

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN

LEGAL DESCRIPTION

LOT 1 AND TRACT A, VENTURE ON VENETUCCI FILING NO. 1 AS RECORDED AT RECEPTION NO. _____ IN THE RECORDS OF EL PASO COUNTY, BEING A PORTION OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 4, AS MONUMENTED BY A RECOVERED 2-1/2" ALUMINUM CAP, 0.1 FEET ABOVE GRADE, STAMPED "ASC 1999 PLS 28651", WHENCE THE EAST QUARTER CORNER OF SAID SECTION 4, AS MONUMENTED BY A RECOVERED 2-1/2" ALUMINUM CAP STAMPED "ASC 1999 PLS 28651", IN RANGE BOX, BEARS N 01°01'43" W, FOR A DISTANCE OF 2633.35 FEET, FORMING THE BASIS OF BEARINGS FOR THIS DESCRIPTION;

THENCE N 74°01'44" W, A DISTANCE OF 2749.72 FEET TO THE NORTH LINE OF SOUTH ACADEMY HIGHLANDS FILING NO. 4 AS RECORDED AT RECEPTION NO. 222714970 IN SAID RECORDS AND THE POINT OF BEGINNING;

THENCE COINCIDENT WITH SAID NORTH LINE THE FOLLOWING THREE (3) COURSES:

- 1) S 89°29'47" W, A DISTANCE OF 46.61 FEET;
- 2) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 35°30'48", A RADIUS OF 238.00 FEET, AN ARC LENGTH OF 147.52 FEET, AND A CHORD BEARING AND DISTANCE OF S 71°44'24" W, 145.17 FEET;
- 3) S 53°58'49" W, A DISTANCE OF 190.82 FEET;

THENCE N 36°03'36" W, A DISTANCE OF 155.64 FEET;

THENCE N 21°58'50" W, A DISTANCE OF 272.69 FEET;

THENCE N 02°31'33" W, A DISTANCE OF 127.26 FEET;

THENCE N 21°58'47" W, A DISTANCE OF 284.99 FEET;

THENCE N 08°14'28" W, A DISTANCE OF 450.13 FEET;

THENCE N 18°57'10" E, A DISTANCE OF 234.76 FEET;

THENCE N 68°01'13" E, A DISTANCE OF 452.74 FEET TO THE WEST LINE OF SOUTH ACADEMY HIGHLANDS FILING NO. 1 AS RECORDED AT RECEPTION NO. 214713425 OF SAID RECORDS;

THENCE COINCIDENT WITH SAID WEST LINE THE FOLLOWING FOUR (4) COURSES:

- 1) S 05°08'13" W, A DISTANCE OF 273.60 FEET;
- 2) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 27°13'21", A RADIUS OF 605.00 FEET, AN ARC LENGTH OF 287.45 FEET, AND A CHORD BEARING AND DISTANCE OF S 08°28'27" E, 284.75 FEET;
- 3) S 22°05'08" E, A DISTANCE OF 501.71 FEET;
- 4) ALONG A TANGENT CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 03°52'19", A RADIUS OF 560.00 FEET, AN ARC LENGTH OF 37.84 FEET, AND A CHORD BEARING AND DISTANCE OF S 20°08'58" E, 37.84 FEET TO THE NORTH CORNER OF THAT PARCEL DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 213146604 OF SAID RECORDS;

THENCE COINCIDENT WITH THE WEST LINE OF SAID SPECIAL WARRANTY DEED PARCEL THE FOLLOWING EIGHT (8) COURSES:

- 1) S 12°22'00" W, A DISTANCE OF 5.95 FEET;
- 2) ALONG A NON-TANGENT CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 07°30'59", A RADIUS OF 557.00 FEET, AN ARC LENGTH OF 73.07 FEET, AND A CHORD BEARING AND DISTANCE OF S 13°55'54" E, 73.02 FEET;
- 3) ALONG A COMPOUND CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 17°31'05", A RADIUS OF 43.00 FEET, AN ARC LENGTH OF 13.15 FEET, AND A CHORD BEARING AND DISTANCE OF S 01°24'52" E, 13.10 FEET;
- 4) S 07°20'54" W, A DISTANCE OF 128.67 FEET;
- 5) ALONG A NON-TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 07°51'01", A RADIUS OF 77.00 FEET, AN ARC LENGTH OF 10.55 FEET, AND A CHORD BEARING AND DISTANCE OF S 03°25'17" W, 10.54 FEET;
- 6) S 00°30'13" E, A DISTANCE OF 116.24 FEET;
- 7) S 29°29'47" W, A DISTANCE OF 7.17 FEET;
- 8) S 00°30'13" E, A DISTANCE OF 34.55 FEET TO THE POINT OF BEGINNING.

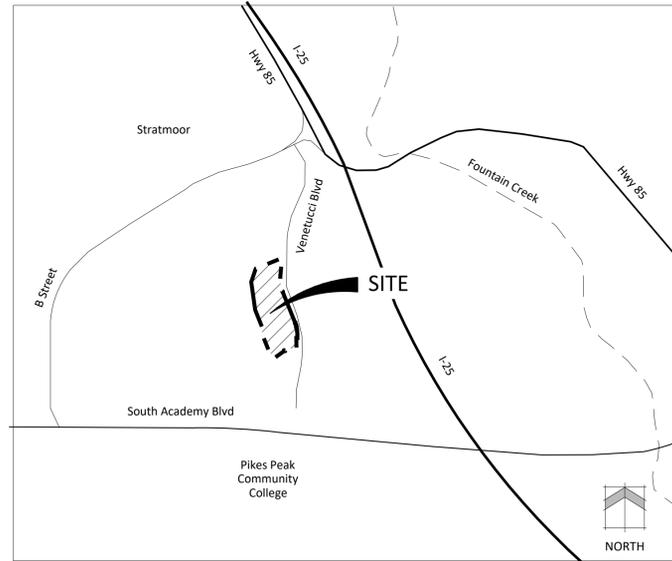
THENCE COINCIDENT WITH THE WEST LINE OF SAID SPECIAL WARRANTY DEED PARCEL THE FOLLOWING EIGHT (8) COURSES:

- 1) S 12°22'00" W, A DISTANCE OF 5.95 FEET;
- 2) ALONG A NON-TANGENT CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 07°30'59", A RADIUS OF 557.00 FEET, AN ARC LENGTH OF 73.07 FEET, AND A CHORD BEARING AND DISTANCE OF S 13°55'54" E, 73.02 FEET;
- 3) ALONG A COMPOUND CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 17°31'05", A RADIUS OF 43.00 FEET, AN ARC LENGTH OF 13.15 FEET, AND A CHORD BEARING AND DISTANCE OF S 01°24'52" E, 13.10 FEET;
- 4) S 07°20'54" W, A DISTANCE OF 128.67 FEET;
- 5) ALONG A NON-TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 07°51'01", A RADIUS OF 77.00 FEET, AN ARC LENGTH OF 10.55 FEET, AND A CHORD BEARING AND DISTANCE OF S 03°25'17" W, 10.54 FEET;
- 6) S 00°30'13" E, A DISTANCE OF 116.24 FEET;
- 7) S 29°29'47" W, A DISTANCE OF 7.17 FEET;
- 8) S 00°30'13" E, A DISTANCE OF 34.55 FEET TO THE POINT OF BEGINNING.

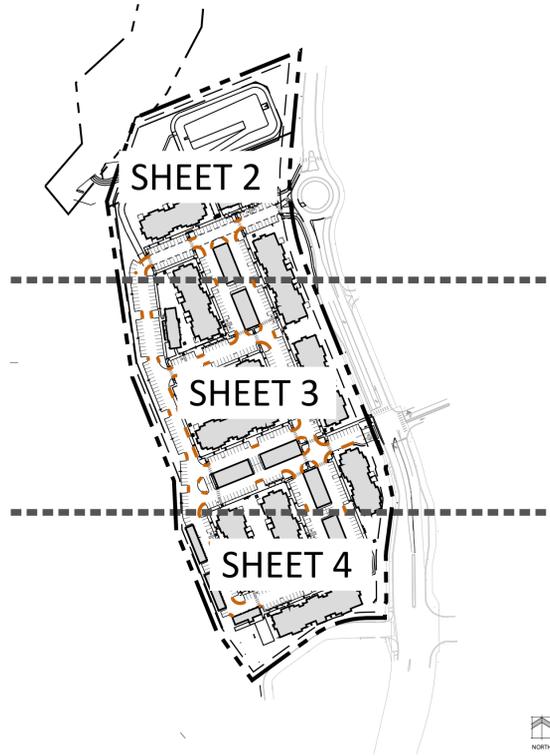
CONTAINING AN AREA OF 702,150 SQ. FT. OR 16.1192 ACRES, MORE OR LESS.

GENERAL NOTES

1. ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
2. ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
3. PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
4. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGNAGE PLAN IS REQUIRED.
5. ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSWALKS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
7. PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR.
8. FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0743G, EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
9. THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAN AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.
10. THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY PROFESSIONAL SERVICES INDUSTRIES INC., DATED 5/8/2025 WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARDS ON THE PROPERTY: (ARTIFICIAL FILL, EXPANSIVE SOILS, POTENTIALLY UNSTABLE SLOPES, LANDSLIDE SUSCEPTIBLE AREAS, LANDSLIDE DEPOSIT, AND STEEPLY DIPPING BEDROCK).
11. THE PRIVATE ROADS AS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.
12. THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNS THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 24-377), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
13. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G., PREBLE'S MEADOW JUMPING MOUSE).



VICINITY MAP



OVERALL SITE - KEY MAP

SITE DATA

| | |
|--|---|
| Site Address: | Venetucci Blvd |
| Tax ID Number: | 6504300049 |
| Total Area: | 16.12 Acres |
| Development Schedule: | 2025 - 2026 |
| Current Zoning: | RM-30 |
| Current Use: | Vacant |
| Proposed Use: | Multi-Family |
| Units: | 336 |
| Gross Density: | 20.8 DU/AC |
| Height Information: | |
| Max. Height Allowed: | 40' |
| Max. Height Proposed: | 40'-0" |
| Lot Coverage: | |
| Max. Allowed: | 60% |
| Max Proposed: | 28% |
| Building Setbacks: | |
| East (Venetucci Blvd): | 25'* |
| Side: | 15' |
| Rear: | 15' |
| *Administrative relief is requested to reduce 20% of the 25' building setback along Venetucci Blvd at Building 10. | |
| Landscape Setbacks/Buffers: | |
| Venetucci Blvd: | 25' |
| Walmart Heights: | 15' |
| Parking Standards: | |
| Standard Formula: | 1.5 spaces / 1-bedroom unit (132 units): 198 spaces 1.7 spaces / 2-bedroom unit (168 units): 286 spaces 2 spaces / 3-bedroom unit (36 units): 72 spaces Guest Spaces 1 space / 3 dwelling units (336 total units): 112 spaces |
| Standard Required: | 668 spaces |
| Alternate Formula*: | 1.72 spaces per unit* |
| Units: | 336 |
| Alternate Provided: | 580 spaces |
| ADA Required/Provided: | 14 / 14 (11 stalls and 3 garages) |
| Garage Spaces Provided: | 115 spaces |
| Total Provided: | 580 spaces |
| *Approved Alternative Parking Ratio by PCD Director: 1.72 parking spaces per unit. | |
| Bike Parking Required (5% of Standard Code Required Parking): | 34 |
| Bike Parking Provided: | 36 |

LAND USE DATA TABLE

| LAND USE | DENSITY | UNITS | AREA | % OF LAND |
|---------------------|------------|-------|------------|-----------|
| ROADS & ASPHALT | N/A | N/A | 171,863 SF | 24.5% |
| IMPERMEABLE SURFACE | N/A | N/A | 38,481 SF | 5.5% |
| BUILDINGS (10) | 20.7 du/ac | 336 | 160,540 SF | 22.9% |
| DETENTION | N/A | N/A | 42,531 SF | 6% |
| OPEN SPACE | N/A | N/A | 111,578 SF | 15.9% |
| LANDSCAPING | N/A | N/A | 176,948 SF | 25.2% |
| TOTAL | 20.8 du/ac | 336 | 702,150 SF | 100% |

TRACT TABLE

| TRACT | AREA | USE | MAINTENANCE |
|-------|-----------|----------------------------------|----------------------------|
| A | 89,142 SF | DETENTION, OPEN SPACE, LANDSCAPE | OWNER AND/OR THEIR ASSIGNS |

PROJECT TEAM

OWNER: CS 2005 Investments, LLC
10801 W Charleston Blvd, Suite 170
Las Vegas, NV 89135
Chad Ellington
(303) 503-1016

DEVELOPER: Thompson Thrift Residential
111 Monument Circle, Suite 1500
Indianapolis, IN 46204
Donald Jangui
(463) 237-3261
N.E.S. Inc.
619 N. Cascade Ave., Suite 200
Colorado Springs, CO 80903
Kim Johnson
(719) 471-0073

SHEET INDEX

| | |
|-----------------|-----------------------------|
| Sheet 1 of 45: | Cover Sheet |
| Sheet 2 of 45: | Development Plan |
| Sheet 3 of 45: | Development Plan |
| Sheet 4 of 45: | Development Plan |
| Sheet 5 of 45: | Site Details |
| Sheet 6 of 45: | Overall Site Plan |
| Sheet 7 of 45: | Detailed Site Plan |
| Sheet 8 of 45: | Detailed Site Plan |
| Sheet 9 of 45: | Detailed Site Plan |
| Sheet 10 of 45: | Detailed Site Plan |
| Sheet 11 of 45: | Detailed Site Plan |
| Sheet 12 of 45: | Detailed Site Plan |
| Sheet 13 of 45: | Detailed Site Plan |
| Sheet 14 of 45: | Detailed Site Plan |
| Sheet 15 of 45: | Detailed Site Plan |
| Sheet 16 of 45: | Off-Site Site Plan |
| Sheet 17 of 45: | Off-Site Site Plan |
| Sheet 18 of 45: | Overall Utility Plan |
| Sheet 19 of 45: | Overall Grading Plan |
| Sheet 20 of 45: | Landscape Notes & Schedules |
| Sheet 21 of 45: | Final Landscape Plan |
| Sheet 22 of 45: | Final Landscape Plan |
| Sheet 23 of 45: | Final Landscape Plan |
| Sheet 24 of 45: | Landscape Details |
| Sheet 25 of 45: | Landscape Details |
| Sheet 26 of 45: | Architectural Elevations |
| Sheet 27 of 45: | Architectural Elevations |
| Sheet 28 of 45: | Architectural Elevations |
| Sheet 29 of 45: | Architectural Elevations |
| Sheet 30 of 45: | Architectural Elevations |
| Sheet 31 of 45: | Architectural Elevations |
| Sheet 32 of 45: | Architectural Elevations |
| Sheet 33 of 45: | Architectural Elevations |
| Sheet 34 of 45: | Architectural Floor Plans |
| Sheet 35 of 45: | Architectural Floor Plans |
| Sheet 36 of 45: | Architectural Floor Plans |
| Sheet 37 of 45: | Architectural Floor Plans |
| Sheet 38 of 45: | Architectural Floor Plans |
| Sheet 39 of 45: | Architectural Floor Plans |
| Sheet 40 of 45: | Architectural Floor Plans |
| Sheet 41 of 45: | Architectural Floor Plans |
| Sheet 42 of 45: | Architectural Materials |
| Sheet 43 of 45: | Photometric Plan |
| Sheet 44 of 45: | Photometric Plan |
| Sheet 45 of 45: | Lighting Cutsheets |

Ownership Certification

Name of Landowner _____
Name of Landowner _____

Landowner's Signature, notarized _____

I/we _____ a (one of the following: qualified title insurance company, title company, title attorney, or attorney at law) duly qualified, insured, or licensed by the State of Colorado, do hereby certify that I/we have examined the title of all lands depicted and described hereon and that title to such land is owner in fee simple by _____ at the time of this application.

Notarized signature _____

OR Name of Attorney and registration number _____

County Certification

This rezoning request to PLUD has been reviewed and found to be complete and in accordance with the _____ (board resolution or motion #) _____ (date) approving the PUD and all applicable El Paso County regulations.

President, Board of County Commissioners date _____

Director, Planning & Community Development Department date _____

Clerk and Recorder Certification

State of Colorado)
) ss:
El Paso County)

I hereby certify that this Plan was filed in my office on this _____ (day) of _____ (month), 20____ at _____ o'clock a.m./p.m. and was recorded per Reception No. _____.

El Paso County Clerk and Recorder



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

COVER SHEET

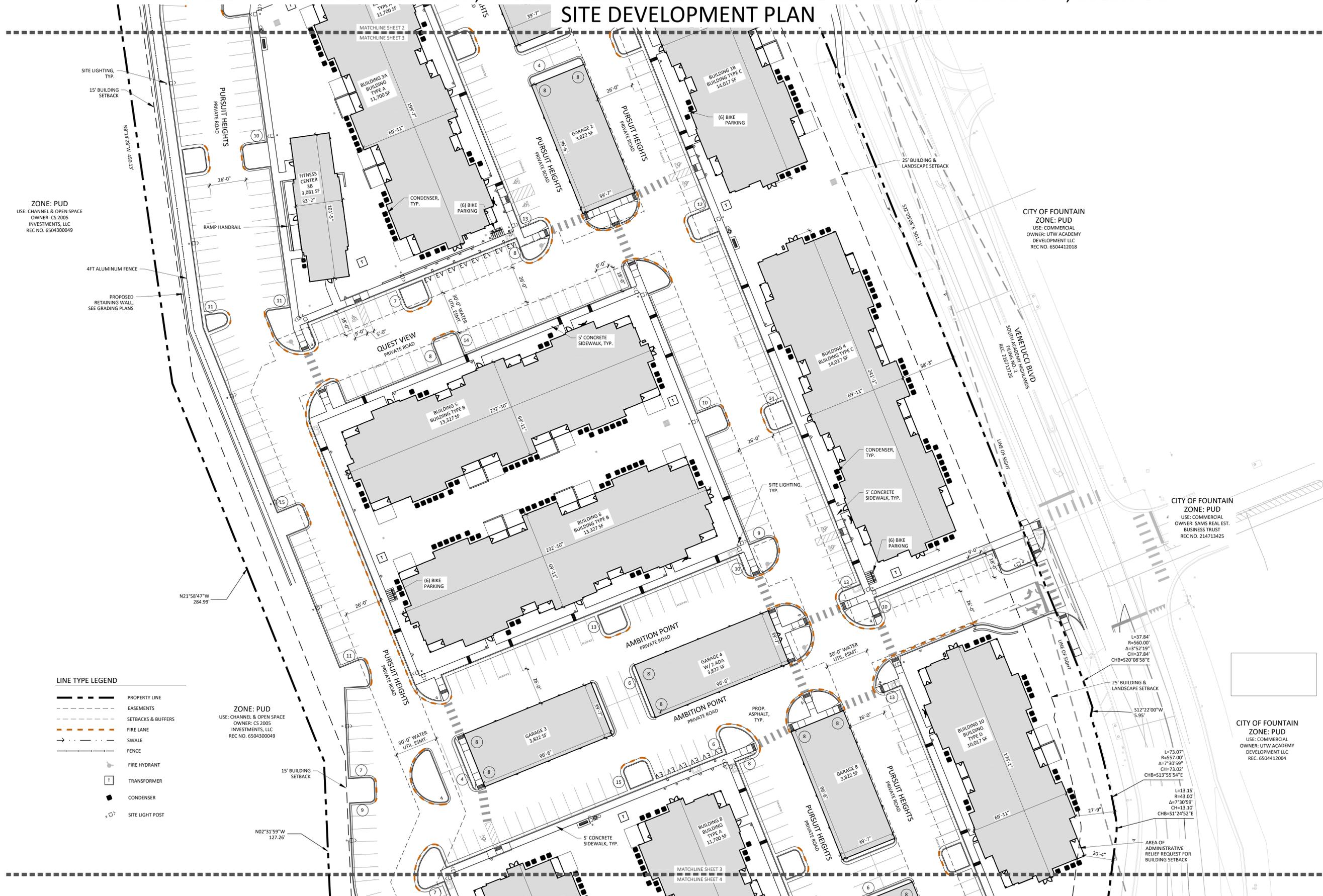
1

1 OF 45

PPR2444

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN



ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005 INVESTMENTS, LLC
REC NO. 6504300049

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC NO. 6504412018

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: SAMS REAL EST. BUSINESS TRUST
REC NO. Z14713425

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC. 6504412004

- LINE TYPE LEGEND**
- PROPERTY LINE
 - - - EASEMENTS
 - - - SETBACKS & BUFFERS
 - - - FIRE LANE
 - - - SWALE
 - - - FENCE
 - FIRE HYDRANT
 - TRANSFORMER
 - CONDENSER
 - SITE LIGHT POST

ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005 INVESTMENTS, LLC
REC NO. 6504300049

P:\Thompson\Thru\Venetucci Boulevard\Drawings\Planning\DP\Venetucci_DP.dwg [P:RAM_21 7/2/2025 8:39:20 AM jsmith



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

ENTITLEMENT

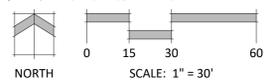
| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

SITE DEVELOPMENT PLAN

3

3 OF 45

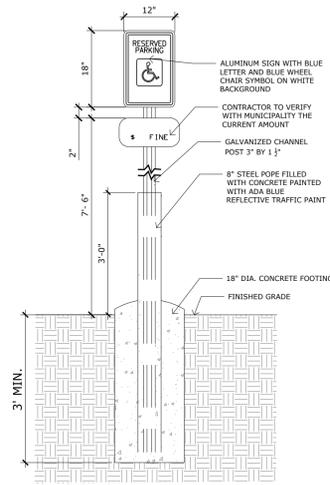
PPR2444



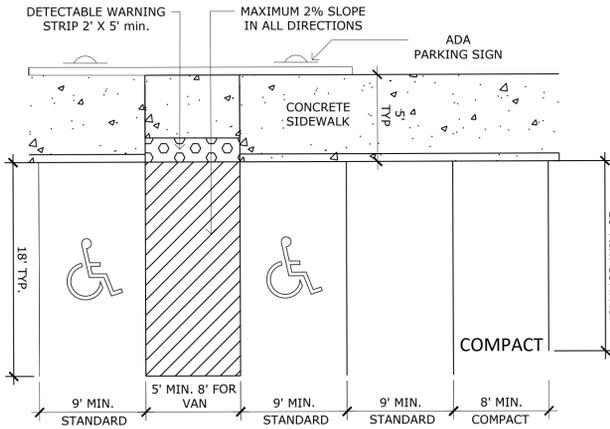
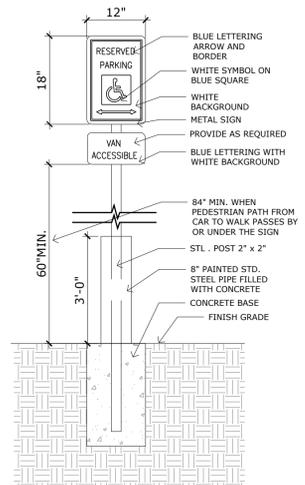
VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN

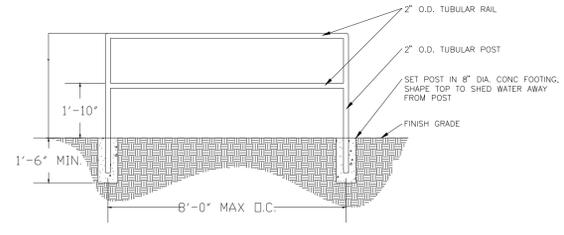


NOTES:
1. PROVIDE SIGNAGE ON BOTH SIDGES OF POST WHEN REQUIRED



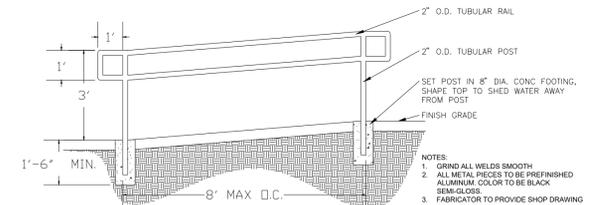
ADA / VAN ACCESSIBLE PARKING SIGNS

PARKING STALL LAYOUT DETAILS



NOTES:
1. GRIND ALL WELDS SMOOTH
2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
3. FABRICATOR TO PROVIDE SHOP DRAWING FOR INSTALLATION AND GROUNDING.

1 GUARDRAIL
NTS P-TT-20



NOTES:
1. GRIND ALL WELDS SMOOTH
2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
3. FABRICATOR TO PROVIDE SHOP DRAWING FOR INSTALLATION AND GROUNDING.

2 HANDRAIL
NTS P-TT-21



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY
VENETUCCI BLVD
EL PASO COUNTY, CO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

STAMP

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

ISSUE / REVISION

SITE DETAILS

SHEET TITLE

5

5 OF 45

SHEET NUMBER

PPR2444



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

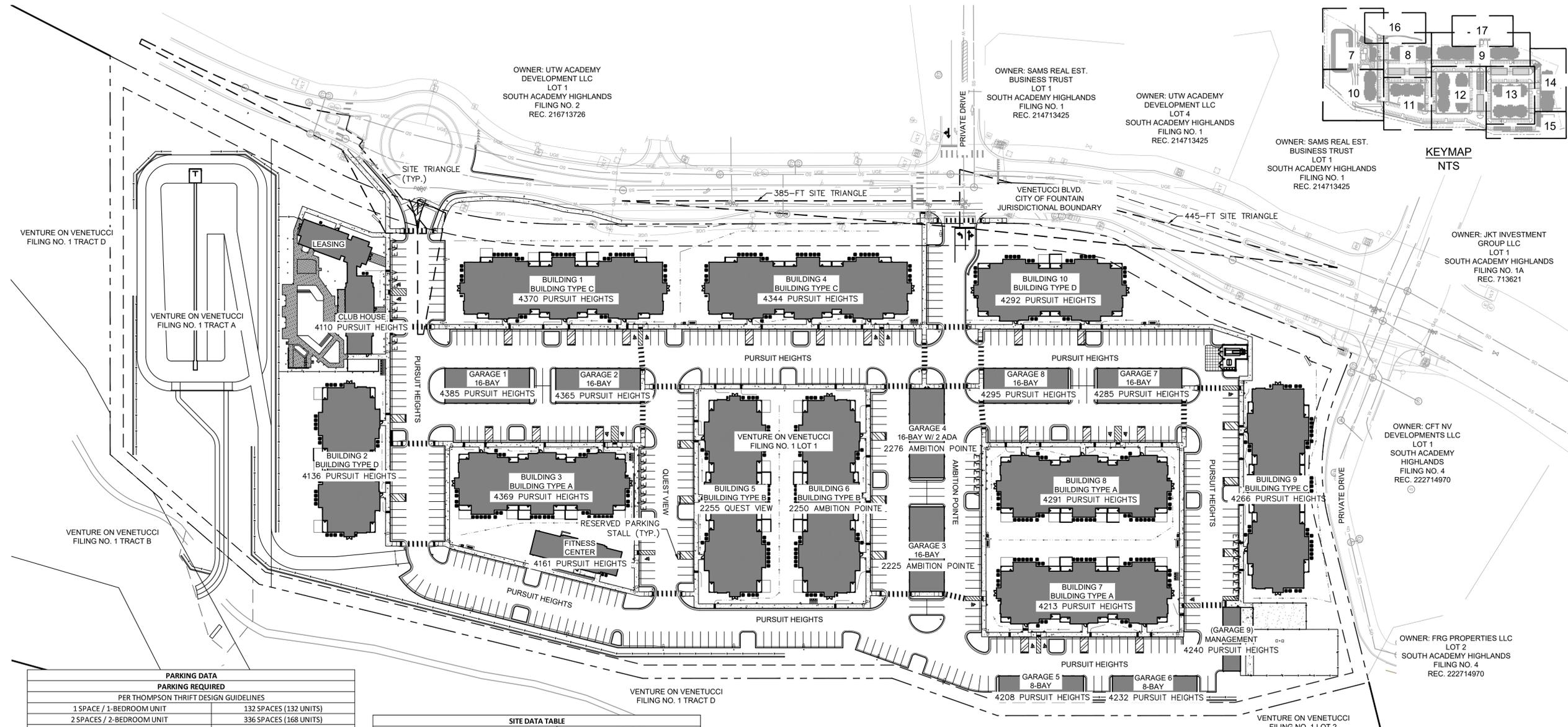
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

OVERALL SITE PLAN

6

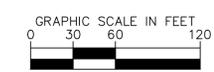


| PARKING DATA | |
|--|------------------------|
| PARKING REQUIRED | |
| PER THOMPSON THRIFT DESIGN GUIDELINES | |
| 1 SPACE / 1-BEDROOM UNIT | 132 SPACES (132 UNITS) |
| 2 SPACES / 2-BEDROOM UNIT | 336 SPACES (168 UNITS) |
| 3 SPACES / 3-BEDROOM UNIT | 108 SPACES (36 UNITS) |
| TOTAL PARKING PER THOMPSON THRIFT GUIDELINES | 576 SPACES |
| PER EL PASO COUNTY CODE | |
| 1.5 SPACES / 1-BEDROOM UNIT | 198 SPACES (132 UNITS) |
| 1.7 SPACES / 2-BEDROOM UNIT | 286 SPACES (168 UNITS) |
| 2 SPACES / 3-BEDROOM UNIT | 72 SPACES (36 UNITS) |
| TOTAL PARKING PER EL PASO COUNTY CODE | 682 SPACES* |
| ACCESSIBLE (2% OF STANDARD PARKING) | 14 SPACES |
| GUEST (1 SPACE / 3 DWELLING UNITS) | 112 SPACES (336 UNITS) |
| TOTAL PARKING PROVIDED | |
| STANDARD SURFACE PARKING | 397 |
| ELECTRIC VEHICLE (EV) PARKING | 27 |
| ELECTRIC VEHICLE (EV) ADA PARKING | 1 |
| ELECTRIC VEHICLE (EV) RESERVED | 1 |
| STANDARD ADA SURFACE PARKING | 8 |
| ADA VAN SURFACE PARKING | 3 |
| RESERVED SURFACE PARKING | 28 |
| TOTAL SURFACE PARKING | 465 |
| STANDARD GARAGE PARKING | 112 |
| STANDARD ADA GARAGE PARKING | 3 |
| TOTAL GARAGE PARKING | 115 |
| TOTAL PARKING PROVIDED | 580 |

*Variance was approved allowing a 15% reduction in required parking, making the required parking per El Paso County code 579 spaces.

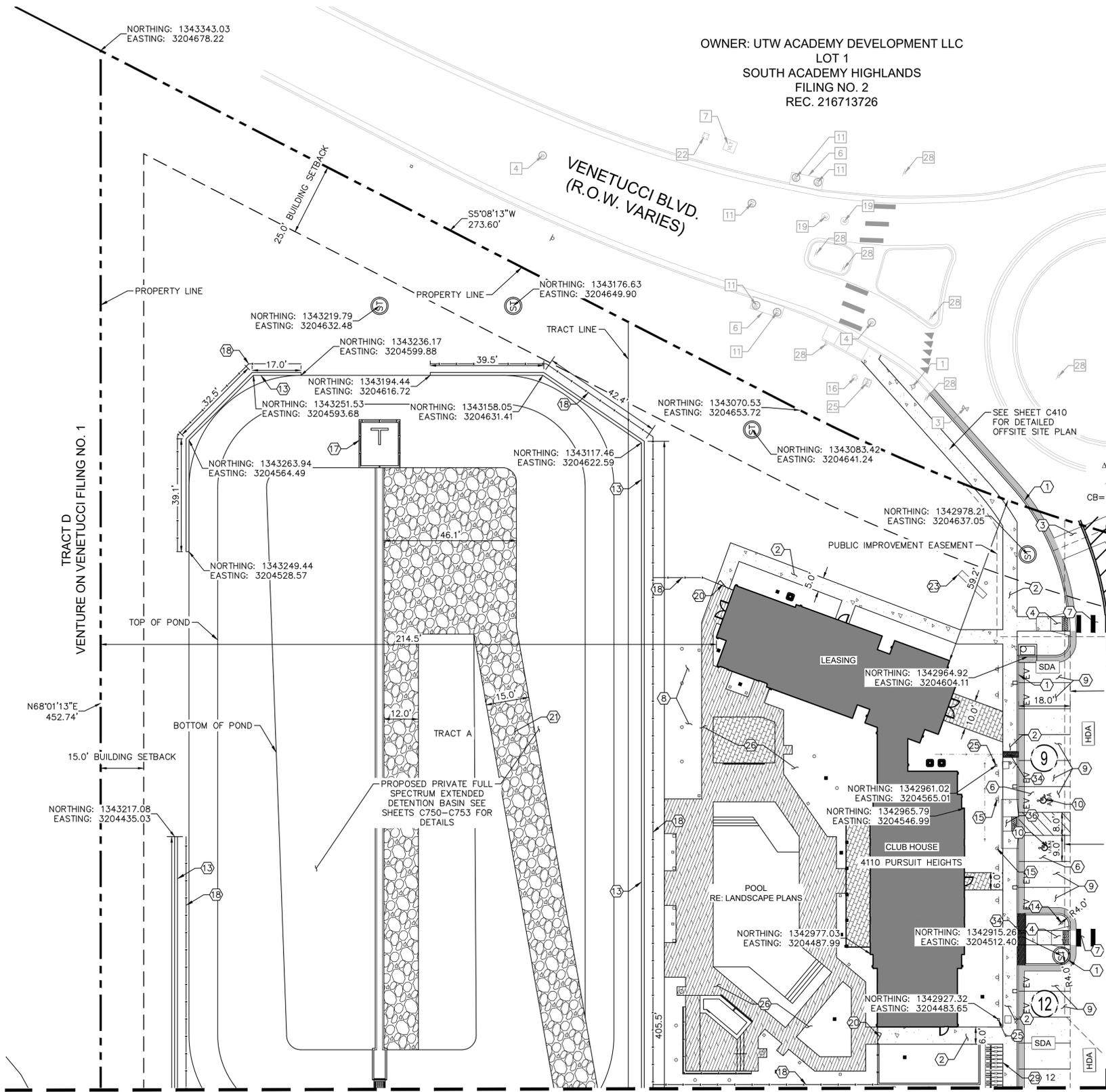
| SITE DATA TABLE | | |
|--------------------|--|-----------|
| PROPOSED SITE AREA | | ±16.12 AC |
| EXISTING LAND USE | | VACANT |
| BUILDING COUNT | | |
| BUILDING A | | 3 |
| BUILDING B | | 2 |
| BUILDING C | | 3 |
| BUILDING D | | 2 |
| BUILDING UNITS | | 336 UNITS |
| 1-BEDROOM UNIT | | 132 UNITS |
| 2-BEDROOM UNIT | | 168 UNITS |
| 3-BEDROOM UNIT | | 36 UNITS |

| BUILDING DATA TABLE | | | | | |
|------------------------|---------------------|------------|-------------|------------------------|-----------------------------|
| BUILDING TYPE | NUMBER OF BUILDINGS | UNIT COUNT | TOTAL UNITS | TOTAL GSF PER BUILDING | TOTAL GSF PER BUILDING TYPE |
| THREE-STORY BUILDING A | 3 | 36 | 108 | 34747 | 104241 |
| THREE-STORY BUILDING B | 2 | 36 | 72 | 39639 | 79278 |
| THREE-STORY BUILDING C | 3 | 36 | 108 | 41743 | 125229 |
| THREE-STORY BUILDING D | 2 | 24 | 48 | 29748 | 59496 |
| TOTALS | 10 | 336 | 336 | | 368244 |



K:\DEN_C\090502017_Venuetucci Multi-Family\Drawings\Site\050520217 - SP - 01.dwg [OVERALL SITE PLAN] 7/1/2025 6:09:58 PM Cormac Baubin

OWNER / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH
PROJECT INFO
ISSUE / REVISION
SHEET TITLE
SHEET NUMBER



OWNER: UTW ACADEMY DEVELOPMENT LLC
 LOT 1
 SOUTH ACADEMY HIGHLANDS
 FILING NO. 2
 REC. 216713726

VENETUCCI BLVD.
 (R.O.W. VARIES)

TRACT D
 VENTURE ON VENETUCCI FILING NO. 1

MATCHLINE - SEE SHEET 10 FOR CONTINUATION



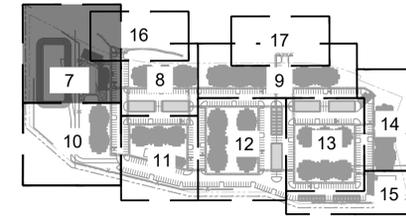
MATCHLINE - SEE SHEET 8 FOR CONTINUATION

KEY NOTES: PROPOSED

- 1 PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
- 2 PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL
- 3 PROPOSED ACCESS AND CROSSSPAN PER COLORADO SPRINGS DETAIL D7B
- 4 PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41
- 5 PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS
- 6 PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS
- 7 PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) REF. CONSTRUCTION DETAILS
- 8 PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- 9 PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS FOR STRIPING AND SIGNAGE DETAILS
- 10 PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS
- 11 PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS
- 12 PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS
- 13 PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. RETAINING WALL DRAWINGS FOR DETAILS
- 14 PROPOSED R1-1 STOP SIGN (30 IN X 30 IN)
- 15 PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN
- 16 PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
- 17 PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS
- 18 PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- 19 PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS
- 20 PROPOSED GATE - REF. CONSTRUCTION DETAILS
- 21 PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS
- 22 PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS
- 23 PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)
- 24 PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL
- 25 PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS
- 26 PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
- 27 PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- 28 PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN)
- 29 PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS
- 30 NOT USED
- 31 PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS
- 32 PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) REF. CONSTRUCTION DETAILS
- 33 PROPOSED STRIPING - REF. CONSTRUCTION DETAILS
- 34 PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25
- 35 PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS
- 36 PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
- 37 RESERVED PARKING SIGNAGE BY OWNER, TYP.
- 38 RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
- 39 CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- 40 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS

KEY NOTES: EXISTING

- | | | |
|------------------------------|----------------------------------|-----------------------------|
| 1 EX. FIRE HYDRANT | 12 EX. TRAFFIC CONTROL STRUCTURE | 23 EX. TELEPHONE BOX |
| 2 EX. WATER LINE | 13 EX. UNDERGROUND ELECTRIC LINE | 24 EX. STORM GRATE |
| 3 EX. WATER VALVE | 14 EX. OVERHEAD ELECTRIC LINE | 25 EX. ELECTRICAL EQUIPMENT |
| 4 EX. SANITARY SEWER MANHOLE | 15 EX. ELECTRIC METER | 26 EX. ELECTRICAL BOX |
| 5 EX. SANITARY SEWER | 16 EX. STREETLIGHT | 27 EX. IRRIGATION EQUIPMENT |
| 6 EX. STORM SEWER INLET | 17 EX. TRANSFORMER | 28 EX. SIGN |
| 7 EX. ELECTRIC VAULT | 18 EX. WATER METER | |
| 8 EX. FIBER OPTIC VAULT | 19 EX. ELECTRIC MANHOLE | |
| 9 EX. GAS LINE | 20 EX. TRAFFIC VAULT | |
| 10 EX. TELEPHONE LINE | 21 EX. STORM SEWER | |
| 11 EX. STORM MANHOLE | 22 EX. FIBER OPTIC BOX | |



NOTES

1. ALL INTERNAL DRIVES TO BE PRIVATE.
2. ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
3. SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
4. ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
5. NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
 STORM INLETS (CURB): MIDPOINT/FLOWLINE
 STORM INLETS (AREA): CENTER OF GRATE
 MANHOLE: CENTER OF MANHOLE LID
 HYDRANTS: CENTER OF HYDRANT
 LIGHT POLES: CENTER OF BASE
 POLE SIGNS: CENTER OF POLE
 ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
 BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
 RETAINING WALLS: FACE OF WALL
6. RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL. FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
7. NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

LEGEND

- | | |
|--|---|
| | PROPERTY LINE |
| | BUILDING AND LANDSCAPE SETBACK |
| | PROPOSED EASEMENT |
| | PROPOSED STANDARD DUTY ASPHALT PAVEMENT |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED HEAVY DUTY ASPHALT PAVEMENT |
| | PROPOSED RIP RAP |
| | PROPOSED GRAVEL MAINTENANCE PATH |
| | PROPOSED HEAVY DUTY CONCRETE |
| | PROPOSED POOL DECK CONCRETE AND SUBBASE PER LANDSCAPE PLANS |
| | PROPOSED PAVERS PER LANDSCAPE PLANS |
| | PROPOSED SIDEWALK CHASE PLATE |
| | PROPOSED CURB AND GUTTER (TYPE A) |
| | PROPOSED CURB AND GUTTER (TYPE B) |
| | PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV") |
| | PROPOSED HAND RAIL |
| | PROPOSED FENCE |
| | PROPOSED SWALE |
| | PROPOSED HVAC |
| | PROPOSED LIGHTPOLE |
| | PROPOSED STORM SEWER MANHOLE |
| | PROPOSED STORM INLET, TYPE R |
| | PROPOSED TRANSFORMER |
| | PROPOSED AREA DRAIN |
| | PROPOSED STORM INLET, TYPE C |



N.E.S. Inc.
 619 N. Cascade Avenue, Suite 200
 Colorado Springs, CO 80903

Tel. 719.471.0073
 Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

Kimley»Horn
 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 S. Syracuse Way #300
 Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 05/22/2025
 PROJECT MGR: MTH
 PREPARED BY: FCR

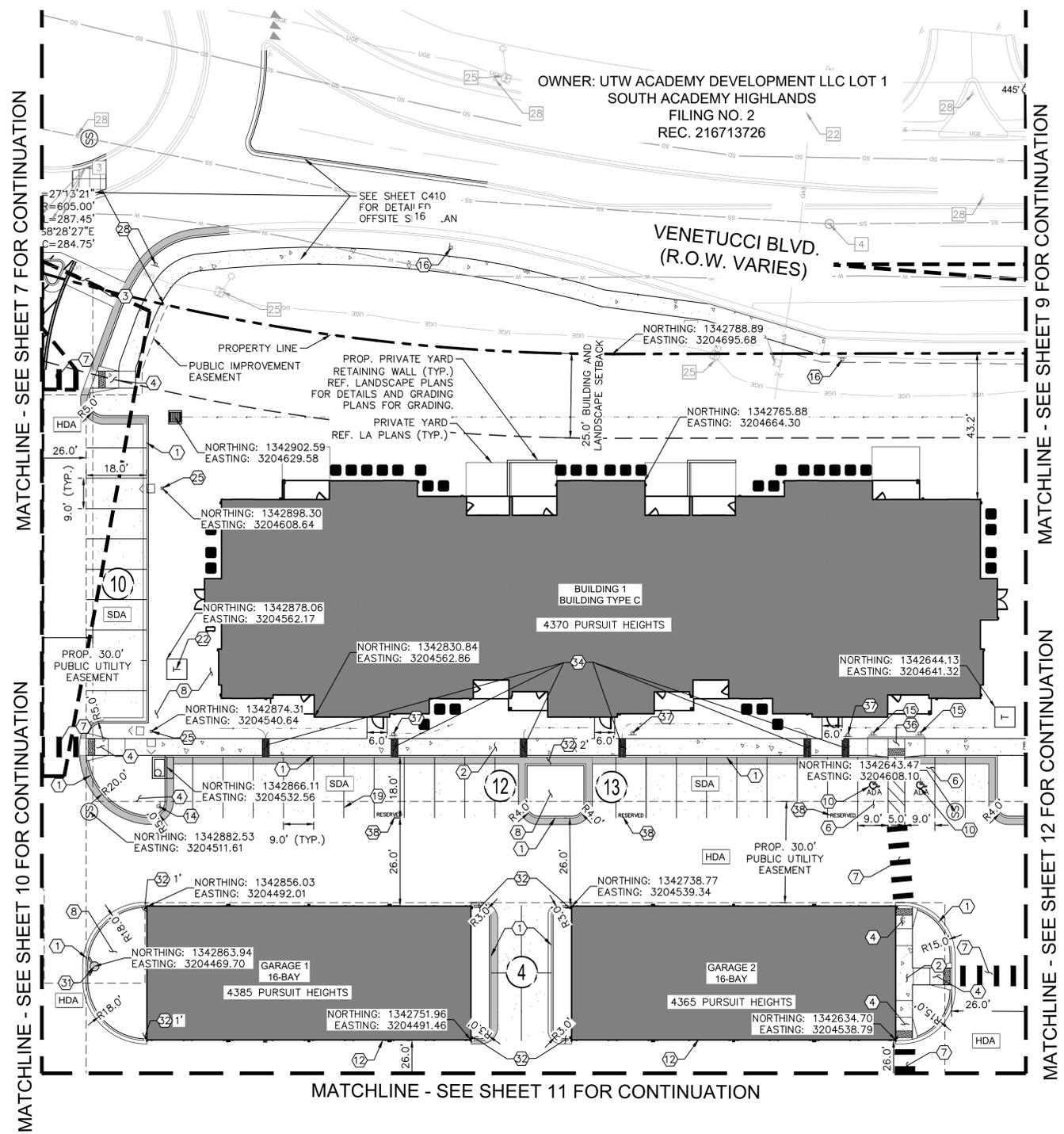
ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE PLAN

7

K:\DEN_Civil\090502017_Venettu Multi-Family\CAD\PlanSheets\CD\090502017 - SP_DT.dwg (SP_B) 7/12/2025 6:20:28 PM Veronica Howell



OWNER: UTW ACADEMY DEVELOPMENT LLC LOT 1
SOUTH ACADEMY HIGHLANDS
FILING NO. 2
REC. 216713726

VENETUCCI BLVD.
(R.O.W. VARIES)

MATCHLINE - SEE SHEET 7 FOR CONTINUATION

MATCHLINE - SEE SHEET 10 FOR CONTINUATION

MATCHLINE - SEE SHEET 9 FOR CONTINUATION

MATCHLINE - SEE SHEET 12 FOR CONTINUATION

MATCHLINE - SEE SHEET 11 FOR CONTINUATION

LEGEND

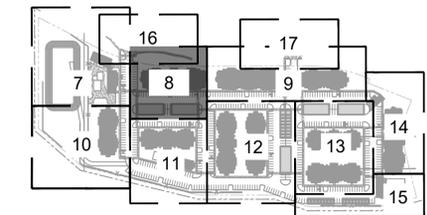
- PROPERTY LINE
- BUILDING AND LANDSCAPE SETBACK
- PROPOSED EASEMENT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED RIP RAP
- PROPOSED CHASE PLATE
- PROPOSED GRAVEL MAINTENANCE PATH
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED CURB AND GUTTER (TYPE A)
- PROPOSED CURB AND GUTTER (TYPE B)
- PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
- PROPOSED HAND RAIL
- PROPOSED SWALE
- PROPOSED HVAC
- PROPOSED LIGHTPOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET, TYPE R
- PROPOSED TRANSFORMER
- PROPOSED AREA DRAIN
- PROPOSED STORM INLET, TYPE C

NOTES

1. ALL INTERNAL DRIVES TO BE PRIVATE.
2. ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
3. SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
4. ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
5. NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
LIGHT POLES: CENTER OF BASE
POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
6. RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN REFERENCE WALL PLANS AND STRUCTURAL DETAIL FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
7. NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

KEY NOTES: EXISTING

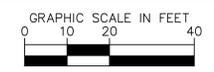
| | |
|----|-------------------------------|
| 1 | EX. FIRE HYDRANT |
| 2 | EX. WATER LINE |
| 3 | EX. WATER VALVE |
| 4 | EX. SANITARY SEWER MANHOLE |
| 5 | EX. SANITARY SEWER |
| 6 | EX. STORM SEWER INLET |
| 7 | EX. ELECTRIC VAULT |
| 8 | EX. FIBER OPTIC VAULT |
| 9 | EX. GAS LINE |
| 10 | EX. TELEPHONE LINE |
| 11 | EX. STORM MANHOLE |
| 12 | EX. TRAFFIC CONTROL STRUCTURE |
| 13 | EX. UNDERGROUND ELECTRIC LINE |
| 14 | EX. OVERHEAD ELECTRIC LINE |
| 15 | EX. ELECTRIC METER |
| 16 | EX. STREETLIGHT |
| 17 | EX. TRANSFORMER |
| 18 | EX. WATER METER |
| 19 | EX. ELECTRIC MANHOLE |
| 20 | EX. TRAFFIC VAULT |
| 21 | EX. STORM SEWER |
| 22 | EX. FIBER OPTIC BOX |
| 23 | EX. TELEPHONE BOX |
| 24 | EX. STORM GRATE |
| 25 | EX. ELECTRICAL EQUIPMENT |
| 26 | EX. ELECTRICAL BOX |
| 27 | EX. IRRIGATION EQUIPMENT |
| 28 | EX. SIGN |



KEYMAP
NTS

KEY NOTES: PROPOSED

| | |
|----|---|
| 1 | PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20 |
| 2 | PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS. |
| 3 | PROPOSED ACCESS AND CROSSPAN PER COLORADO SPRINGS DETAIL D7B |
| 4 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41 |
| 5 | PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS |
| 6 | PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS |
| 7 | PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) - REF. CONSTRUCTION DETAILS |
| 8 | PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 9 | PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS |
| 10 | PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS |
| 11 | PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS |
| 12 | PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS |
| 13 | PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. DETAILED GRADING PLANS FOR HEIGHT |
| 14 | PROPOSED R1-1 STOP SIGN (30 IN X 30 IN) |
| 15 | PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN |
| 16 | PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN) |
| 17 | PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS |
| 18 | PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS |
| 19 | PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS |
| 20 | PROPOSED GATE - REF. CONSTRUCTION DETAILS |
| 21 | PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS |
| 22 | PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS |
| 23 | PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT) |
| 24 | PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL |
| 25 | PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS |
| 26 | PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 27 | PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS |
| 28 | PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN) |
| 29 | PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS |
| 30 | NOT USED |
| 31 | PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS |
| 32 | PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) - REF. CONSTRUCTION DETAILS |
| 33 | PROPOSED STRIPING - REF. CONSTRUCTION DETAILS |
| 34 | PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25 |
| 35 | PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS |
| 36 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50. |
| 37 | RESERVED PARKING SIGNAGE BY OWNER, TYP. |
| 38 | RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING |
| 39 | CURB RAMP PER COLORADO SPRINGS DETAIL D-8A |
| 40 | 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS |



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI
MULTI-FAMILY
VENETUCCI BLVD
OTHER INFO
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|-------|-----|--------------|
| | | |
| | | |
| | | |

DETAILED SITE PLAN
8



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

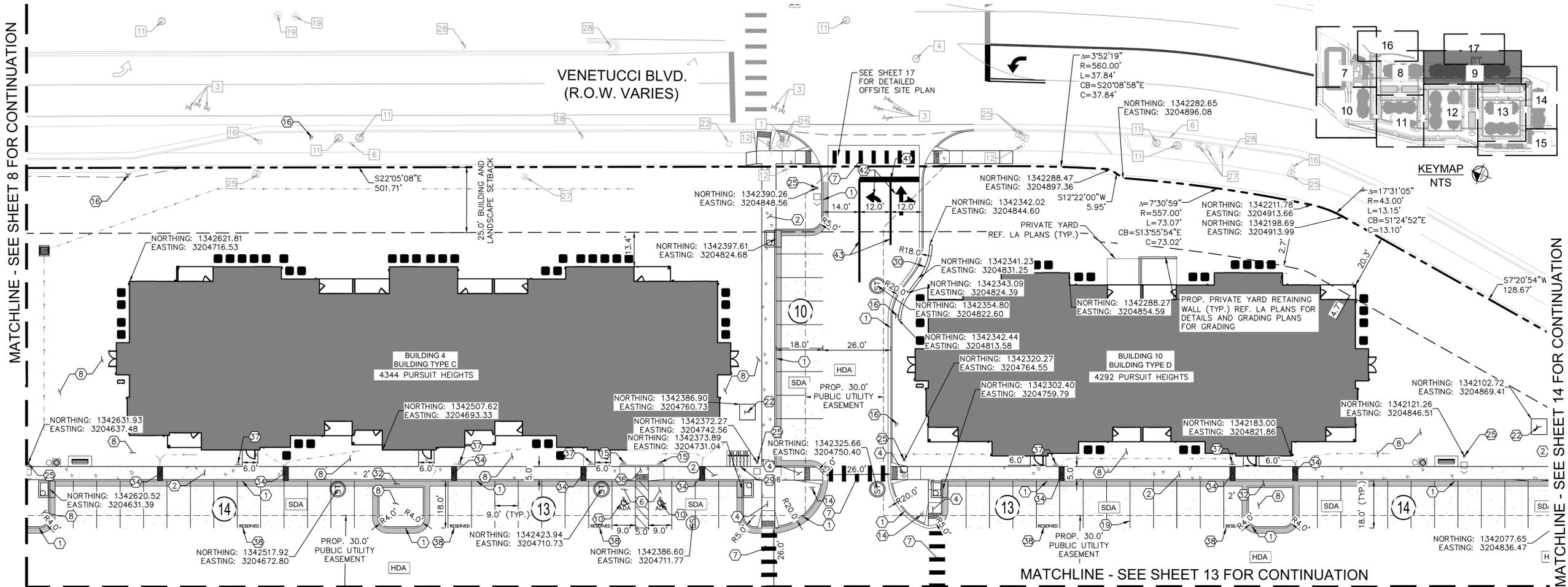
OTHER INFO

DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE PLAN



KEY NOTES: PROPOSED

| | |
|----|--|
| 1 | PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20 |
| 2 | PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS |
| 3 | PROPOSED ACCESS AND CROSSSPAN COLORADO SPRINGS DETAIL D7B |
| 4 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41 |
| 5 | PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS |
| 6 | PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS |
| 7 | PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) - REF. CONSTRUCTION DETAILS |
| 8 | PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 9 | PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS |
| 10 | PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS |
| 11 | PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS |
| 12 | PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS |
| 13 | PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. DETAILED GRADING PLANS FOR HEIGHT |
| 14 | PROPOSED R1-1 STOP SIGN (30 IN X 30 IN) |
| 15 | PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN |
| 16 | PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN) |
| 17 | PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS |
| 18 | PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS |
| 19 | PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS |
| 20 | PROPOSED GATE - REF. CONSTRUCTION DETAILS |
| 21 | PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS |
| 22 | PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS |
| 23 | PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT) |
| 24 | PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL |
| 25 | PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS |
| 26 | PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 27 | PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS |
| 28 | PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN) |
| 29 | PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS |
| 30 | NOT USED |
| 31 | PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS |
| 32 | PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) - REF. CONSTRUCTION DETAILS |
| 33 | PROPOSED STRIPING - REF. SHEETS C407, C408 AND CONSTRUCTION DETAILS |
| 34 | PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25 |
| 35 | PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS |
| 36 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50. |
| 37 | RESERVED PARKING SIGNAGE BY OWNER, TYP. |
| 38 | RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING |
| 39 | CURB RAMP PER COLORADO SPRINGS DETAIL D-8A |
| 40 | 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS |

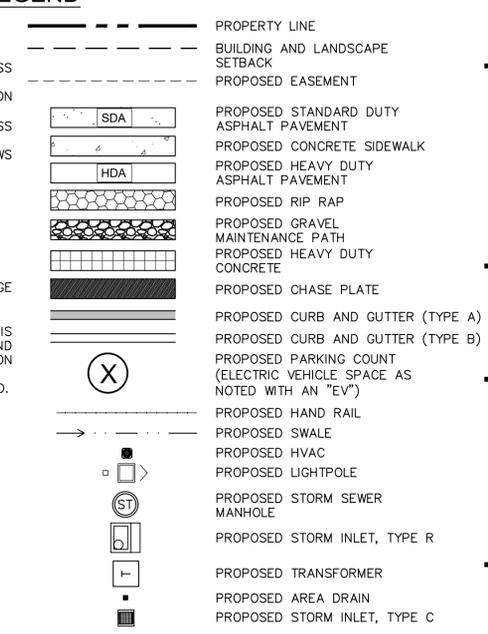
KEY NOTES: EXISTING

| | |
|----|---|
| 1 | EX. FIRE HYDRANT |
| 2 | EX. WATER LINE |
| 3 | EX. WATER VALVE |
| 4 | EX. SANITARY SEWER MANHOLE |
| 5 | EX. SANITARY SEWER |
| 6 | EX. STORM SEWER INLET |
| 7 | EX. ELECTRIC VAULT |
| 8 | EX. FIBER OPTIC VAULT |
| 9 | EX. GAS LINE |
| 10 | EX. TELEPHONE LINE |
| 11 | EX. STORM MANHOLE |
| 12 | EX. TRAFFIC CONTROL STRUCTURE |
| 13 | EX. UNDERGROUND ELECTRIC LINE |
| 14 | EX. OVERHEAD ELECTRIC LINE |
| 15 | EX. ELECTRIC METER |
| 16 | EX. STREETLIGHT |
| 17 | EX. TRANSFORMER |
| 18 | EX. WATER METER |
| 19 | EX. ELECTRIC MANHOLE |
| 20 | EX. TRAFFIC VAULT |
| 21 | EX. STORM SEWER |
| 22 | EX. FIBER OPTIC BOX |
| 23 | EX. TELEPHONE BOX |
| 24 | EX. STORM GRATE |
| 25 | EX. ELECTRICAL EQUIPMENT |
| 26 | EX. ELECTRICAL BOX |
| 27 | EX. IRRIGATION EQUIPMENT |
| 28 | EX. SIGN |
| 41 | PROPOSED STOP LINE, WHITE, 24" WIDE REF. CDOT STANDARD PLAN NO. S-627-1, SHEET 3 |
| 42 | PROPOSED PAVEMENT MARKING, WHITE, SIZE PER CDOT STANDARD PLAN NO. S-627-1, SHEET 8 |
| 43 | PROPOSED CHANNELIZING LINE, WHITE, 8" WIDE REF. CDOT STANDARD PLAN NO. S-627-1, SHEET 3 |

NOTES

- ALL INTERNAL DRIVES TO BE PRIVATE.
- ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
- SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
- ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
- NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
LIGHT POLES: CENTER OF BASE
POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
- NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

LEGEND



K:\DEN_C\0905052017_Venetucci Multi-Family\Drawings\CD\0905052017 - SP_DT.dwg (SP - 7/12/2025 6:20:36 PM - Veronica Howell)

PROJECT INFO
ISSUE / REVISION
SHEET TITLE
SHEET NUMBER



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

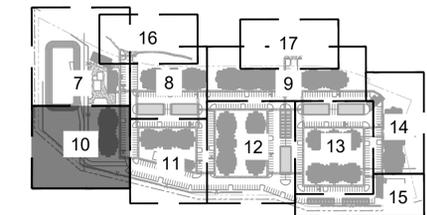
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE PLAN

10



KEYMAP NTS

NOTES

- ALL INTERNAL DRIVES TO BE PRIVATE.
- ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
- SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
- ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
- NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
LIGHT POLES: CENTER OF BASE
POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
- RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
- NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

LEGEND

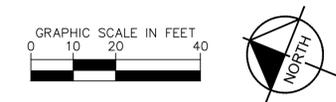
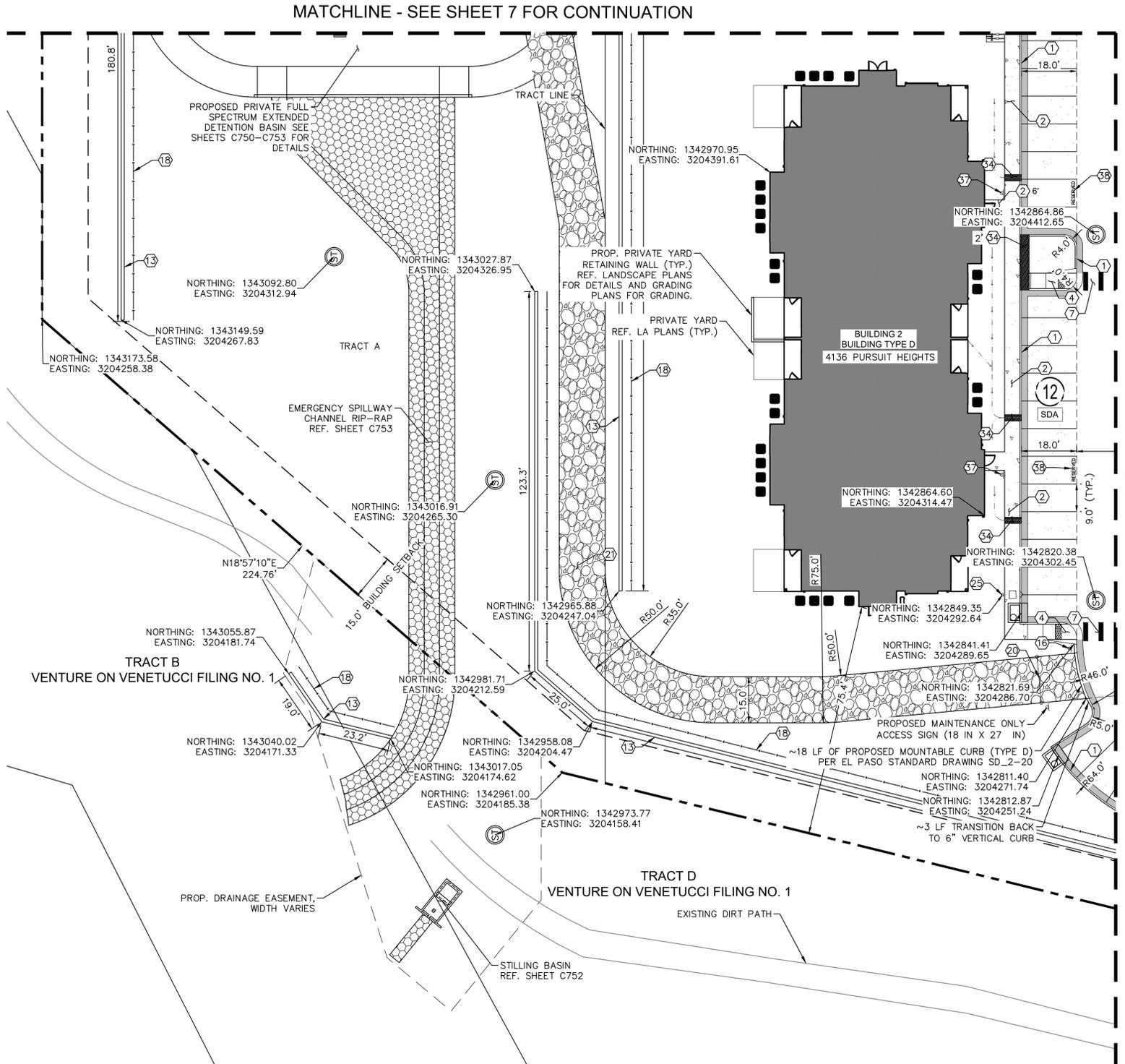
- PROPERTY LINE
- BUILDING AND LANDSCAPE SETBACK
- PROPOSED EASEMENT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED RIP RAP
- PROPOSED GRAVEL MAINTENANCE PATH
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED CHASE PLATE
- PROPOSED CURB AND GUTTER (TYPE A)
- PROPOSED CURB AND GUTTER (TYPE B)
- PROPOSED PARKING COUNTER (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
- PROPOSED HAND RAIL
- PROPOSED SWALE
- PROPOSED HVAC
- PROPOSED LIGHTPOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET, TYPE R
- PROPOSED TRANSFORMER
- PROPOSED AREA DRAIN
- PROPOSED STORM INLET, TYPE C

KEY NOTES: PROPOSED

- PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
- PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS
- PROPOSED ACCESS AND CROSSPAN PER COLORADO SPRINGS DETAIL D7B
- PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41
- PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS
- PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS
- PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) - REF. CONSTRUCTION DETAILS
- PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS
- PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS
- PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS
- PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS
- PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. DETAILED GRADING PLANS FOR HEIGHT
- PROPOSED R1-1 STOP SIGN (30 IN X 30 IN)
- PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN
- PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
- PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS
- PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS
- PROPOSED GATE - REF. CONSTRUCTION DETAILS
- PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS
- PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS
- PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)
- PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL
- PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS
- PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
- PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN)
- PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS
- NOT USED
- PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS
- PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) REF. CONSTRUCTION DETAILS
- PROPOSED STRIPING - REF. SHEETS C407, C408 AND CONSTRUCTION DETAILS
- PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25
- PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS
- PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
- RESERVED PARKING SIGNAGE BY OWNER, TYP.
- RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
- CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS

KEY NOTES: EXISTING

| | | |
|------------------------------|----------------------------------|-----------------------------|
| 11 EX. FIRE HYDRANT | 11 EX. STORM MANHOLE | 21 EX. STORM SEWER |
| 2 EX. WATER LINE | 12 EX. TRAFFIC CONTROL STRUCTURE | 22 EX. FIBER OPTIC BOX |
| 3 EX. WATER VALVE | 13 EX. UNDERGROUND ELECTRIC LINE | 23 EX. TELEPHONE BOX |
| 4 EX. SANITARY SEWER MANHOLE | 14 EX. OVERHEAD ELECTRIC LINE | 24 EX. STORM GRATE |
| 5 EX. SANITARY SEWER | 15 EX. ELECTRIC METER | 25 EX. ELECTRICAL EQUIPMENT |
| 6 EX. STORM SEWER INLET | 16 EX. STREETLIGHT | 26 EX. ELECTRICAL BOX |
| 7 EX. ELECTRIC VAULT | 17 EX. TRANSFORMER | 27 EX. IRRIGATION EQUIPMENT |
| 8 EX. FIBER OPTIC VAULT | 18 EX. WATER METER | 28 EX. SIGN |
| 9 EX. GAS LINE | 19 EX. ELECTRIC MANHOLE | |
| 10 EX. TELEPHONE LINE | 20 EX. TRAFFIC VAULT | |



K:\DEN_Civil\090502017_Venuetucci Multi-Family\CADD\PlanSheets\CD\090502017 - SP - DT.dwg [SP_01] 7/1/2025 6:20:42 PM Veronica Howell

PLANNER / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH
ISSUE/ REVISION
STAMP
ISSUE INFO
SHEET TITLE
SHEET NUMBER

MATCHLINE - SEE SHEET 8 FOR CONTINUATION



MATCHLINE - SEE SHEET 10 FOR CONTINUATION

MATCHLINE - SEE SHEET 12 FOR CONTINUATION

LEGEND

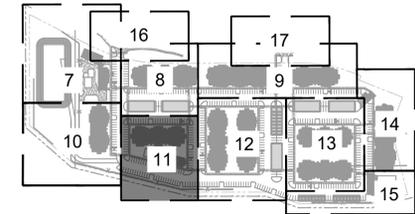
| | | | |
|--|---|--|-----------------------------------|
| | PROPERTY LINE | | PROPOSED CHASE PLATE |
| | BUILDING AND LANDSCAPE SETBACK | | PROPOSED HAND RAIL |
| | PROPOSED EASEMENT | | PROPOSED CURB AND GUTTER (TYPE A) |
| | PROPOSED STANDARD DUTY ASPHALT PAVEMENT | | PROPOSED CURB AND GUTTER (TYPE B) |
| | PROPOSED CONCRETE SIDEWALK | | PROPOSED SWALE |
| | PROPOSED HEAVY DUTY ASPHALT PAVEMENT | | PROPOSED HVAC |
| | PROPOSED RIP RAP | | PROPOSED LIGHTPOLE |
| | PROPOSED GRAVEL MAINTENANCE PATH | | PROPOSED STORM SEWER MANHOLE |
| | PROPOSED HEAVY DUTY CONCRETE | | PROPOSED STORM INLET, TYPE R |
| | PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV") | | PROPOSED TRANSFORMER |
| | | | PROPOSED AREA DRAIN |
| | | | PROPOSED STORM INLET, TYPE C |

NOTES

1. ALL INTERNAL DRIVES TO BE PRIVATE.
2. ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
3. SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
4. ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
5. NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
LIGHT POLES: CENTER OF BASE
POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
6. RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL. FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
7. NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

KEY NOTES: EXISTING

| | |
|----|-------------------------------|
| 1 | EX. FIRE HYDRANT |
| 2 | EX. WATER LINE |
| 3 | EX. WATER VALVE |
| 4 | EX. SANITARY SEWER MANHOLE |
| 5 | EX. SANITARY SEWER |
| 6 | EX. STORM SEWER INLET |
| 7 | EX. ELECTRIC VAULT |
| 8 | EX. FIBER OPTIC VAULT |
| 9 | EX. GAS LINE |
| 10 | EX. TELEPHONE LINE |
| 11 | EX. STORM MANHOLE |
| 12 | EX. TRAFFIC CONTROL STRUCTURE |
| 13 | EX. UNDERGROUND ELECTRIC LINE |
| 14 | EX. OVERHEAD ELECTRIC LINE |
| 15 | EX. ELECTRIC METER |
| 16 | EX. STREETLIGHT |
| 17 | EX. TRANSFORMER |
| 18 | EX. WATER METER |
| 19 | EX. ELECTRIC MANHOLE |
| 20 | EX. TRAFFIC VAULT |
| 21 | EX. STORM SEWER |
| 22 | EX. FIBER OPTIC BOX |
| 23 | EX. TELEPHONE BOX |
| 24 | EX. STORM GRATE |
| 25 | EX. ELECTRICAL EQUIPMENT |
| 26 | EX. ELECTRICAL BOX |
| 27 | EX. IRRIGATION EQUIPMENT |
| 28 | EX. SIGN |



KEYMAP
NTS

KEY NOTES: PROPOSED

| | |
|----|--|
| 1 | PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20 |
| 2 | PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS |
| 3 | PROPOSED ACCESS AND CROSSSPAN PER COLORADO SPRINGS DETAIL D7B |
| 4 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41 |
| 5 | PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS |
| 6 | PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS |
| 7 | PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) - REF. CONSTRUCTION DETAILS |
| 8 | PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 9 | PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS |
| 10 | PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS |
| 11 | PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS |
| 12 | PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS |
| 13 | PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. DETAILED GRADING PLANS FOR HEIGHT |
| 14 | PROPOSED R1-1 STOP SIGN (30 IN X 30 IN) |
| 15 | PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN |
| 16 | PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN) |
| 17 | PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS |
| 18 | PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS |
| 19 | PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS |
| 20 | PROPOSED GATE - REF. CONSTRUCTION DETAILS |
| 21 | PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS |
| 22 | PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS |
| 23 | PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT) |
| 24 | PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL |
| 25 | PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS |
| 26 | PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 27 | PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS |
| 28 | PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN) |
| 29 | PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS |
| 30 | NOT USED |
| 31 | PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS |
| 32 | PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) - REF. CONSTRUCTION DETAILS |
| 33 | PROPOSED STRIPING - REF. CONSTRUCTION DETAILS |
| 34 | PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25 |
| 35 | PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS |
| 36 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50. |
| 37 | RESERVED PARKING SIGNAGE BY OWNER, TYP. |
| 38 | RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING |
| 39 | CURB RAMP PER COLORADO SPRINGS DETAIL D-8A |
| 40 | 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS |



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

Kimley»Horn

2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

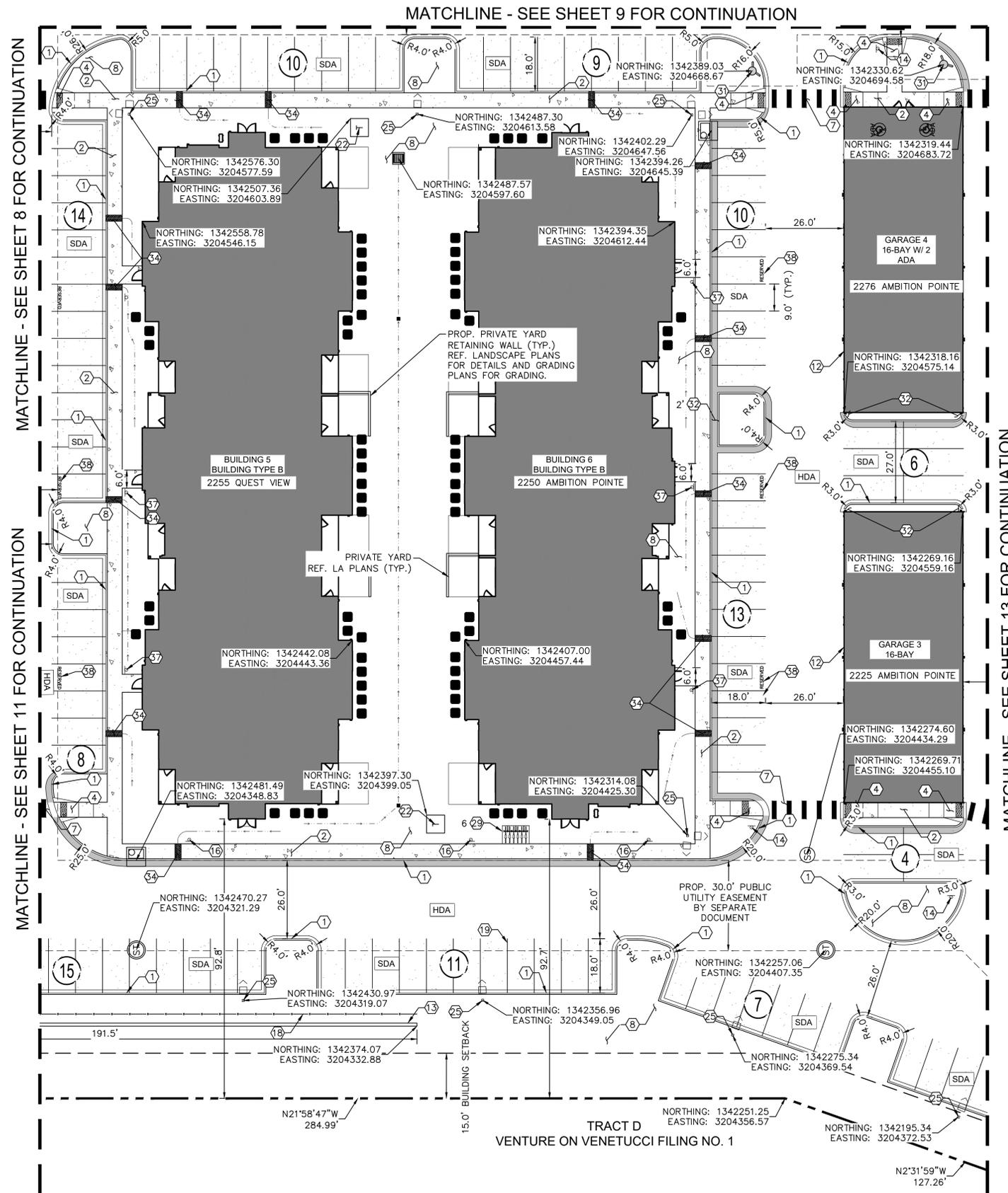
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE PLAN

K:\DEN_Civil\05052017_Venuetucci Multi-Family\Drawings\Site\SD\05052017 - SP - DT.dwg (SP - L2) 7/1/2025 6:20:35 PM Veronica.Howell

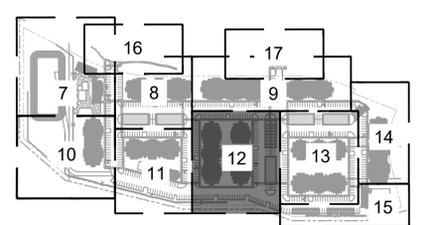


KEY NOTES: PROPOSED

- ① PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
- ② PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS
- ③ PROPOSED ACCESS AND CROSSSPAN PER COLORADO SPRINGS DETAIL D7B
- ④ PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41
- ⑤ PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS
- ⑥ PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS
- ⑦ PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) - REF. CONSTRUCTION DETAILS
- ⑧ PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- ⑨ PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS
- ⑩ PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS
- ⑪ PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS
- ⑫ PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS
- ⑬ PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. DETAILED GRADING PLANS FOR HEIGHT
- ⑭ PROPOSED R1-1 STOP SIGN (30 IN X 30 IN)
- ⑮ PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN
- ⑯ PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
- ⑰ PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS
- ⑱ PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- ⑲ PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS
- ⑳ PROPOSED GATE - REF. CONSTRUCTION DETAILS
- ㉑ PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS
- ㉒ PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS
- ㉓ PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)
- ㉔ PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL
- ㉕ PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS
- ㉖ PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
- ㉗ PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- ㉘ PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN)
- ㉙ PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS
- ㉚ NOT USED
- ㉛ PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS
- ㉜ PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) - REF. CONSTRUCTION DETAILS
- ㉝ PROPOSED STRIPING - REF. CONSTRUCTION DETAILS
- ㉞ PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25
- ㉟ PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS
- ㊱ PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
- ㊲ RESERVED PARKING SIGNAGE BY OWNER, TYP.
- ㊳ RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
- ㊴ CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- ㊵ 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS

KEY NOTES: EXISTING

- | | | |
|---------------------------------|---------------------------------|----------------------------|
| ① EX. FIRE HYDRANT | ⑬ EX. UNDERGROUND ELECTRIC LINE | ⑳ EX. ELECTRICAL EQUIPMENT |
| ② EX. WATER LINE | ⑭ EX. OVERHEAD ELECTRIC LINE | ㉑ EX. ELECTRICAL BOX |
| ③ EX. WATER VALVE | ⑮ EX. ELECTRIC METER | ㉒ EX. IRRIGATION EQUIPMENT |
| ④ EX. SANITARY SEWER MANHOLE | ⑯ EX. STREETLIGHT | ㉓ EX. SIGN |
| ⑤ EX. SANITARY SEWER | ⑰ EX. TRANSFORMER | |
| ⑥ EX. STORM SEWER INLET | ⑱ EX. WATER METER | |
| ⑦ EX. ELECTRIC VAULT | ⑲ EX. ELECTRIC MANHOLE | |
| ⑧ EX. FIBER OPTIC VAULT | ㉑ EX. TRAFFIC VAULT | |
| ⑨ EX. GAS LINE | ㉒ EX. STORM SEWER | |
| ⑩ EX. TELEPHONE LINE | ㉓ EX. FIBER OPTIC BOX | |
| ⑪ EX. STORM MANHOLE | ㉔ EX. TELEPHONE BOX | |
| ⑫ EX. TRAFFIC CONTROL STRUCTURE | ㉕ EX. STORM GRATE | |



NOTES

- 1. ALL INTERNAL DRIVES TO BE PRIVATE.
- 2. ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
- 3. SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
- 4. ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
- 5. NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
LIGHT POLES: CENTER OF BASE
POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
- 6. RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL. FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
- 7. NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

LEGEND

- PROPERTY LINE
- - - BUILDING AND LANDSCAPE SETBACK
- - - PROPOSED EASEMENT
- SDA PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- HDA PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED RIP RAP
- PROPOSED GRAVEL MAINTENANCE PATH
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED CHASE PLATE
- PROPOSED CURB AND GUTTER (TYPE A)
- PROPOSED CURB AND GUTTER (TYPE B)
- PROPOSED PARKING COUNTER (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
- PROPOSED HAND RAIL
- PROPOSED SWALE
- PROPOSED HVAC
- PROPOSED LIGHTPOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET, TYPE R
- PROPOSED TRANSFORMER
- PROPOSED AREA DRAIN
- PROPOSED STORM INLET, TYPE C



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY
VENETUCCI BLVD
OTHER INFO

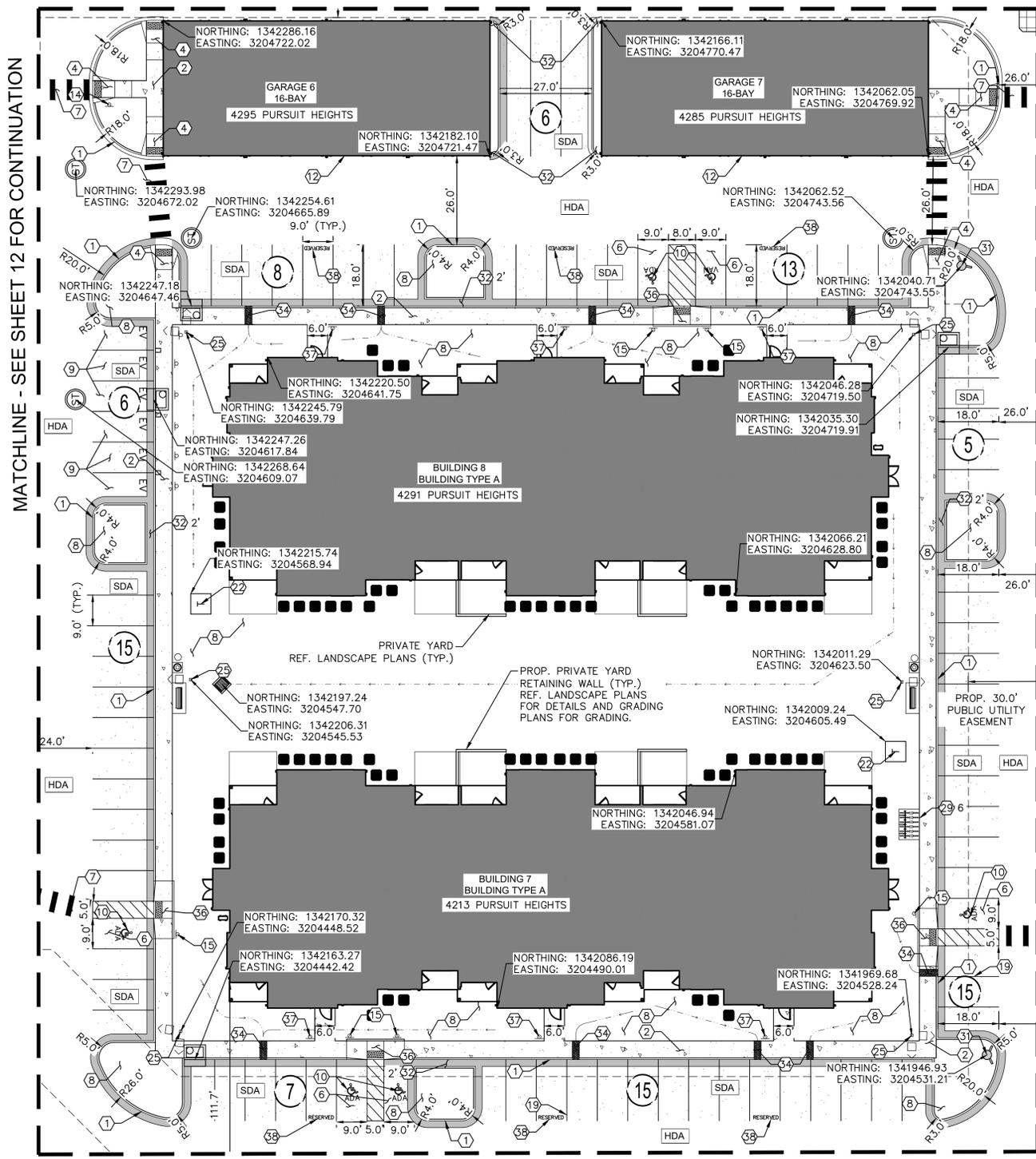
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

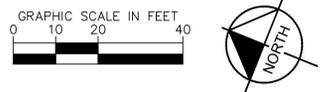
| DATE: | BY: | DESCRIPTION: |
|-------|-----|--------------|
| | | |
| | | |
| | | |

DETAILED SITE PLAN

MATCHLINE - SEE SHEET 9 FOR CONTINUATION

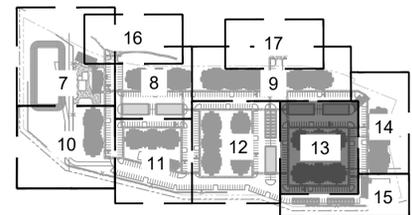


MATCHLINE - SEE SHEET 15 FOR CONTINUATION



KEY NOTES: PROPOSED

- 1 PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
- 2 PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS
- 3 PROPOSED ACCESS AND CROSSSPAN PER COLORADO SPRINGS DETAIL D7B
- 4 PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41
- 5 PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS
- 6 PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS
- 7 PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) - REF. CONSTRUCTION DETAILS
- 8 PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- 9 PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS
- 10 PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS
- 11 PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS
- 12 PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS
- 13 PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. DETAILED GRADING PLANS FOR HEIGHT
- 14 PROPOSED R1-1 STOP SIGN (30 IN X 30 IN)
- 15 PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN
- 16 PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
- 17 PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS
- 18 PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- 19 PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS
- 20 PROPOSED GATE - REF. CONSTRUCTION DETAILS
- 21 PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS
- 22 PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS
- 23 PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)
- 24 PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL
- 25 PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS
- 26 PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
- 27 PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- 28 PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN)
- 29 PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS
- 30 NOT USED
- 31 PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS
- 32 PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) - REF. CONSTRUCTION DETAILS
- 33 PROPOSED STRIPING - REF. CONSTRUCTION DETAILS
- 34 PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25
- 35 PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS
- 36 PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
- 37 RESERVED PARKING SIGNAGE BY OWNER, TYP.
- 38 RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
- 39 CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- 40 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS

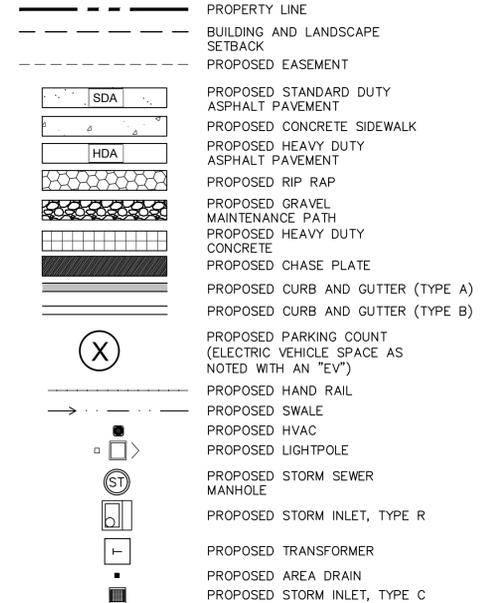


KEYMAP NTS

NOTES

- 1. ALL INTERNAL DRIVES TO BE PRIVATE.
- 2. ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
- 3. SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
- 4. ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
- 5. NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
LIGHT POLES: CENTER OF BASE
POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
- 6. RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL. FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
- 7. NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

LEGEND



KEY NOTES: EXISTING

| | |
|----------------------------------|-----------------------------|
| 1 EX. FIRE HYDRANT | 15 EX. ELECTRIC METER |
| 2 EX. WATER LINE | 16 EX. STREETLIGHT |
| 3 EX. WATER VALVE | 17 EX. TRANSFORMER |
| 4 EX. SANITARY SEWER MANHOLE | 18 EX. WATER METER |
| 5 EX. SANITARY SEWER | 19 EX. ELECTRIC MANHOLE |
| 6 EX. STORM SEWER INLET | 20 EX. TRAFFIC VAULT |
| 7 EX. ELECTRIC VAULT | 21 EX. STORM SEWER |
| 8 EX. FIBER OPTIC VAULT | 22 EX. FIBER OPTIC BOX |
| 9 EX. GAS LINE | 23 EX. TELEPHONE BOX |
| 10 EX. TELEPHONE LINE | 24 EX. STORM GRATE |
| 11 EX. STORM MANHOLE | 25 EX. ELECTRICAL EQUIPMENT |
| 12 EX. TRAFFIC CONTROL STRUCTURE | 26 EX. ELECTRICAL BOX |
| 13 EX. UNDERGROUND ELECTRIC LINE | 27 EX. IRRIGATION EQUIPMENT |
| 14 EX. OVERHEAD ELECTRIC LINE | 28 EX. SIGN |



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|-------|-----|--------------|
| | | |
| | | |
| | | |
| | | |
| | | |

DETAILED SITE PLAN

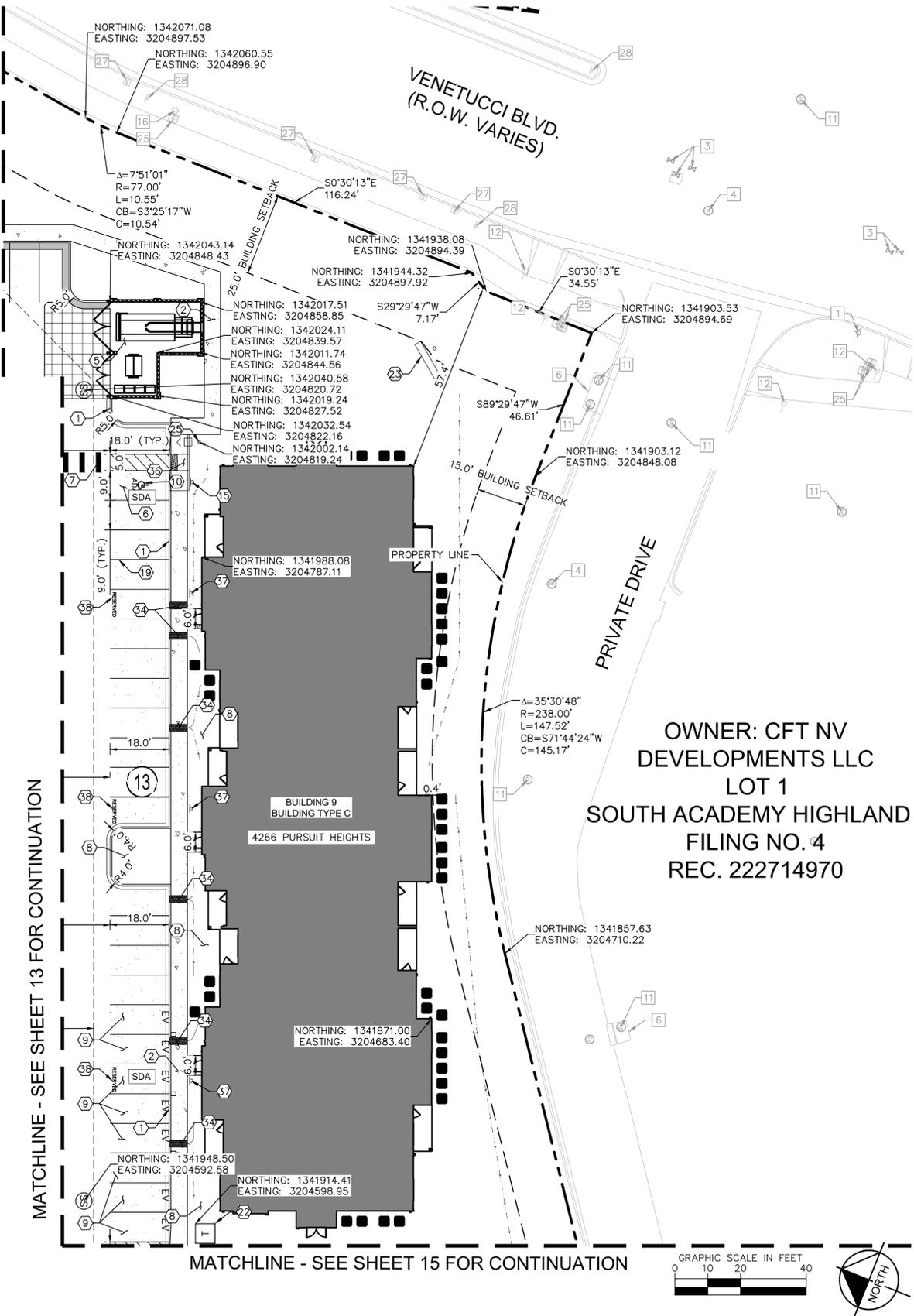
K:\DEN_Civil\09052017_Venetucci Multi-Family\CADD\PlanSheets\CD\09052017 - SP_DT.dwg (SP_L1) 7/1/2025 6:21:02 PM VeronicaHowell

K:\DEN_Civil\090502017_Venuetucci Multi-Family\Drawings\Site\090502017 - SP - DT.dwg (SP_L4) 7/1/2025 6:21:05 PM Veronica Howell

MATCHLINE - SEE SHEET 9 FOR CONTINUATION

MATCHLINE - SEE SHEET 13 FOR CONTINUATION

MATCHLINE - SEE SHEET 15 FOR CONTINUATION

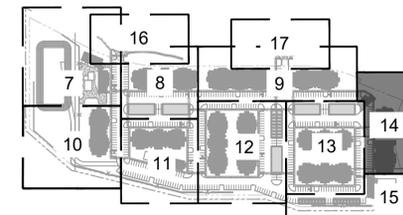


KEY NOTES: PROPOSED

- 1 PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPILL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
- 2 PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS
- 3 PROPOSED ACCESS AND CROSSSPAN PER COLORADO SPRINGS DETAIL D7B
- 4 PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41
- 5 PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS
- 6 PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS
- 7 PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) - REF. CONSTRUCTION DETAILS
- 8 PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- 9 PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS
- 10 PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS
- 11 PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS
- 12 PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS
- 13 PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. DETAILED GRADING PLANS FOR HEIGHT
- 14 PROPOSED R1-1 STOP SIGN (30 IN X 30 IN)
- 15 PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN
- 16 PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
- 17 PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS
- 18 PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- 19 PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS
- 20 PROPOSED GATE - REF. CONSTRUCTION DETAILS
- 21 PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS
- 22 PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS
- 23 PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)
- 24 PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL
- 25 PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS
- 26 PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
- 27 PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS
- 28 PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN)
- 29 PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS
- 30 NOT USED
- 31 PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS
- 32 PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) - REF. CONSTRUCTION DETAILS
- 33 PROPOSED STRIPING - REF. CONSTRUCTION DETAILS
- 34 PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25
- 35 PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS
- 36 PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
- 37 RESERVED PARKING SIGNAGE BY OWNER, TYP.
- 38 RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
- 39 CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- 40 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS

KEY NOTES: EXISTING

| | | |
|------------------------------|----------------------------------|-----------------------------|
| 11 EX. FIRE HYDRANT | 11 EX. STORM MANHOLE | 21 EX. STORM SEWER |
| 2 EX. WATER LINE | 12 EX. TRAFFIC CONTROL STRUCTURE | 22 EX. FIBER OPTIC BOX |
| 3 EX. WATER VALVE | 13 EX. UNDERGROUND ELECTRIC LINE | 23 EX. TELEPHONE BOX |
| 4 EX. SANITARY SEWER MANHOLE | 14 EX. OVERHEAD ELECTRIC LINE | 24 EX. STORM GRATE |
| 5 EX. SANITARY SEWER | 15 EX. ELECTRICAL METER | 25 EX. ELECTRICAL EQUIPMENT |
| 6 EX. STORM SEWER INLET | 16 EX. STREETLIGHT | 26 EX. ELECTRICAL BOX |
| 7 EX. ELECTRIC VAULT | 17 EX. TRANSFORMER | 27 EX. IRRIGATION EQUIPMENT |
| 8 EX. FIBER OPTIC VAULT | 18 EX. WATER METER | 28 EX. SIGN |
| 9 EX. GAS LINE | 19 EX. ELECTRIC MANHOLE | |
| 10 EX. TELEPHONE LINE | 20 EX. TRAFFIC VAULT | |



NOTES

1. ALL INTERNAL DRIVES TO BE PRIVATE.
2. ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
3. SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
4. ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
5. NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
LIGHT POLES: CENTER OF BASE
POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
6. RETAINING WALLS OVER 30" WHERE WALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
7. NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

LEGEND

- PROPERTY LINE
- - - BUILDING AND LANDSCAPE SETBACK
- - - PROPOSED EASEMENT
- SDA PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- HDA PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED RIP RAP
- PROPOSED GRAVEL MAINTENANCE PATH
- PROPOSED ASPHALT PATH PER LANDSCAPE PLANS
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED CHASE PLATE
- PROPOSED CURB AND GUTTER (TYPE A)
- PROPOSED CURB AND GUTTER (TYPE B)
- PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
- (X) PROPOSED HAND RAIL
- PROPOSED SWALE
- PROPOSED HVAC
- PROPOSED LIGHTPOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET, TYPE R
- PROPOSED TRANSFORMER
- PROPOSED AREA DRAIN
- PROPOSED STORM INLET, TYPE C



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY
VENETUCCI BLVD
OTHER INFO

DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|-------|-----|--------------|
| | | |
| | | |
| | | |

DETAILED SITE PLAN



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

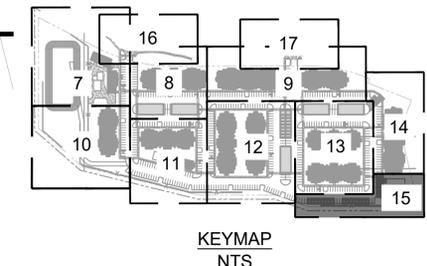
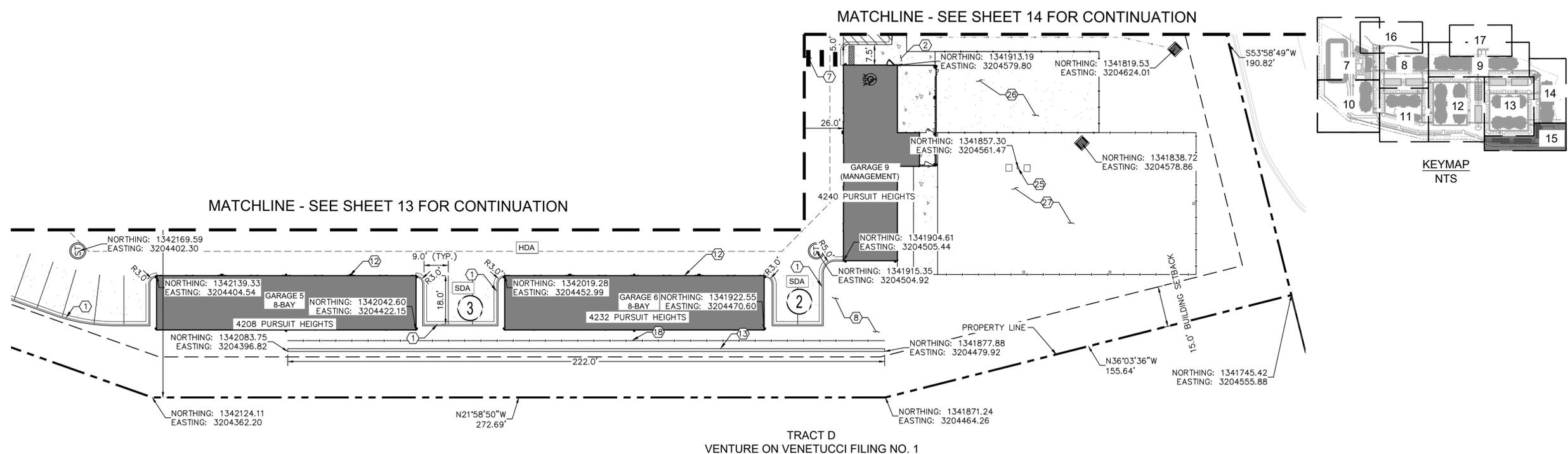
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|-------|-----|--------------|
| | | |
| | | |
| | | |

DETAILED SITE PLAN

15



KEY NOTES: PROPOSED

| | |
|----|--|
| 1 | PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A CATCH/TYP B SPLL PER LEGEND) PER EL PASO COUNTY STANDARD DRAWING SD_2-20 |
| 2 | PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER THOMPSON THRIFT SIDEWALK DETAIL AND EL PASO COUNTY SPECIFICATIONS |
| 3 | PROPOSED ACCESS AND CROSSSPAN PER COLORADO SPRINGS DETAIL D7B |
| 4 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41 |
| 5 | PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS |
| 6 | PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN) - REF. CONSTRUCTION DETAILS |
| 7 | PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) - REF. CONSTRUCTION DETAILS |
| 8 | PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 9 | PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER) - REF. CONSTRUCTION DETAILS |
| 10 | PROPOSED ADA PARKING STRIPING - REF. CONSTRUCTION DETAILS |
| 11 | PROPOSED SIDEWALK RAMP WITH HANDRAILS - REF. CONSTRUCTION DETAILS |
| 12 | PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS |
| 13 | PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED - REF. DETAILED GRADING PLANS FOR HEIGHT |
| 14 | PROPOSED R1-1 STOP SIGN (30 IN X 30 IN) |
| 15 | PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN |
| 16 | PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN) |
| 17 | PROPOSED FOREBAY - REF. POND PLANS FOR DETAILS |
| 18 | PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS |
| 19 | PROPOSED 4" WIDE PARKING STRIPE (TYP.) - REF. CONSTRUCTION DETAILS |
| 20 | PROPOSED GATE - REF. CONSTRUCTION DETAILS |
| 21 | PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS |
| 22 | PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS |
| 23 | PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT) |

| | |
|----|---|
| 24 | PROPOSED STREET SIGN - REF. THOMPSON THRIFT SIGN DETAIL |
| 25 | PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS |
| 26 | PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS |
| 27 | PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS |
| 28 | PROPOSED R1-2 YIELD SIGN (36 IN X 36 IN X 36 IN) |
| 29 | PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS |
| 30 | NOT USED |
| 31 | PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS |
| 32 | PROPOSED CURB CUT (1' UNLESS OTHERWISE NOTED) - REF. CONSTRUCTION DETAILS |
| 33 | PROPOSED STRIPING - REF. CONSTRUCTION DETAILS |
| 34 | PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED) PER EL PASO COUNTY STANDARD DRAWING SD_3-25 |
| 35 | PROPOSED WHEEL STOP, NUMBER PER PLAN - REF. CONSTRUCTION DETAILS |
| 36 | PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50. |
| 37 | RESERVED PARKING SIGNAGE BY OWNER, TYP. |
| 38 | RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING |
| 39 | CURB RAMP PER COLORADO SPRINGS DETAIL D-8A |
| 40 | 5' SIDEWALK PER COLORADO SPRINGS SPECIFICATIONS |

NOTES

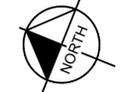
- ALL INTERNAL DRIVES TO BE PRIVATE.
- ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
- SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
- ALL PARKING CURB RADII SHALL BE 5' UNLESS SPECIFIED ON PLANS.
- NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
STORM INLETS (AREA): CENTER OF GRATE
MANHOLE: CENTER OF MANHOLE LID
HYDRANTS: CENTER OF HYDRANT
LIGHT POLES: CENTER OF BASE
POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
RETAINING WALLS: FACE OF WALL
- RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS.
- NO PARKING IS ALLOWED ALONG VENETUCCI BOULEVARD.

KEY NOTES: EXISTING

| | | | |
|----|-------------------------------|----|--------------------------|
| 1 | EX. FIRE HYDRANT | 15 | EX. ELECTRIC METER |
| 2 | EX. WATER LINE | 16 | EX. STREETLIGHT |
| 3 | EX. WATER VALVE | 17 | EX. TRANSFORMER |
| 4 | EX. SANITARY SEWER MANHOLE | 18 | EX. WATER METER |
| 5 | EX. SANITARY SEWER | 19 | EX. ELECTRIC MANHOLE |
| 6 | EX. STORM SEWER INLET | 20 | EX. TRAFFIC VAULT |
| 7 | EX. ELECTRIC VAULT | 21 | EX. STORM SEWER |
| 8 | EX. FIBER OPTIC VAULT | 22 | EX. FIBER OPTIC BOX |
| 9 | EX. GAS LINE | 23 | EX. TELEPHONE BOX |
| 10 | EX. TELEPHONE LINE | 24 | EX. STORM GRATE |
| 11 | EX. STORM MANHOLE | 25 | EX. ELECTRICAL EQUIPMENT |
| 12 | EX. TRAFFIC CONTROL STRUCTURE | 26 | EX. ELECTRICAL BOX |
| 13 | EX. UNDERGROUND ELECTRIC LINE | 27 | EX. IRRIGATION EQUIPMENT |
| 14 | EX. OVERHEAD ELECTRIC LINE | 28 | EX. SIGN |

LEGEND

| | |
|--|---|
| | PROPERTY LINE |
| | BUILDING AND LANDSCAPE SETBACK |
| | PROPOSED EASEMENT |
| | PROPOSED STANDARD DUTY ASPHALT PAVEMENT |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED HEAVY DUTY ASPHALT PAVEMENT |
| | PROPOSED RIP RAP |
| | PROPOSED GRAVEL MAINTENANCE PATH |
| | PROPOSED ASPHALT PATH PER LANDSCAPE PLANS |
| | PROPOSED HEAVY DUTY CONCRETE |
| | PROPOSED CHASE PLATE |
| | PROPOSED CURB AND GUTTER (TYPE A) |
| | PROPOSED CURB AND GUTTER (TYPE B) |
| | PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV") |
| | PROPOSED HAND RAIL |
| | PROPOSED SWALE |
| | PROPOSED HVAC |
| | PROPOSED LIGHTPOLE |



K:\DEN_C\090502017_Venetucci Multi-Family\Drawings\CD\090502017 - SP_DT.dwg (SP_L1) 7/1/2025 6:21:11 PM Veronica Howell

PLANNING / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH
STAMP
ISSUE / REVISION
SHEET TITLE
PLAN FILE / SHEET NUMBER



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

© 2012. All Rights Reserved.

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

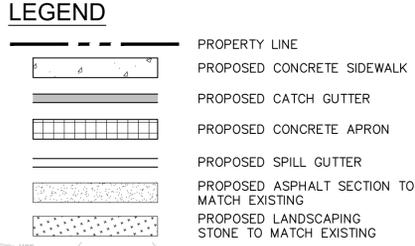
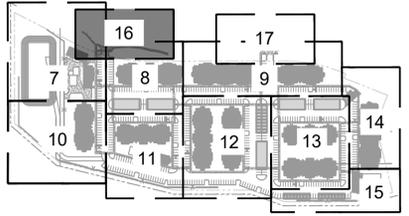
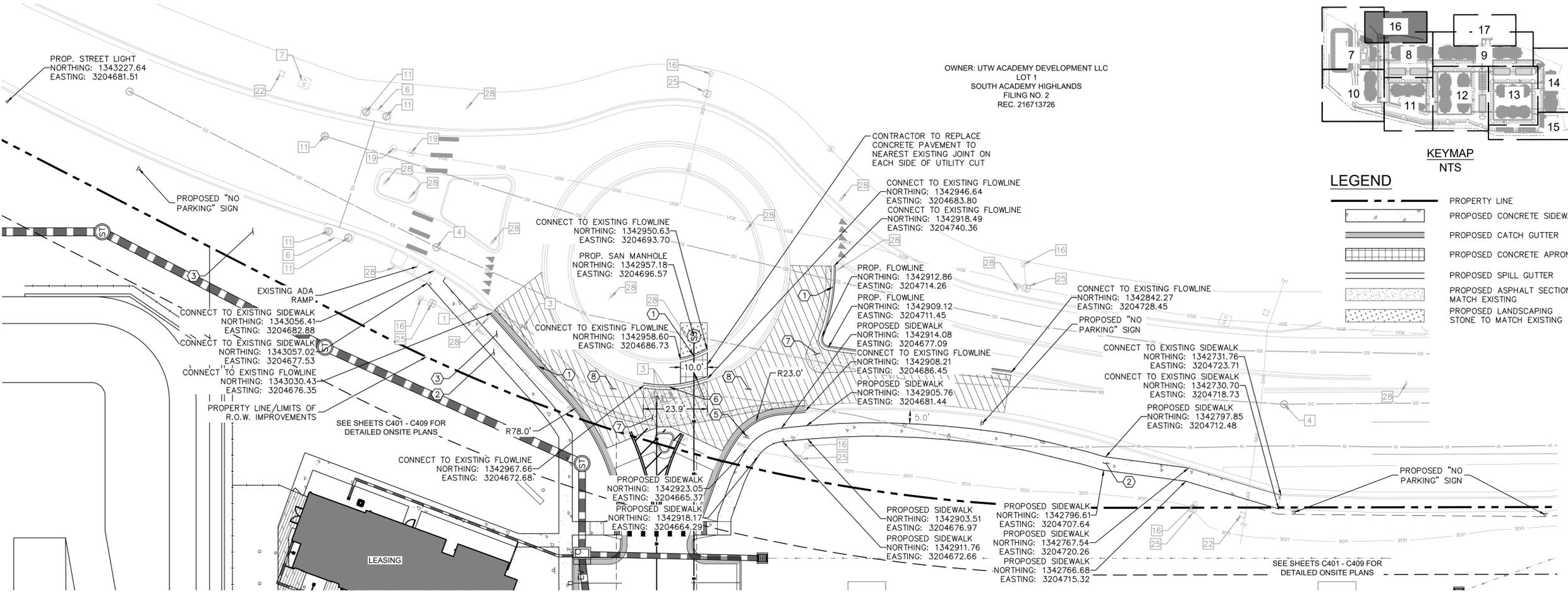
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

OFFSITE SITE PLAN

16

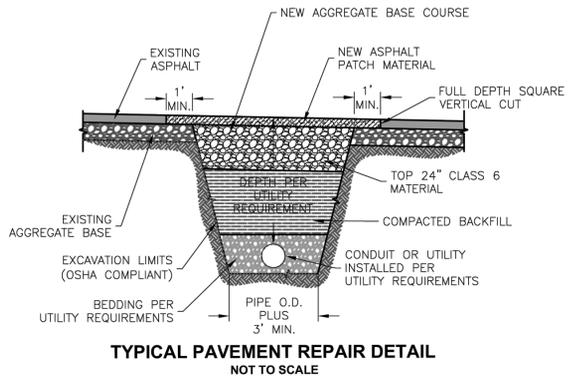


KEY NOTES: PROPOSED

- 1 PROPOSED 6" VERTICAL CURB AND GUTTER PER COLORADO SPRINGS STANDARD DRAWING 6B (TYPE 2 CATCH, TYPE 3 SPILL)
- 2 PROPOSED 5' WIDE SIDEWALK PER COLORADO SPRINGS R.O.W. SIDEWALK DETAIL ON SHEET C803
- 3 PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- 4 PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
- 5 PROPOSED YIELD SIGN (MUTCD R1-2)
- 6 PROPOSED ROUNDABOUT APRON PER COLORADO SPRINGS STANDARD DRAWING 6B ON SHEET C802 AND MATCHING EXISTING CONDITIONS
- 7 PROPOSED ASPHALT SECTION TO MATCH EXISTING, TRENCHING PER CITY OF FOUNTAIN TYPICAL PAVEMENT REPAIR DETAIL ON THIS SHEET

KEY NOTES: EXISTING

| | |
|----------------------------------|-----------------------------|
| 1 EX. FIRE HYDRANT | 15 EX. ELECTRIC METER |
| 2 EX. WATER LINE | 16 EX. STREETLIGHT |
| 3 EX. WATER VALVE | 17 EX. TRANSFORMER |
| 4 EX. SANITARY SEWER MANHOLE | 18 EX. WATER METER |
| 5 EX. SANITARY SEWER | 19 EX. ELECTRIC MANHOLE |
| 6 EX. STORM SEWER INLET | 20 EX. TRAFFIC VAULT |
| 7 EX. ELECTRIC VAULT | 21 EX. STORM SEWER |
| 8 EX. FIBER OPTIC VAULT | 22 EX. FIBER OPTIC BOX |
| 9 EX. GAS LINE | 23 EX. TELEPHONE BOX |
| 10 EX. TELEPHONE LINE | 24 EX. STORM GRATE |
| 11 EX. STORM MANHOLE | 25 EX. ELECTRICAL EQUIPMENT |
| 12 EX. TRAFFIC CONTROL STRUCTURE | 26 EX. ELECTRICAL BOX |
| 13 EX. UNDERGROUND ELECTRIC LINE | 27 EX. IRRIGATION EQUIPMENT |
| 14 EX. OVERHEAD ELECTRIC LINE | 28 EX. SIGN |



K:\DEN_C\0958502017_Venuetucci Multi-Family\CADD\PlanSheets\CD\0958502017 - SP - OFFSITE SITE PLAN 7/12/2025 6:21:33 PM Michael Hart



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

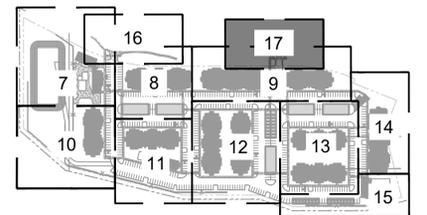
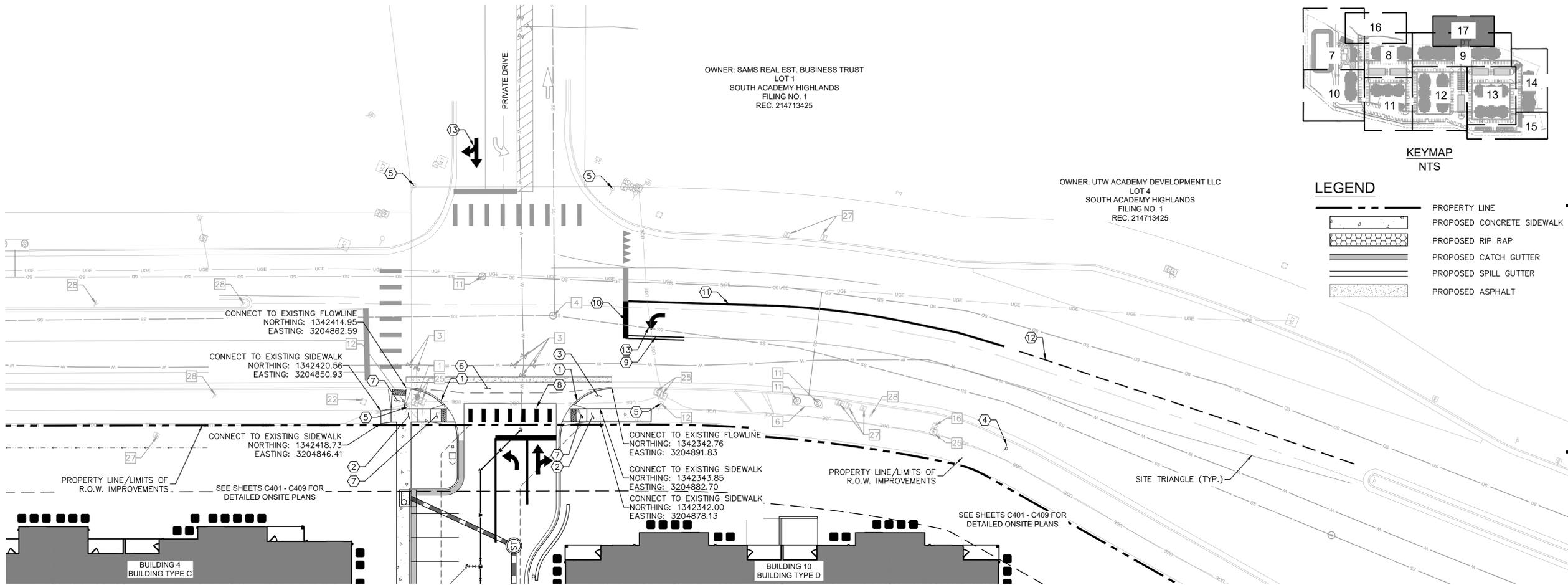
DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|-------|-----|--------------|
| | | |
| | | |
| | | |

OFFSITE SITE PLAN

17



LEGEND

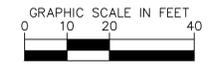
- PROPERTY LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED RIP RAP
- PROPOSED CATCH GUTTER
- PROPOSED SPILL GUTTER
- PROPOSED ASPHALT

KEY NOTES: PROPOSED

- 1 PROPOSED 6" VERTICAL CURB AND GUTTER PER COLORADO SPRINGS STANDARD DRAWING 6B (TYPE 2 CATCH, TYPE 3 SPILL)
- 2 PROPOSED 5' WIDE SIDEWALK PER R.O.W. SIDEWALK DETAIL ON SHEET C803
- 3 PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS
- 4 PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
- 5 PROPOSED SIGNAL IMPROVEMENTS, REFERENCE SIGNAL PLANS ON SHEET XXXX
- 6 PROPOSED ACCESS AND CROSSSPAN COLORADO SPRINGS DETAIL D7B
- 7 CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- 8 PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- 9 PROPOSED CENTER LINES, YELLOW, 4" WIDE REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- 10 PROPOSED STOP LINE, WHITE, 24" WIDE REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- 11 PROPOSED CHANNELIZING LINE, WHITE, 8" WIDE REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- 12 PROPOSED DASHED LANE LINE, WHITE, 4" WIDE REF CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801
- 13 PROPOSED PAVEMENT MARKING, WHITE, SIZE PER CITY OF COLORADO SPRINGS SIGNS AND MARKING DETAILS SHEET C801

KEY NOTES: EXISTING

| | |
|----------------------------------|-----------------------------|
| 1 EX. FIRE HYDRANT | 15 EX. ELECTRIC METER |
| 2 EX. WATER LINE | 16 EX. STREETLIGHT |
| 3 EX. WATER VALVE | 17 EX. TRANSFORMER |
| 4 EX. SANITARY SEWER MANHOLE | 18 EX. WATER METER |
| 5 EX. SANITARY SEWER | 19 EX. ELECTRIC MANHOLE |
| 6 EX. STORM SEWER INLET | 20 EX. TRAFFIC VAULT |
| 7 EX. ELECTRIC VAULT | 21 EX. STORM SEWER |
| 8 EX. FIBER OPTIC VAULT | 22 EX. FIBER OPTIC BOX |
| 9 EX. GAS LINE | 23 EX. TELEPHONE BOX |
| 10 EX. TELEPHONE LINE | 24 EX. STORM GRATE |
| 11 EX. STORM MANHOLE | 25 EX. ELECTRICAL EQUIPMENT |
| 12 EX. TRAFFIC CONTROL STRUCTURE | 26 EX. ELECTRICAL BOX |
| 13 EX. UNDERGROUND ELECTRIC LINE | 27 EX. IRRIGATION EQUIPMENT |
| 14 EX. OVERHEAD ELECTRIC LINE | 28 EX. SIGN |



K:\DEN_C\095832017_Venuetucci Multi-Family\CADD\PlanSheets\CD\095832017 - SP - OFFSITE SITE PLAN 17.dwg [17 OFFSITE SITE PLAN] 7/12/2025 6:21:40 PM Michael Hart



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

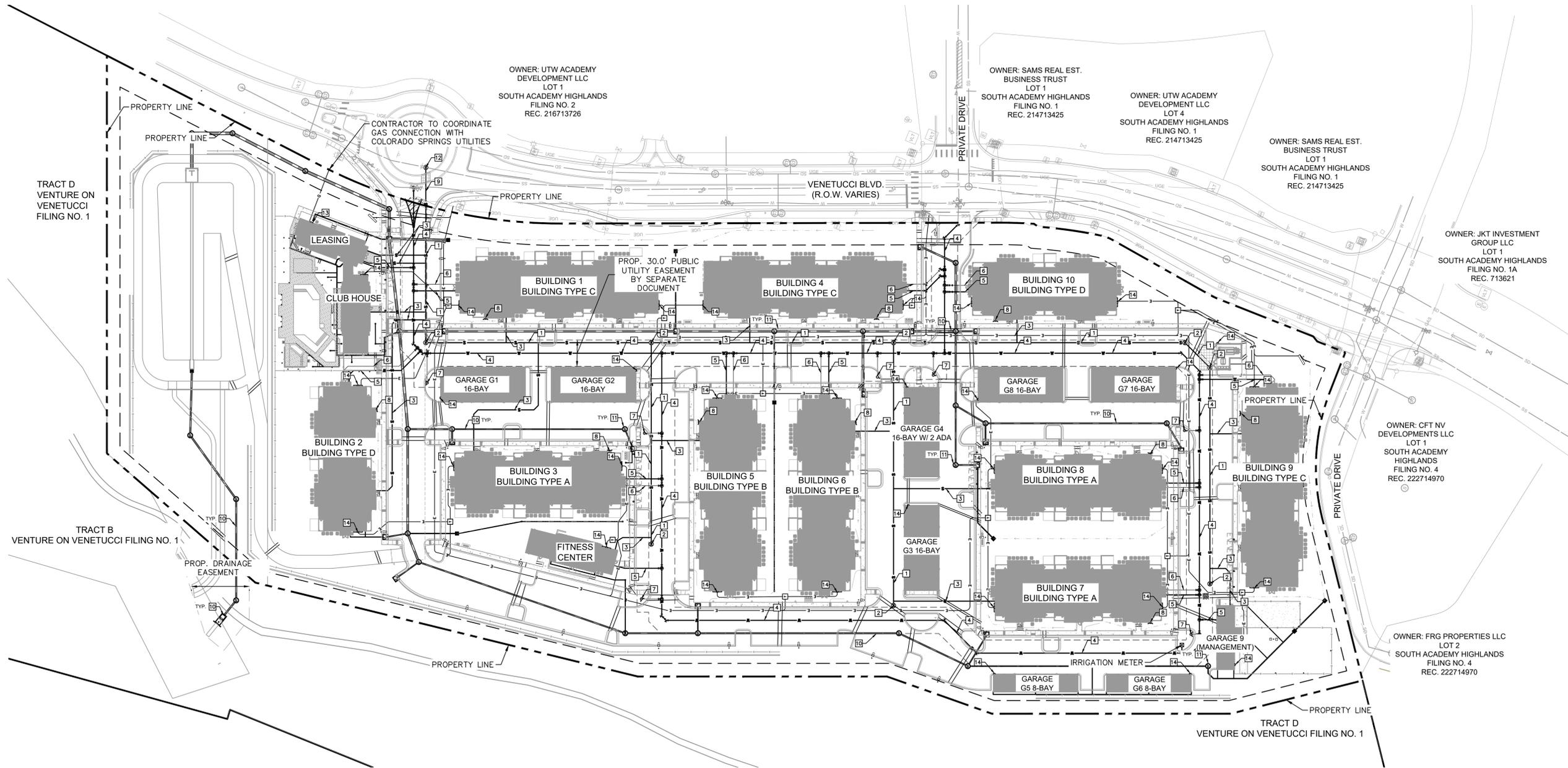
ENTITLEMENT

DATE: BY: DESCRIPTION:

OVERALL UTILITY PLAN

18

096.302017 - UT_OV.dwg



LEGEND

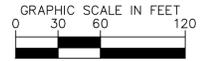
- PROPERTY LINE
- SS--- EXISTING SANITARY SEWER LINE
- S--- PROPOSED SANITARY SEWER LINE
- PROPOSED EASEMENT LINE
- SD--- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- W--- EXISTING WATER LINE
- W--- PROPOSED WATER LINE
- ▲ PROPOSED FIRE HYDRANT
- ▲ PROPOSED WATER VALVE
- ┘ PROPOSED TEE
- ┘ PROPOSED WATER BEND W/ THRUST BLOCK
- ▲ EXISTING FIRE HYDRANT
- TRANSFORMER
- LIGHT POLE

UTILITY KEY NOTES

- 1 PRIVATE SANITARY SEWER PIPE
- 2 PRIVATE SANITARY SEWER MANHOLE
- 3 PRIVATE SANITARY SEWER SERVICE LINE
- 4 PUBLIC WATER MAIN
- 5 WATER SERVICE LINE
- 6 FIRE SERVICE LINE
- 7 FIRE HYDRANT
- 8 FDC
- 9 PUBLIC SANITARY SEWER PIPE
- 10 STORM PIPE (PRIVATE)
- 11 STORM MANHOLE (PRIVATE)
- 12 PUBLIC SANITARY SEWER MANHOLE
- 13 GAS METER
- 14 ELECTRIC METER

GENERAL NOTES

1. GAS METERS MUST BE A MINIMUM OF 3- FEET FROM DOORS, OPERABLE WINDOWS, OR OPENINGS IN WALLS.
2. SEE IRRIGATION PLANS FOR IRRIGATION SLEEVE LOCATIONS AND IRRIGATION DETAILS.



K:\DEN_C\096302017_Venetucci Multi-Family\CADD\PlanSheets\SS\096302017_UT_OV.dwg [16 OVERALL UTILITY PLAN] 7/12/2025 6:22:00 PM Connor Ayres

PLANNER / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH
PROJECT INFO
STAMP
ISSUE / REVISION
SHEET TITLE
SHEET NUMBER



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

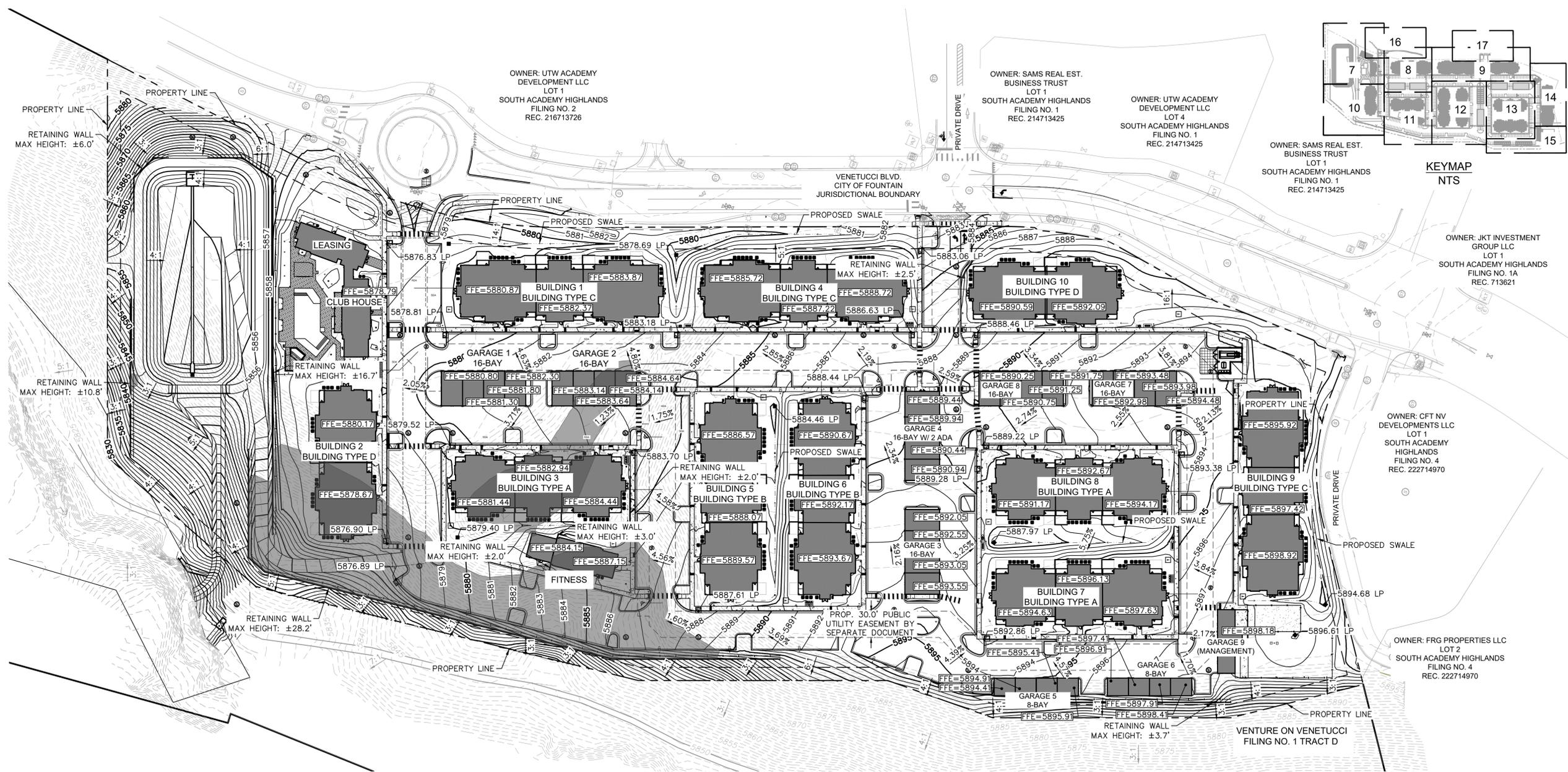
OTHER INFO

DATE: 05/22/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|-------|-----|--------------|
| | | |
| | | |
| | | |
| | | |

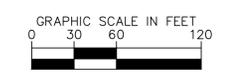
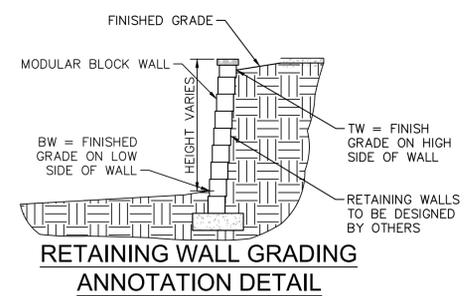
OVERALL GRADING PLAN



LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- PROP. ESMT
- ... → PROP. SWALE
- PROP. CATCH GUTTER
- PROP. SPILL GUTTER
- X.XX% 3:1 PROP. SLOPE ARROW
- X.XX% 3:1 EX. SLOPE ARROW
- XXXX PROP. MAJOR CONTOUR
- XXXX PROP. MINOR CONTOUR
- XXXX EX. MAJOR CONTOUR
- XXXX EX. MINOR CONTOUR
- AREAS WITH 10 FT OR MORE OF FILL (SEE NOTE TO CONTRACTOR)
- PROP. SIDEWALK
- PROP. SLOPE ARROW

***NOTE TO CONTRACTOR:**
CONTRACTOR TO PROVIDE SETTLEMENT PLATE AT ALL BUILDINGS ON 10 FEET OR MORE OF FILL IN COORDINATION WITH GEOTECHNICAL ENGINEER. AREA OF 10 FEET OR MORE OF FILL IS SHOWN FOR REFERENCE ONLY AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



K:\DEN_C\090502017_VenetuCCI Multi-Family\CADD\PlanSheets\509\05\2025\17_GD_OV.dwg (5350 OVERALL GRADING PLAN) 7/17/2025 6:22:23 PM Corinn Barlin

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

FINAL LANDSCAPE PLAN

LANDSCAPE NOTES

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- SOD TO BE KENTUCKY BLUEGRASS BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- DECORATIVE ROCK MULCH: 3/4" BRECKSTONE GOLD, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL DECORATIVE ROCK MULCH AREAS.
- ALL PLANTS NOT LABELED AS FULFILLING A COUNTY LANDSCAPE REQUIREMENT ARE "EXTRA" PER COUNTY STANDARDS, AND WILL BE INSTALLED AT THE OWNER'S DISCRETION.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.

PLANT SCHEDULE

| SYMBOL | CODE | QTY | BOTANICAL / COMMON NAME | HEIGHT | WIDTH | SIZE | COND |
|--------|------|-----|-------------------------|--------|-------|------|------|
|--------|------|-----|-------------------------|--------|-------|------|------|

DECIDUOUS TREES

| | | | | | | | |
|--|----|----|---|-----|-----|-----------|-----|
| | Cs | 5 | Catalpa speciosa / Northern Catalpa | 50' | 30' | 1.5" Cal. | B&B |
| | Co | 12 | Celtis occidentalis / Common Hackberry | 50' | 50' | 1.5" Cal. | B&B |
| | Fg | 28 | Fraxinus pennsylvanica / Green Ash | 60' | 40' | 1.5" Cal. | B&B |
| | Qm | 12 | Quercus macrocarpa / Burr Oak | 60' | 60' | 1.5" Cal. | B&B |
| | Qc | 13 | Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak | 40' | 15' | 1.5" Cal. | B&B |
| | Tr | 14 | Tilia tomentosa / Silver Linden | 50' | 40' | 1.5" Cal. | B&B |

EVERGREEN TREES

| | | | | | | | |
|--|----|----|---|-----|-----|-------|-----|
| | Pb | 10 | Picea pungens 'Baby Blueeyes' / Baby Blue Eyes Spruce | 30' | 15' | 6' HT | B&B |
| | Pd | 64 | Pinus edulis / Pinon Pine | 25' | 20' | 6' HT | B&B |
| | Po | 30 | Pinus ponderosa / Ponderosa Pine | 65' | 30' | 6' HT | B&B |

ORNAMENTAL TREES

| | | | | | | | |
|--|----|----|--|-----|-----|-----------|-----|
| | Ao | 7 | Aesculus glabra / Ohio Buckeye | 30' | 30' | 1.5" Cal. | B&B |
| | As | 40 | Amelanchier alnifolia / Serviceberry | 20' | 12' | 1.5" Cal. | B&B |
| | Fn | 88 | Forestiera neomexicana / New Mexican Privet | 12' | 8' | 1.5" Cal. | B&B |
| | Mp | 22 | Malus x 'Prairifire' / Prairifire Crab Apple | 20' | 20' | 1.5" Cal. | B&B |

| SYMBOL | CODE | QTY | BOTANICAL / COMMON NAME | HEIGHT | WIDTH | SIZE | COND |
|--------|------|-----|-------------------------|--------|-------|------|------|
|--------|------|-----|-------------------------|--------|-------|------|------|

DECIDUOUS SHRUBS

| | | | | | | | |
|--|-----|-----|---|----|------|-------|------|
| | Btg | 24 | Berberis thunbergii 'Golden Rocket' / Golden Rocket Japanese Barberry | 4' | 2.5' | 5 GAL | CONT |
| | Csf | 197 | Cornus stolonifera 'Farrow' TM / Arctic Fire Red Twig Dogwood | 4' | 4' | 5 GAL | CONT |
| | Ena | 91 | Ericameria nauseosa / Rubber Rabbitbrush | 5' | 5' | 5 GAL | CONT |
| | Fpa | 14 | Fallugia paradoxa / Apache Plume | 6' | 6' | 5 GAL | CONT |
| | Pmo | 42 | Physocarpus monogynus / Mountain Ninebark | 4' | 4' | 5 GAL | CONT |

EVERGREEN SHRUBS

| | | | | | | | |
|--|-----|-----|--|-----|----|-------|------|
| | Jbc | 65 | Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper | 1' | 8" | 5 GAL | CONT |
| | Jgg | 11 | Juniperus scopulorum 'Gray Gleam' / Gray Gleam Juniper | 12' | 5' | 6' HT | CONT |
| | Jsg | 104 | Juniperus x media 'Sea Green' / Sea Green Juniper | 6' | 8" | 5 GAL | CONT |
| | Pmb | 36 | Pinus mugo 'Big Tuna' / Big Tuna Mugo Pine | 8" | 6" | 5 GAL | CONT |

ANNUALS/PERENNIALS

| | | | | | | | |
|--|-----|-----|---|-------|-----------|-------|------|
| | Kna | 56 | Kniphofia x 'Alcazar' / Alcazar Red Hot Poker | 2' | 2' | 1 GAL | CONT |
| | Neg | 53 | Nepeta grandiflora / Catmint | 1.5' | 2' | 1 GAL | CONT |
| | Pea | 130 | Perovskia atriplicifolia / Russian Sage | 3.5' | 3.5' | 1 GAL | CONT |
| | Rap | 99 | Ratibida pinnata / Yellow Coneflower | 4'-6' | 1.5' | 1 GAL | CONT |
| | Rfu | 49 | Rudbeckia fulgida / Black-Eyed Susan/Coneflower | 2' | 2' | 1 GAL | CONT |
| | Sea | 207 | Sedum x 'Autumn Fire' / Autumn Fire Sedum | 2' | 1.5' - 2' | 1 GAL | CONT |
| | Tuc | 31 | Tulipa clusiana / Lady Tulip | 1.5' | 1' | 1 GAL | CONT |
| | Ygl | 76 | Yucca glauca / Soapweed | 2.5' | 2.5' | 1 GAL | CONT |

ORNAMENTAL GRASSES

| | | | | | | | |
|--|-----|-----|--|------|------|-------|------|
| | Cab | 365 | Calamagrostis brachytricha / Korean Feather Reed Grass | 4' | 3' | 1 GAL | CONT |
| | Clt | 25 | Chasmanthium latifolium / Northern Sea Oats | 2' | 1' | 1 GAL | CONT |
| | Sph | 181 | Sporobolus heterolepis / Prairie Dropseed | 1.5' | 1.5' | 1 GAL | CONT |

GROUND COVER LEGEND

| | | |
|--|--------------------|-----------|
| | DETENTION SEED MIX | 30,731 sf |
| El Paso County Conservation District All Purpose Mix | | |
| Big Bluestem - 20% | | |
| Blue Grama - 10% | | |
| Green Needlegrass - 10% | | |
| Western Wheatgrass - 20% | | |
| Sideoats Grama - 10% | | |
| Switchgrass - 10% | | |
| Prairie Sandreed - 10% | | |
| Yellow Indiangrass - 10% | | |
| Seeding will be in compliance with SCM Ch. 5 | | |
| Hydroseed @ 19.3 PLS/acre | | |

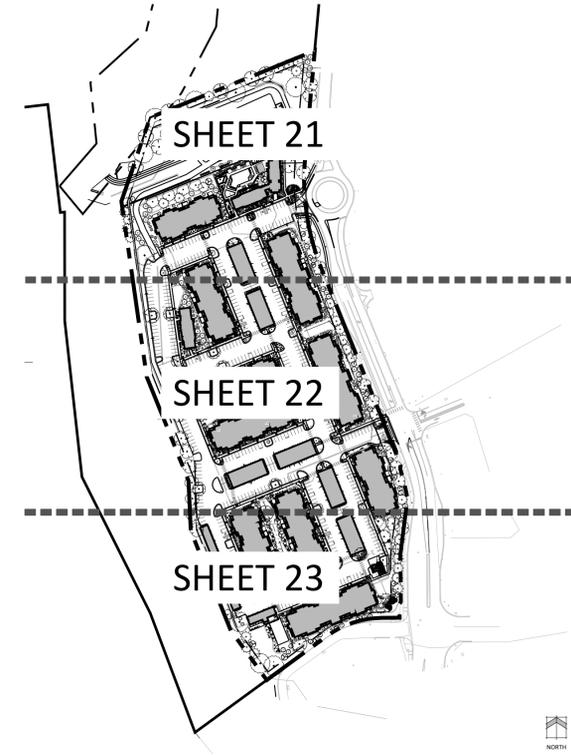
| | | |
|---|-----------------|-----------|
| | NATIVE SEED MIX | 93,773 sf |
| El Paso County Conservation District All Purpose Mix | | |
| Big Bluestem - 20% | | |
| Blue Grama - 10% | | |
| Green Needlegrass - 10% | | |
| Western Wheatgrass - 20% | | |
| Sideoats Grama - 10% | | |
| Switchgrass - 10% | | |
| Prairie Sandreed - 10% | | |
| Yellow Indiangrass - 10% | | |
| Seeding will be in compliance with SCM Ch. 5 | | |
| Hydroseed @ 19.3 PLS/acre | | |
| Only to be planted in areas where development has created a ground disturbance. In undisturbed areas existing ground cover to remain. | | |

| | | |
|--|-----------------|----------|
| | ARTIFICIAL TURF | 7,047 sf |
| Clubhouse Amenity Turf: | | |
| - Select LX by ForeverLawn Color: Field/Olive Green | | |
| Dog Park & Private Yard Turf: | | |
| - Classic+ by K9 Grass ForeverLawn Color: Summer Green | | |

| | | |
|--------------------------|----------|-----------|
| | TURF SOD | 46,404 sf |
| Kentucky Bluegrass Blend | | |

| | | |
|---|-----------------------|------------|
| | DECORATIVE ROCK MULCH | 104,450 sf |
| 3/4" Breckstone Gold at 3-4" depth. Install geotextile fabric under all decorative rock mulch areas | | |

| | | |
|---|------------|-----------|
| | RIVER ROCK | 13,204 sf |
| 4" - To match adjacent ROW rock. Rock material to be cleared with City of Fountain before installation. | | |



OVERALL SITE - KEY MAP

LANDSCAPE REQUIREMENTS

Landscape Setbacks and Buffers

See Code Section 6.2.2.B.1

| Street Name or Zone Boundary | Street Classification | Width (in Ft.) Req./Prov. | Linear Footage | Tree/Feet Required | No. of Trees Req. / Prov. |
|---------------------------------------|---|-------------------------------------|---|--------------------|---------------------------|
| East (Venetucci Blvd) | PRINCIPAL ARTERIAL | 25' / 25' | 1,505' | 1 / 20' | 76 / 76 |
| South (Walmart Heights) | NON-ARTERIAL | 15' / 15' | 400' | 1 / 25' | 16 / 16 |
| Shrub Substitutes Required / Provided | Ornamental Grass Sub. Required / Provided | Setback Plant Abbr. Denoted on Plan | Percent Ground Plane Veg. Req. / Provided | | |
| 0 / 0 | 0 / 0 | VB | 75% / 75% | | |
| 0 / 0 | 0 / 0 | SB | 75% / 75% | | |

Internal Landscaping

See Code Section 6.2.2.E

| Net Site Area (SF) | Percent Minimum Internal Area (%) | Internal Area (SF) Required/Provided | Internal Trees (1/500 SF) Required/Provided |
|---------------------------------------|--|--------------------------------------|---|
| 702,150 SF | 15% | 105,322 / 105,322 | 213/213 |
| Shrub Substitutes Required / Provided | Ornamental Grass Substitutes Required / Provided | Internal Plant Abbr. Denoted on Plan | Percent Ground Plane Veg. Req. / Prov. |
| 0 / 0 | 0 / 0 | -- | 75% / 75% |

Motor Vehicle Lots

See Code Section 6.2.2.C.1

| No. of Vehicles Spaces Provided | Shade Trees (1/15 spaces) Required / Provided | Plant Abbr. on Plan | Vehicle Lot Frontages | Length of Frontage (excluding driveways) |
|---------------------------------|---|---------------------------------------|-------------------------------------|--|
| 579 | 39 / 39 | MV | n/a | n/a |
| 2/3 Length of Frontage (ft.) | Length of Screening Wall or Berm Provided | Min. 3' Screening Plants Req. / Prov. | Evergreen Plants Req. (50%) / Prov. | Percent Ground Plane Veg. Req. / Prov. |
| n/a | Alternative Provided: All other requirements met; parking internal to site. | 0 / 0 | 0 / 0 | 75% / 75% |



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

LANDSCAPE NOTES & SCHEDULES

20

20 OF 45

PPR2444

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

FINAL LANDSCAPE PLAN

GROUND COVER LEGEND

DETENTION SEED MIX 30,731 sf
 El Paso County Conservation District All Purpose Mix
 Big Bluestem - 20%
 Blue Grama - 10%
 Green Needlegrass - 10%
 Western Wheatgrass - 20%
 Sideoats Grama - 10%
 Switchgrass - 10%
 Prairie Sandreed - 10%
 Yellow Indiangrass - 10%
 Seeding will be in compliance with SCM Ch. 5
 Hydroseed @ 19.3 PLS/acre

NATIVE SEED MIX 93,773 sf
 El Paso County Conservation District All Purpose Mix
 Big Bluestem - 20%
 Blue Grama - 10%
 Green Needlegrass - 10%
 Western Wheatgrass - 20%
 Sideoats Grama - 10%
 Switchgrass - 10%
 Prairie Sandreed - 10%
 Yellow Indiangrass - 10%
 Seeding will be in compliance with SCM Ch. 5
 Hydroseed @ 19.3 PLS/acre
 Only to be planted in areas where development has created a ground disturbance. In undisturbed areas existing ground cover to remain.

ARTIFICIAL TURF 7,047 sf
 Clubhouse Amenity Turf:
 - Select LX by ForeverLawn | Color: Field/Olive Green
 Dog Park & Private Yard Turf:
 - Classic+ by K9 Grass ForeverLawn | Color: Summer Green

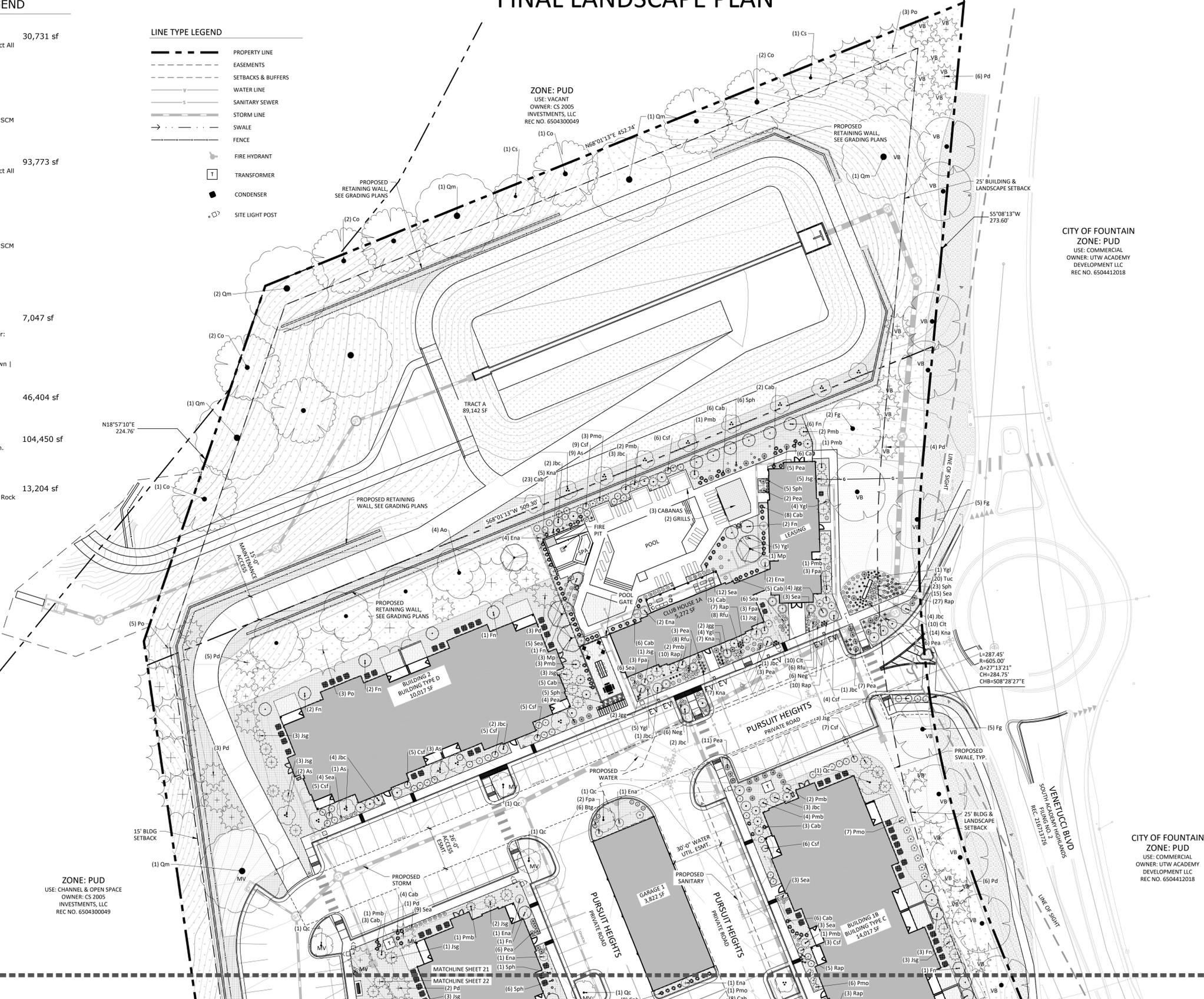
TURF SOD 46,404 sf
 Kentucky Bluegrass Blend

DECORATIVE ROCK MULCH 104,450 sf
 3/4" Breckstone Gold at 3-4" depth.
 Install geotextile fabric under all decorative rock mulch areas

RIVER ROCK 13,204 sf
 4" - To match adjacent ROW rock. Rock material to be cleared with City of Fountain before installation.

LINE TYPE LEGEND

- PROPERTY LINE
- EASEMENTS
- SETBACKS & BUFFERS
- WATER LINE
- SANITARY SEWER
- STORM LINE
- SWALE
- FENCE
- FIRE HYDRANT
- TRANSFORMER
- CONDENSER
- SITE LIGHT POST



N.E.S. Inc.
 619 N. Cascade Avenue, Suite 200
 Colorado Springs, CO 80903
 Tel. 719.471.0073
 Fax 719.471.0267
 www.nescolorado.com
 © 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY
 VENETUCCI BLVD
 EL PASO COUNTY, CO

DATE: 11/05/2024
 PROJECT MGR: K. JOHNSON
 PREPARED BY: J. SMITH

ENTITLEMENT

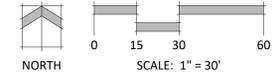
| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

FINAL LANDSCAPE PLAN

21

21 OF 45

PPR2444

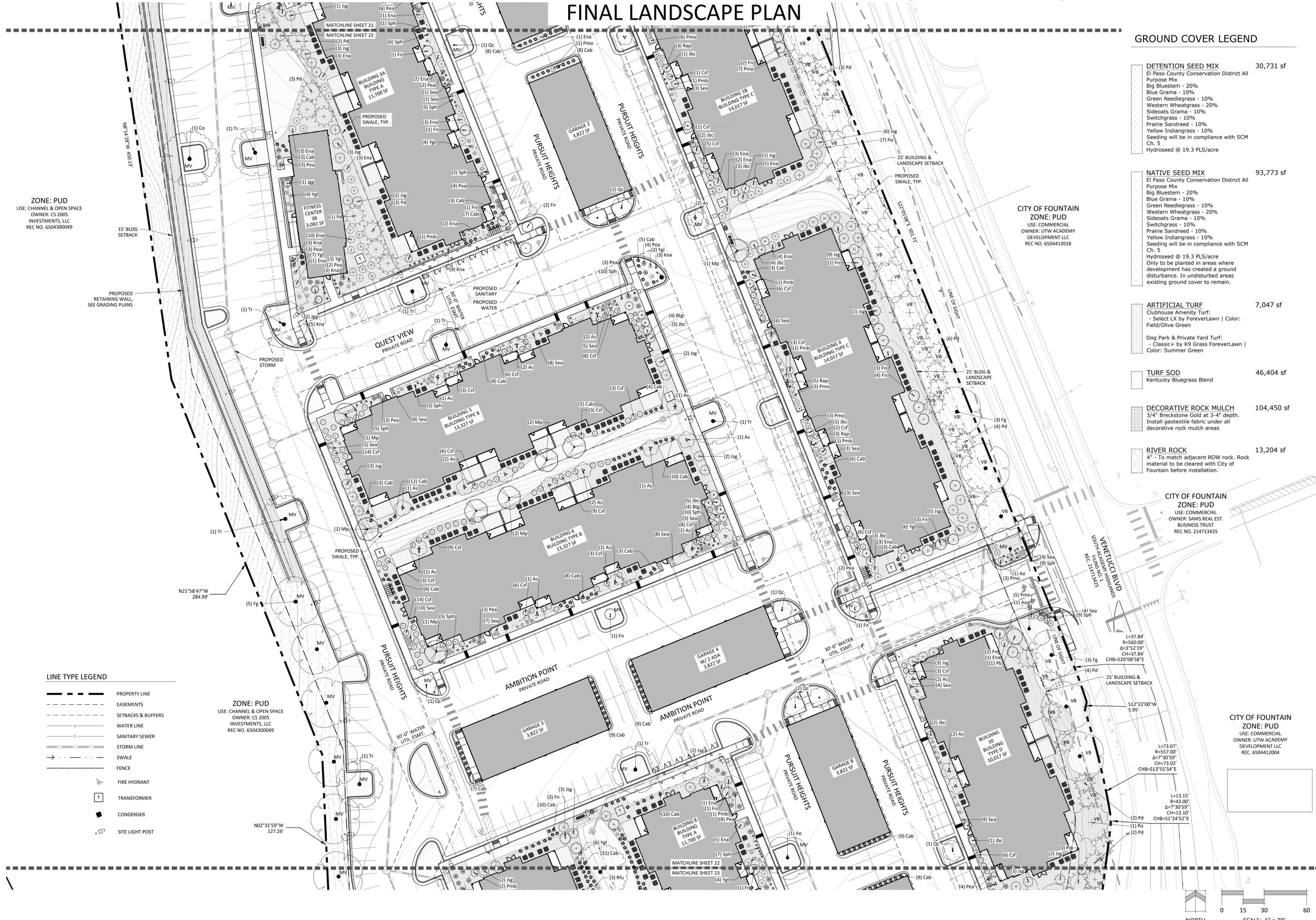


P:\Thompson Thirtle\Venetucci Boulevard\Drawings\Acad\PL\Venetucci_FLP.dwg [LS PLAN_1] 7/2/2025 8:39:59 AM jsmith

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

FINAL LANDSCAPE PLAN



GROUND COVER LEGEND

- DETENTION SEED MIX** 30,731 sf
El Paso County Conservation District All Purpose Mix
Big Bluestem - 20%
Blue Grama - 10%
Green Needlegrass - 10%
Western Wheatgrass - 20%
Sideoats Grama - 10%
Switchgrass - 10%
Prairie Sandreed - 10%
Yellow Indiangrass - 10%
Seeding will be in compliance with SCM Ch. 5
Hydroseed @ 19.3 PLS/acre
- NATIVE SEED MIX** 93,773 sf
El Paso County Conservation District All Purpose Mix
Big Bluestem - 20%
Blue Grama - 10%
Green Needlegrass - 10%
Western Wheatgrass - 20%
Sideoats Grama - 10%
Switchgrass - 10%
Prairie Sandreed - 10%
Yellow Indiangrass - 10%
Seeding will be in compliance with SCM Ch. 5
Hydroseed @ 19.3 PLS/acre
Only to be planted in areas where development has created a ground disturbance. In undisturbed areas existing ground cover to remain.
- ARTIFICIAL TURF** 7,047 sf
Clubhouse Amenity Turf:
- Select LX by ForeverLawn | Color: Field/Olive Green
Dog Park & Private Yard Turf:
- Classic+ by K9 Grass ForeverLawn | Color: Summer Green
- TURF SOD** 46,404 sf
Kentucky Bluegrass Blend
- DECORATIVE ROCK MULCH** 104,450 sf
3/4" Breckstone Gold at 3-4" depth.
Install geotextile fabric under all decorative rock mulch areas
- RIVER ROCK** 13,204 sf
4" - To match adjacent ROW rock. Rock material to be cleared with City of Fountain before installation.

ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005 INVESTMENTS, LLC
REC NO. 6504300049

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC NO. 6504412018

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: SAMS REAL EST. BUSINESS TRUST
REC NO. Z14713425

ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005 INVESTMENTS, LLC
REC NO. 6504300049

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC. 6504412004

LINE TYPE LEGEND

- PROPERTY LINE
- - - EASEMENTS
- - - SETBACKS & BUFFERS
- - - WATER LINE
- - - SANITARY SEWER
- - - STORM LINE
- - - SWALE
- - - FENCE
- FIRE HYDRANT
- ⊠ TRANSFORMER
- CONDENSER
- SITE LIGHT POST



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY
VENETUCCI BLVD
EL PASO COUNTY, CO

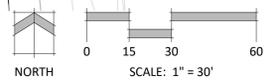
DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

FINAL LANDSCAPE PLAN

22
22 OF 45
PPR2444



P:\Thompson\Thru\Venetucci\Drawings\Arch\PLP\Venetucci_PLP.dwg [LIS PLAN_2] 7/2/2025 8:40:11 AM jsmith

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

FINAL LANDSCAPE PLAN

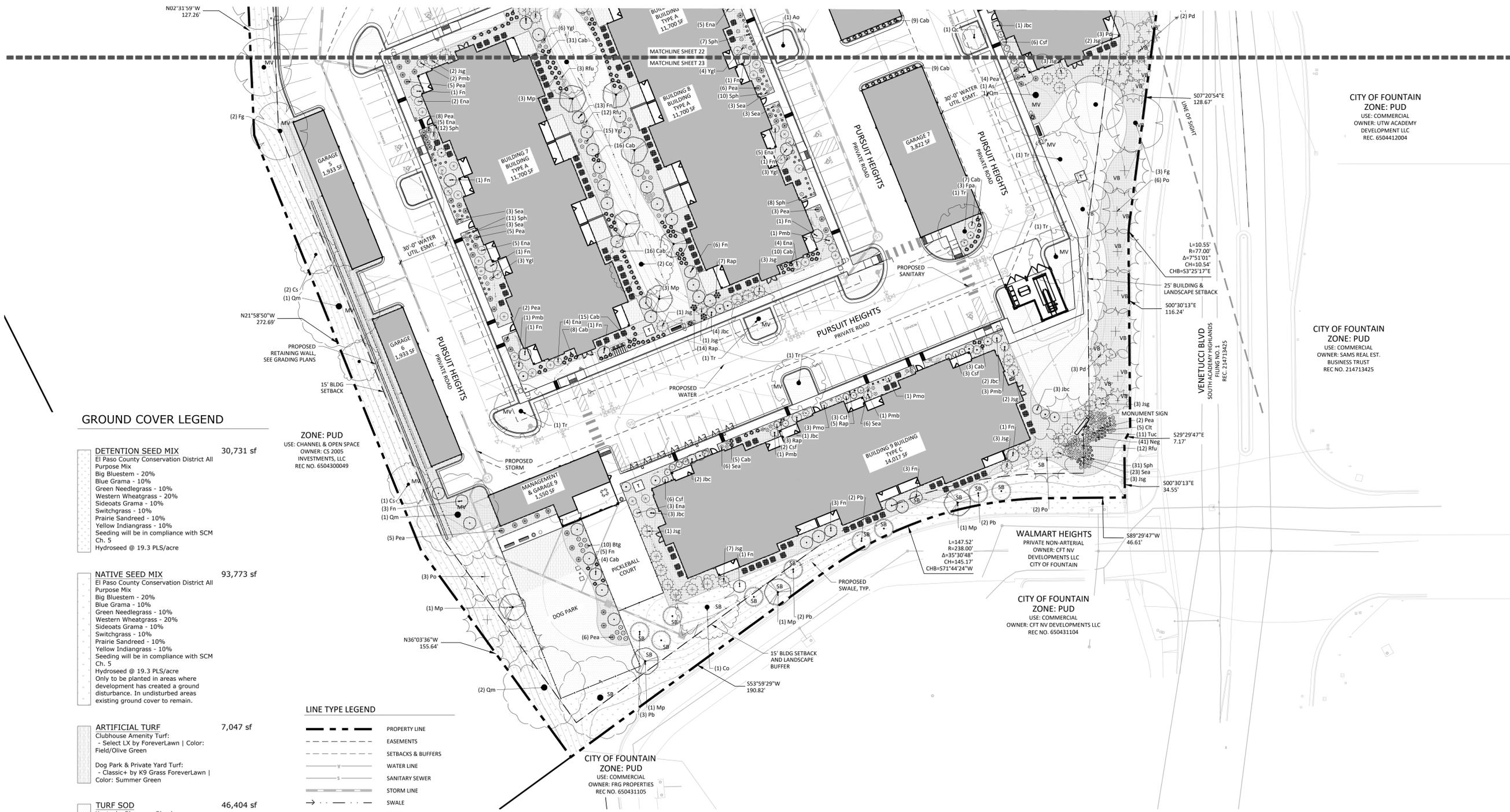


N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.



CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY DEVELOPMENT LLC
REC. 6504412004

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: SAMS REAL EST. BUSINESS TRUST
REC NO. 214713425

WALMART HEIGHTS
PRIVATE NON-ARTERIAL
OWNER: CFT NV DEVELOPMENTS LLC
CITY OF FOUNTAIN

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: CFT NV DEVELOPMENTS LLC
REC NO. 650431104

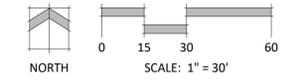
CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: FRG PROPERTIES
REC NO. 650431105

GROUND COVER LEGEND

- | | | |
|--|--|------------|
| | DETENTION SEED MIX El Paso County Conservation District All Purpose Mix Big Bluestem - 20% Blue Grama - 10% Green Needlegrass - 10% Western Wheatgrass - 20% Sideoats Grama - 10% Switchgrass - 10% Prairie Sandreed - 10% Yellow Indiangrass - 10% Seeding will be in compliance with SCM Ch. 5 Hydroseed @ 19.3 PLS/acre | 30,731 sf |
| | NATIVE SEED MIX El Paso County Conservation District All Purpose Mix Big Bluestem - 20% Blue Grama - 10% Green Needlegrass - 10% Western Wheatgrass - 20% Sideoats Grama - 10% Switchgrass - 10% Prairie Sandreed - 10% Yellow Indiangrass - 10% Seeding will be in compliance with SCM Ch. 5 Hydroseed @ 19.3 PLS/acre Only to be planted in areas where development has created a ground disturbance. In undisturbed areas existing ground cover to remain. | 93,773 sf |
| | ARTIFICIAL TURF Clubhouse Amenity Turf: - Select LX by ForeverLawn Color: Field/Olive Green Dog Park & Private Yard Turf: - Classic+ by K9 Grass ForeverLawn Color: Summer Green | 7,047 sf |
| | TURF SOD Kentucky Bluegrass Blend | 46,404 sf |
| | DECORATIVE ROCK MULCH 3/4" Breckstone Gold at 3-4" depth. Install geotextile fabric under all decorative rock mulch areas | 104,450 sf |
| | RIVER ROCK 4" - To match adjacent ROW rock. Rock material to be cleared with City of Fountain before installation. | 13,204 sf |

LINE TYPE LEGEND

- | | |
|--|--------------------|
| | PROPERTY LINE |
| | EASEMENTS |
| | SETBACKS & BUFFERS |
| | WATER LINE |
| | SANITARY SEWER |
| | STORM LINE |
| | SWALE |
| | FENCE |
| | FIRE HYDRANT |
| | TRANSFORMER |
| | CONDENSER |
| | SITE LIGHT POST |



VENTURE ON VENETUCCI

MULTI-FAMILY
VENETUCCI BLVD
EL PASO COUNTY, CO

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

FINAL LANDSCAPE PLAN

23

23 OF 45

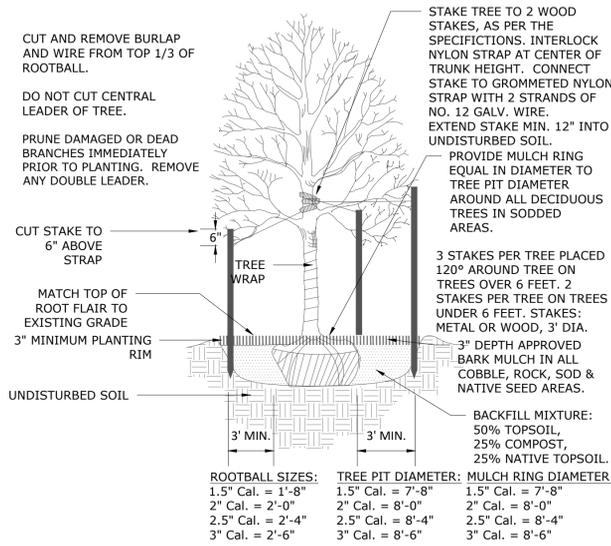
PPR2444

P:\Thompson Thru\Venetucci Boulevard\Drawings\Arch\PLP\Venetucci_FLP.dwg [LIS PLAN_3] 7/2/2025 8:53:41 AM jsmith

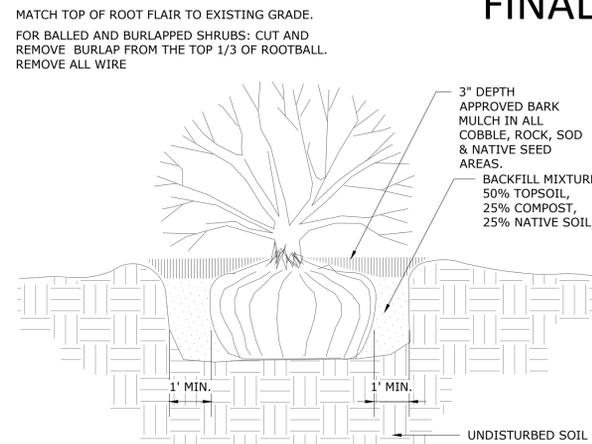
VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

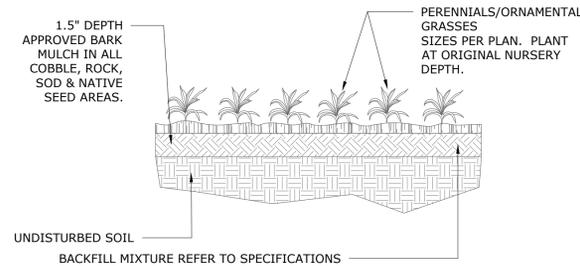
FINAL LANDSCAPE PLAN



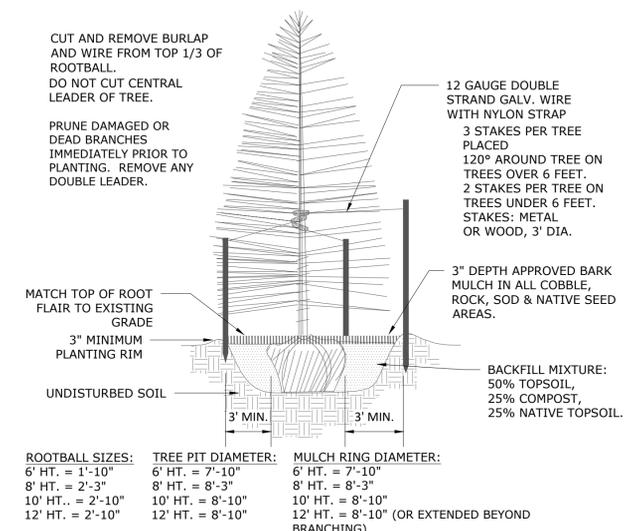
1 DECIDUOUS TREE PLANTING DETAIL
N.T.S. 329343-01



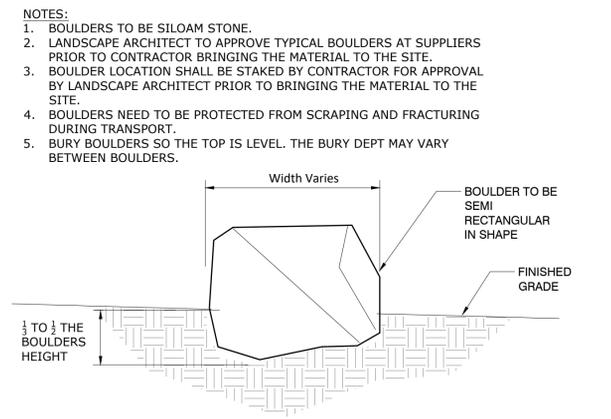
2 SHRUB PLANTING DETAIL
N.T.S. 329333-03



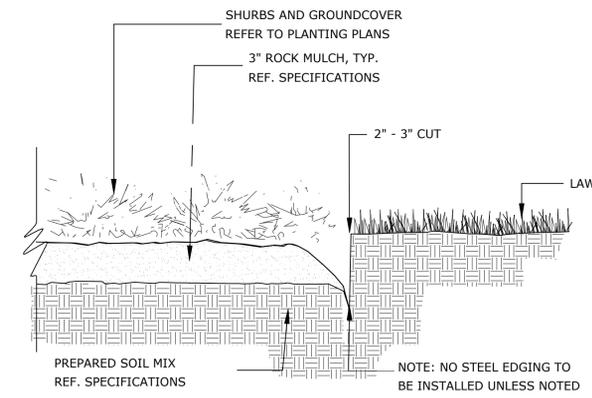
3 PERENNIAL / ORNAMENTAL GRASS PLANTING
N.T.S. 3293-04



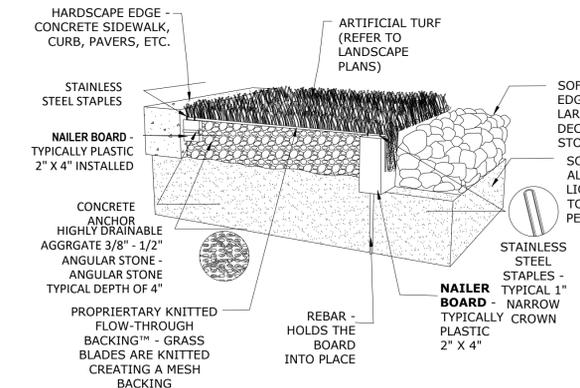
4 CONIFEROUS TREE PLANTING DETAIL
N.T.S. 329343-02



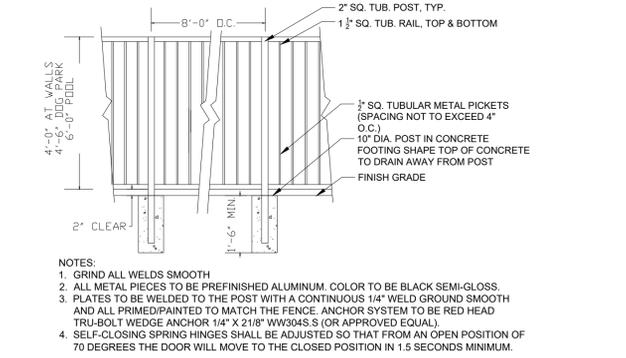
5 LANDSCAPE BOULDER
N.T.S. 3294-08



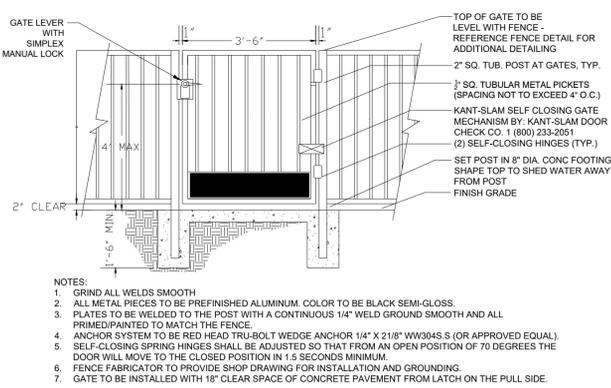
6 BED EDGE
N.T.S. P-TT-22



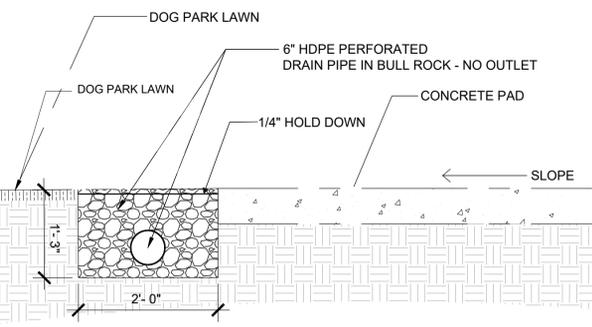
7 ARTIFICIAL TURF
N.T.S. P-TT-32



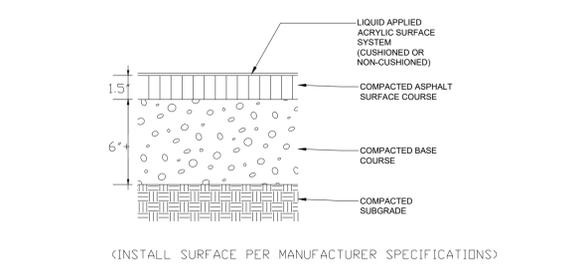
8 FENCING
N.T.S. P-TT-24



9 GATE DOG PARK
N.T.S. P-TT-13



10 DOG PARK DRAINAGE
N.T.S. P-TT-31



11 PICKLEBALL - ASPHALT COURT DESIGN
N.T.S. P-TT-26



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD
EL PASO COUNTY, CO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|------------|-----|---------------------|
| 03/14/2025 | JS | PER EPC COMMENTS |
| 05/29/2025 | JS | PER REVIEW COMMENTS |
| 07/02/2025 | JS | PER REVIEW COMMENTS |

LANDSCAPE DETAILS

24
24 OF 45
PPR2444

P:\Thompson\Thur\Venetucci\Drawings\AL-Vector\PPR2444.dwg [LIS DETAILS..1] 7/2/2025 8:40:24 AM jsmith

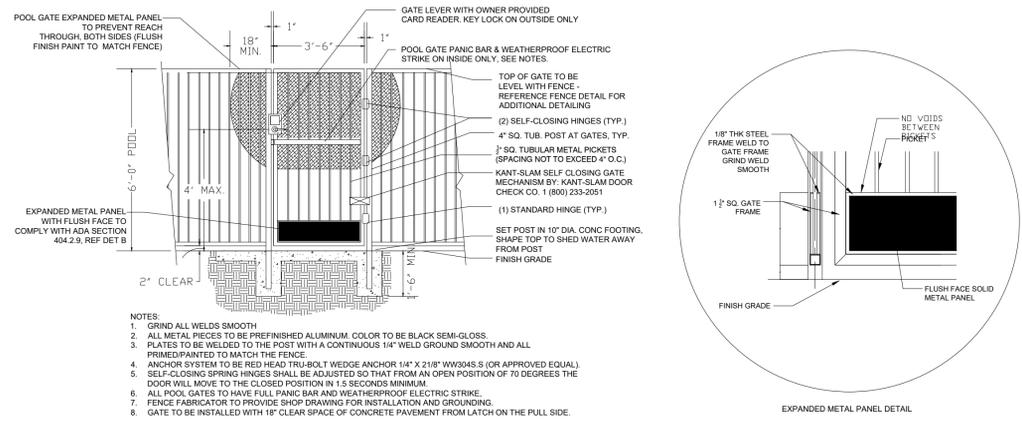
VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

FINAL LANDSCAPE PLAN

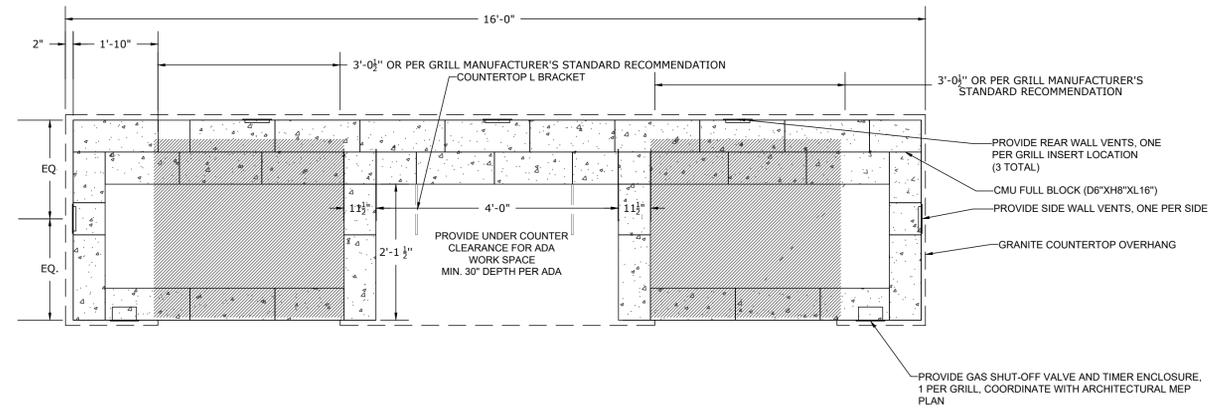


N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.



1 POOL GATE
NTS

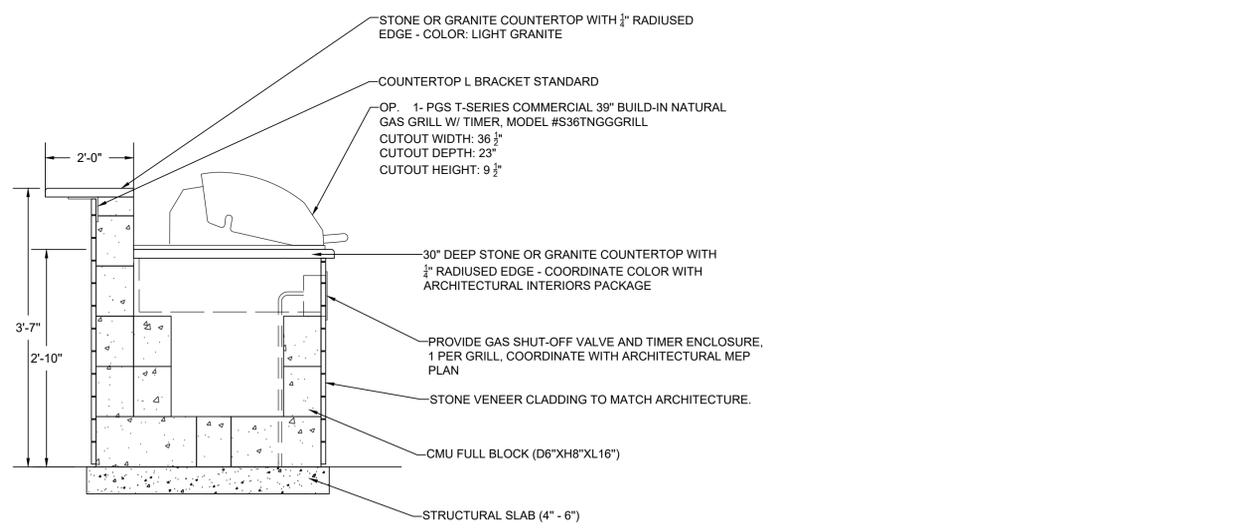
P-TT-35



2 GRILL STATION
NTS

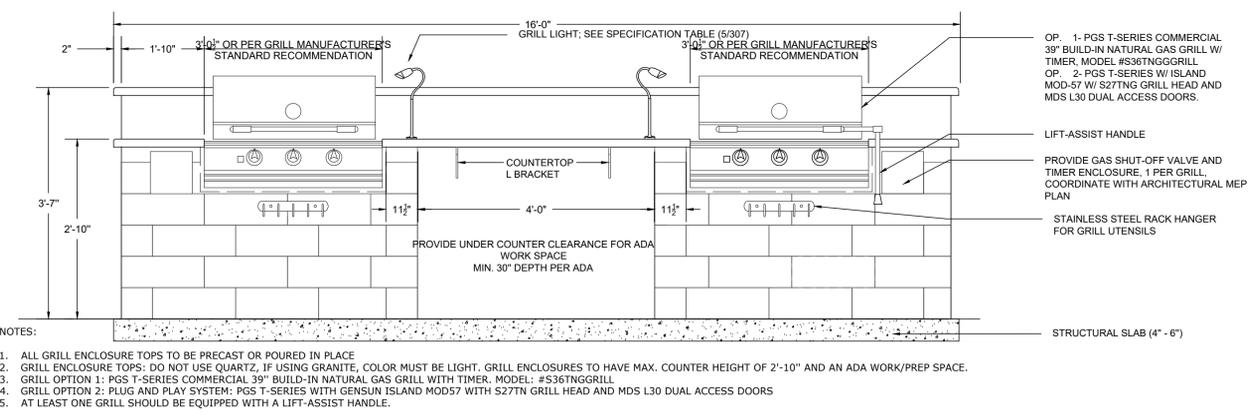
P-TT-61

| SPECIFICATION TABLE | | | | | |
|---------------------|---|------------------------|---------------------------|--|--|
| ITEM | PRODUCT | MANUFACTURER | COLOR/FINISH | NOTES | LINK |
| 1 | WASTE RECEPTACLE | SD-45 | VICTOR STANLEY | BLACK | Option: bottom recessed pedestal, side door opening, tapered formed lid https://www.victorstanley.com/product/sd-35/ |
| 2 | PICNIC TABLE | SELECTION BY OWNER | | | PROVIDED BY OWNER. |
| 3 | BENCH | RMS-24 | VICTOR STANLEY | BLACK | |
| 4 | BIKE RACK | BWRS-101 IN-GROUT UNIT | VICTOR STANLEY | POWDER COAT BLACK | Spacing 3 foot on center https://www.victorstanley.com/product/bwrs-101/ |
| 5 | PET WASTE STATION | DL-PWS100 | THE PET WASTE STATION | BLACK | https://www.thepetwastestation.com/dog-poop/the-pet-waste-station-ig/ |
| 6 | FIRE PIT | CIR-M-18 CIR-M-18P | BENTO | CHARCOAL / BLACK | Natural gas option w/ electric ignition. vessel: hand cast concrete 250 lbs https://paloform.com/bento/ |
| 7 | BOLLARD SERIES | BOL-608-32-S-MCTP-BK | WESTGATE | BLACK | https://www.westgatemfg.com/variation-detail/BOL-608-32-S-MCTP-BK |
| 8 | UP LIGHT | EVO EW-31 | FX LUMINAIRE | BLACK, TEXTURED COMPOSITE | |
| 9 | GRILL STATION LIGHT | BQFD02L134SS | FOCUS INDUSTRIES INC. | STAINLESS STEEL - BRUSHED | Option: 102V electric specification https://www.landscapelightexperts.com/focus-deck-mount-angled-bullet-led-bbq-light/ |
| 10 | WALL MOUNTED PATH LIGHT | WE-EF | STL134 LED | BLACK | https://we-ef.com/us/products/family/stl134-led |
| 11 | CABANA | SELECTION BY OWNER | | | PROVIDED BY OWNER. |
| 12 | SPA POST / IGNITER TIMER POST | XPP2G30-BK | LEGRAND | BLACK | 2-GANG DEVICE PLATE |
| 13 | ARTIFICIAL TURF (POOL DECK) | SELECT LX | LANDSCAPES BY FOREVERLAWN | PRIMARY: field/olive green SECONDARY: turf green/dark tan | https://www.landscapesbyforeverlawn.com/solutions/foreverlawn-select/ |
| 14 | ARTIFICIAL TURF (DOG PARKS AND PRIVATE YARD) | CLASSIC+ | K9 GRASS BY FOREVERLAWN | PRIMARY: summer green SECONDARY: turf green | https://k9grass.com/solutions-we-offer/architectural-specs/ |
| 15 | PAVERS AT AMENITY BUILDING (CLUBHOUSE ENTRY, PATIO & POOL DECK) | HOLLAND STONE | BELGARD | TOSCANA | RUNNING BOND PATTERN https://www.belgard.com/products/pavers/holland-stone/ |



3 GRILL STATION
NTS

P-TT-61



4 GRILL STATION
NTS

P-TT-61

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

DATE: 11/05/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: J. SMITH

ENTITLEMENT

DATE: 03/14/2025
BY: JS
DESCRIPTION: PER EPC COMMENTS

DATE: 05/29/2025
BY: JS
DESCRIPTION: PER REVIEW COMMENTS

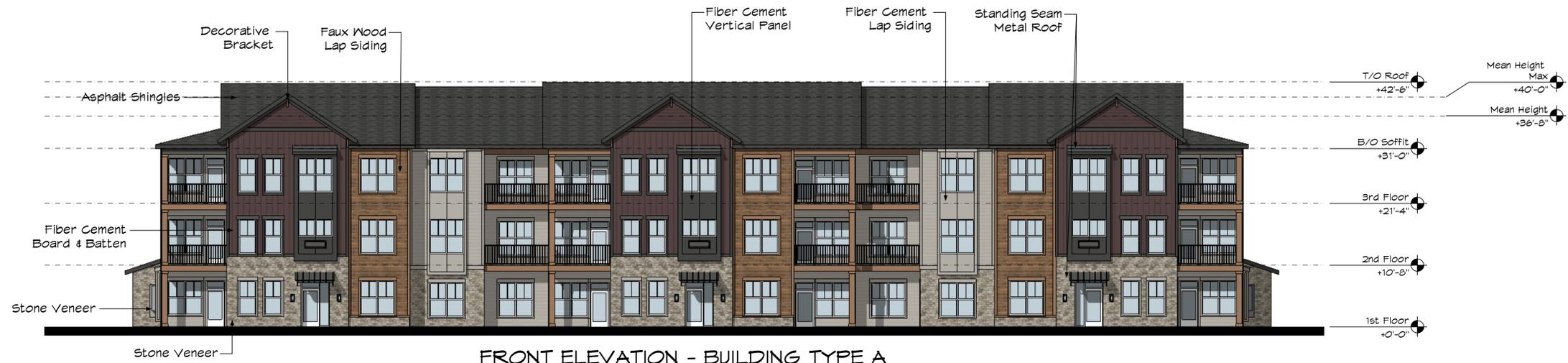
LANDSCAPE DETAILS

25

25 OF 45

PPR2444

P:\Thompson\Thur\Venetucci\Drawings\Arch\LP\Venetucci_LP.dwg [L.S. DETAILS_2] 6/30/2025 12:36:01 PM jsmith



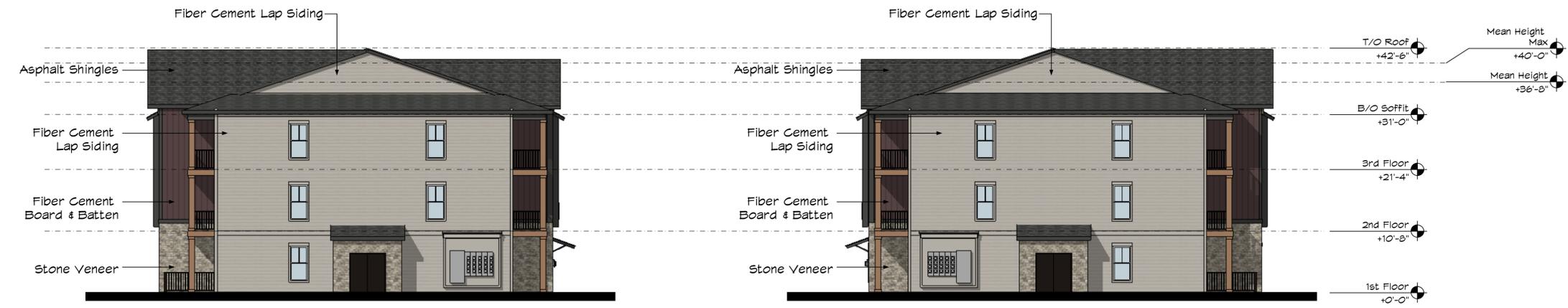
FRONT ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"



BACK ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

ENTITLEMENT

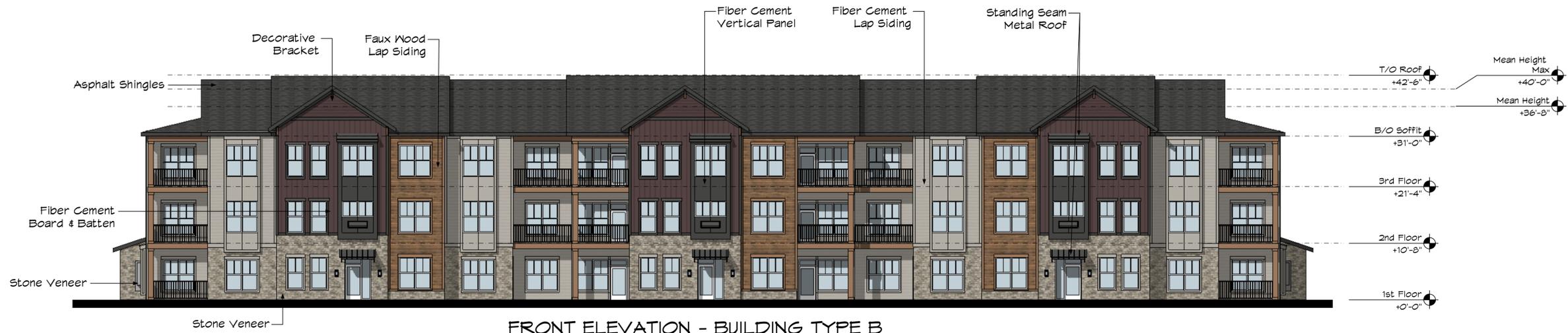
| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY: | DESCRIPTION |
| | | |
| | | |
| | | |

ARCHITECTURAL ELEVATIONS

26

26 OF 45

PPR2444



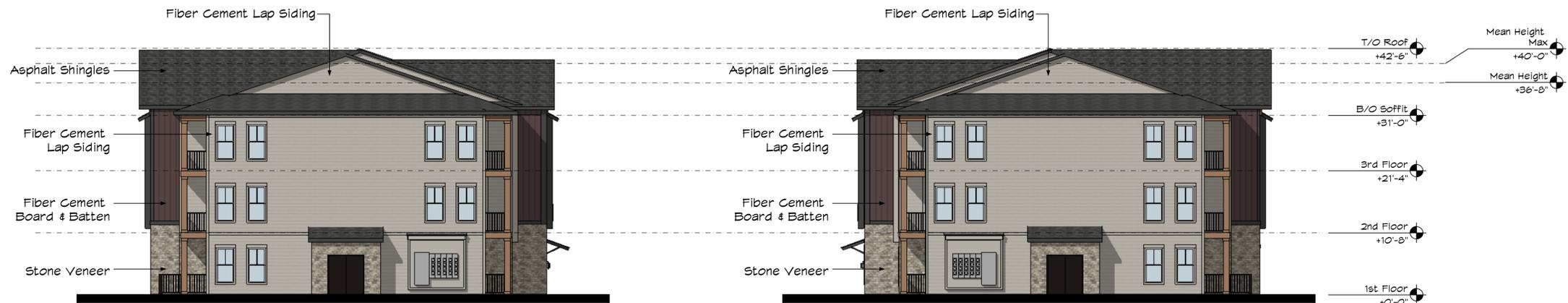
FRONT ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"



BACK ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY: | DESCRIPTION |
| | | |
| | | |
| | | |

ARCHITECTURAL ELEVATIONS

27

27 OF 45

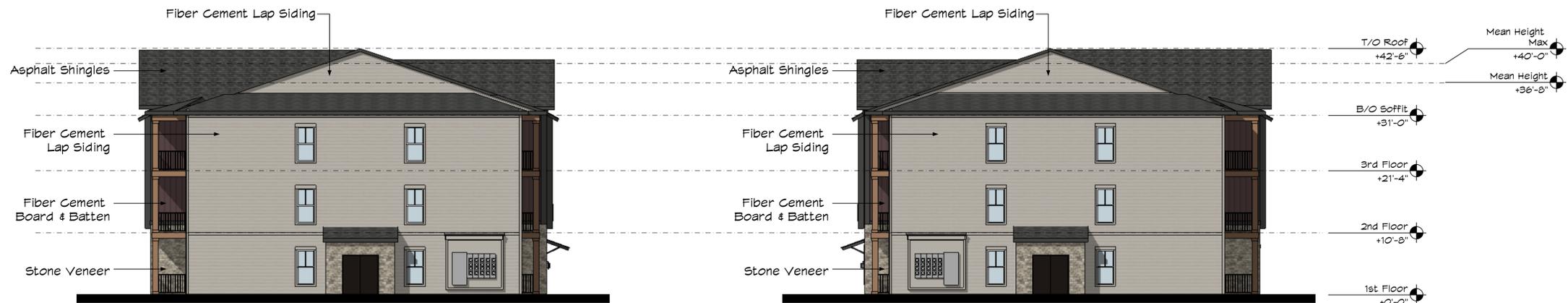
PPR2444



FRONT ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



BACK ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY: | DESCRIPTION |
| | | |
| | | |
| | | |

ARCHITECTURAL ELEVATIONS

28

28 OF 45

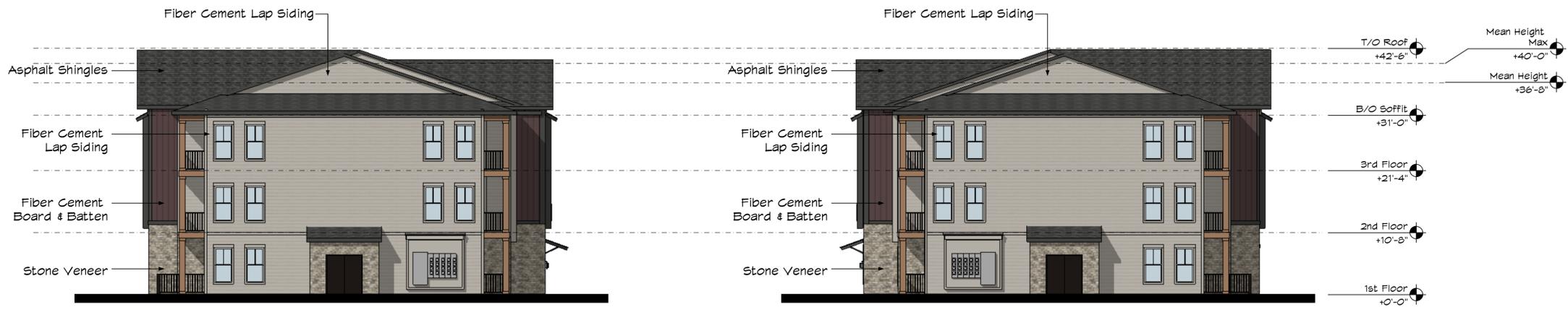
PPR2444



FRONT ELEVATION - BUILDING TYPE D
Scale: 3/32" = 1'-0"



BACK ELEVATION - BUILDING TYPE D
Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE D
Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE D
Scale: 3/32" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

VENTURE ON VENETUCCI
MULTI-FAMILY
VENETUCCI BLVD
OTHER INFO
DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY: | DESCRIPTION |
| | | |
| | | |
| | | |

ARCHITECTURAL ELEVATIONS

29
29 OF 45

PPR2444



CLUBHOUSE & LEASING FRONT ELEVATION
Scale: 1/8" = 1'-0"



CLUBHOUSE & LEASING BACK ELEVATION
Scale: 1/8" = 1'-0"



CLUBHOUSE & LEASING SIDE ELEVATION
Scale: 1/8" = 1'-0"



CLUBHOUSE & LEASING SIDE ELEVATION
Scale: 1/8" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
© 2012. All Rights Reserved.

DRAWING / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY
VENETUCCI BLVD
OTHER INFO

| | |
|--------------|-------------|
| DATE: | 11/05/2024 |
| PROJECT MGR: | PROJECT MGT |
| PREPARED BY: | PREPARED BY |

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |

ARCHITECTURAL ELEVATIONS

30
30 OF 45

PPR2444

STAMP
ISSUE INFO
SHEET NUMBER
PLAN FILE



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

STAMP

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |

SHEET TITLE

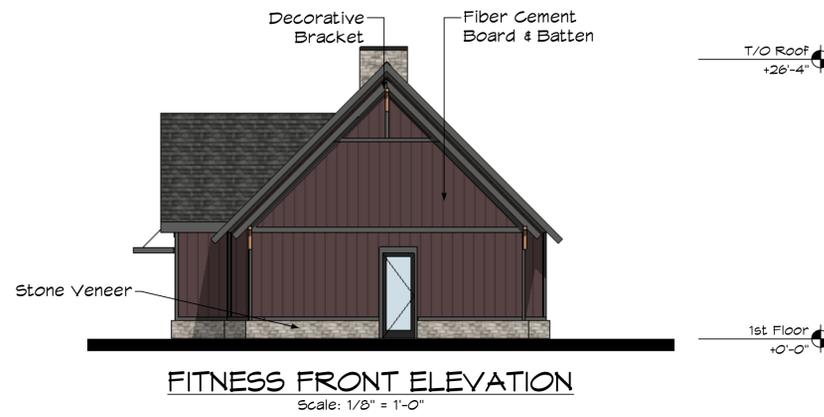
ARCHITECTURAL ELEVATIONS

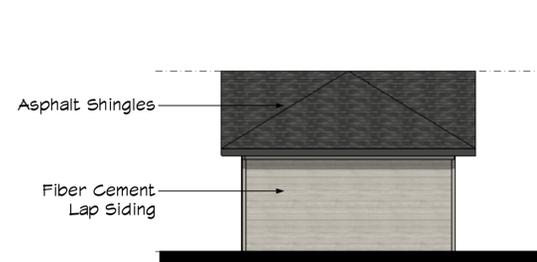
SHEET NUMBER

31 OF 45

PLAN FILE #

PPR2444

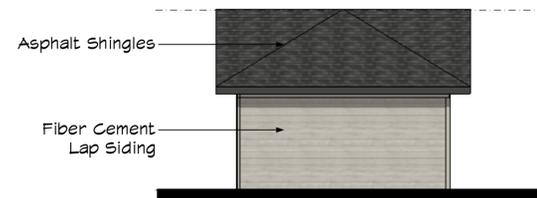




GARAGE SIDE ELEVATION
Scale: 1/8" = 1'-0"



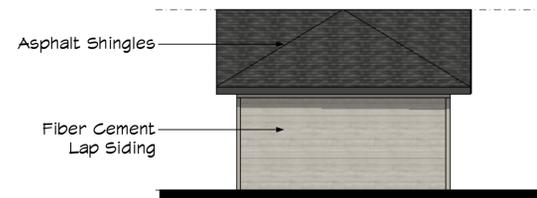
6-BAY GARAGE FRONT ELEVATION
Scale: 1/8" = 1'-0"



GARAGE SIDE ELEVATION
Scale: 1/8" = 1'-0"



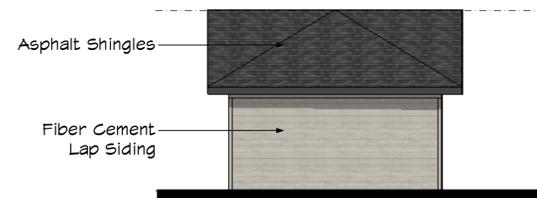
6-BAY GARAGE BACK ELEVATION
Scale: 1/8" = 1'-0"



GARAGE SIDE ELEVATION
Scale: 1/8" = 1'-0"



8-BAY GARAGE FRONT ELEVATION
Scale: 1/8" = 1'-0"



GARAGE SIDE ELEVATION
Scale: 1/8" = 1'-0"



8-BAY GARAGE BACK ELEVATION
Scale: 1/8" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

PROJECT INFO

STAMP

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |
| | | |

ISSUE / REVISION

ARCHITECTURAL ELEVATIONS

SHEET TITLE

32

32 OF 45

SHEET NUMBER

PPR2444

PLAN FILE



GARAGE SIDE ELEVATION
Scale: 1/8" = 1'-0"



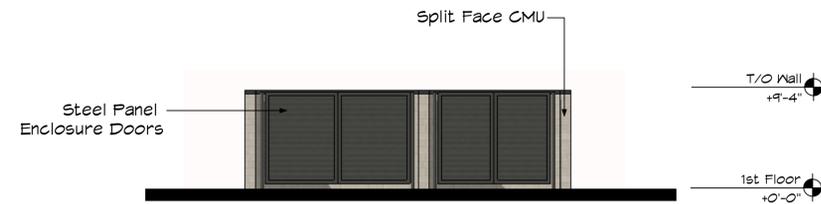
16-BAY GARAGE FRONT ELEVATION
Scale: 1/8" = 1'-0"



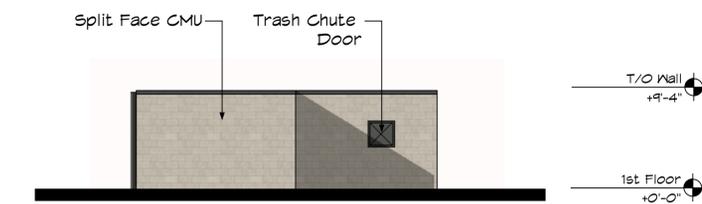
GARAGE SIDE ELEVATION
Scale: 1/8" = 1'-0"



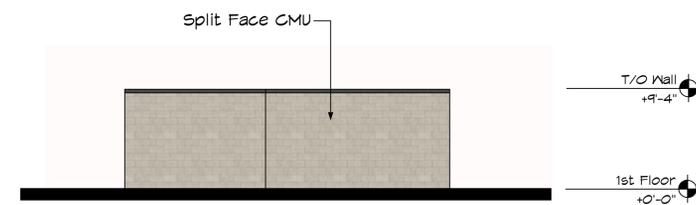
16-BAY GARAGE BACK ELEVATION
Scale: 1/8" = 1'-0"



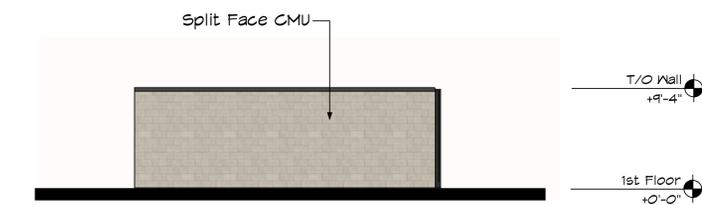
TRASH ENCLOSURE FRONT ELEVATION
Scale: 1/8" = 1'-0"



TRASH ENCLOSURE SIDE ELEVATION
Scale: 1/8" = 1'-0"



TRASH ENCLOSURE BACK ELEVATION
Scale: 1/8" = 1'-0"



TRASH ENCLOSURE SIDE ELEVATION
Scale: 1/8" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

STAMP

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |
| | | |

SHEET TITLE

ARCHITECTURAL ELEVATIONS

SHEET NUMBER

33

33 OF 45

PLAN FILE #

PPR2444



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY
VENETUCCI BLVD

OTHER INFO
DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

STAMP

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |
| | | |

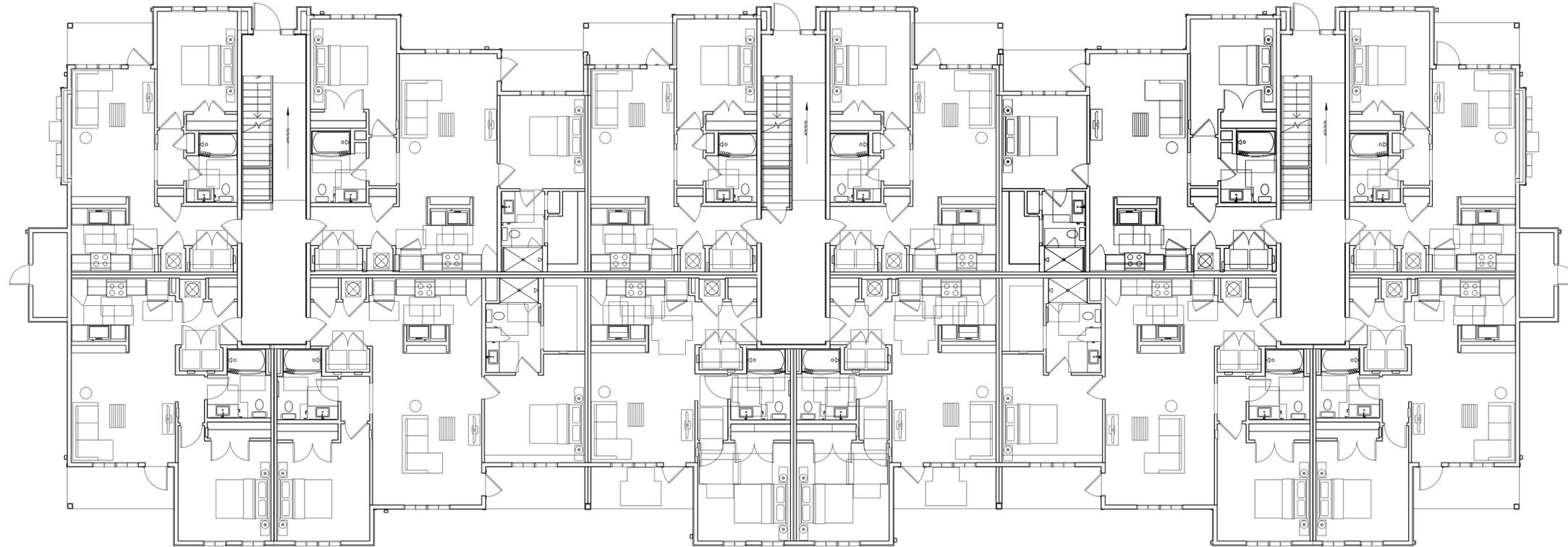
SHEET TITLE

ARCHITECTURAL FLOOR PLANS

34
34 OF 45

PLAN FILE #

PPR2444



Type A Building Floor Plan
Scale: 1/8" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

| | |
|--------------|-------------|
| DATE: | 11/05/2024 |
| PROJECT MGR: | PROJECT MGT |
| PREPARED BY: | PREPARED BY |

STAMP

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |
| | | |

ISSUE / REVISION

ARCHITECTURAL FLOOR PLANS

SHEET TITLE

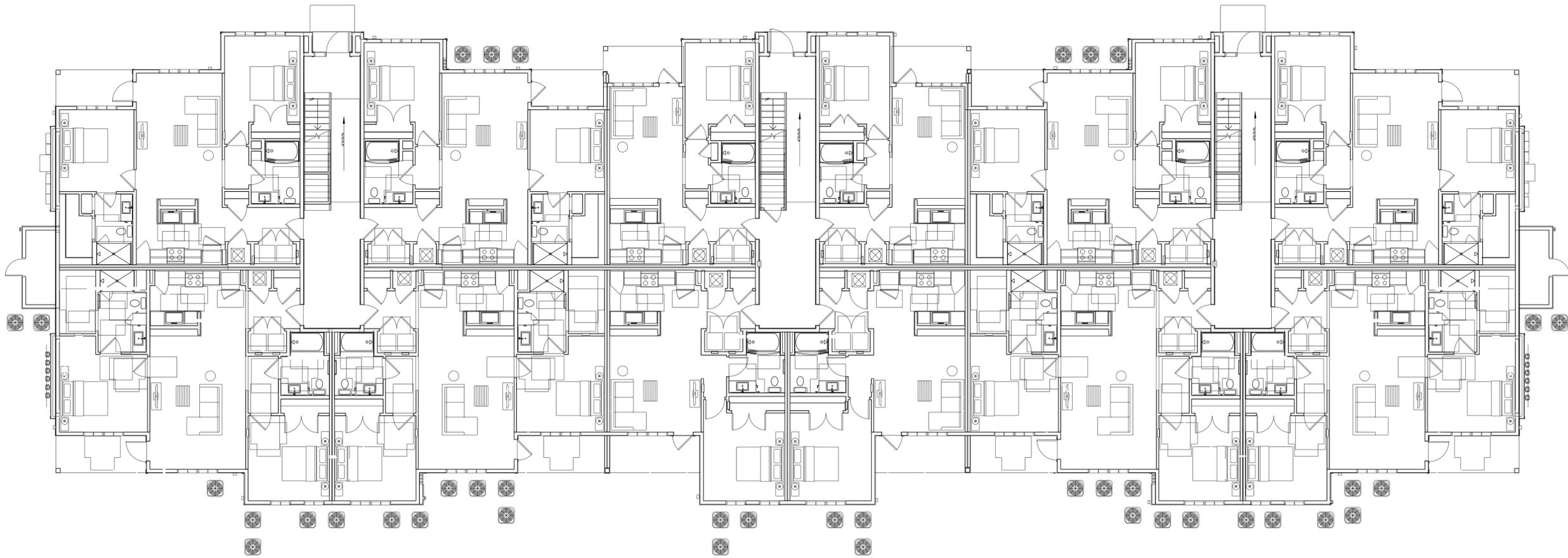
35

35 OF 45

SHEET NUMBER

PPR2444

PLAN FILE



Type B Building Floor Plan
Scale: 1/8" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

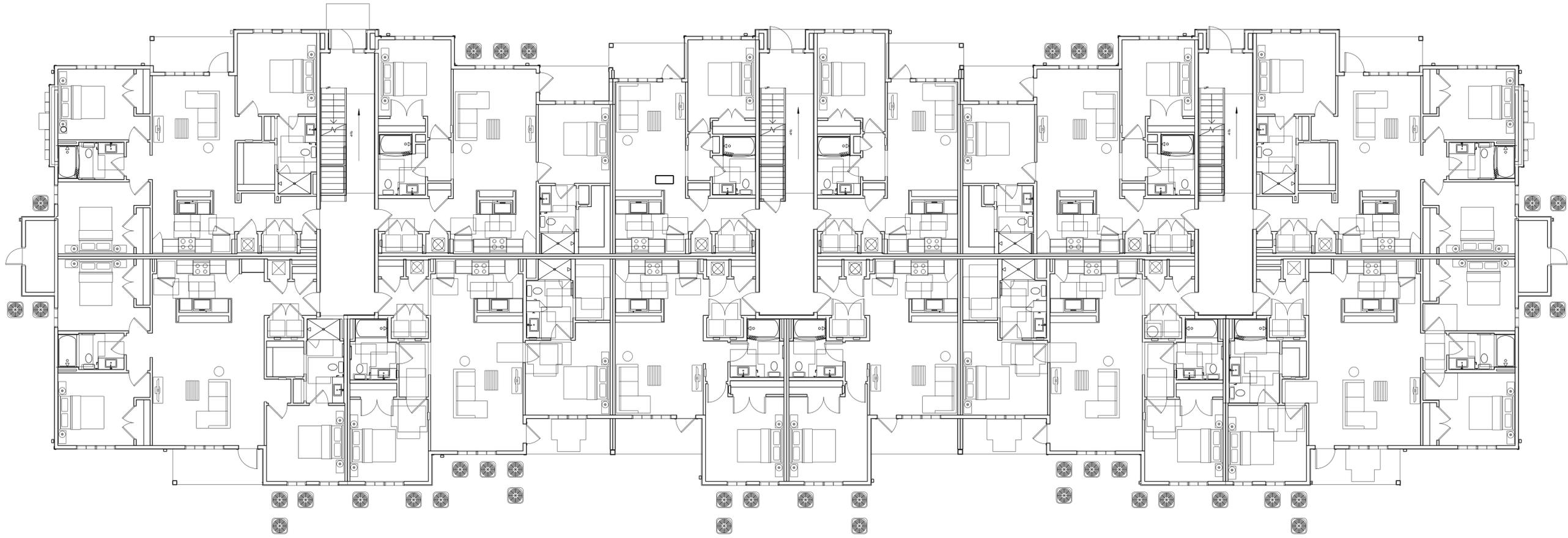
VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

| | |
|--------------|-------------|
| DATE: | 11/05/2024 |
| PROJECT MGR: | PROJECT MGT |
| PREPARED BY: | PREPARED BY |



Type C Building Floor Plan
Scale: 1/8" = 1'-0"

STAMP

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |
| | | |

ISSUE / REVISION

ARCHITECTURAL FLOOR PLANS

SHEET TITLE

36

36 OF 45

SHEET NUMBER

PPR2444

PLAN FILE

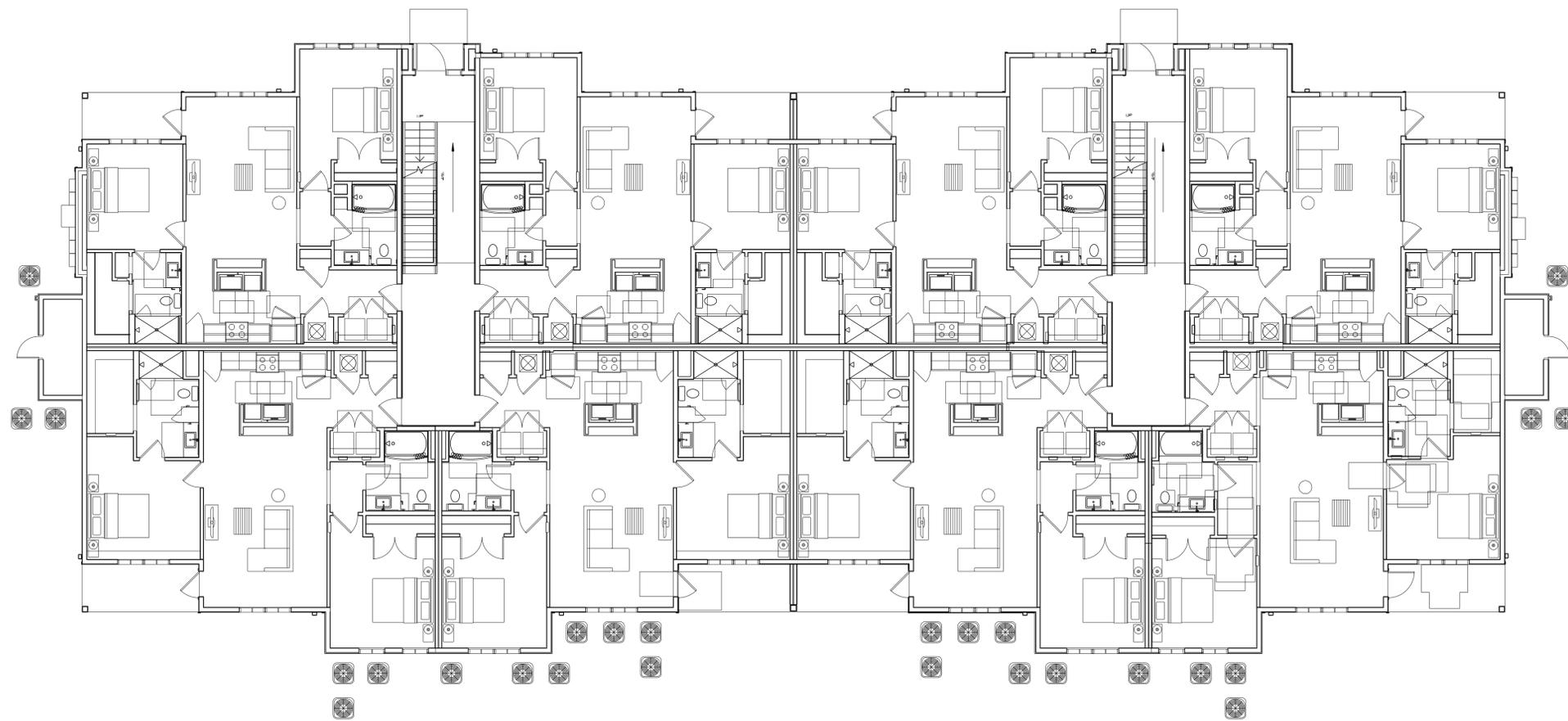


N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.



Type D Building Floor Plan
Scale: 1/8" = 1'-0"

PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

| | |
|--------------|-------------|
| DATE: | 11/05/2024 |
| PROJECT MGR: | PROJECT MGT |
| PREPARED BY: | PREPARED BY |

STAMP

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |

ISSUE / REVISION

ARCHITECTURAL FLOOR PLANS

SHEET NUMBER

37

37 OF 45

PLAN FILE #

PPR2444



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

STAMP

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |

ISSUE / REVISION

ARCHITECTURAL FLOOR PLANS

SHEET TITLE

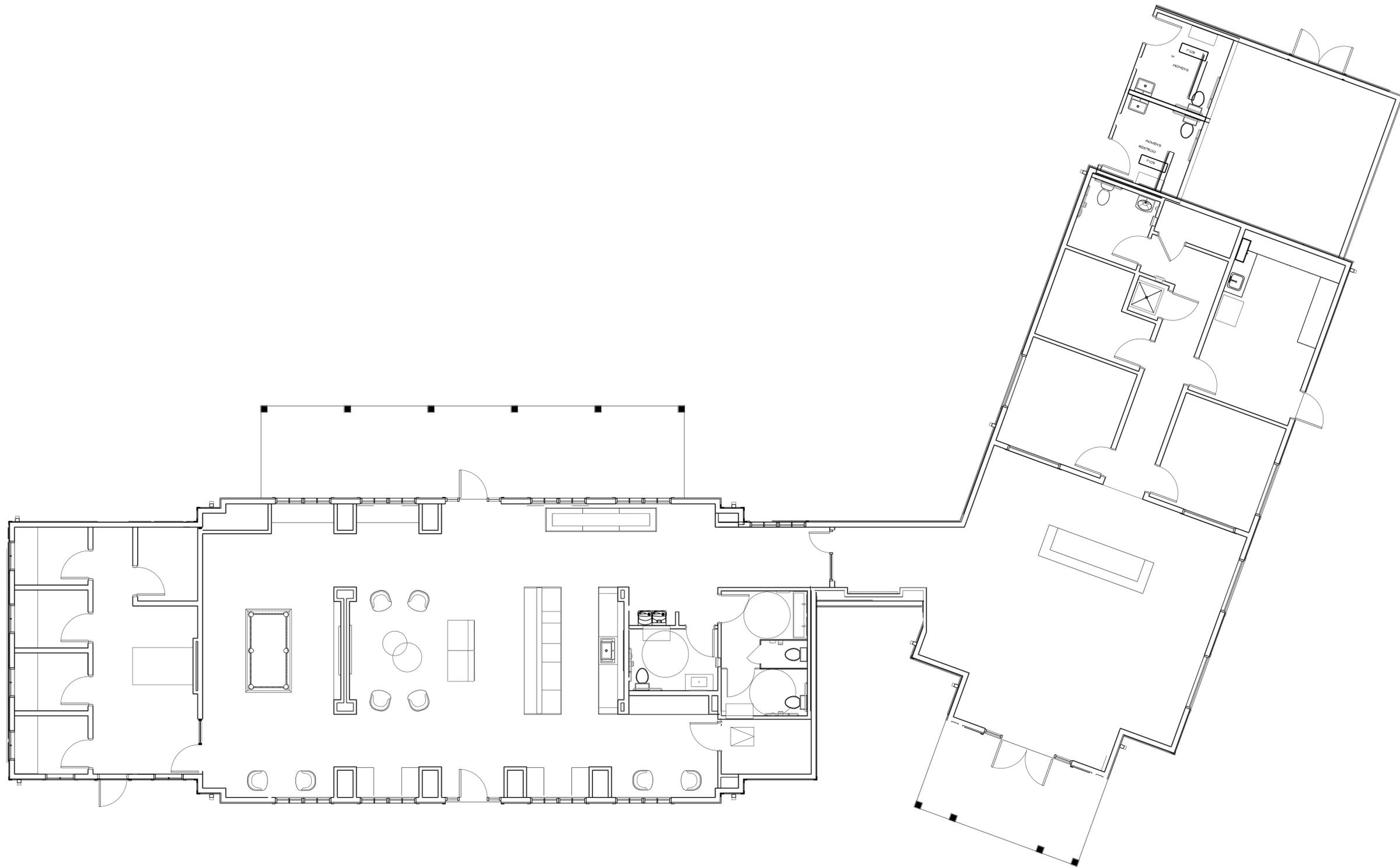
38

38 OF 45

SHEET NUMBER

PPR2444

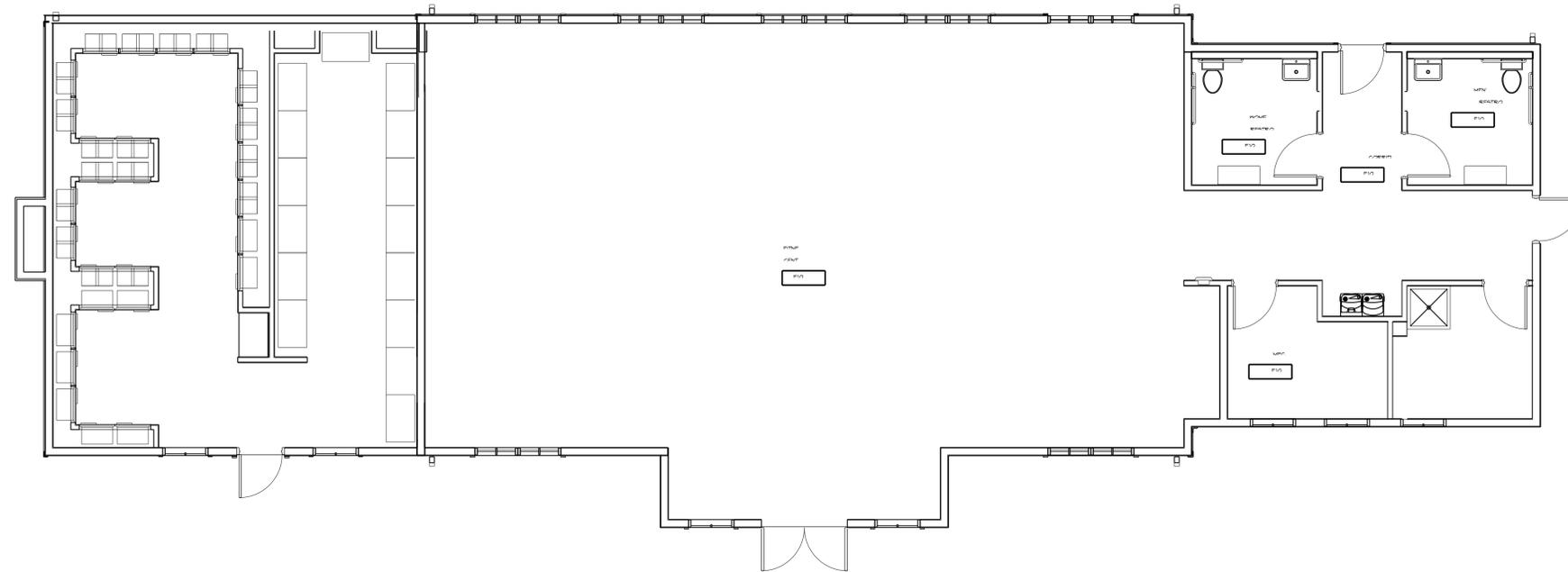
PLAN FILE



Clubhouse and Leasing Building Floor Plan
Scale: 3/16" = 1'-0"



N.E.S. Inc.
 619 N. Cascade Avenue, Suite 200
 Colorado Springs, CO 80903
 Tel. 719.471.0073
 Fax 719.471.0267
 www.nescolorado.com
 © 2012. All Rights Reserved.



Fitness and Mail Building Floor Plan
 Scale: 3/16" = 1'-0"

PLANNING / LANDSCAPE ARCHITECT
 IN ASSOCIATION WITH
 STAMP
 ISSUE INFO
 SHEET NUMBER
 SHEET TITLE
 PLAN FILE

VENTURE ON VENETUCCI

MULTI-FAMILY
 VENETUCCI BLVD

OTHER INFO
 DATE: 11/05/2024
 PROJECT MGR: PROJECT MGT
 PREPARED BY: PREPARED BY

ENTITLEMENT

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |

ARCHITECTURAL FLOOR PLANS

39
 39 OF 45

PPR2444

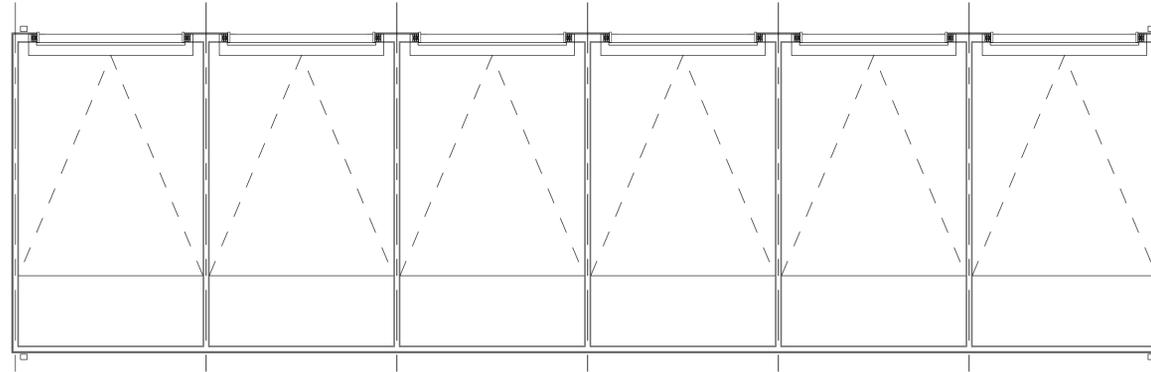


N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

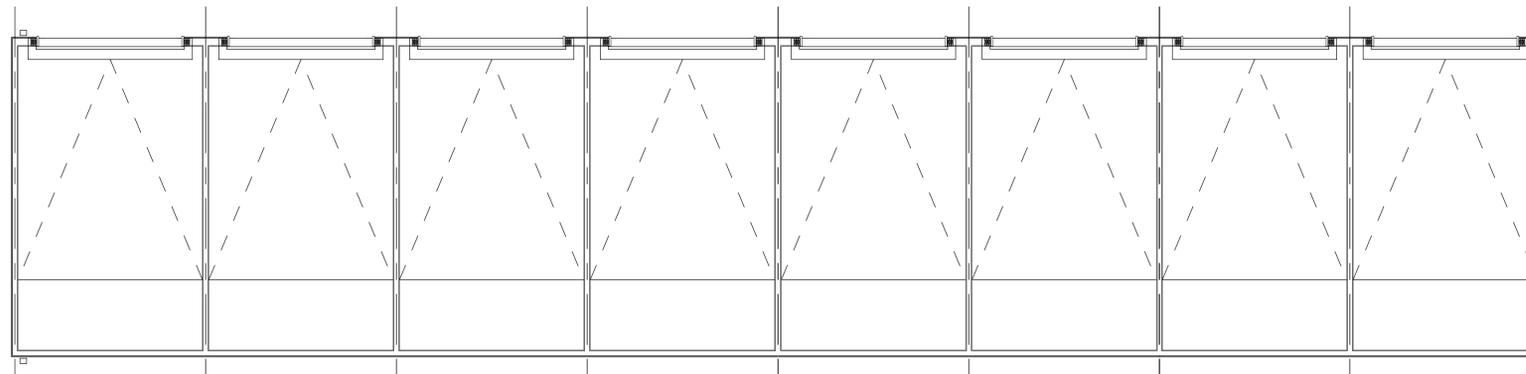
Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.



6 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"



8 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"

VENTURE ON
VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

ENTITLEMENT

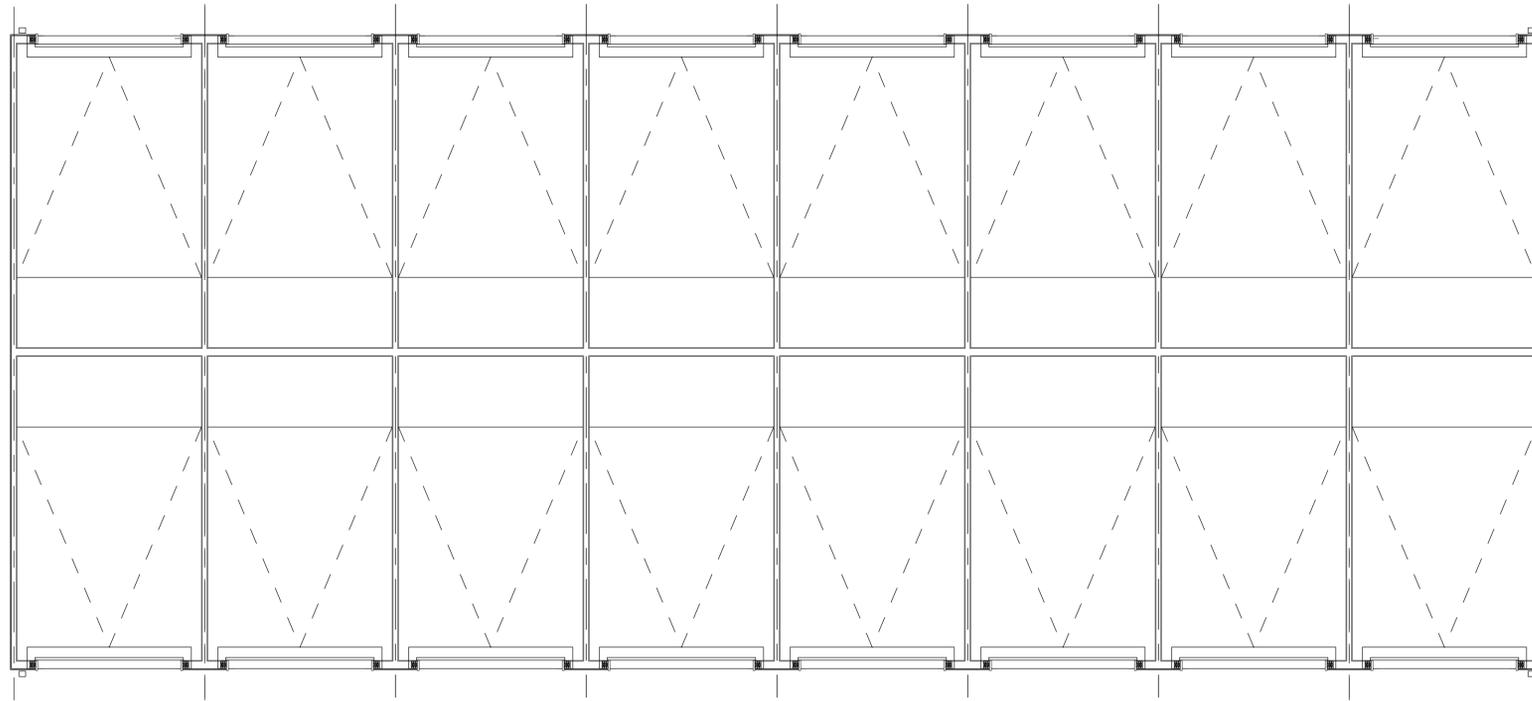
| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY: | DESCRIPTION |
| | | |
| | | |
| | | |

ARCHITECTURAL FLOOR
PLANS

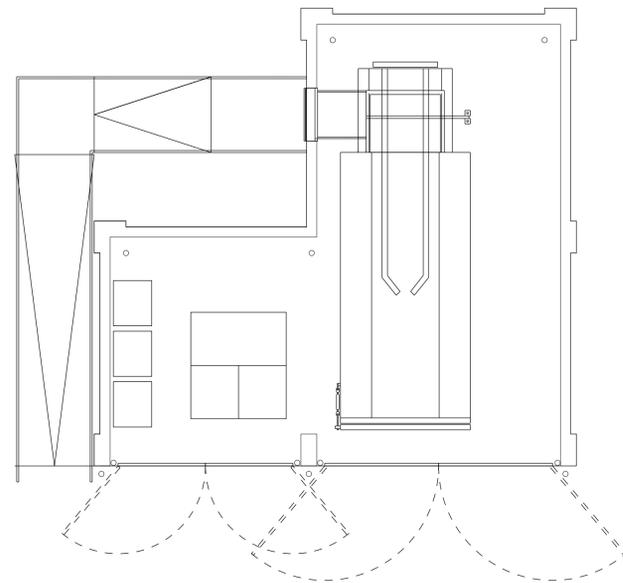
40

40 OF 45

PPR2444



16 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"



Trash Enclosure Floor Plan
Scale: 3/16" = 1'-0"



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNING / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

STAMP

ENTITLEMENT

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|---------|-----|--------------|
| ISSUE.1 | BY | DESCRIPTION |
| | | |
| | | |

ISSUE / REVISION

SHEET TITLE

ARCHITECTURAL FLOOR PLANS

SHEET NUMBER

41

41 OF 45

PLAN FILE #

PPR2444

MATERIAL SELECTION

Reviewed - Finalized -



ASPHALT SHINGLES



METAL AWNING



STONE VENEER



BALCONY DECKING



FIBER CEMENT SIDING - CS1



FIBER CEMENT TRIM - CS1



BALCONY



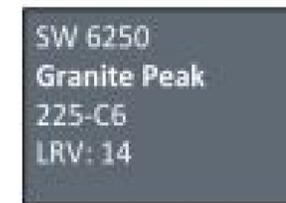
FIBER CEMENT SIDING - CS1 & CS2



FIBER CEMENT TRIM - CS1 & CS2



WINDOWS



FIBER CEMENT SIDING - CS2



FIBER CEMENT TRIM - CS2



FAUX WOOD LAP SIDING - CS1 & CS2



TRIM @ FAUX WOOD LAP - CS1 & CS2



FASCIA & GUTTERS - CS1 & CS2



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

ENTITLEMENT

DATE: BY: DESCRIPTION:
ISSUE:1 BY: DESCRIPTION

ARCHITECTURAL MATERIALS

42

42 OF 45

PPR2444



N.E.S. Inc.
619 N. Cascade Avenue,
Suite 200
Colorado Springs, CO
80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

©2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

PROJECT INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGR
PREPARED BY: PREPARED BY

STAMP

ENTITLEMENT

ISSUE INFO

DATE: 5/29/2025 BY: DESCRIPTION:
5/29/2025 BY: DESCRIPTION

ISSUE / REVISION

PHOTOMETRIC PLAN

SHEET TITLE

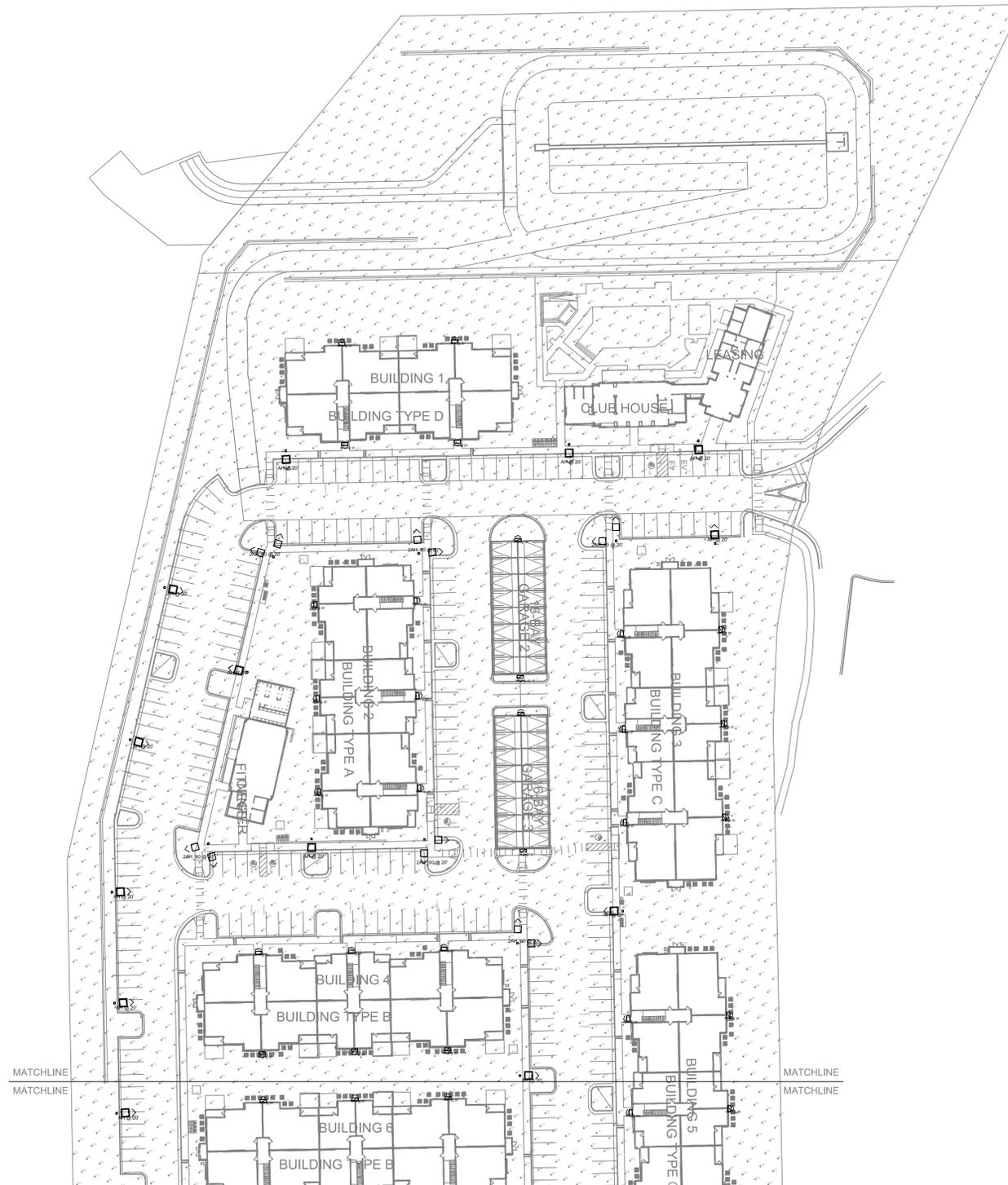
43

43 OF 45

SHEET NUMBER

PPR2444

PLAN FILE #

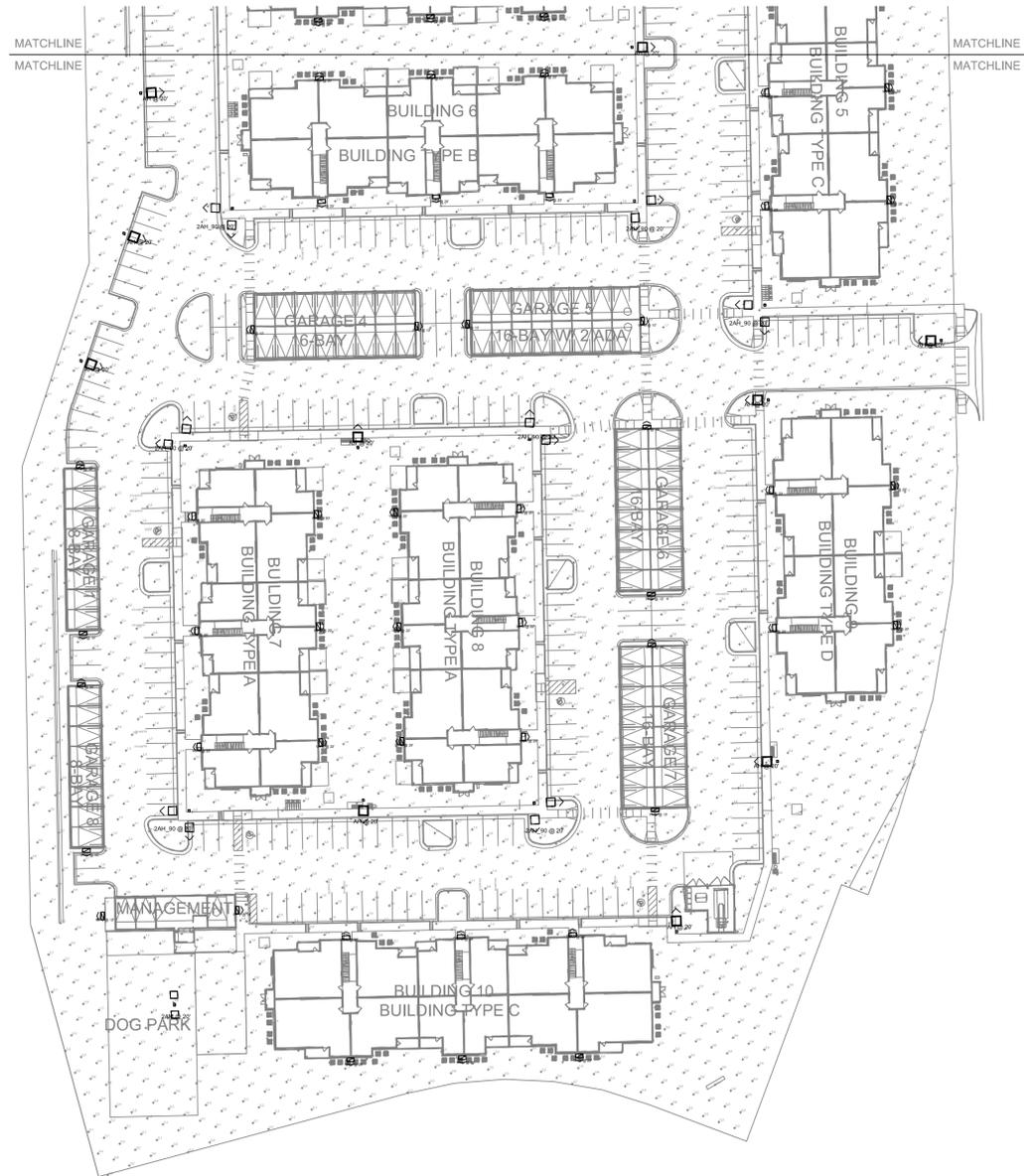


| Statistics | | | | | | |
|--------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Calc Zone #2 | + | 1.3 fc | 10.5 fc | 0.0 fc | N/A | N/A |

| Schedule | | | | | | | | | |
|----------|--------|----------|----------------------|---------------------------|--------------|-----------------|-------------------|---------|---|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Number Lamps | Lumens Per Lamp | Light Loss Factor | Wattage | Mounting Height |
| ☐ | WPA | 33 | LSI INDUSTRIES, INC. | WPSLS-04L-40 | 1 | 4051 | 0.95 | 37.05 | 20 ft. |
| ☐ | WPB | 41 | LSI INDUSTRIES, INC. | WPSLS-01L-40 | 1 | 1286 | 0.95 | 12.34 | Overlapping Use. Stages: 20 ft. Change: 0 ft. |
| ☐ | AH | 21 | LSI INDUSTRIES, INC. | SLMLED-1R-SL-FT-40-70CRAL | 1 | 12045 | 0.95 | 135 | 20 ft. |
| ☐ | 2AH_90 | 13 | LSI INDUSTRIES, INC. | SLMLED-1R-SL-FT-40-70CRAL | 1 | 12045 | 0.95 | 270 | 20 ft. |
| ☐ | 2AM | 1 | LSI INDUSTRIES, INC. | SLMLED-12L-SL-09W-40-70CR | 1 | 12987 | 0.95 | 170 | 20 ft. |

\\file1-sr\file1\PROJECTS\2024\PPR2444\Thompson Thrift Res. (Studio)\1\10-VentureOnVenetucci-Photometric_04-05-2025.dwg [41 of 43] 5/29/2025 4:21:05 PM cundlerwood

\\vex1-srllba\vol1\PROJECTS\2024\PPR2444\VENETUCCI\VENETUCCI_Photometric_04-02-2025.dwg [42 of 43] 5/29/2025 4:18:41 PM cundenwood



| Statistics | | | | | | |
|--------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Calc Zone #2 | + | 1.3 fc | 10.5 fc | 0.0 fc | N/A | N/A |

| Schedule | | | | | | | | | |
|----------|-----------|----------|----------------------|------------------------------|--------------|-----------------|-------------------|---------|---|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Number Lamps | Lumens Per Lamp | Light Loss Factor | Wattage | Mounting Height |
| ☐ | WPA | 33 | LSI INDUSTRIES, INC. | WP5LS-04L-40 | 1 | 4051 | 0.95 | 37.05 | 20 ft. |
| ☐ | WPB | 41 | LSI INDUSTRIES, INC. | WP5LS-01L-40 | 1 | 1286 | 0.95 | 12.34 | Dwelling Unit Bldg: 20 ft. Garage: 10 ft. |
| ⬆ | AH | 21 | LSI INDUSTRIES, INC. | SLM4LED-18L-SL-4T-40-70CR-4L | 1 | 12045 | 0.95 | 130 | 20 ft. |
| ⬆ | 2AH 90 | 13 | LSI INDUSTRIES, INC. | SLM4LED-18L-SL-4T-40-70CR-4L | 1 | 12045 | 0.95 | 270 | 20 ft. |
| ⬆ | 2AM | 1 | LSI INDUSTRIES, INC. | SLM4LED-12L-SL-9W-40-70CR1 | 1 | 12587 | 0.95 | 170 | 20 ft. |



N.E.S. Inc.
619 N. Cascade Avenue,
Suite 200
Colorado Springs, CO
80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

©2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

PROJECT INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGR
PREPARED BY: PREPARED BY

STAMP

ENTITLEMENT

ISSUE INFO

DATE: 5/29/2025 BY: DESCRIPTION:
BY: DESCRIPTION

ISSUE / REVISION

PHOTOMETRIC PLAN

SHEET TITLE

SHEET NUMBER

44
44 OF 45

PLAN FILE #

PPR2444



Catalog #: _____ Project: _____ Type: _____
Prepared By: _____ Date: _____

Slim Wall Pack (WPSLS)

Small LED Slim Wall Pack



| OVERVIEW | |
|----------------------|---------------|
| Lumen Package (lm) | 1,000 - 4,000 |
| Wattage Range (W) | 12 - 40 |
| Efficacy Range (LPW) | 98 - 122 |
| Weight lbs (kg) | 3.8 (1.7) |

QUICK LINKS

FEATURES & SPECIFICATIONS

Construction

- Rigid Precision Die cast-aluminum housing for durability and consistency.
- Vertical fins serve as a heat sink and resist accumulation of dust and debris.
- The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and integral components.
- Luminaire hinges open from the bottom to prevent leakage.
- Luminaire is proudly manufactured and tested in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

Optical System

- High-performance Chip On Board (COB) LEDs behind clear tempered glass for maximum light output.
- 3000K | 4000K | 5000K color temperatures.
- Minimum CRI of 71.
- Zero uplight.

Electrical

- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz
- L70 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Power factor: >.85
- Input power stays constant over life.
- Driver Off-State Power is 0 watts.

- Chip On Board (COB) LEDs with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- Minimum 2.5kV surge rating
- Operating temperature: -40°C to +50°C (-40°F to +122°F).

Controls

- Optional 120V electronic button Photocontol.
- Apertures for field or factory installed photocontol.

Installation

- Surface mounts direct to J-box or wall.
- Features a bubble level and removable hinged face frame for ease of installation.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- 1 Year warranty on optional Button Photocell.

Listings

- Listed to UL 1598 and UL 8750.
- American Recovery and Reinvestment Act Funding Compliant.
- CSA Listed
- RoHS Compliant.
- State of California Title 24.
- Suitable For Wet Locations.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/GPL to confirm which versions are qualified.



Catalog #: _____ Project: _____ Type: _____
Prepared By: _____ Date: _____

Slice Medium (SLM)

Outdoor LED Area Light



| OVERVIEW | |
|----------------------|-----------------------------|
| Lumen Package | 9,000 - 55,000 |
| Wattage Range | 62 - 436 |
| Efficacy Range (LPW) | 114 - 162 |
| Weight lbs(kg) | 27 (12.2) |
| Control Options | IMSBT, ALB, ALS, 7-Pin, PCI |

QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 33 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.
- Minimum CRI of 70
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

Electrical

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth™ motion sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern. (See drawing in poles section)

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applicationsapplicationsare qualified.
- IK08 rated luminaire per IEC 66262 mechanical impact code.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/GPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)



N.E.S. Inc.
619 N. Cascade Avenue,
Suite 200
Colorado Springs, CO
80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

©2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

EL PASO COUNTY, CO

| | |
|--------------|-------------|
| DATE: | 11/05/2024 |
| PROJECT MGR: | PROJECT MGR |
| PREPARED BY: | PREPARED BY |

STAMP

ISSUE INFO

| DATE: | BY: | DESCRIPTION: |
|-----------|-----|--------------|
| 5/29/2025 | BY | DESCRIPTION |
| | | |
| | | |
| | | |

ISSUE / REVISION

SHEET TITLE

LIGHTING CUTSHEETS

SHEET NUMBER

45
45 OF 45

PLAN FILE #

PPR2444

\\vex1-sr\files\vol1\PROJECTS\2024\HPS\24050-Thompson Thrift Res. (Studio W)\10-VenetuCCI-COLORADO SPRINGS_CO\Elec\Visual\VenetuCCI_Photometric_04-05-2025.dwg [43 OF 13] 5/29/2025 4:15:46 PM candlerwood