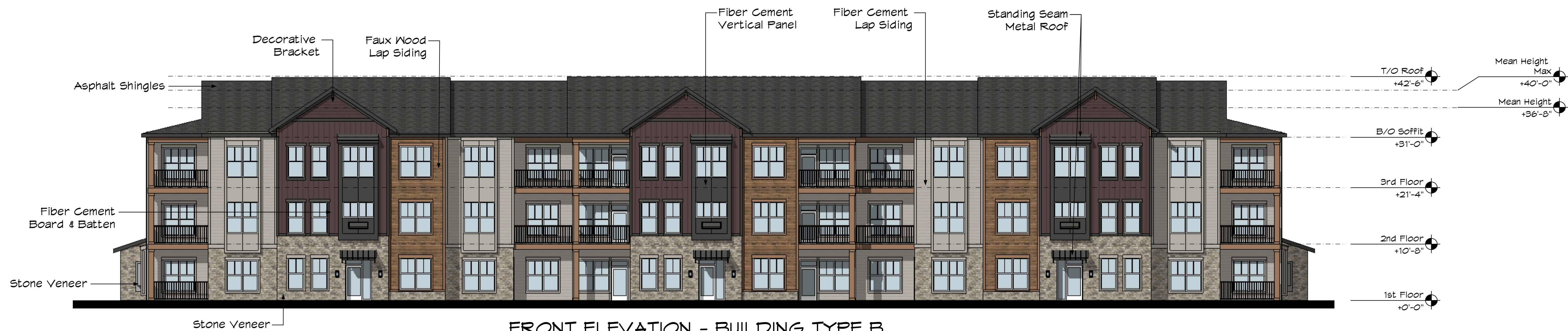
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ARCHITECTURAL ELEVATIONS

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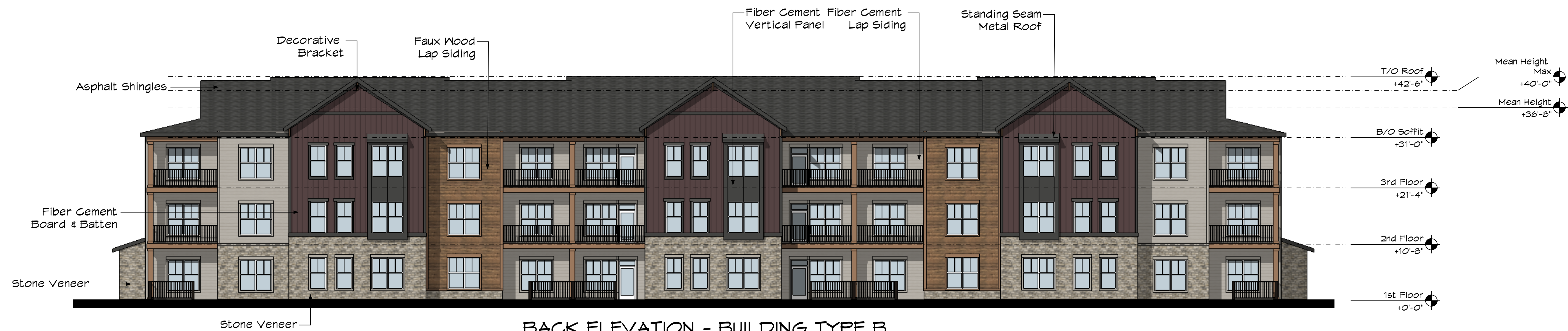
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PPR2444



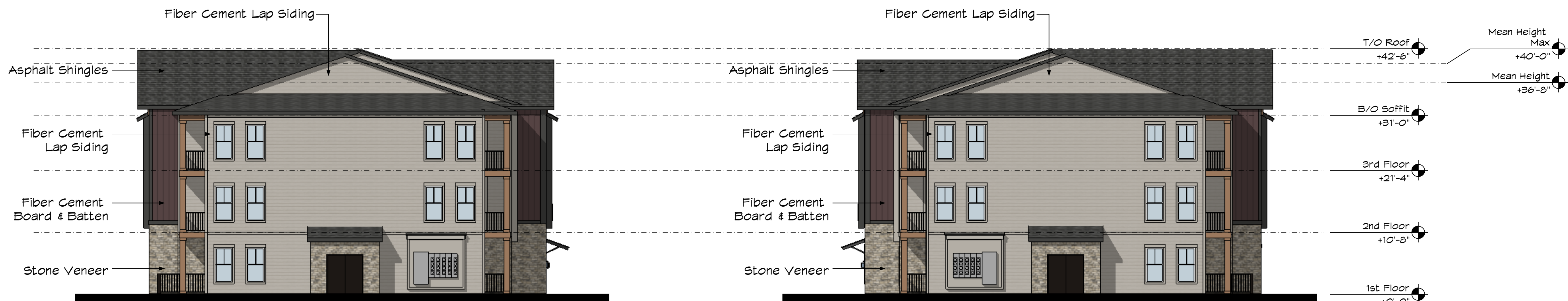
FRONT ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"



BACK ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"



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ARCHITECTURAL ELEVATIONS

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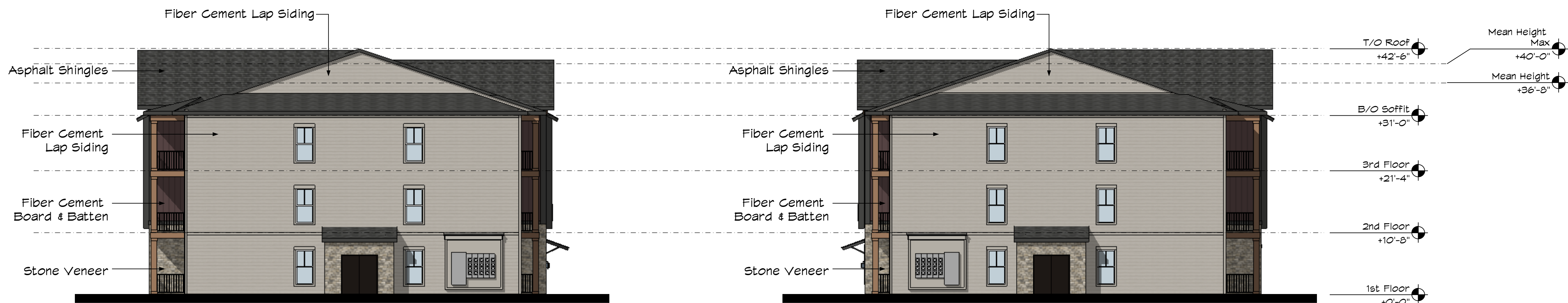
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FRONT ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



BACK ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



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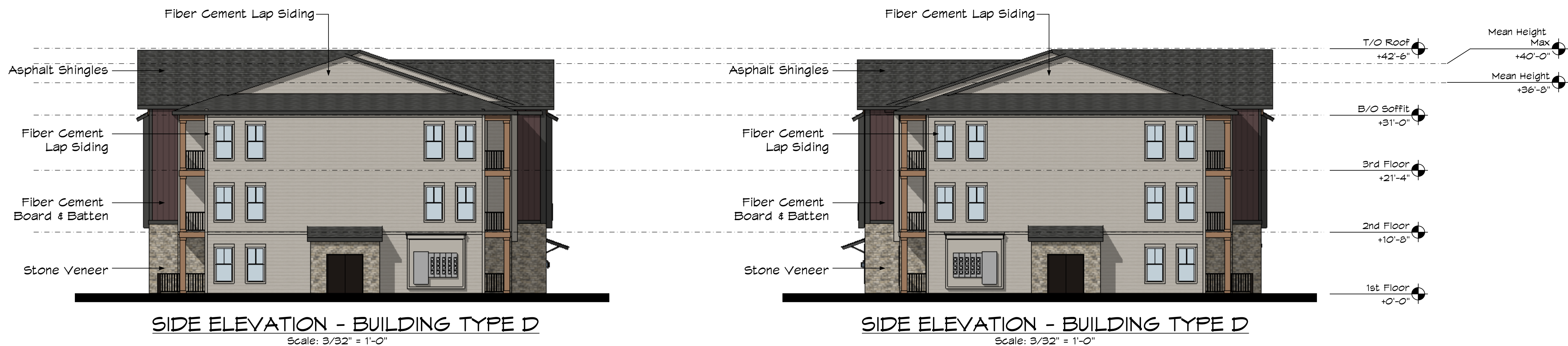
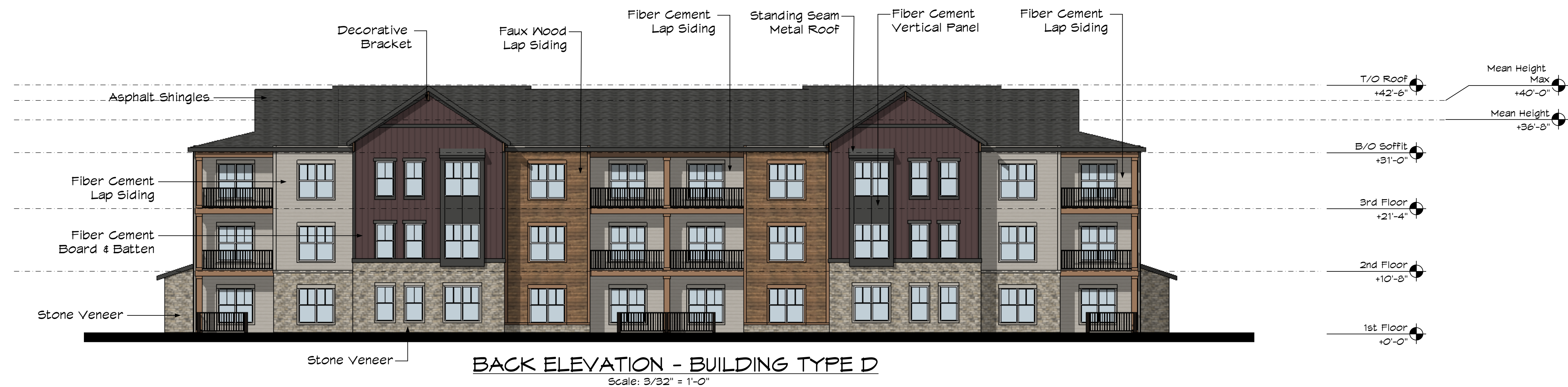
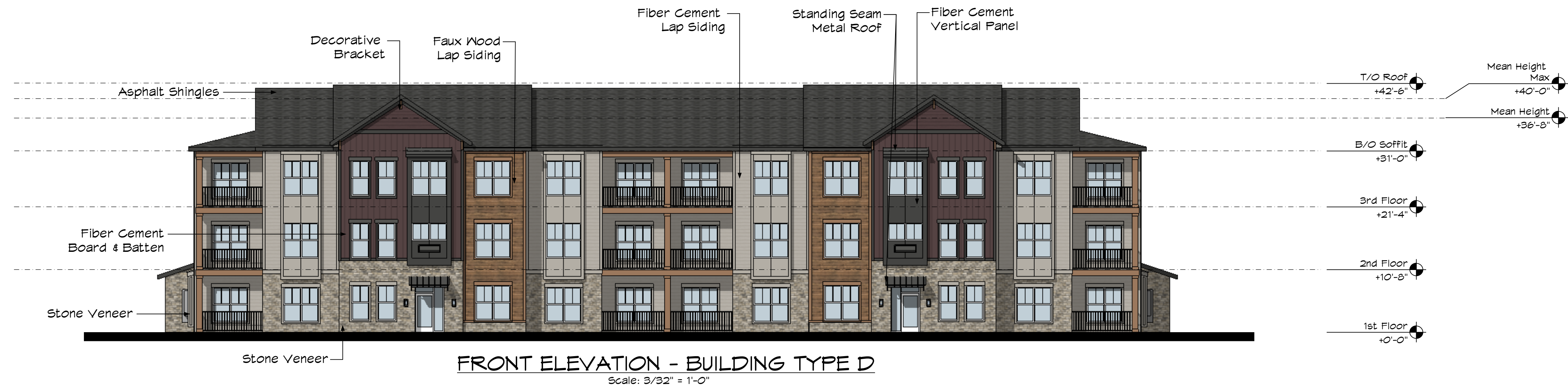
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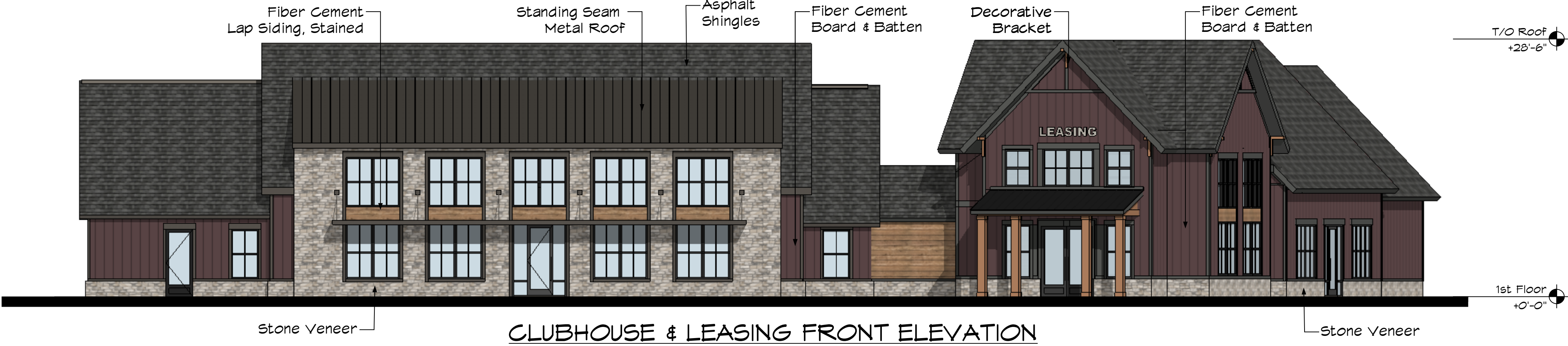
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ARCHITECTURAL ELEVATIONS

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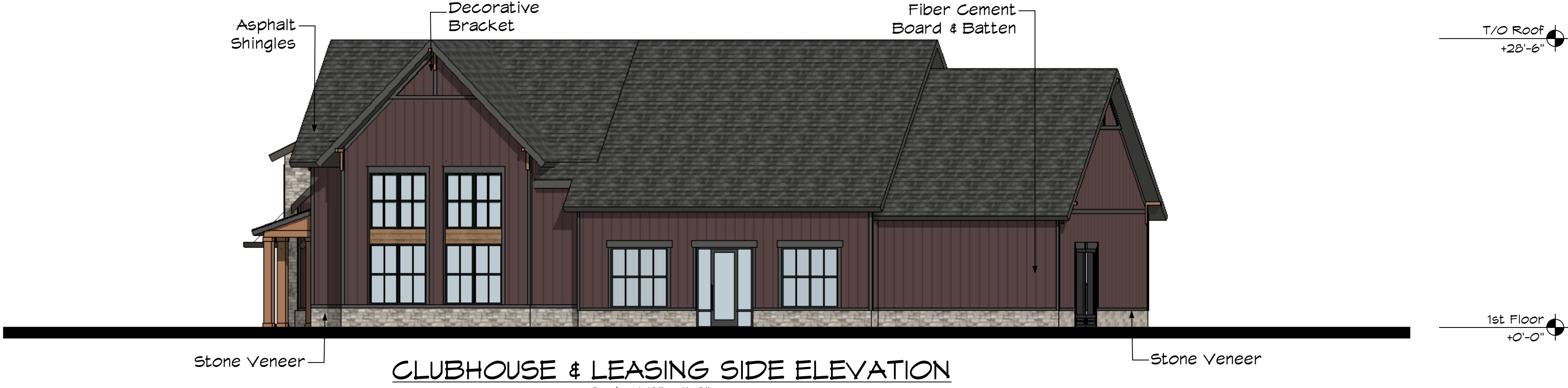
CLUBHOUSE & LEASING FRONT ELEVATION

Scale: 1/8" = 1'-0"



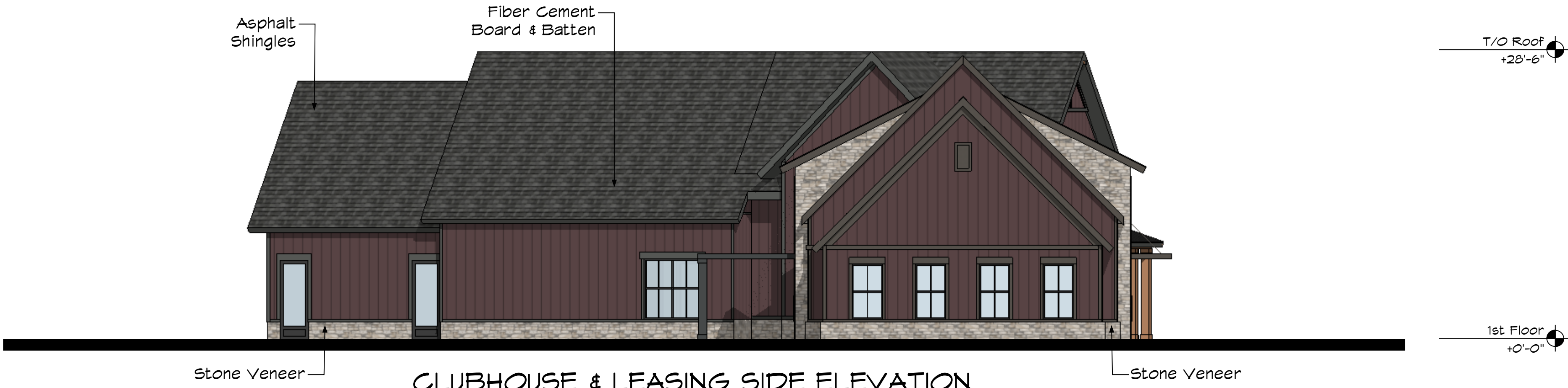
CLUBHOUSE & LEASING BACK ELEVATION

Scale: 1/8" = 1'-0"



CLUBHOUSE & LEASING SIDE ELEVATION

Scale: 1/8" = 1'-0"



CLUBHOUSE & LEASING SIDE ELEVATION

Scale: 1/8" = 1'-0"



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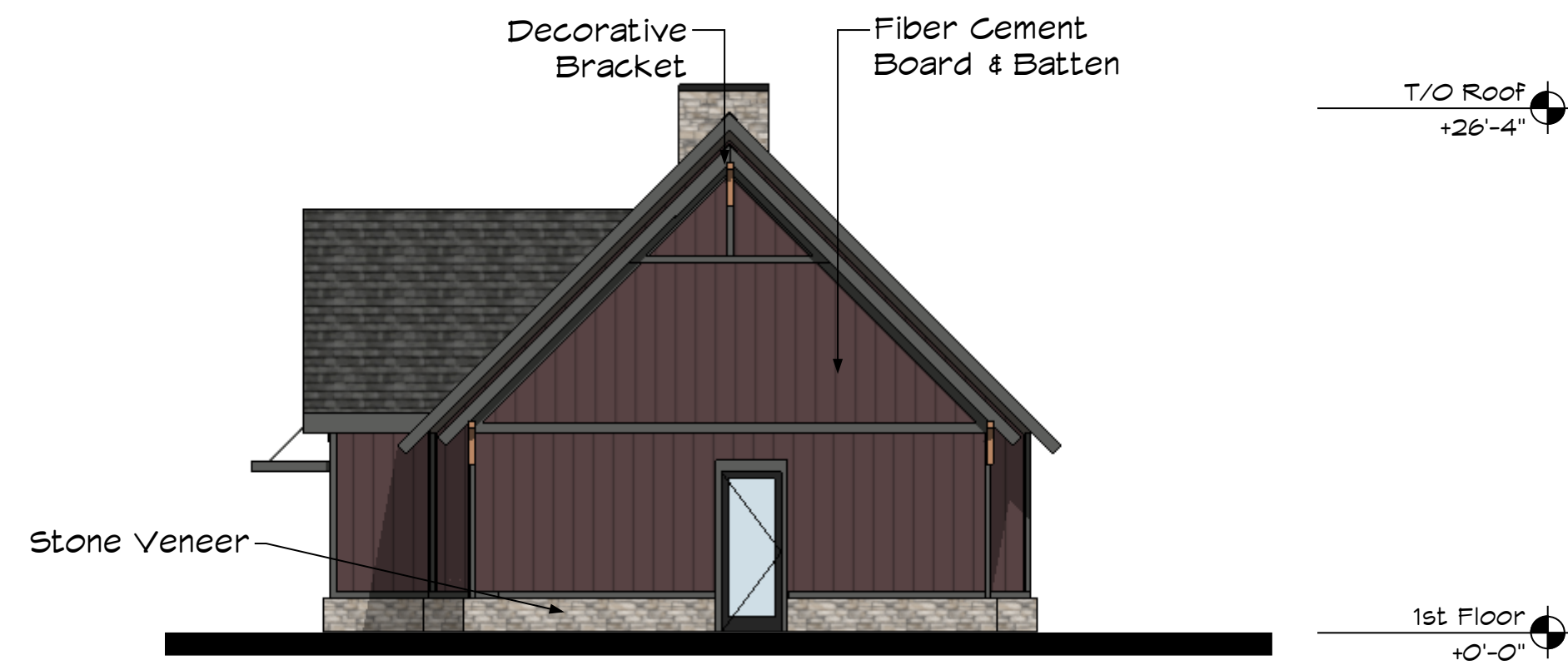
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ARCHITECTURAL ELEVATIONS

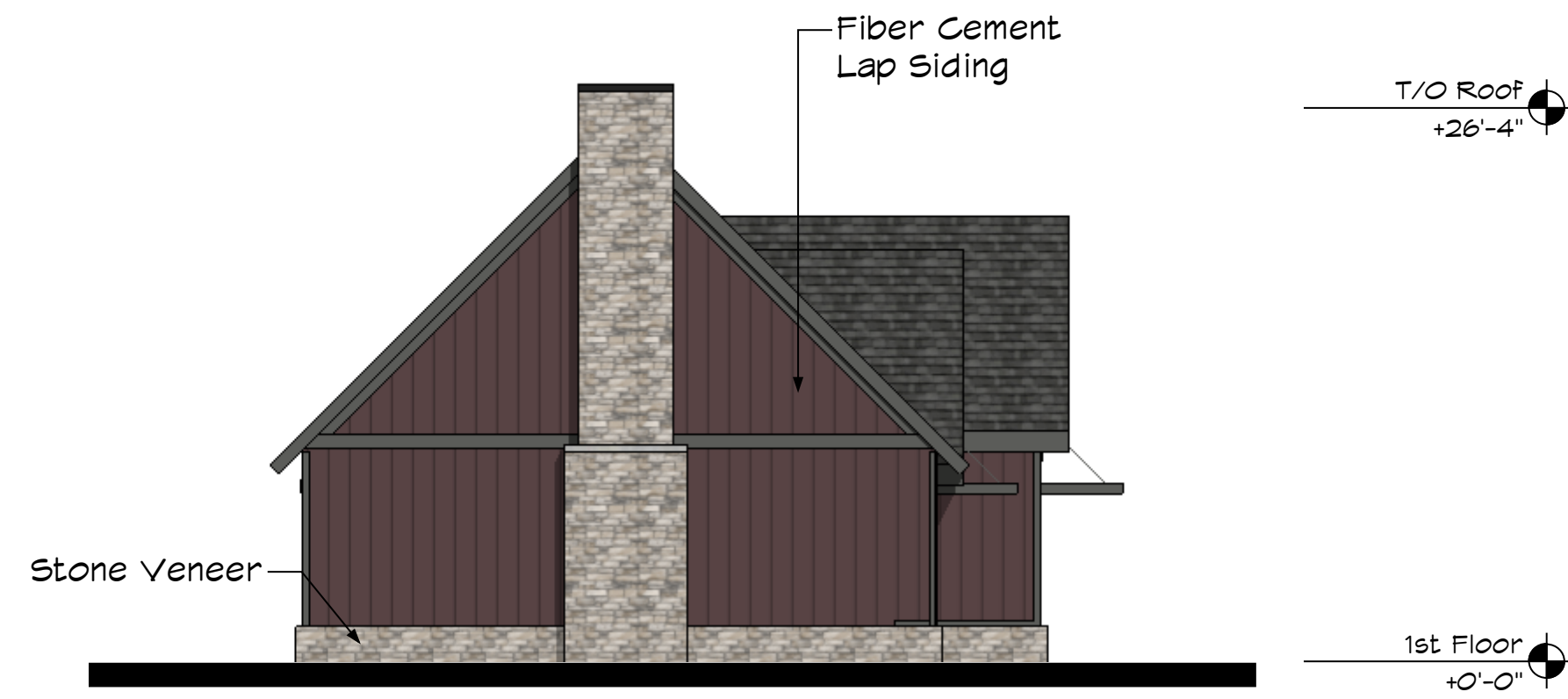
30

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FITNESS FRONT ELEVATION
Scale: 1/8" = 1'-0"



FITNESS BACK ELEVATION
Scale: 1/8" = 1'-0"



FITNESS SIDE ELEVATION
Scale: 1/8" = 1'-0"



FITNESS SIDE ELEVATION
Scale: 1/8" = 1'-0"



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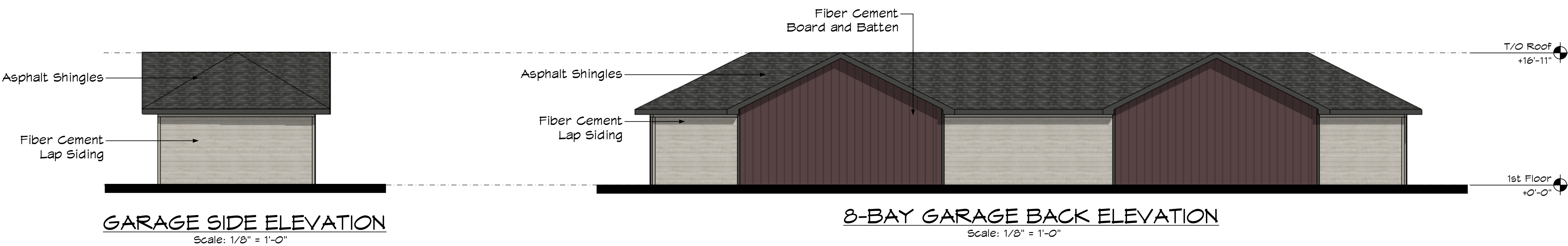
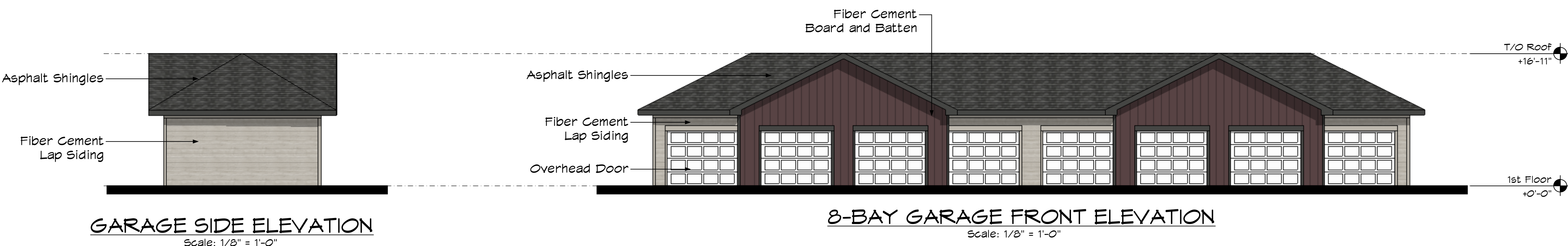
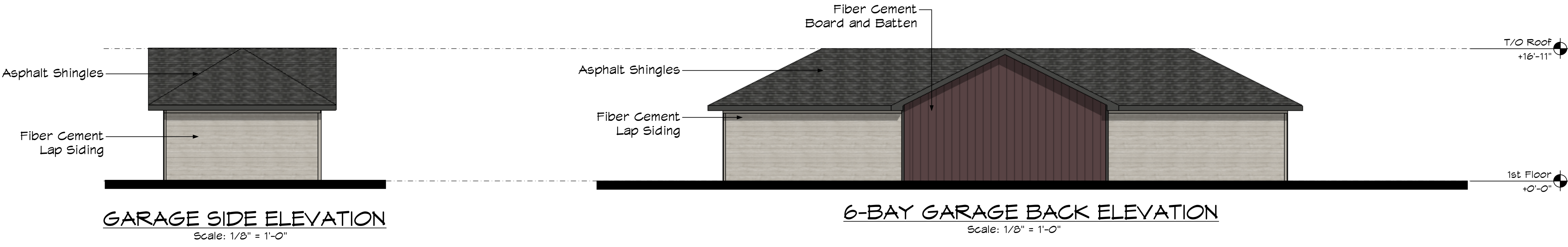
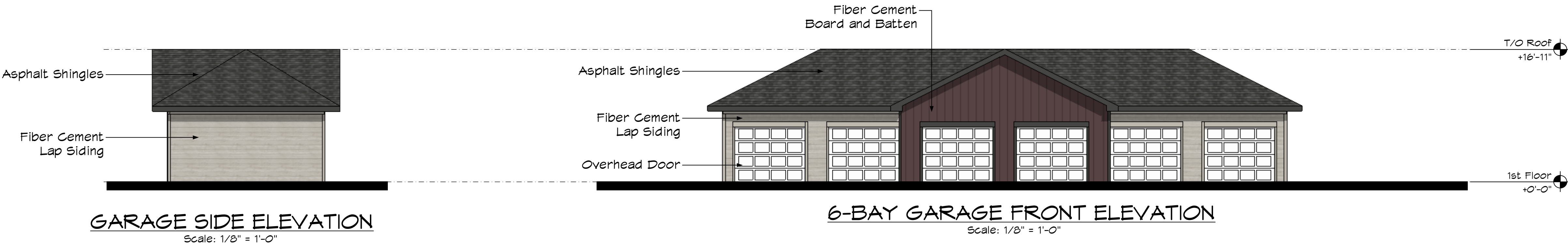
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ARCHITECTURAL ELEVATIONS

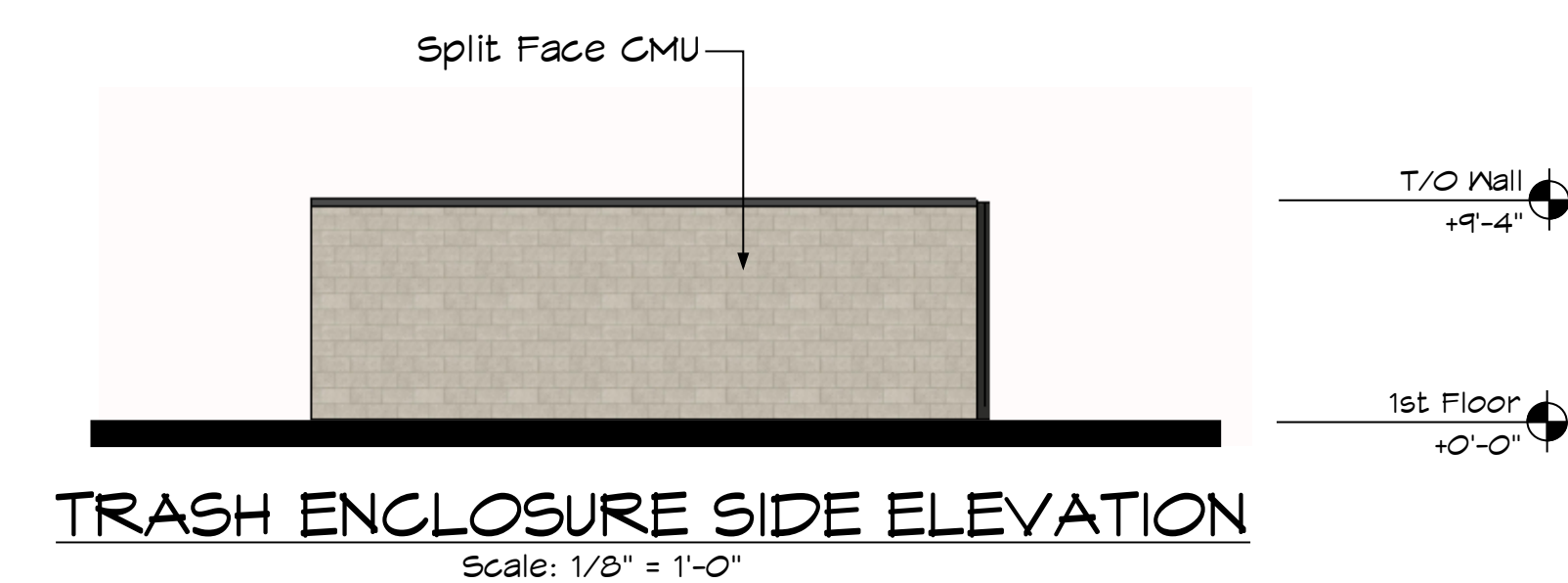
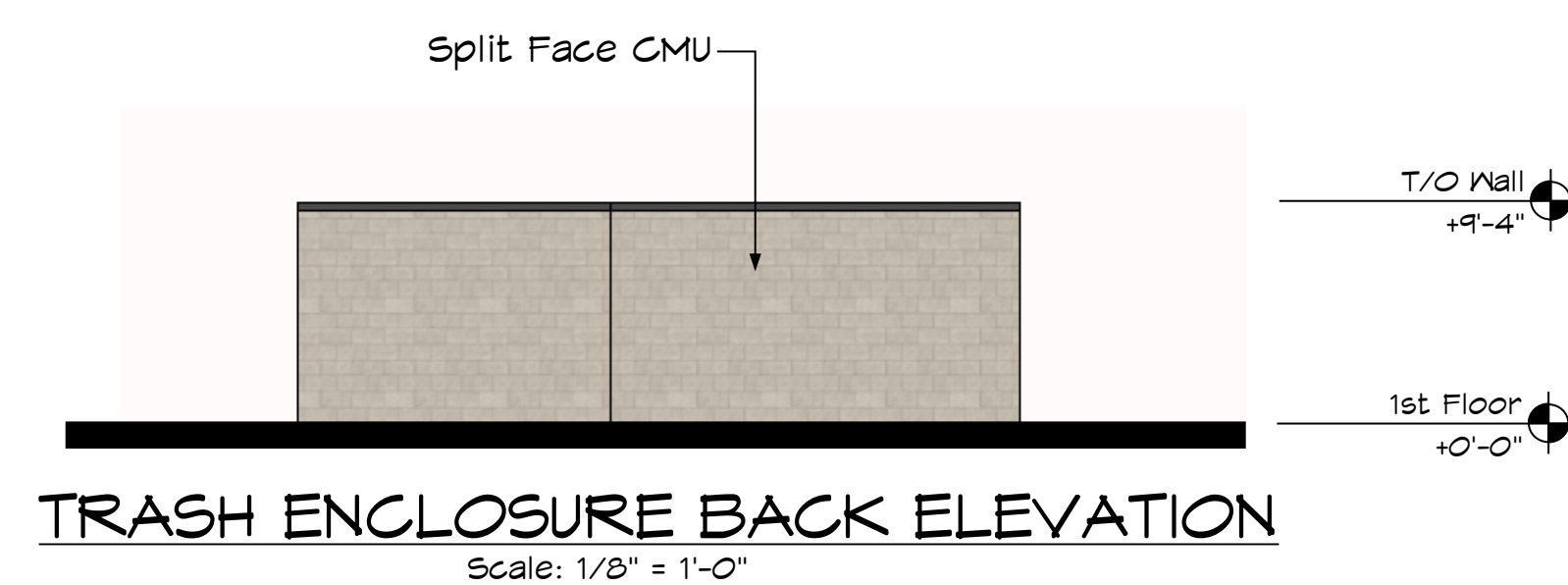
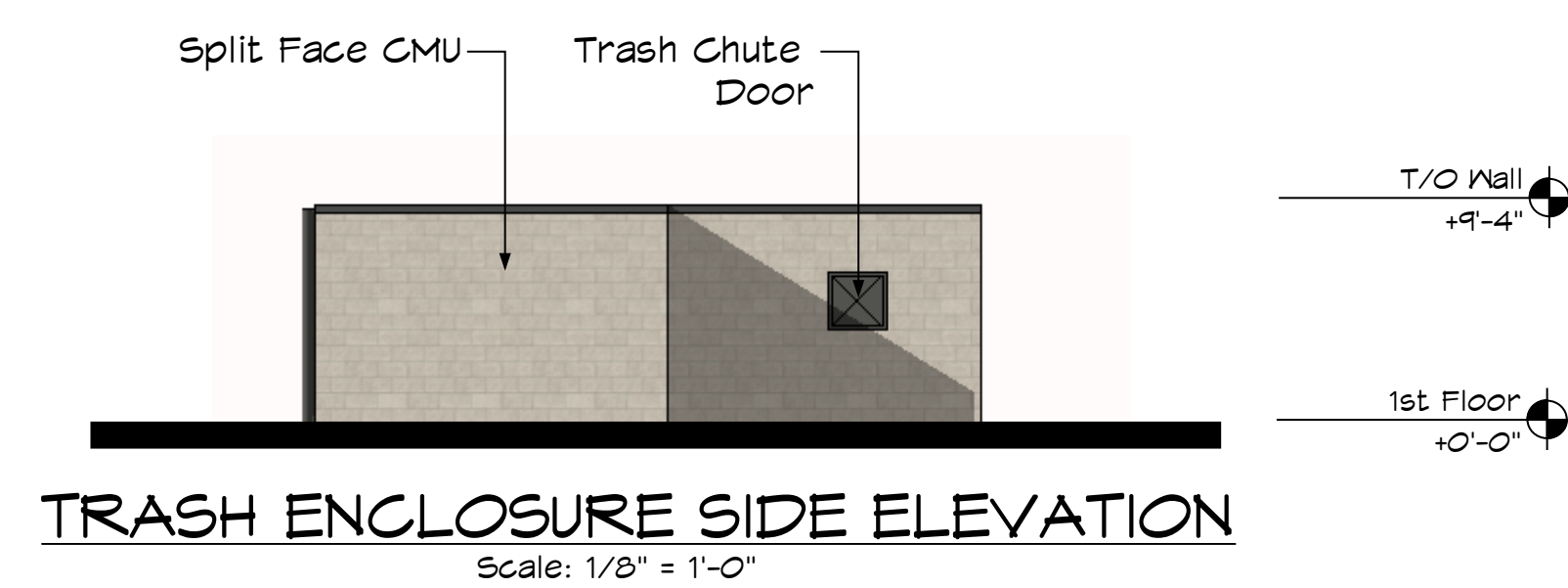
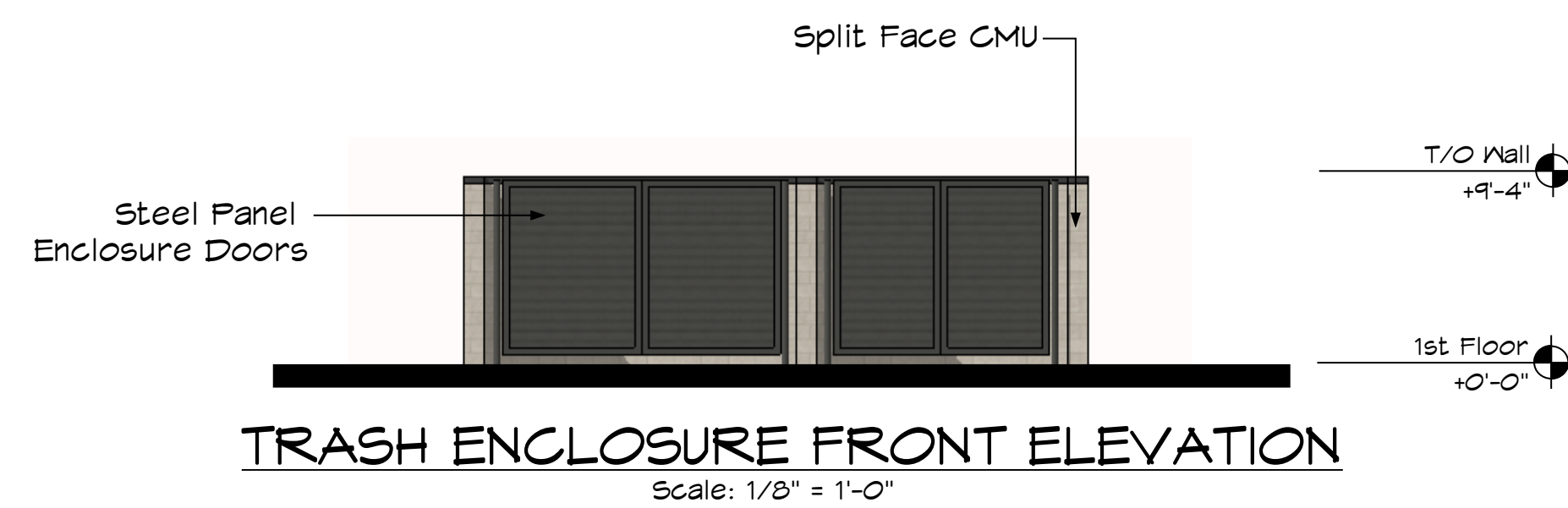
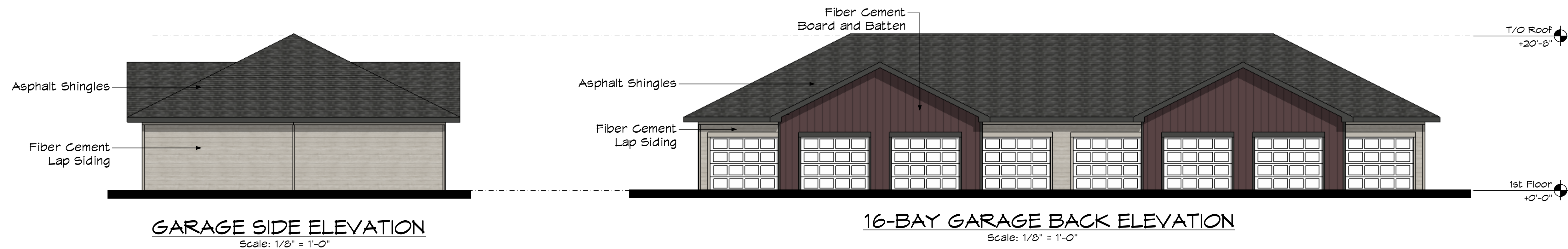
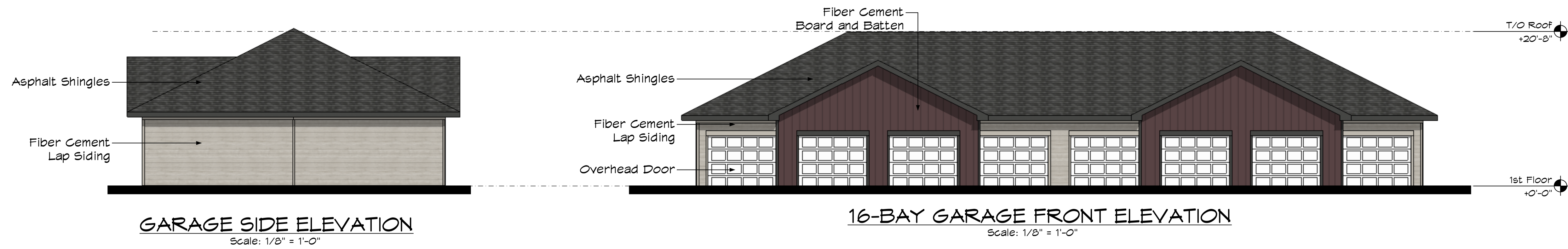
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VENTURE ON VENETUCCI

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VENETUCCI BLVD

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DATE: BY: DESCRIPTION:

ISSUE:1 BY: DESCRIPTION

ARCHITECTURAL ELEVATIONS

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PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

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OTHER INFO

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ARCHITECTURAL FLOOR
PLANS

SHEET TITLE

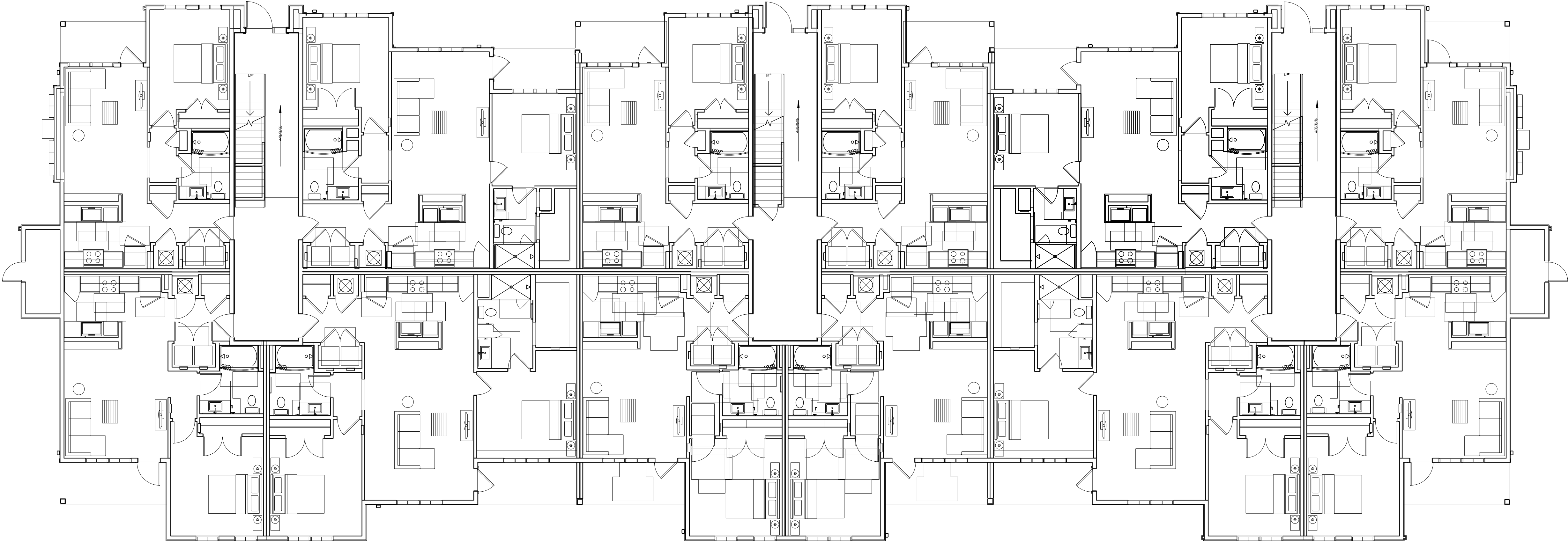
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34

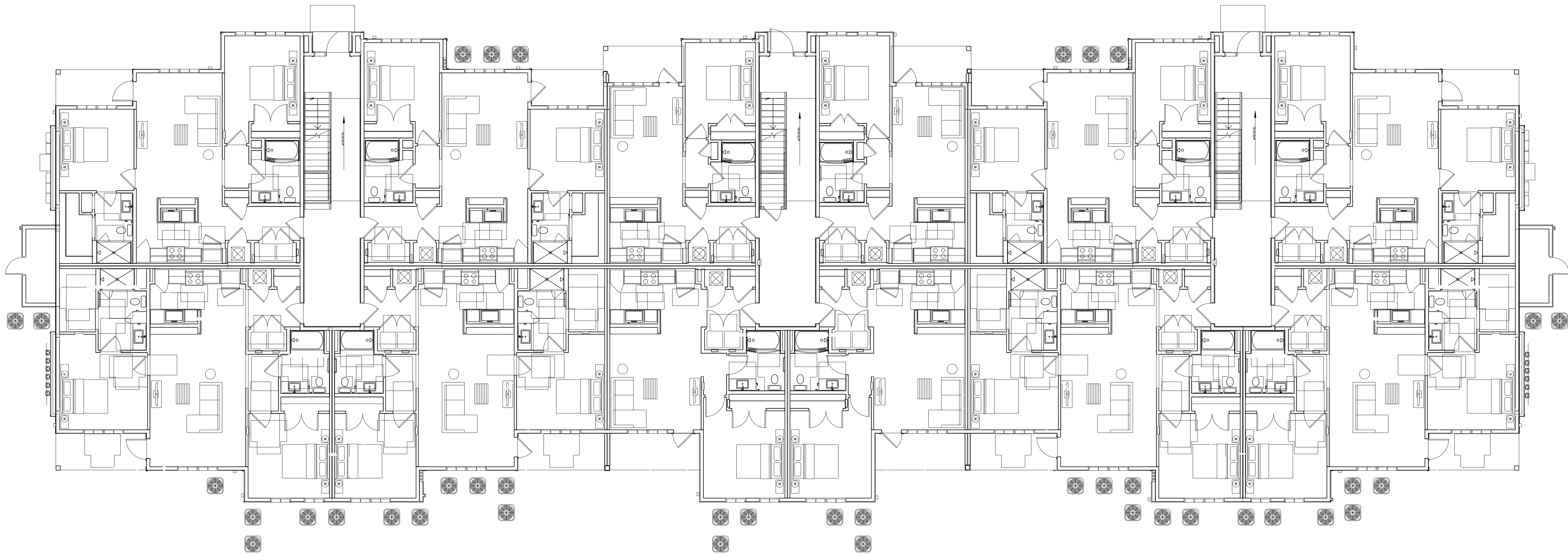
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PPR2444

PLAN FILE #



Type A Building Floor Plan
Scale: 1/8" = 1'-0"



Type B Building Floor Plan
Scale: 1/8" = 1'-0"



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PLAN FILE

VENTURE ON
VENETUCCI

MULTI-FAMILY
VENETUCCI BLVD

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| PREPARED BY: | PREPARED BY |

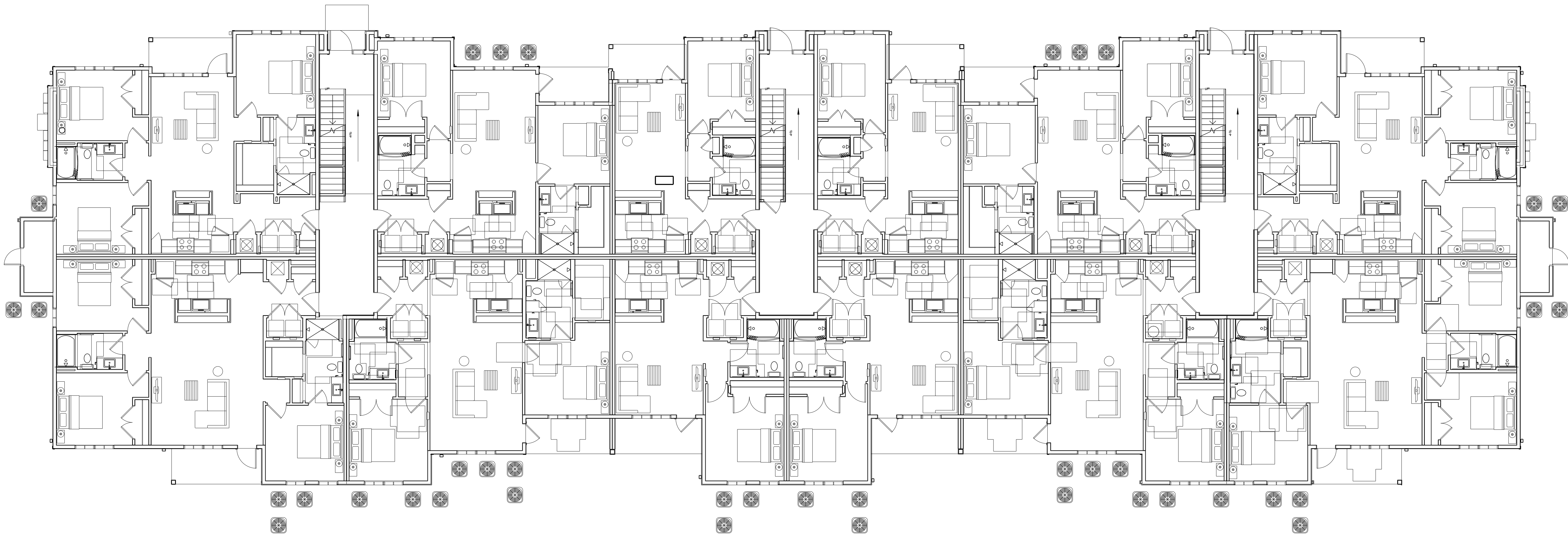
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ARCHITECTURAL FLOOR
PLANS

35

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PPR2444



Type C Building Floor Plan
Scale: 1/8" = 1'-0"



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IN ASSOCIATION WITH

VENTURE ON
VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

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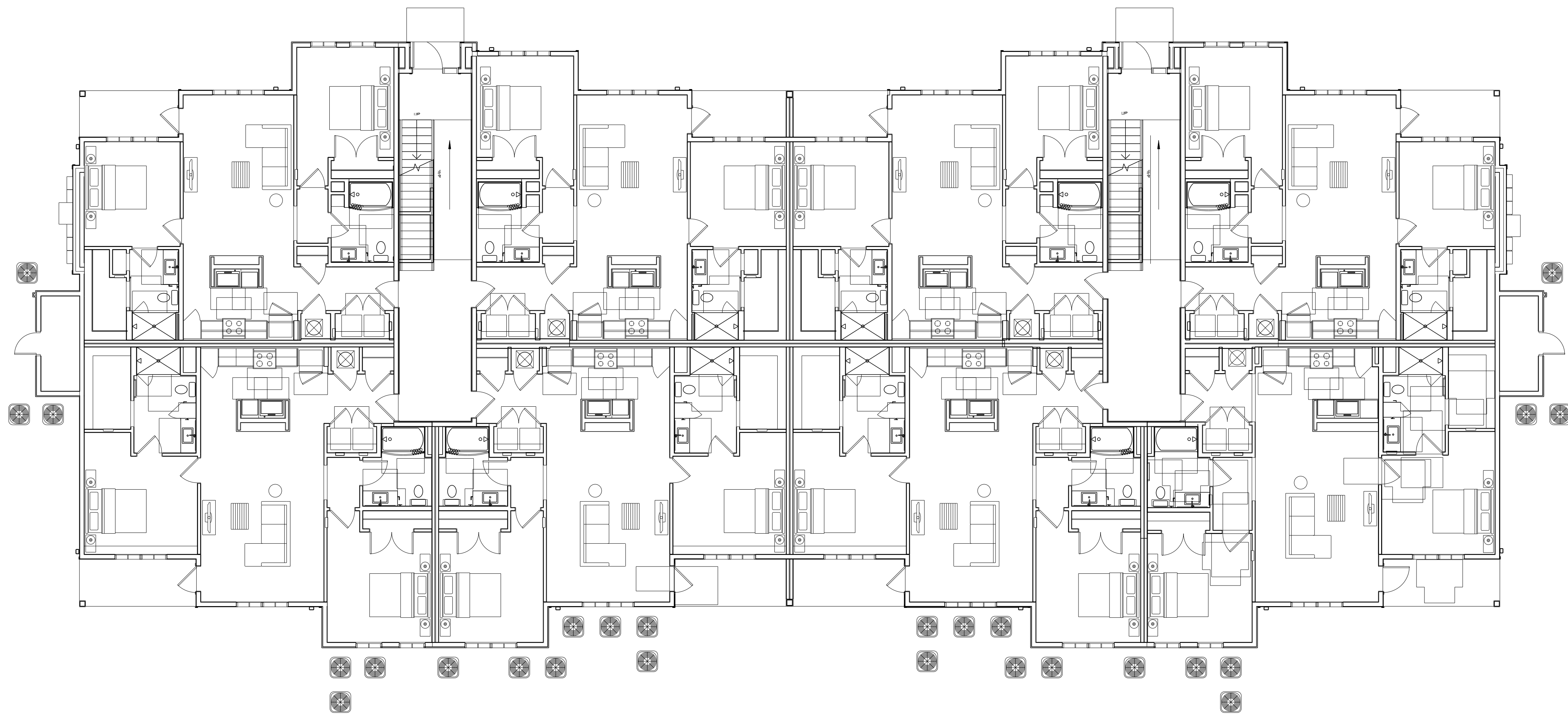
ARCHITECTURAL FLOOR
PLANS

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PLAN FILE #

PPR2444



Type D Building Floor Plan
Scale: 1/8" = 1'-0"



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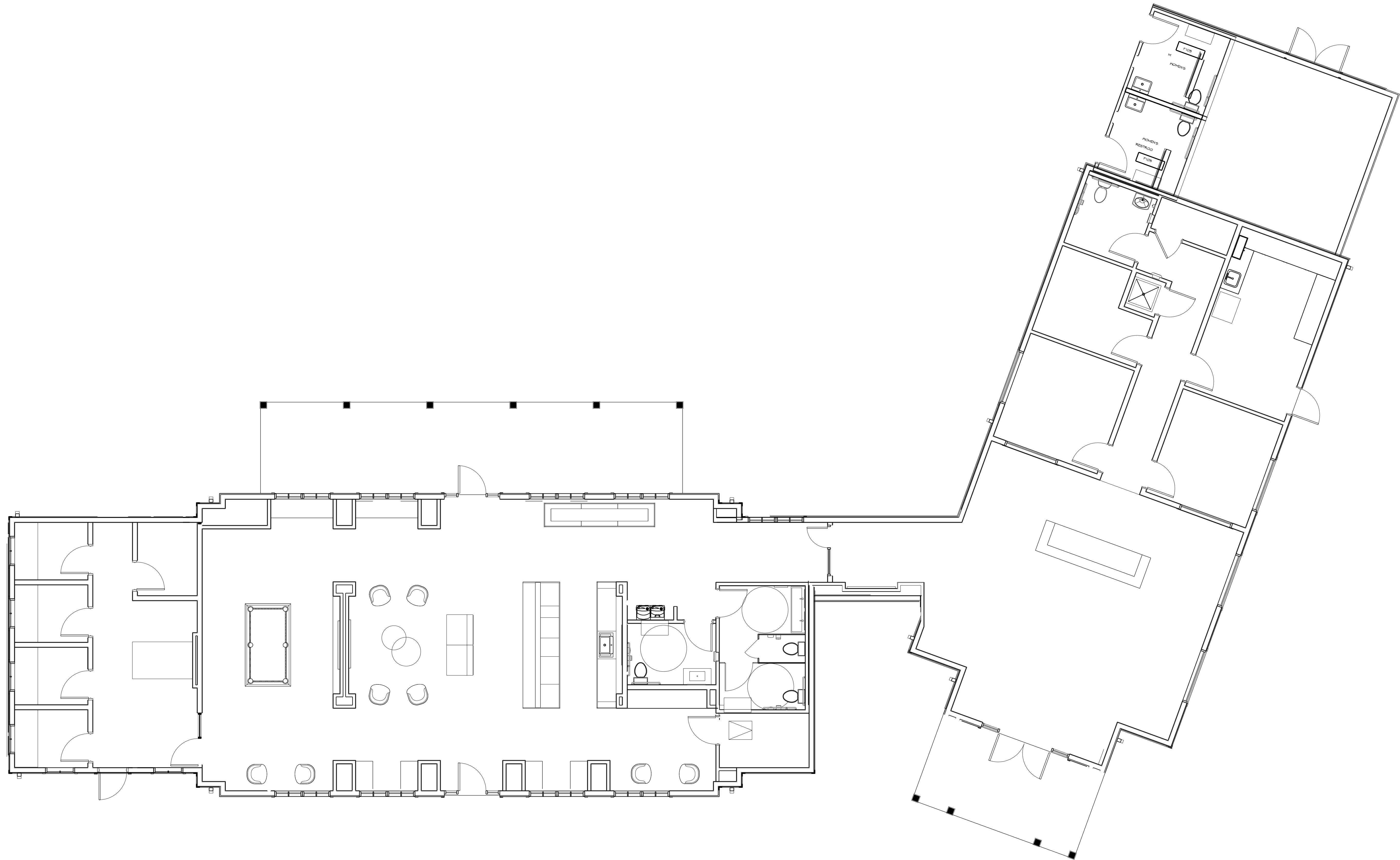
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PLAN FILE #

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Clubhouse and Leasing Building Floor Plan
Scale: 3/16" = 1'-0"



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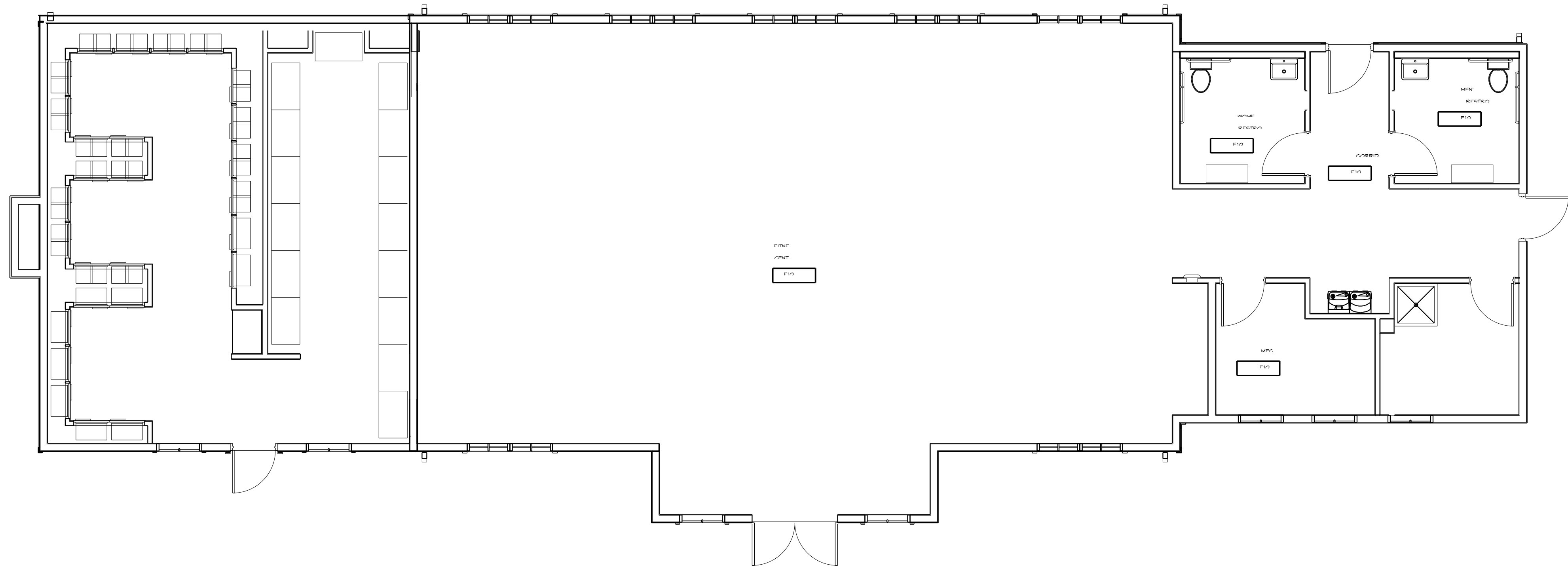
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Fitness and Mail Building Floor Plan
Scale: 3/16" = 1'-0"



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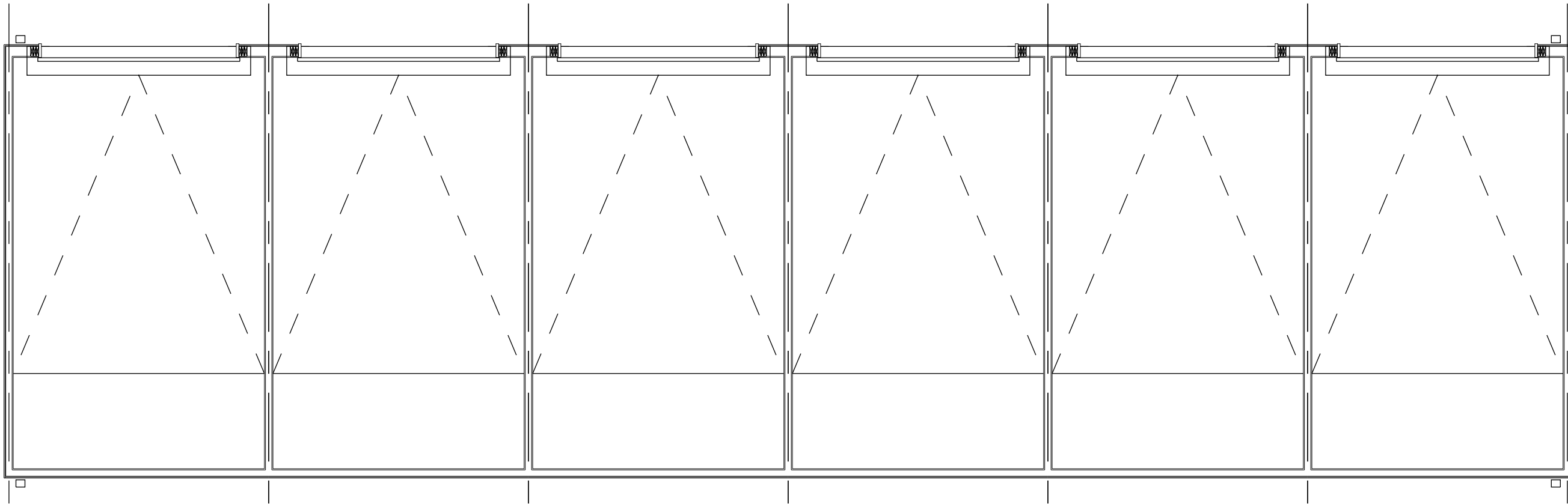
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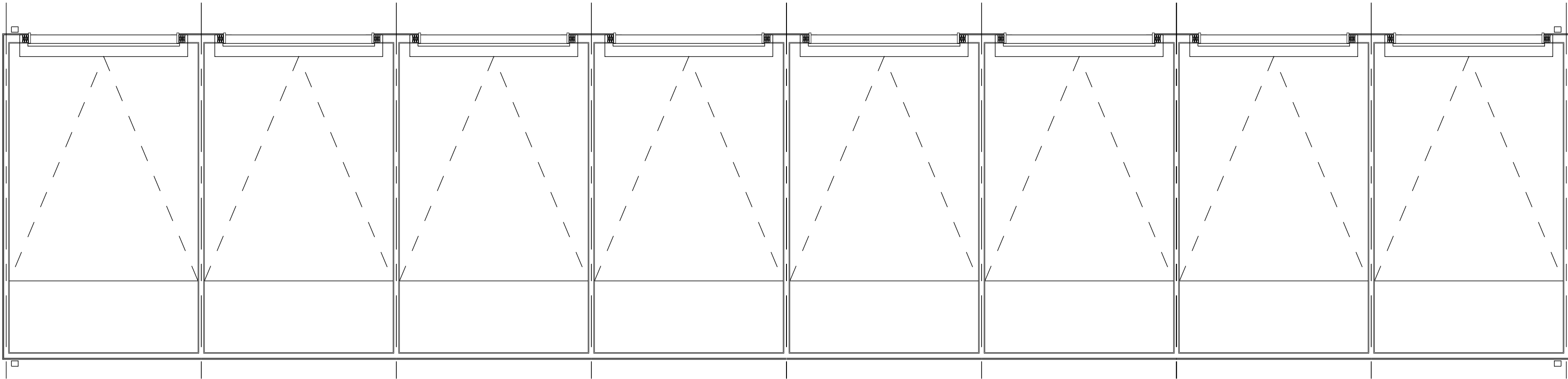
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6 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"



8 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"



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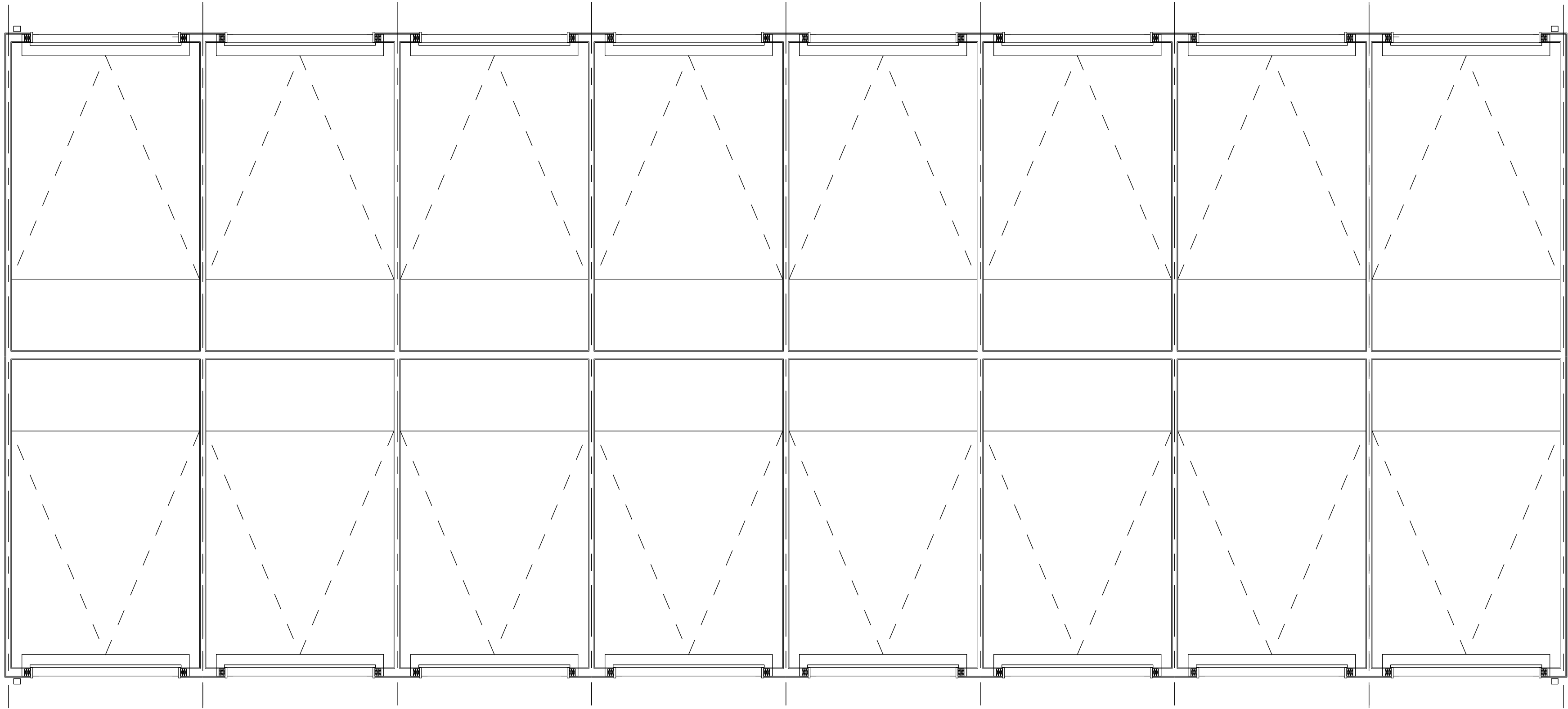
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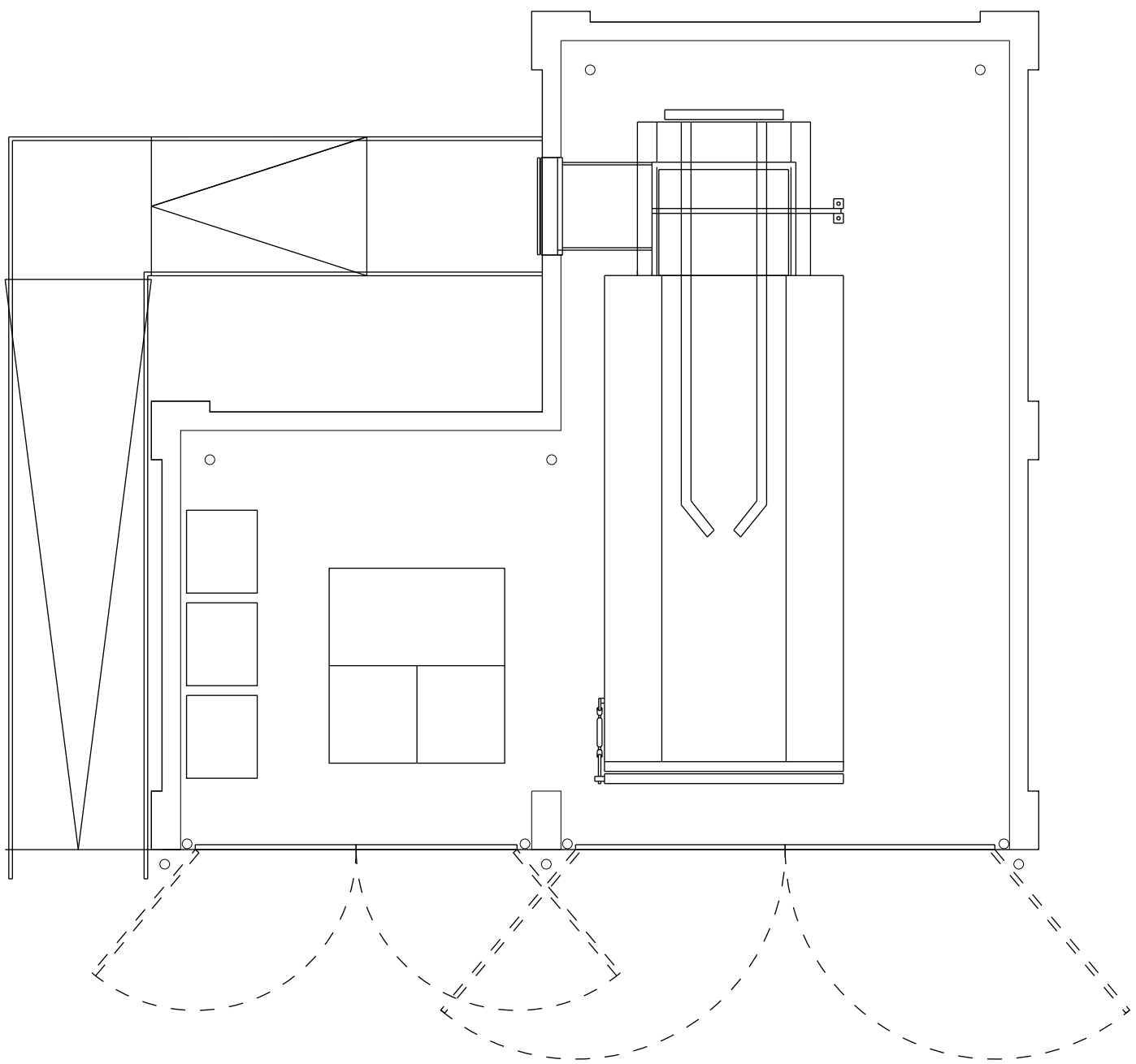
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16 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"



Trash Enclosure Floor Plan
Scale: 3/16" = 1'-0"



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MATERIAL SELECTION

Reviewed - ☒ Finalized - ☐



ASPHALT
SHINGLES



METAL
AWNING



STONE
VENEER



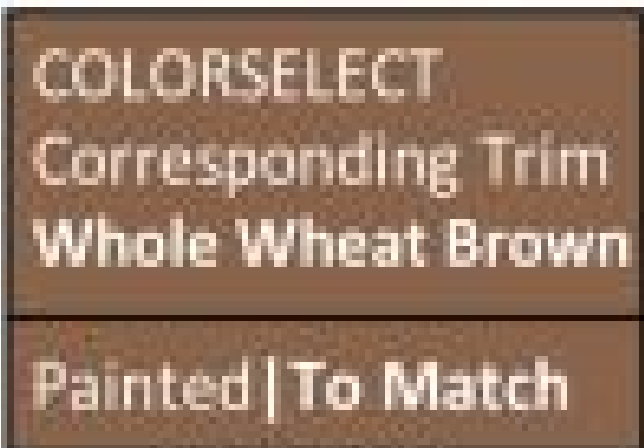
BALCONY
DECKING



FIBER CEMENT
SIDING - CS1



FIBER CEMENT
TRIM - CS1



BALCONY



FIBER CEMENT
SIDING - CS1 & CS2



FIBER CEMENT
TRIM - CS1 & CS2



WINDOWS



FIBER CEMENT
SIDING - CS2



FIBER CEMENT
TRIM - CS2



FAUX WOOD LAP
SIDING - CS1 & CS2



TRIM @ FAUX WOOD
LAP - CS1 & CS2



FASCIA & GUTTERS
- CS1 & CS2



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ARCHITECTURAL MATERIALS

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PPR2444



EL PASO COUNTY, CO

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|--------------|-------------|
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

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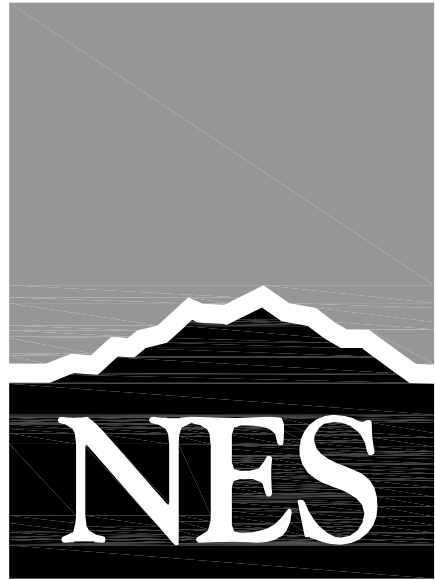
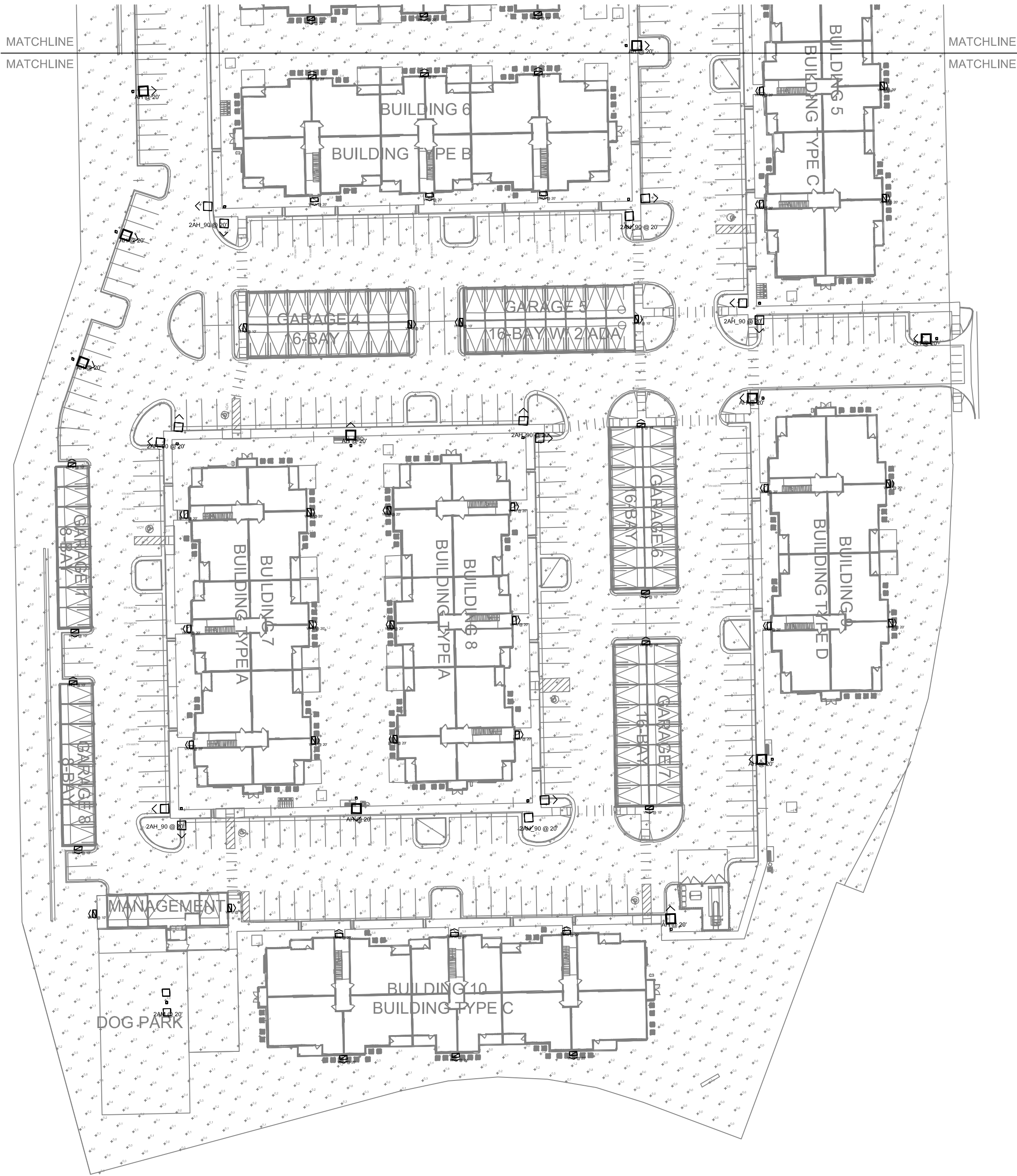
| Schedule | | | | | | | | | |
|----------|-----------|----------|----------------------|------------------------------|--------------|-----------------|-------------------|---------|--|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Number Lamps | Lumens Per Lamp | Light Loss Factor | Wattage | Mounting Height |
| | WPA | 33 | LSI INDUSTRIES, INC. | WPLS-S-04L-040 | 1 | 4051 | 0.95 | 37.05 | 20 ft. |
| | WPB | 41 | LSI INDUSTRIES, INC. | WPLS-S-01L-040 | 1 | 1286 | 0.95 | 12.34 | Dwelling Unit Bldgs: 20 ft. Garage: 16 ft. |
| | AH | 21 | LSI INDUSTRIES, INC. | SJLM-ED-16L-SH-FT-40-70CRA/L | 1 | 12045 | 0.95 | 135 | 20 ft. |
| | 2AH 90 | 13 | LSI INDUSTRIES, INC. | SJLM-ED-16L-SH-FT-40-70CRA/L | 1 | 12045 | 0.95 | 270 | 20 ft. |
| | 2AM | 1 | LSI INDUSTRIES, INC. | SJLM-ED-12L-SH-SH-40-70CRA | 1 | 12687 | 0.95 | 170 | 20 ft. |



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| Statistics | | | | | | |
|--------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Calc Zone #2 | + | 1.3 fc | 10.5 fc | 0.0 fc | N/A | N/A |

| Schedule | | | | | | | | | |
|---|-------|----------|----------------------|-------------------------------|--------------|-----------------|-------------------|---------|---|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Number Lamps | Lumens Per Lamp | Light Loss Factor | Wattage | Mounting Height |
|  | WPA | 33 | LSI INDUSTRIES, INC. | WPBLS-04L-40 | 1 | 4051 | 0.95 | 37.05 | 20 ft. |
|  | WPB | 41 | LSI INDUSTRIES, INC. | WPBLS-01L-40 | 1 | 1285 | 0.95 | 12.34 | Dwelling Unit Bldg: 20 ft. Garage: 10 ft. |
|  | AH | 21 | LSI INDUSTRIES, INC. | SLMALED-18L-SIL-FT-40-70CRH-L | 1 | 12045 | 0.95 | 135 | 20 ft. |
|  | 2AH | 13 | LSI INDUSTRIES, INC. | SLMALED-18L-SIL-FT-40-70CRH-L | 1 | 12045 | 0.95 | 270 | 20 ft. |
|  | 2AM | 1 | LSI INDUSTRIES, INC. | SLMALED-12L-SIL-9W-40-70CRI | 1 | 12587 | 0.95 | 170 | 20 ft. |



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VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

PROJECT INFO
DATE: 11/05/2024
PROJECT MGR: PROJECT MGR
PREPARED BY: PREPARED BY

ENTITLEMENT

DATE: 5/29/2025
BY: BY
DESCRIPTION: DESCRIPTION

PHOTOMETRIC PLAN

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PPR2444

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Catalog # : _____ Project : _____ Type : _____
Prepared By : _____ Date : _____

Slim Wall Pack (WPSLS)

Small LED Slim Wall Pack



| OVERVIEW | |
|----------------------|---------------|
| Lumen Package (lm) | 1,000 - 4,000 |
| Wattage Range (W) | 12 - 40 |
| Efficacy Range (LPW) | 98 - 122 |
| Weight lbs (kg) | 3.8 (1.7) |

QUICK LINKS

FEATURES & SPECIFICATIONS

Construction

- Rigid Precision Die cast-aluminum housing for durability and consistency.
- Vertical fins serve as a heat sink and resist accumulation of dust and debris.
- The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and integral components.
- Luminaire hinges open from the bottom to prevent leakage.
- Luminaire is proudly manufactured and tested in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

Optical System

- High-performance Chip On Board (COB) LEDs behind clear tempered glass for maximum light output.
- 3000K | 4000K | 5000K color temperatures.
- Minimum CRI of 71.
- Zero uplight.

Electrical

- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz
- L70 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Power factor: >.85
- Input power stays constant over life.
- Driver Off-State Power is 0 watts.
- Chip On Board (COB) LEDs with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- Minimum 2.5kV surge rating
- Operating temperature: -40°C to +50°C (-40°F to +122°F).

Controls

- Optional 120V electronic button Photocontrol.
- Apertures for field or factory installed photocontrol.

Installation

- Surface mounts direct to J-box or wall.
- Features a bubble level and removable hinged face frame for ease of installation.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- 1 Year warranty on optional Button Photocell.

Listings

- Listed to UL 1598 and UL 8750.
- American Recovery and Reinvestment Act Funding Compliant.
- CSA Listed
- RoHS Compliant.
- State of California Title 24.
- Suitable For Wet Locations.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.



Catalog # : _____ Project : _____ Type : _____
Prepared By : _____ Date : _____

Slice Medium (SLM)

Outdoor LED Area Light



| OVERVIEW | |
|----------------------|-----------------------------|
| Lumen Package | 9,000 - 55,000 |
| Wattage Range | 62 - 436 |
| Efficacy Range (LPW) | 114 - 162 |
| Weight lbs(kg) | 27 (12.2) |
| Control Options | IMSBT, ALB, ALS, 7-Pin, PCI |

QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 33 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.
- Minimum CRI of 70
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

Electrical

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth™ motion sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern. (See drawing in poles section)

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applicationsapplicationsare qualified.
- IK08 rated luminaire per IEC 66262 mechanical impact code.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)



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SPEC.1025.A.0424



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SPEC.1110.B.1122



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VENTURE ON VENETUCCI

MULTI-FAMILY

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LIGHTING CUTSHEETS

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