

VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

SITE DEVELOPMENT PLAN

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, RECORDS OF EL PASO COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST QUARTER OF SAID SECTION 4, AS MONUMENTED BY A RECOVERED 2-1/2" ALUMINUM CAP, 0.1 FEET ABOVE GRADE, STAMPED "ASC 1999 PLS 28651", WHENCE THE EAST QUARTER CORNER OF SAID SECTION 4, AS MONUMENTED BY A RECOVERED 2-1/2" ALUMINUM CAP IN RANGE BOX, STAMPED "ASC 1999 PLS 28651, BEARS N 01°01'43" W, FOR A DISTANCE OF 2633.35 FEET, SAID LINE FORMING THE BASIS OF BEARINGS FOR THIS DESCRIPTION;

THENCE N 73°56'11" W, A DISTANCE OF 2734.78 FEET TO THE NORTHEAST CORNER OF LOT 1, SOUTH ACADEMY HIGHLANDS FILING NO. 4 AS RECORDED AT RECEPTION NO. 222714970 IN THE RECORDS OF EL PASO COUNTY, SAID POINT BEING THE POINT OF BEGINNING;

THENCE COINCIDENT WITH THE NORTH LINE AND EXTENSION THEREOF OF SAID LOT 1 THE FOLLOWING THREE (3) COURSES:

1) S 89°29'47" W, A DISTANCE OF 62.20 FEET;

2) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 35°30'48", A RADIUS OF 238.00 FEET, AN ARC LENGTH OF 147.52 FEET; AND A CHORD BEARING AND DISTANCE OF S 71°44'24" W, 145.17 FEET;

3) S 53°58'59" W, A DISTANCE OF 190.82 FEET;

THENCE N 36°03'36" W, A DISTANCE OF 155.64 FEET;

THENCE N 21°58'50" W, A DISTANCE OF 272.69 FEET;

THENCE N 02°31'59" W, A DISTANCE OF 127.26 FEET;

THENCE N 21°58'47" W, A DISTANCE OF 284.99 FEET;

THENCE N 08°14'28" W, A DISTANCE OF 450.13 FEET;

THENCE N 18°57'10" E, A DISTANCE OF 224.76 FEET;

THENCE N 65°01'15" E, A DISTANCE OF 452.74 FEET TO A POINT ON THE WEST LINE OF TRACT B, SOUTH ACADEMY HIGHLANDS FILING NO. 2 AS RECORDED AT RECEPTION NO. 216713726 IN SAID RECORDS;

THENCE COINCIDENT WITH SAID WEST LINE THE FOLLOWING TWO (2) COURSES:

1) S 05°08'13" W, A DISTANCE OF 273.60 FEET;

2) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 27°13'22", A RADIUS OF 605.00 FEET, AN ARC LENGTH OF 287.45 FEET; AND A CHORD BEARING AND DISTANCE OF S 08°28'27" E, 284.75 FEET TO A POINT ON THE WEST LINE OF TRACT A, SOUTH ACADEMY HIGHLANDS FILING NO. 1 AS RECORDED AT RECEPTION NO. 214713425 IN SAID RECORDS;

THENCE COINCIDENT WITH THE WEST LINE OF SAID TRACT A AND EXTENSION THEREOF S 22°05'08" E, A DISTANCE OF 501.71 FEET TO A POINT ON THE WEST LINE OF VENETUCCI BOULEVARD AS DEDICATED IN SAID SOUTH ACADEMY HIGHLANDS FILING NO. 1;

THENCE COINCIDENT WITH SAID WEST LINE THE FOLLOWING FOUR (4) COURSES:

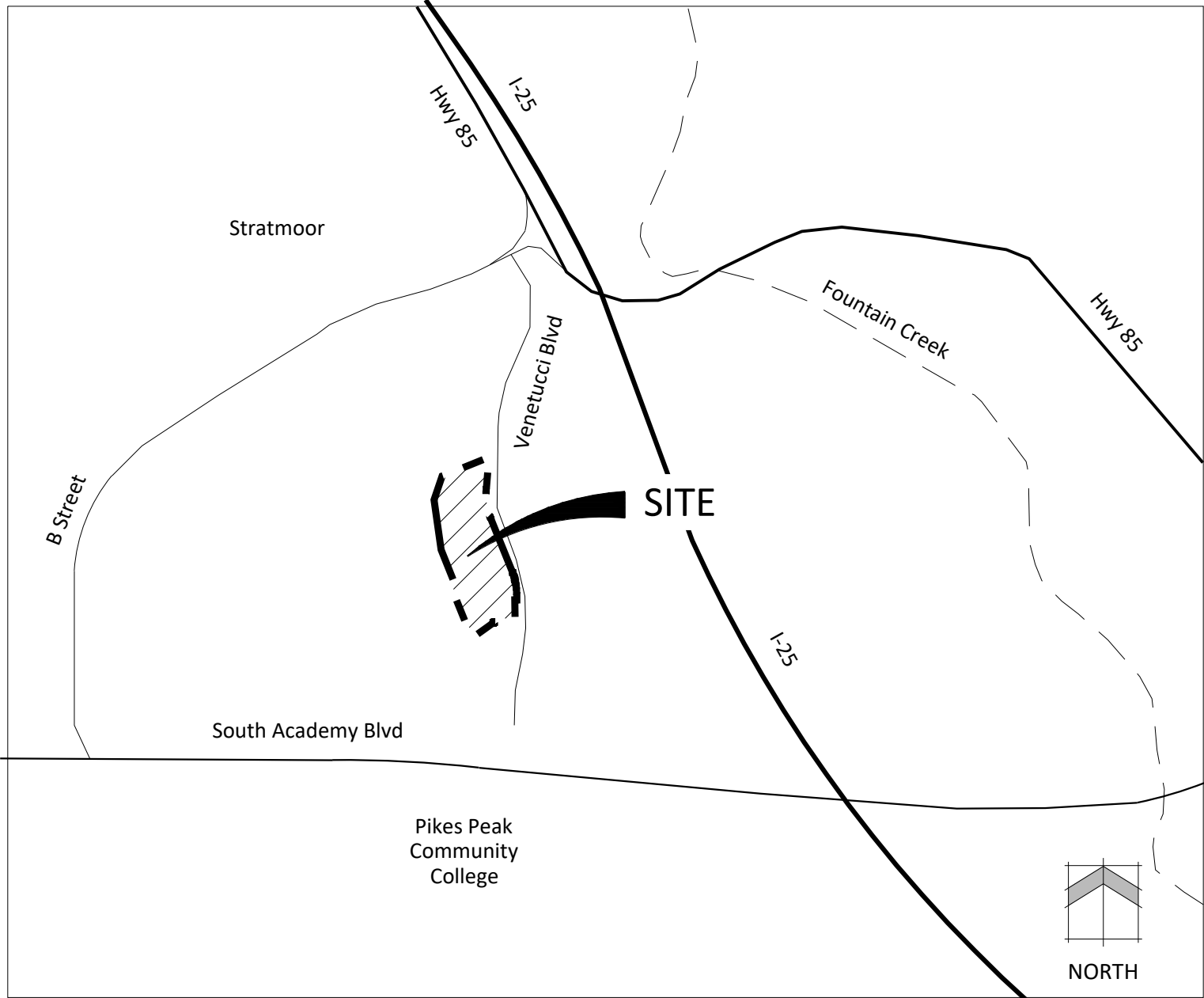
1) ALONG A TANGENT CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 21°34'55", A RADIUS OF 560.00 FEET, AN ARC LENGTH OF 210.94 FEET; AND A CHORD BEARING AND DISTANCE OF S 11°17'40" E, 209.69 FEET;

2) S 00°30'10" E, A DISTANCE OF 51.78 FEET;

3) S 89°29'47" W, A DISTANCE OF 17.00 FEET;

4) S 00°30'13" E, A DISTANCE OF 162.77 FEET TO THE POINT OF BEGINNING.

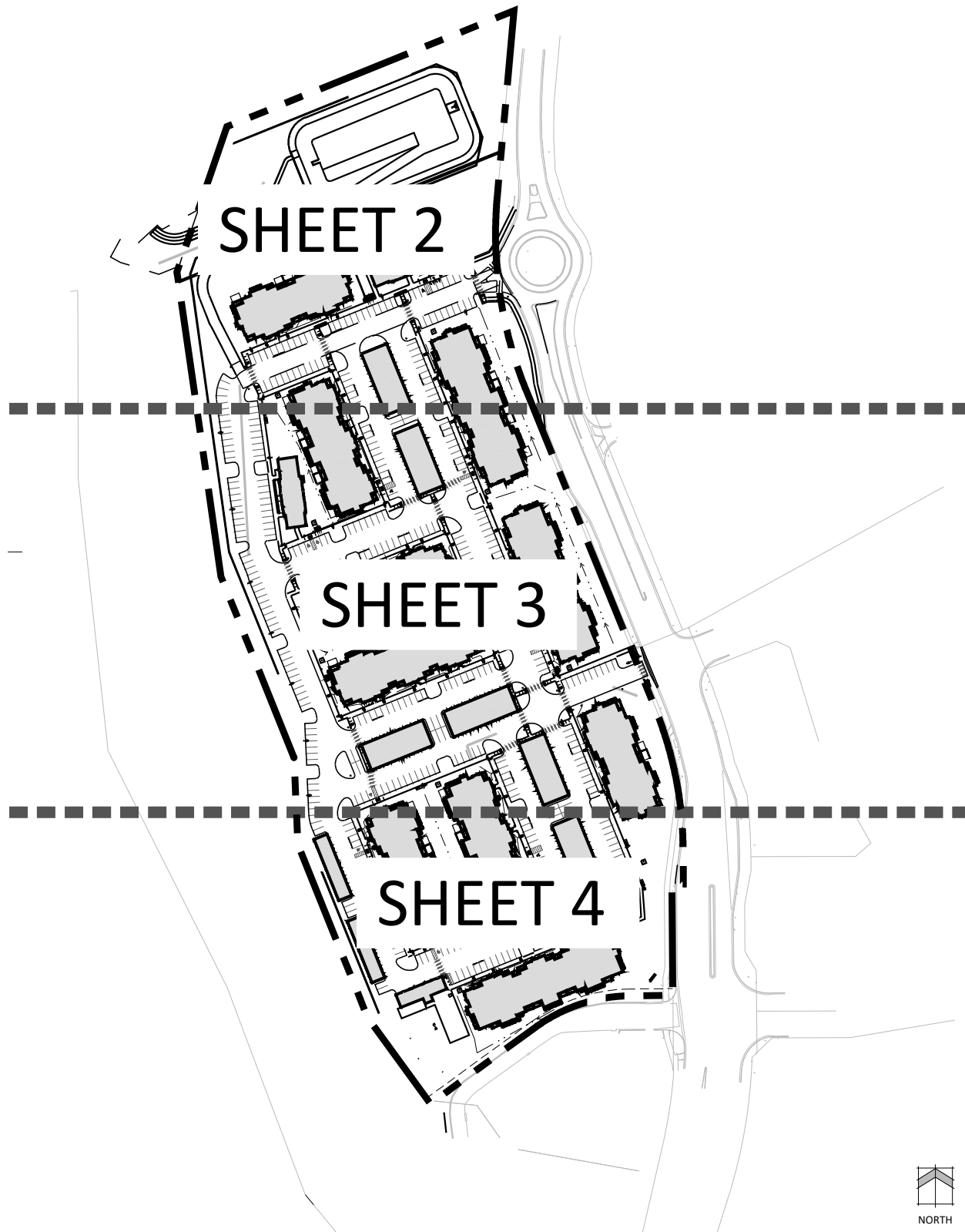
CONTAINING A CALCULATED AREA OF 706,978 SQUARE FEET OR 16.2300 ACRES, MORE OR LESS.



VICINITY MAP

GENERAL NOTES

- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
- PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGNAGE PLAN IS REQUIRED.
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LB SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
- PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0743G, EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
- THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.
- THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY ENTECH ENGINEERING INC., DATED TBD, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARDS ON THE PROPERTY: (ARTIFICIAL FILL, EXPANSIVE SOILS, POTENTIALLY UNSTABLE SLOPES, LANDSLIDE SUSCEPTIBLE AREAS, LANDSLIDE DEPOSIT, AND STEEPLY DIPPING BEDROCK).
- THE PRIVATE ROADS AS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY EL PASO COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH EL PASO COUNTY STANDARDS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION AND MAINTENANCE.
- THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
- DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G., PREBLE'S MEADOW JUMPING MOUSE).



OVERALL SITE - KEY MAP

SITE DATA

Site Address:	Venetucci Blvd
Tax ID Number:	650430049
Total Area:	16.23 Acres
Development Schedule:	2025 - 2026
Drainage Basin:	-
Current Zoning:	RM-30
Current Use:	Vacant
Proposed Use:	Multi-Family
Units:	336
Gross Density:	20.7 DU/AC
Height Information:	
Max. Height Allowed:	40'
Max. Height Proposed:	40'-0"
Lot Coverage:	
Max. Allowed:	60%
Max Proposed:	28%
Building Setbacks:	
East (Venetucci Blvd):	25'
Side:	15'
Rear:	15'
Landscape Setbacks/Buffers:	
Venetucci Blvd:	25'
Parking Standards:	
Standard Formula:	1.5 spaces / 1-bedroom unit (132 units): 198 spaces 1.7 spaces / 2-bedroom unit (168 units): 286 spaces 2 spaces / 3-bedroom unit (36 units): 72 spaces Guest Spaces 1 space / 3 dwelling units (336 total units): 112 spaces
Standard Required:	668 spaces
Alternate Formula*:	1.72 spaces per unit*
Units:	336
Alternate Provided:	579 spaces
ADA Required/Provided:	14 / 14 (11 stalls and 3 garages)
Garage Spaces Provided:	113 spaces
Total Provided:	579 spaces
	*Approved Alternative Parking Ratio by PCD Director: 1.72 parking spaces per unit.
Bike Parking Required (5% of Standard Code Required Parking):	34
Bike Parking Provided:	36

LAND USE DATA TABLE

LAND USE	DENSITY	UNITS	AREA	% OF LAND
ROADS & ASPHALT	N/A	N/A	171,863 SF	24%
IMPERMEABLE SURFACE BUILDINGS (10)	N/A	N/A	38,481 SF	5.3%
DETENTION	20.7 du/ac	336	160,749 SF	23%
OPEN SPACE	N/A	N/A	42,531 SF	6%
LANDSCAPING	N/A	N/A	116,406 SF	16.5%
TOTAL	N/A	N/A	176,948 SF	25%
	20.7 du/ac	336	706,978 SF	100%

TRACT TABLE

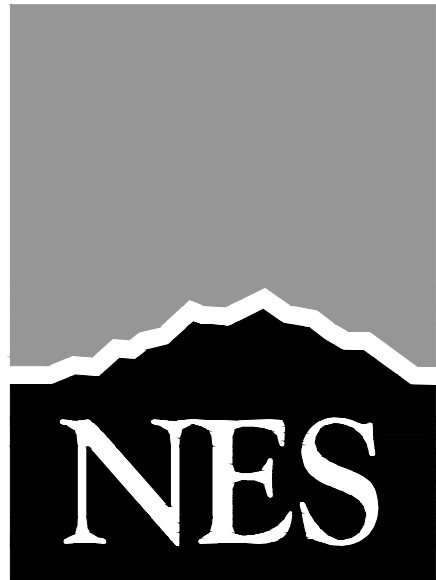
TRACT	AREA	USE	MAINTENANCE
A	89,142 SF	DETENTION, OPEN SPACE, LANDSCAPE	OWNER AND/OR THEIR ASSIGNS

PROJECT TEAM

OWNER:	CS 2005 Investments, LLC 10801 W Charleston Blvd, Suite 170 Las Vegas, NV 89135 Chad Ellington (303) 503-0116
DEVELOPER:	Thompson Thrift Residential 111 Monument Circle, Suite 1500 Indianapolis, IN 46204 Donald Dungu (463) 337-3261
APPLICANT:	N.E.S. Inc. 619 N. Cascade Ave., Suite 200 Colorado Springs, CO 80903 Kim Johnson (719) 471-0073

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N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

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VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE:	11/05/2024
PROJECT MGR:	PROJECT MGR
PREPARED BY:	J. SMITH

ENTITLEMENT

DATE:	BY:	DESCRIPTION:
03/14/2025	JS	PER EPC COMMENTS

COVER SHEET

1

1

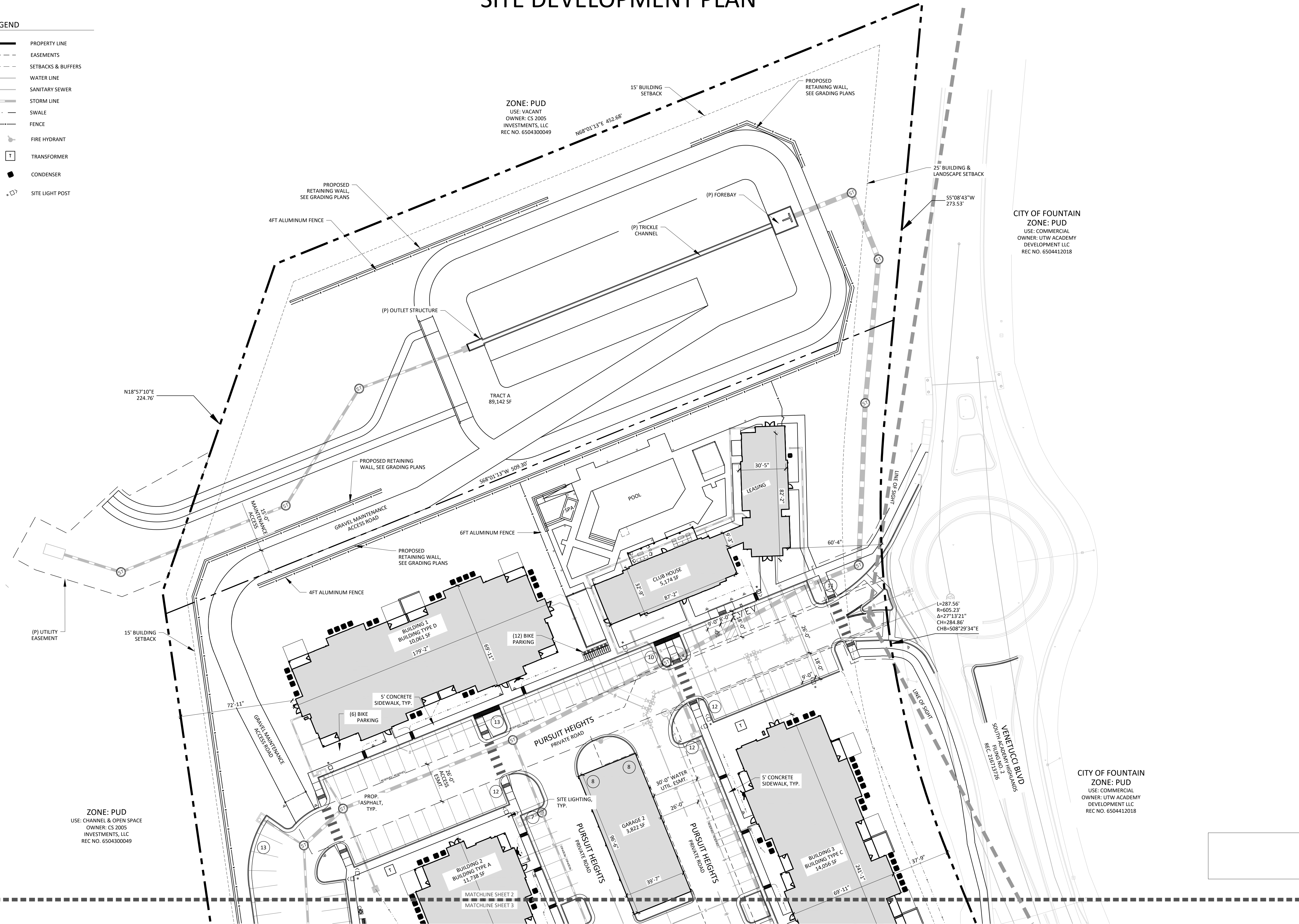
OF

43

VENTURE ON VENETUCCI
SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN

LINE TYPE LEGEND

- PROPERTY LINE
- EASEMENTS
- SETBACKS & BUFFERS
- WATER LINE
- SANITARY SEWER
- STORM LINE
- SWALE
- FENCE
- FIRE HYDRANT
- TRANSFORMER
- CONDENSER
- SITE LIGHT POST



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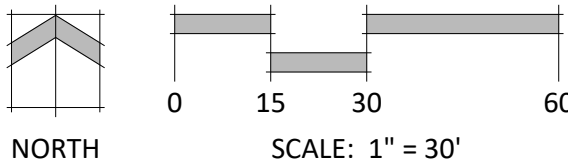
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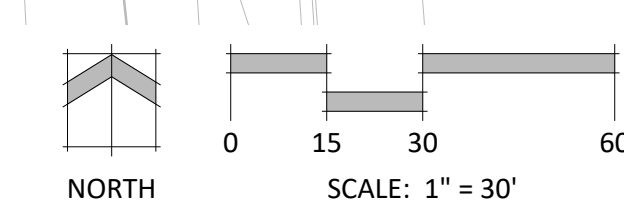
SITE DEVELOPMENT
PLAN

2

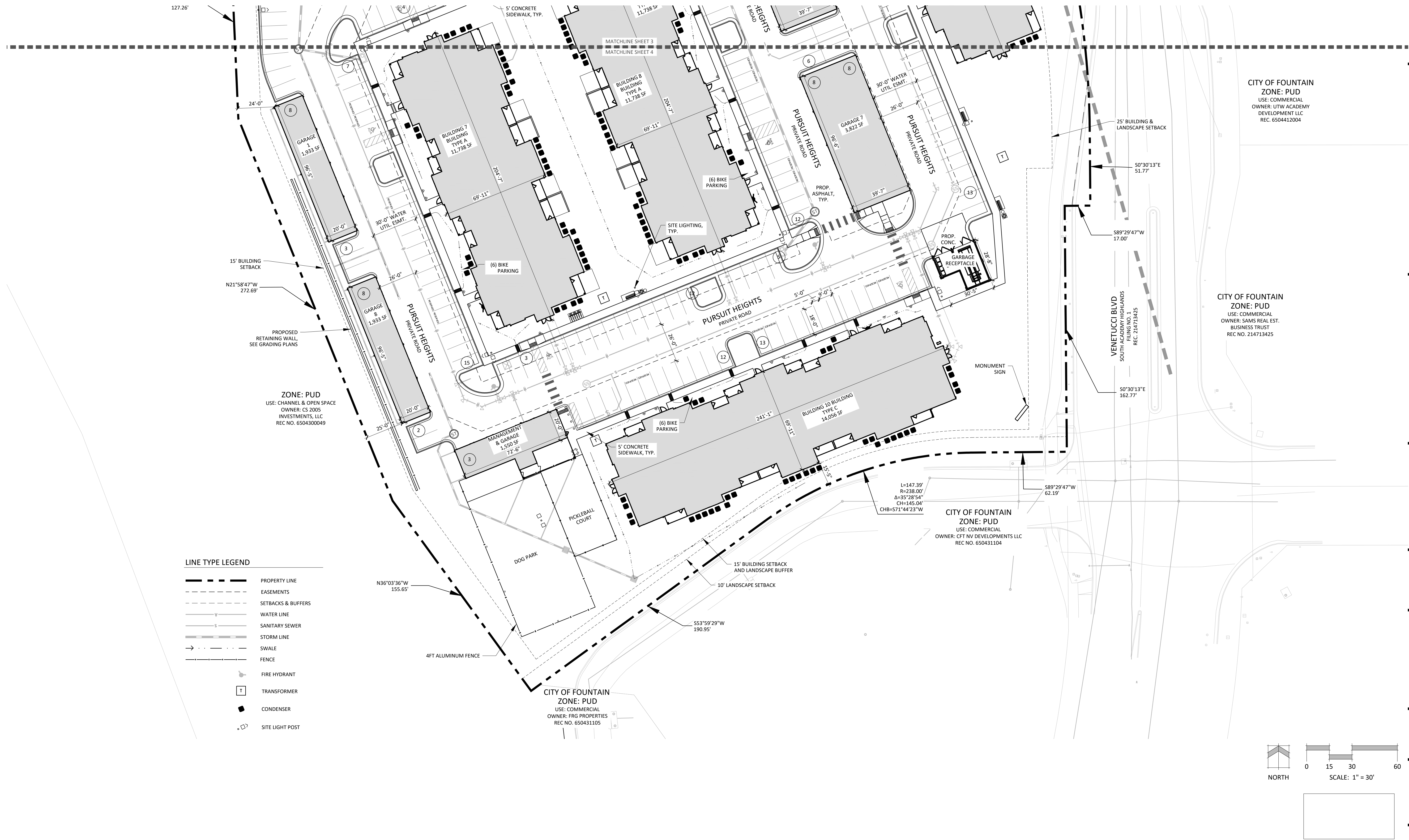
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SITE DEVELOPMENT PLAN



VENTURE ON VENETUCCI
SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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BY: JS
DESCRIPTION: PER EPC COMMENTS

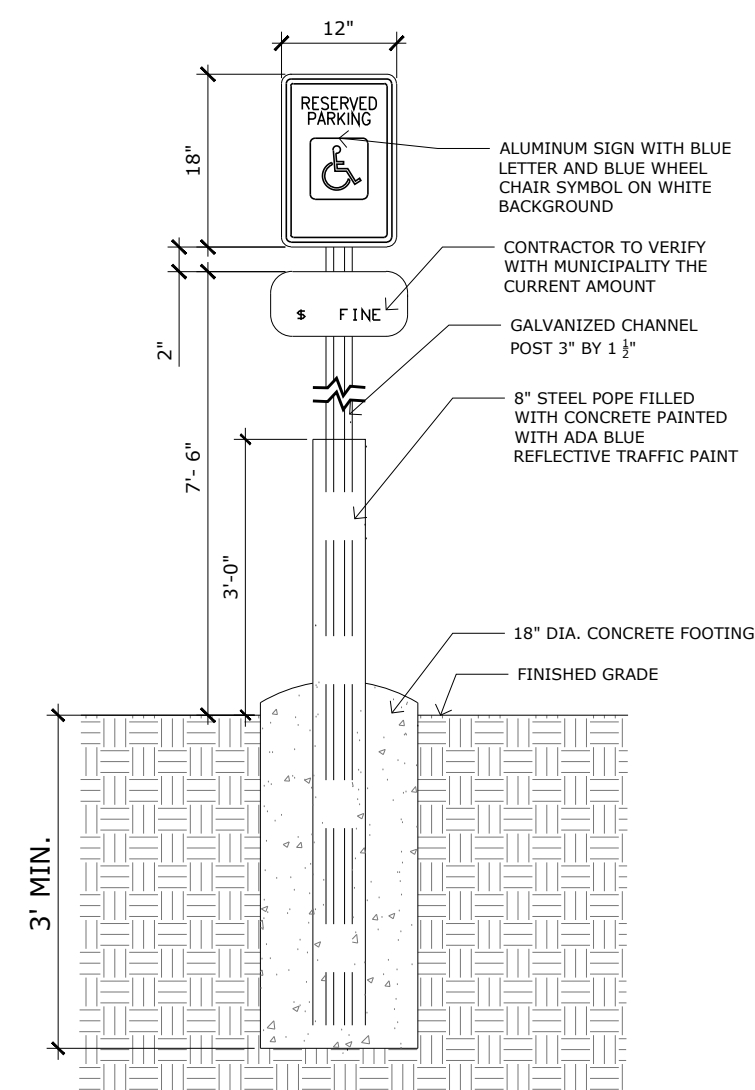
SITE DEVELOPMENT
PLAN

4

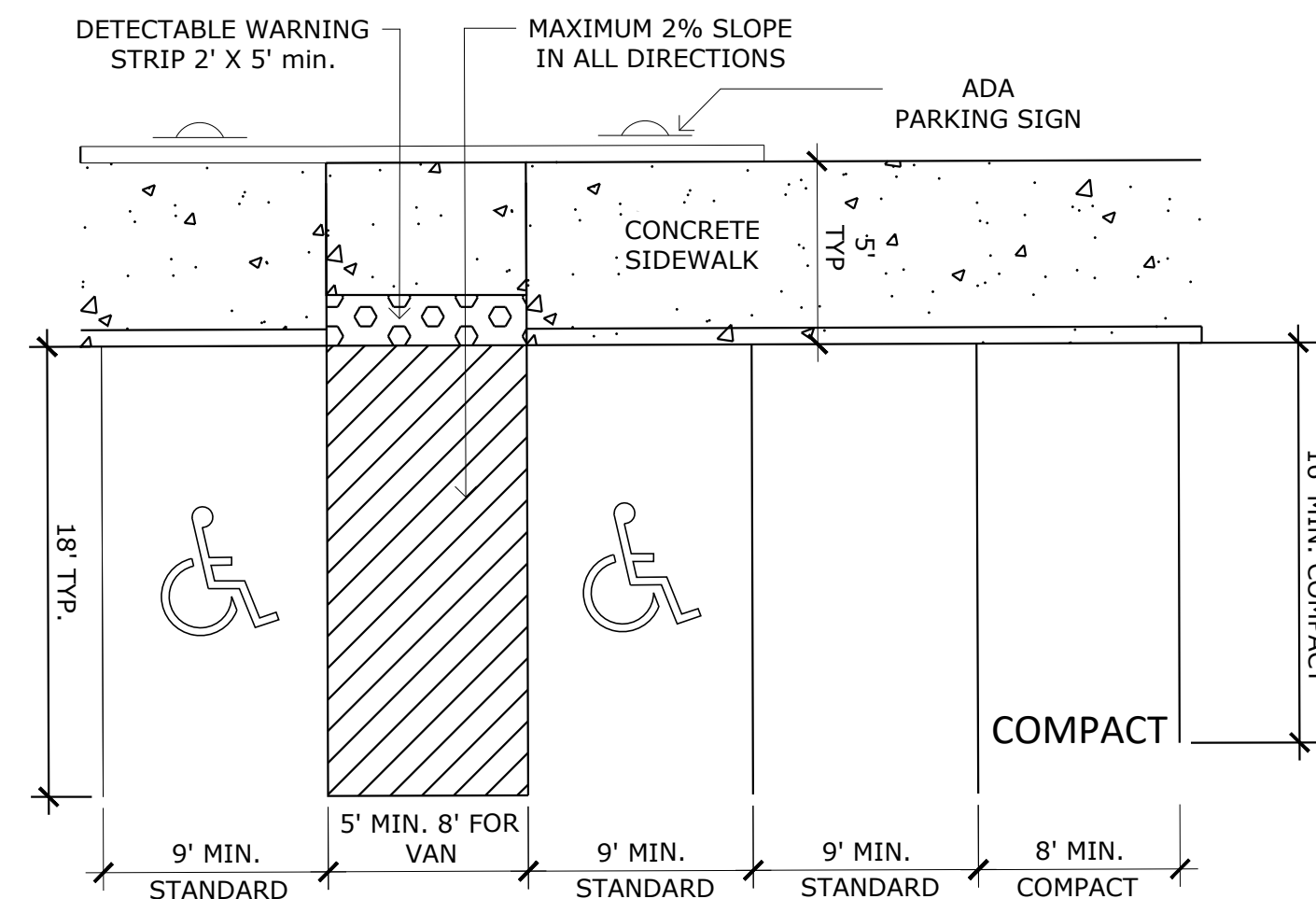
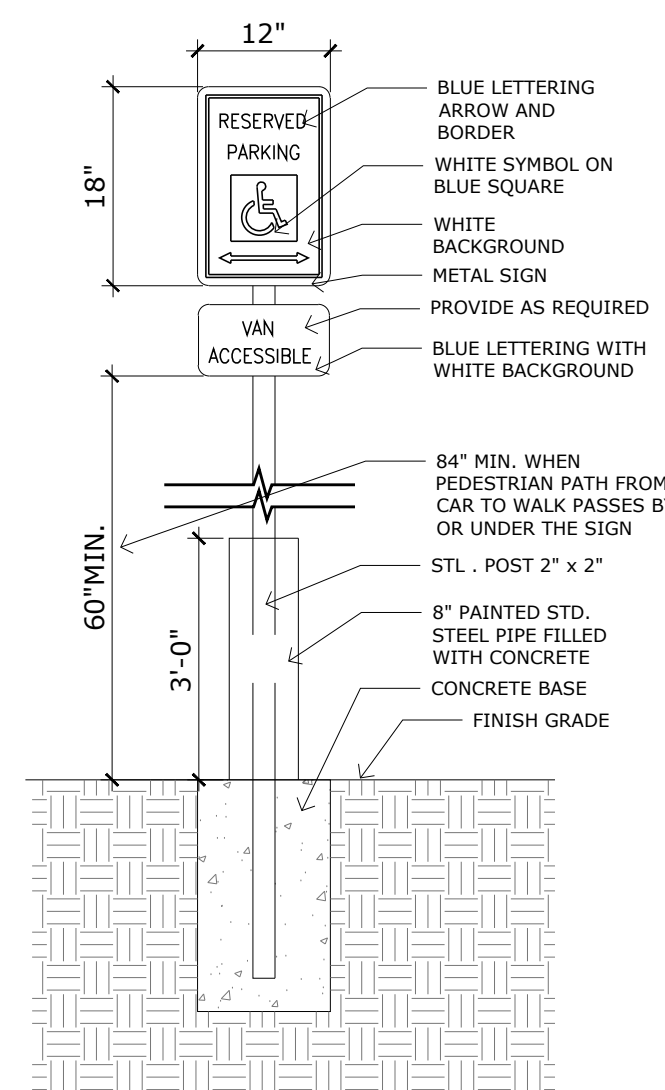
4 OF 43

VENTURE ON VENETUCCI

NSHIP 15 SOUTH, RANGE 66 WEST OF THE
MERIDIAN, EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN

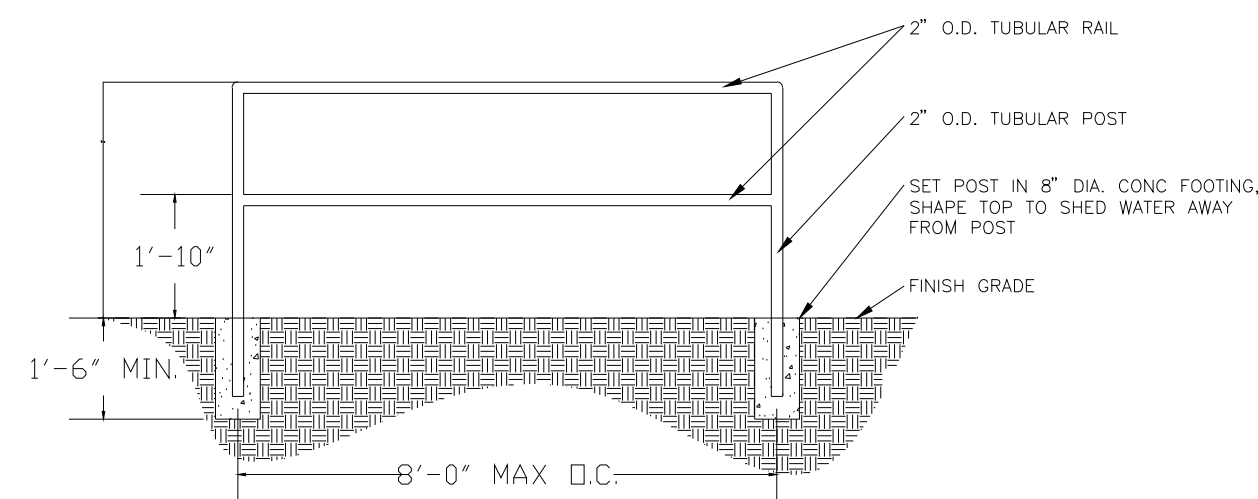


NOTES:
1. PROVIDE
SIGNAGE ON
BOTH SIDES OF
POST WHEN
REQUIRED



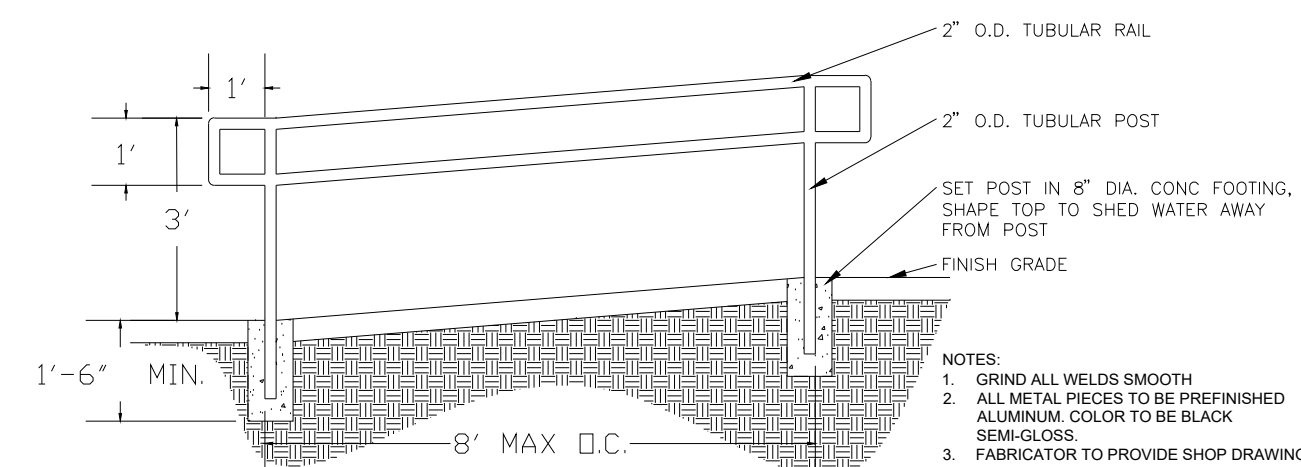
ADA / VAN ACCESSIBLE PARKING SIGNS

PARKING STALL LAYOUT DETAILS



NOTES:

1. GRIND ALL WELDS SMOOTH
2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM COLOR TO BE BLACK SEMI-GLOSS.
3. FABRICATOR TO PROVIDE SHOP DRAWING FOR INSTALLATION AND GROUNDING.



NOTES:

1. GRIND ALL WELDS SMOOTH
2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
3. FABRICATOR TO PROVIDE SHOP DRAWING FOR INSTALLATION AND GROUNDING.

1 GUARDRAIL

NTS

P-TT-20

2 HANDRAIL

NTS

P-TT-21



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

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IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

PROJECT INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGR
PREPARED BY: J. SMITH

STAMP

ENTITLEMENT

ISSUE INFO

DATE:	BY:	DESCRIPTION:
03/14/2025	JS	PER EPC COMMENTS

ISSUE / REVISION

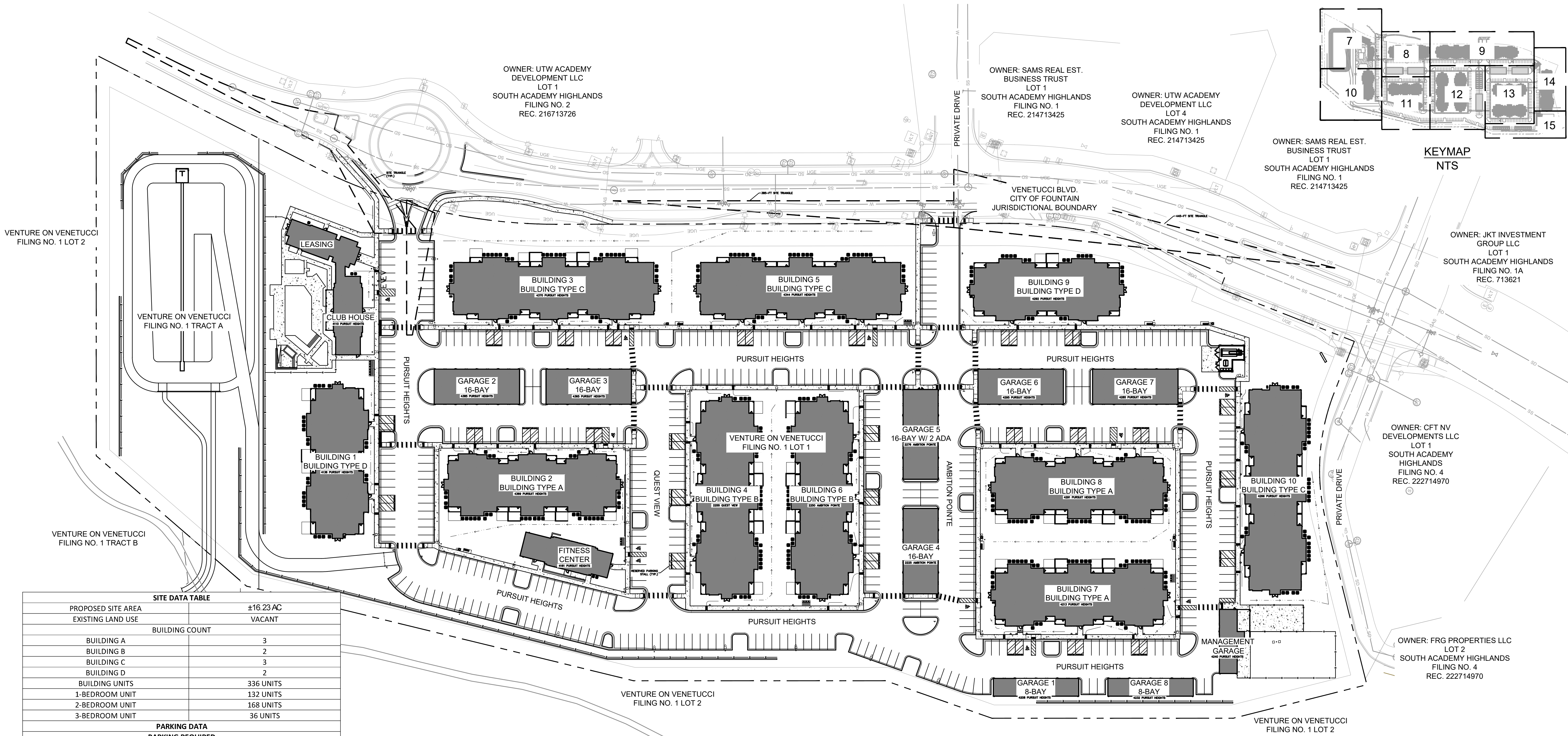
SITE DETAILS

5

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PLAN FILE #

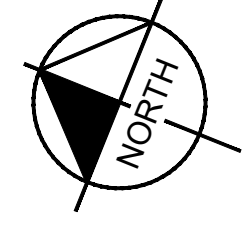
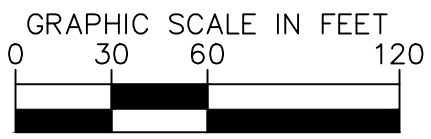
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SITE DATA TABLE	
PROPOSED SITE AREA	#16.23 AC
EXISTING LAND USE	VACANT
BUILDING COUNT	
BUILDING A	3
BUILDING B	2
BUILDING C	3
BUILDING D	2
BUILDING UNITS	336 UNITS
1-BEDROOM UNIT	132 UNITS
2-BEDROOM UNIT	168 UNITS
3-BEDROOM UNIT	36 UNITS
PARKING DATA	
PARKING REQUIRED	
PER THOMPSON THRIFT DESIGN GUIDELINES	
1 SPACE / 1-BEDROOM UNIT	132 SPACES (132 UNITS)
2 SPACES / 2-BEDROOM UNIT	336 SPACES (168 UNITS)
3 SPACES / 3-BEDROOM UNIT	108 SPACES (36 UNITS)
TOTAL PARKING PER THOMPSON THRIFT GUIDELINES	576 SPACES
PER EL PASO COUNTY CODE	
1.5 SPACES / 1-BEDROOM UNIT	198 SPACES (132 UNITS)
1.7 SPACES / 2-BEDROOM UNIT	286 SPACES (168 UNITS)
2 SPACES / 3-BEDROOM UNIT	72 SPACES (36 UNITS)
TOTAL PARKING PER EL PASO COUNTY CODE	682 SPACES*
ACCESSIBLE (2% OF STANDARD PARKING)	14 SPACES
GUEST (1 SPACE / 3 DWELLING UNITS)	112 SPACES (336 UNITS)
TOTAL PARKING PROVIDED	
STANDARD SURFACE PARKING	398
ELECTRIC VEHICLE (EV) PARKING	2
STANDARD ADA SURFACE PARKING	11
ADA VAN SURFACE PARKING	3
RESERVED SURFACE PARKING	52
TOTAL SURFACE PARKING	466
STANDARD GARAGE PARKING	110
STANDARD ADA GARAGE PARKING	3
TOTAL GARAGE PARKING	113
TOTAL PARKING PROVIDED	579

*Variance was approved allowing a 15% reduction in required parking, making the required parking per El Paso County code 579 spaces.

BUILDING DATA TABLE					
BUILDING TYPE	NUMBER OF BUILDINGS	UNIT COUNT	TOTAL UNITS	TOTAL GSF PER BUILDING	TOTAL GSF PER BUILDING TYPE
THREE-STORY BUILDING A	3	36	108	34747	104241
THREE-STORY BUILDING B	2	36	72	39639	79278
THREE-STORY BUILDING C	3	36	108	41743	125229
THREE-STORY BUILDING D	2	24	48	29748	59496
TOTALS	10		336		368244





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619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

STAMP

ISSUE INFO

SHEET TITLE

PLAN FILE /

Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 03/14/2025
PROJECT MGR: MTH
PREPARED BY: FCR

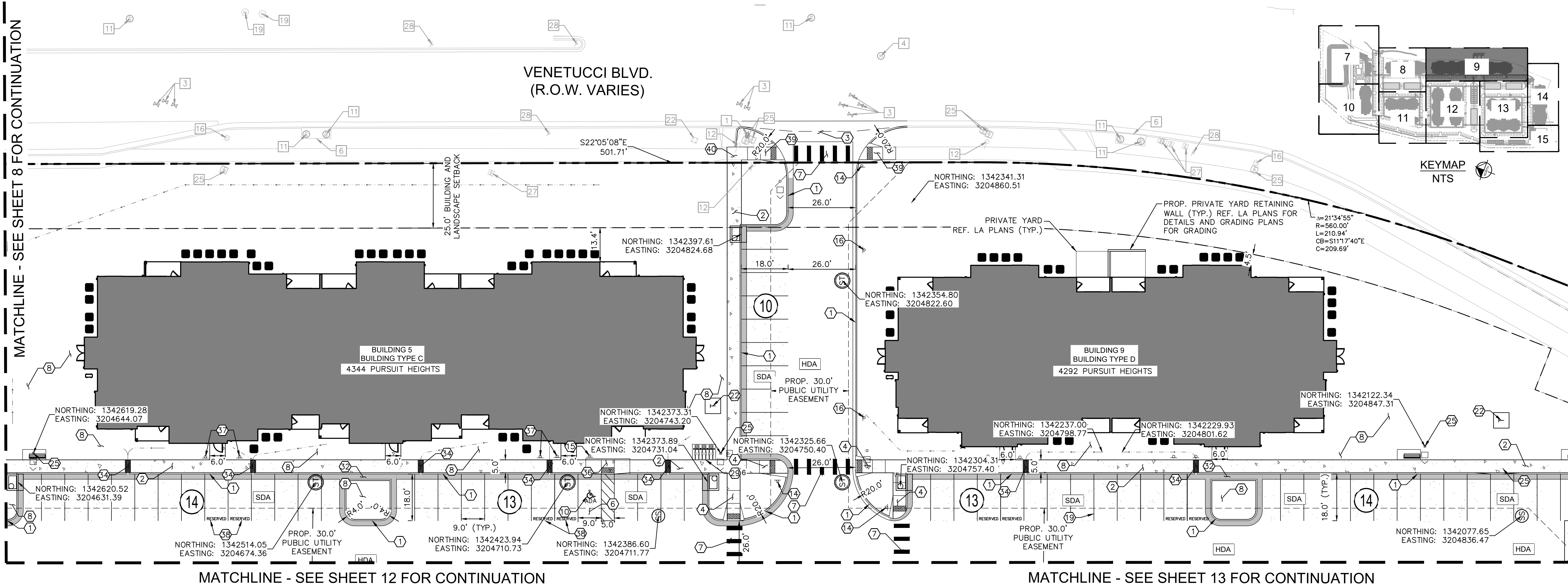
ENTITLEMENT

DATE: BY: DESCRIPTION:

OVERALL SITE PLAN

6

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KEY NOTES: PROPOSED

1	PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A) PER EL PASO COUNTY STANDARD DRAWING SD_2-20	19	PROPOSED 4" WIDE PARKING STRIPE (TYP.)
2	PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER EL PASO COUNTY STANDARD DRAWING D-2.	20	PROPOSED GATE - REF. LANDSCAPE PLANS FOR DETAILS
3	PROPOSED ACCESS AND CROSSSPAN COLORADO SPRINGS DETAIL D7B	21	PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD
4	PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41	22	PROPOSED TRANSFORMER
5	PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS	23	PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)
6	PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN)	24	PROPOSED STREET SIGN - MUTCD D-03
7	PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING)	25	PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS
8	PROPOSED LANDSCAPE AREA - REF. LANDSCAPE PLANS FOR DETAILS	26	PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
9	PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER)	27	PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS
10	PROPOSED ADA PARKING STRIPING	28	PROPOSED BOLLARD
11	PROPOSED SIDEWALK RAMP WITH HANDRAILS	29	PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS
12	PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS	30	4" DIAMETER BOLLARDS
13	PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED	31	PROPOSED FIRE HYDRANT - REF. UTILITY PLANS FOR DETAILS
14	PROPOSED R1-1 STOP SIGN (30 IN X 30 IN)	32	PROPOSED CURB CUT (2' UNLESS OTHERWISE NOTED)
15	PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN	33	PROPOSED STRIPING
16	PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)	34	PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED)
17	PROPOSED FOREBAY	35	PROPOSED WHEEL STOP, NUMBER PER PLAN
18	PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS	36	PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
		37	RESERVED PARKING SIGNAGE BY OWNER, TYP.
		38	RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
		39	CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
		40	5' SIDEWALK PER COLORADO SPRINGS DETAIL D18

KEY NOTES: EXISTING

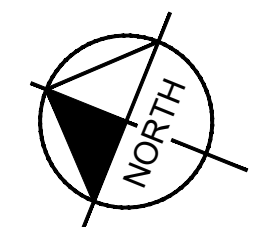
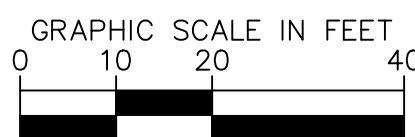
1	EX. FIRE HYDRANT	15	EX. ELECTRIC METER
2	EX. WATER LINE	16	EX. STREETLIGHT
3	EX. WATER VALVE	17	EX. TRANSFORMER
4	EX. SANITARY SEWER MANHOLE	18	EX. WATER METER
5	EX. SANITARY SEWER	19	EX. ELECTRIC MANHOLE
6	EX. STORM SEWER INLET	20	EX. TRAFFIC VAULT
7	EX. ELECTRIC VAULT	21	EX. STORM SEWER
8	EX. FIBER OPTIC VAULT	22	EX. FIBER OPTIC BOX
9	EX. GAS LINE	23	EX. TELEPHONE BOX
10	EX. TELEPHONE LINE	24	EX. STORM GRATE
11	EX. STORM MANHOLE	25	EX. ELECTRICAL EQUIPMENT
12	EX. TRAFFIC CONTROL STRUCTURE	26	EX. ELECTRICAL BOX
13	EX. UNDERGROUND ELECTRIC LINE	27	EX. IRRIGATION EQUIPMENT
14	EX. OVERHEAD ELECTRIC LINE	28	EX. SIGN

NOTES

- ALL INTERNAL DRIVES TO BE PRIVATE.
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LEGEND

---	PROPERTY LINE
- - - -	BUILDING AND LANDSCAPE SETBACK
- - - - -	PROPOSED UTILITY EASEMENT
SDA	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
CONCRETE	PROPOSED CONCRETE SIDEWALK
HDA	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
RIP RAP	PROPOSED RIP RAP
GRAVEL	PROPOSED GRAVEL MAINTENANCE PATH
HEAVY DUTY CONCRETE	PROPOSED HEAVY DUTY CONCRETE
CATCH GUTTER	PROPOSED CATCH GUTTER
SPILL GUTTER	PROPOSED SPILL GUTTER
PARKING COUNT	PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
HAND RAIL	PROPOSED HAND RAIL
SWALE	PROPOSED SWALE
HVAC	PROPOSED HVAC
LIGHTPOLE	PROPOSED LIGHTPOLE
STORM SEWER MANHOLE	PROPOSED STORM SEWER MANHOLE
STORM INLET, TYPE R	PROPOSED STORM INLET, TYPE R
TRANSFORMER	PROPOSED TRANSFORMER
AREA DRAIN	PROPOSED AREA DRAIN
STORM INLET, TYPE C	PROPOSED STORM INLET, TYPE C



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

DATE: 03/14/2025
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PREPARED BY: FCR

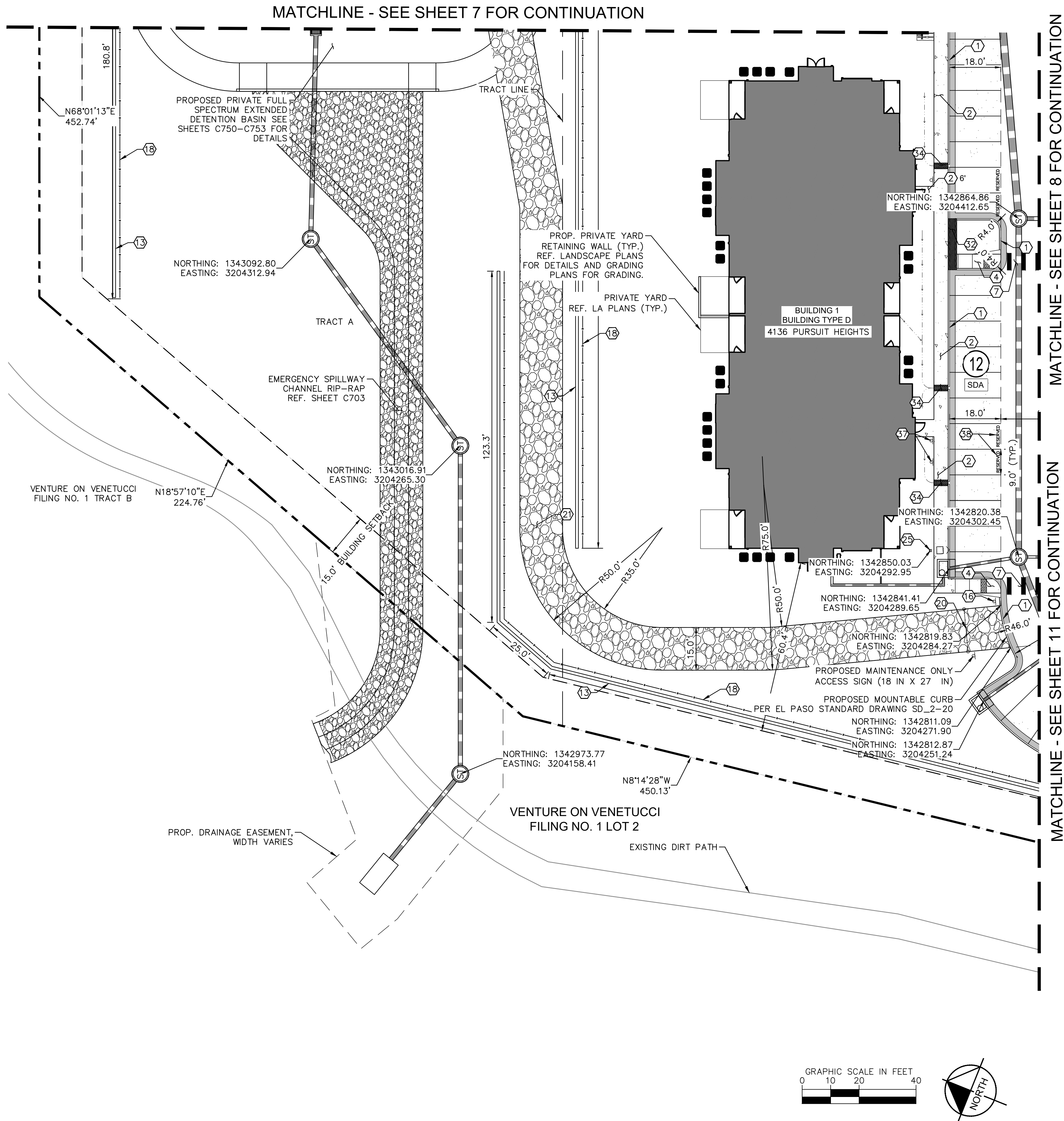
ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE PLAN

9

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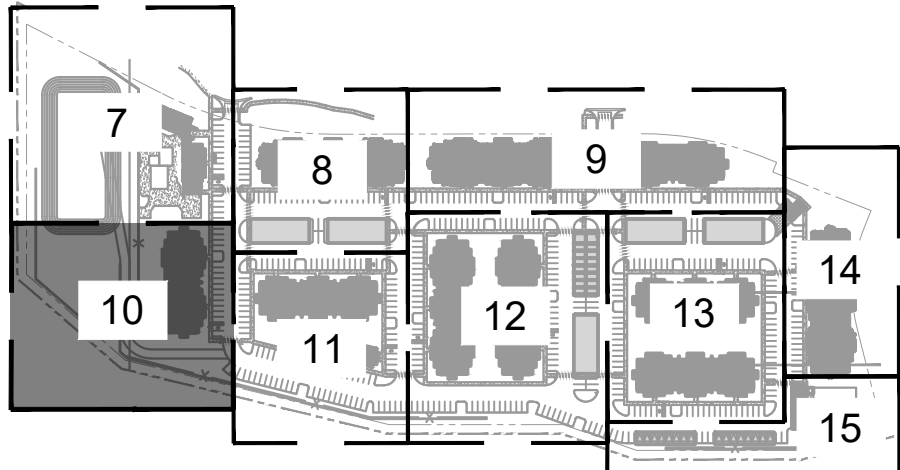


KEY NOTES: PROPOSED

1	PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
2	PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER EL PASO COUNTY STANDARD DRAWING D-2.
3	PROPOSED ACCESS AND CROSSSPAN COLORADO SPRINGS DETAIL D78
4	PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41
5	PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS
6	PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN)
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9	PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER)
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17	PROPOSED FOREBAY
18	PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS
19	PROPOSED 4" WIDE PARKING STRIPE (TYP.)
20	PROPOSED GATE - REF. LANDSCAPE PLANS FOR DETAILS
21	PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS
22	PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS
23	PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)
24	PROPOSED STREET SIGN - MUTCD D-03
25	PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS
26	PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
27	PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS
28	PROPOSED BOLLARD
29	PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS
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31	PROPOSED FIRE HYDRANT
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34	PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED)
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36	PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
37	RESERVED PARKING SIGNAGE BY OWNER, TYP. LETTERING
38	CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
39	5' SIDEWALK PER COLORADO SPRINGS DETAIL D18

KEY NOTES: EXISTING

1	EX. FIRE HYDRANT	11	EX. STORM MANHOLE	21	EX. STORM SEWER
2	EX. WATER LINE	12	EX. TRAFFIC CONTROL STRUCTURE	22	EX. FIBER OPTIC BOX
3	EX. WATER VALVE	13	EX. UNDERGROUND ELECTRIC LINE	23	EX. TELEPHONE BOX
4	EX. SANITARY SEWER MANHOLE	14	EX. OVERHEAD ELECTRIC LINE	24	EX. STORM GRATE
5	EX. SANITARY SEWER	15	EX. ELECTRIC METER	25	EX. ELECTRICAL EQUIPMENT
6	EX. STORM SEWER INLET	16	EX. STREETLIGHT	26	EX. ELECTRICAL BOX
7	EX. ELECTRIC VAULT	17	EX. TRANSFORMER	27	EX. IRRIGATION EQUIPMENT
8	EX. FIBER OPTIC VAULT	18	EX. WATER METER	28	EX. SIGN
9	EX. GAS LINE	19	EX. ELECTRIC MANHOLE		
10	EX. TELEPHONE LINE	20	EX. TRAFFIC VAULT		



KEYMAP
NTS

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LEGEND

---	PROPERTY LINE
- - - - -	BUILDING AND LANDSCAPE SETBACK
- . - . -	PROPOSED UTILITY EASEMENT
[SDA]	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
[HDA]	PROPOSED CONCRETE SIDEWALK
[RIP]	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
[RAP]	PROPOSED RIP RAP
[GMP]	PROPOSED GRAVEL MAINTENANCE PATH
[HDC]	PROPOSED HEAVY DUTY CONCRETE
[CG]	PROPOSED CATCH GUTTER
[SG]	PROPOSED SPILL GUTTER
[PC]	PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
[HR]	PROPOSED HAND RAIL
[SW]	PROPOSED SWALE
[HVAC]	PROPOSED HVAC
[LP]	PROPOSED LIGHTPOLE
[SM]	PROPOSED STORM SEWER MANHOLE
[SI]	PROPOSED STORM INLET, TYPE R
[T]	PROPOSED TRANSFORMER
[AD]	PROPOSED AREA DRAIN
[SI-C]	PROPOSED STORM INLET, TYPE C



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
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VENTURE ON
VENETUCCI

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OTHER INFO

DATE: 03/14/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE
PLAN

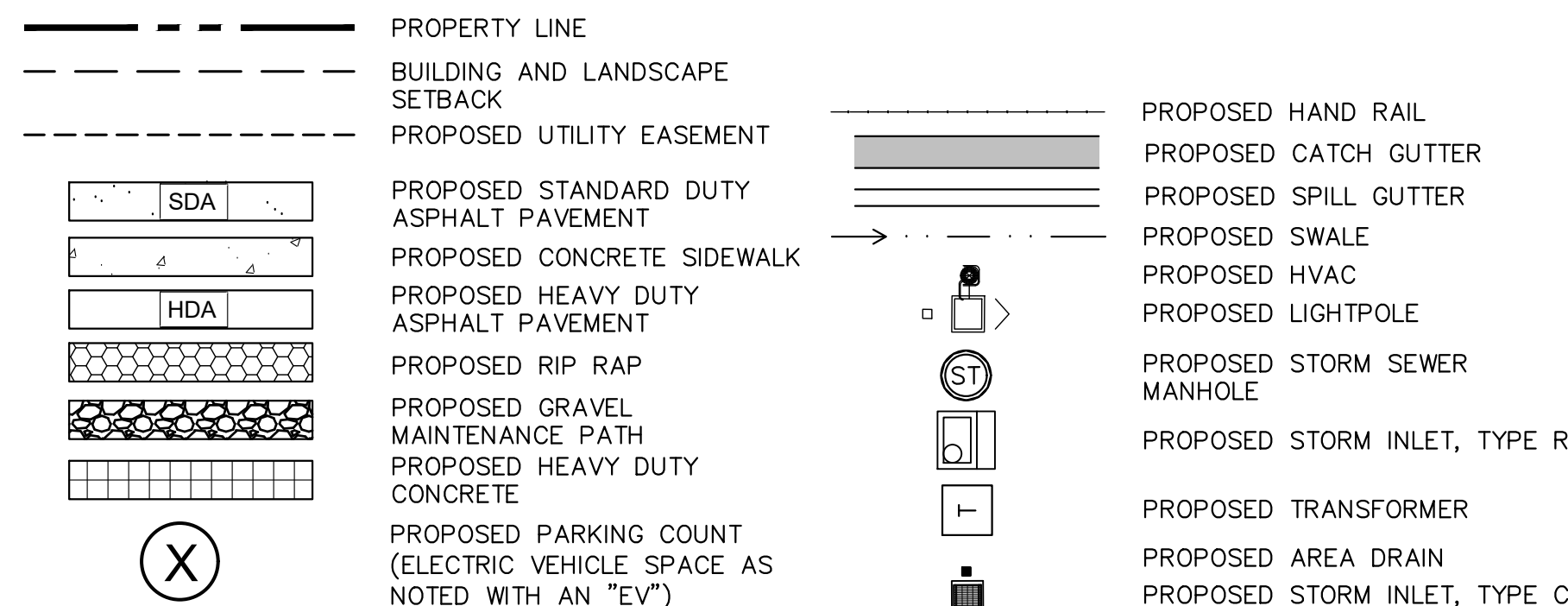
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OTHER INFO

PROJECT INFO	DATE:	03/14/2025
	PROJECT MGR:	MTH
	PREPARED BY:	FCR

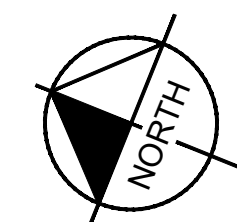
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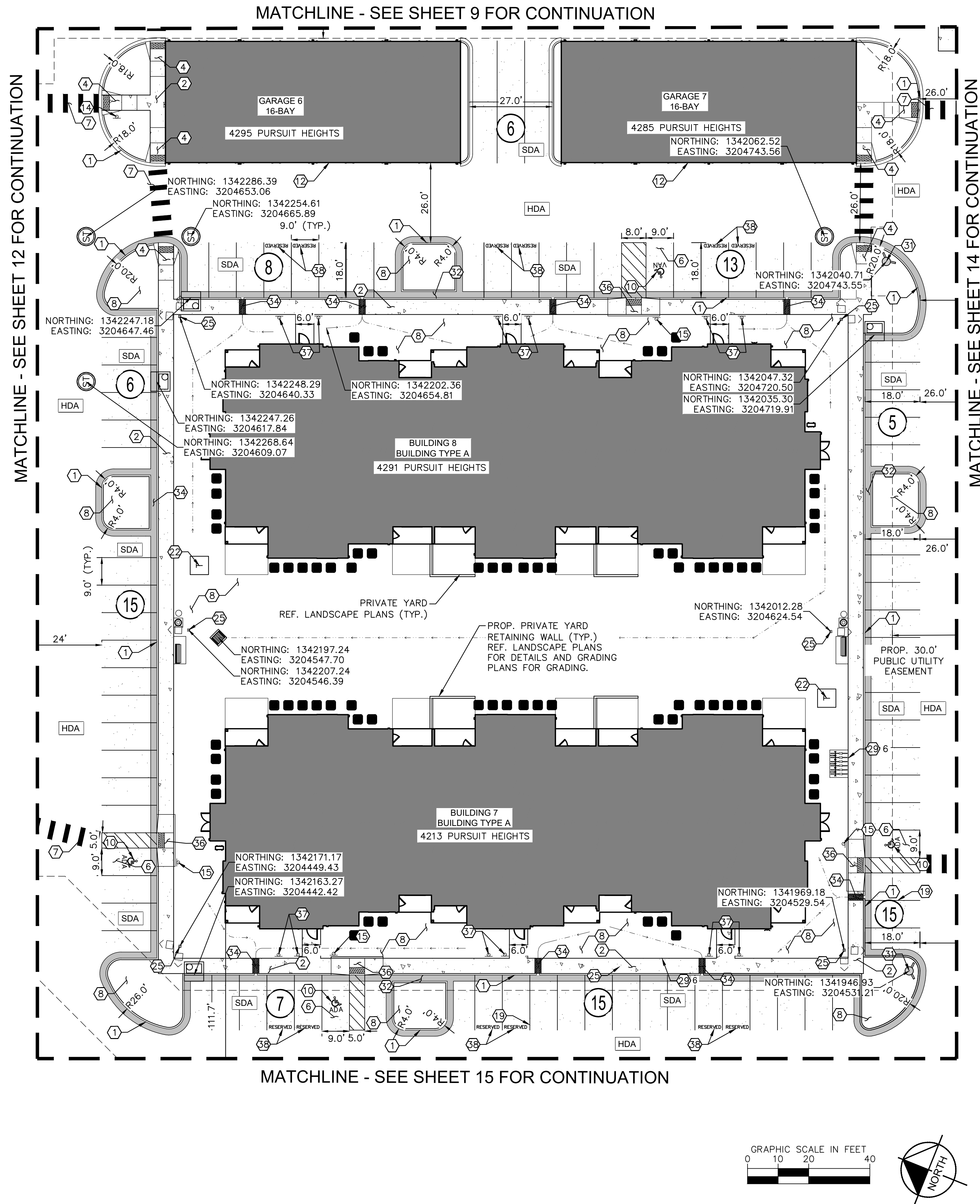


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1	EX. FIRE HYDRANT
2	EX. WATER LINE
3	EX. WATER VALVE
4	EX. SANITARY SEWER MANHOLE
5	EX. SANITARY SEWER
6	EX. STORM SEWER INLET
7	EX. ELECTRIC VAULT
8	EX. FIBER OPTIC VAULT
9	EX. GAS LINE
10	EX. TELEPHONE LINE
11	EX. STORM MANHOLE
12	EX. TRAFFIC CONTROL STRUCTURE
13	EX. UNDERGROUND ELECTRIC LINE
14	EX. OVERHEAD ELECTRIC LINE
15	EX. ELECTRIC METER
16	EX. STREETLIGHT
17	EX. TRANSFORMER
18	EX. WATER METER
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20	EX. TRAFFIC VAULT
21	EX. STORM SEWER
22	EX. FIBER OPTIC BOX
23	EX. TELEPHONE BOX
24	EX. STORM GRATE
25	EX. ELECTRICAL EQUIPMENT
26	EX. ELECTRICAL BOX
27	EX. IRRIGATION EQUIPMENT
28	EX. SIGN

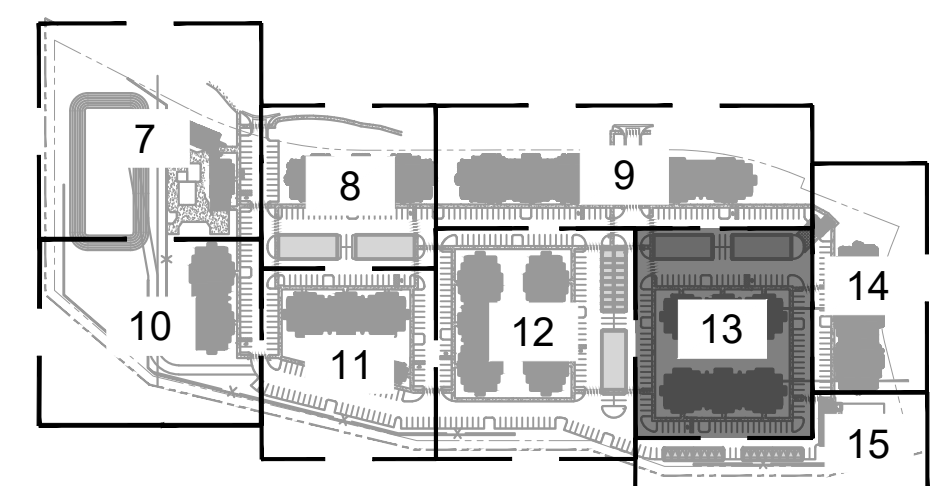


①	PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
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④	PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41
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⑳	PROPOSED GATE – REF. LANDSCAPE PLANS FOR DETAILS
㉑	PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD. REF. POND DETAILS
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㉗	PROPOSED DOG PARK WITH FENCE – REF. LANDSCAPE PLANS FOR DETAILS
㉘	PROPOSED BOLLARD
㉙	PROPOSED BIKE RACKS (NUMBER PER PLAN) – REF. LANDSCAPE DETAILS
㉚	4" DIAMETER BOLLARDS
㉛	PROPOSED FIRE HYDRANT
㉜	PROPOSED CURB CUT (2' UNLESS OTHERWISE NOTED)
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㊱	PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
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㊳	RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
㊴	CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
㊵	5' SIDEWALK PER COLORADO SPRINGS DETAIL D1B.



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- PROPOSED FIRE HYDRANT
- PROPOSED CURB CUT (2' UNLESS OTHERWISE NOTED)
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- PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED)
- PROPOSED WHEEL STOP, NUMBER PER PLAN
- PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
- RESERVED PARKING SIGNAGE BY OWNER, TYP.
- RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
- CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
- 5' SIDEWALK PER COLORADO SPRINGS DETAIL D18



KEYMAP
NTS

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- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED RIP RAP
- PROPOSED GRAVEL MAINTENANCE PATH
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- PROPOSED HAND RAIL
- PROPOSED SWALE
- PROPOSED HVAC
- PROPOSED LIGHTPOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET, TYPE R
- PROPOSED TRANSFORMER
- PROPOSED AREA DRAIN
- PROPOSED STORM INLET, TYPE C

KEY NOTES: EXISTING

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13 EX. UNDERGROUND ELECTRIC LINE	27 EX. IRRIGATION EQUIPMENT
14 EX. OVERHEAD ELECTRIC LINE	28 EX. SIGN



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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2025 KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. Syracuse Way #300
Greenwood Village, CO 80111 (303) 228-2300

VENTURE ON
VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

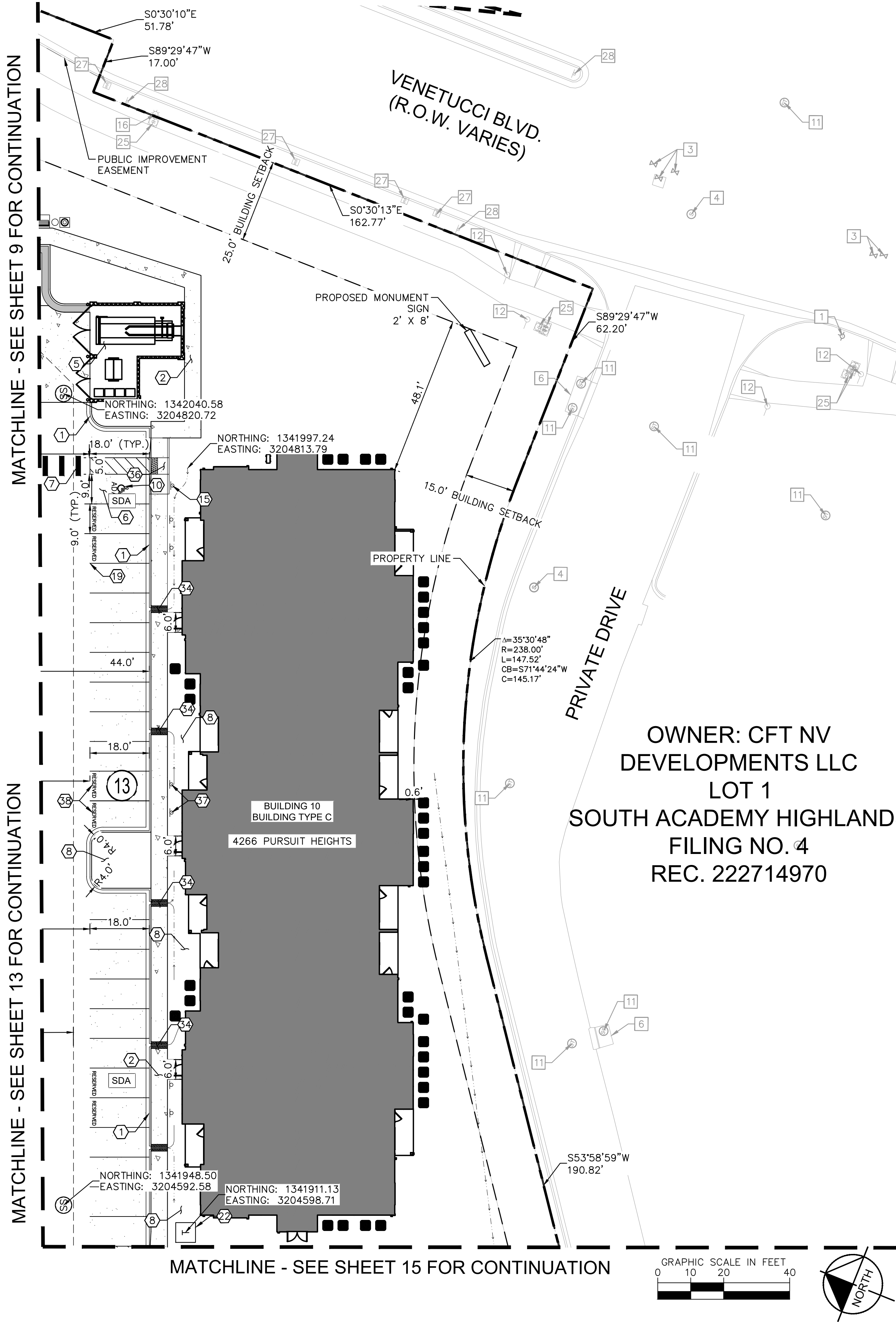
DATE: 03/14/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

DETAILED SITE
PLAN

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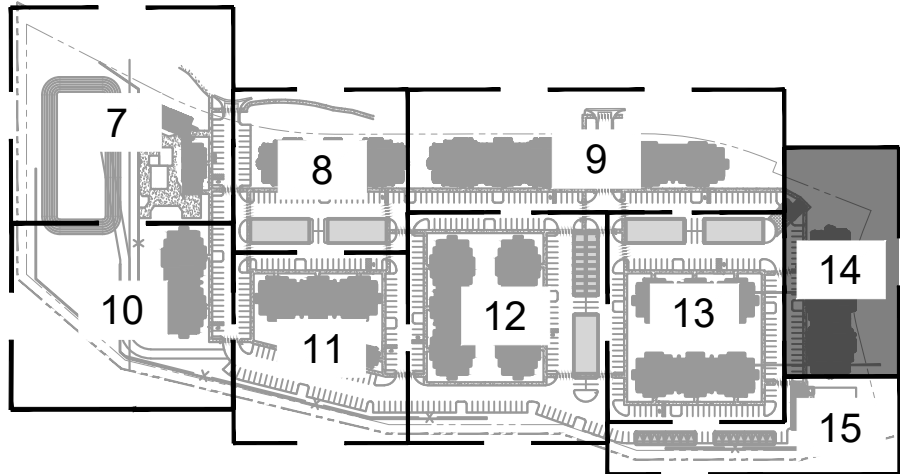


KEY NOTES: PROPOSED

1	PROPOSED 6" VERTICAL CURB AND GUTTER (TYPE A) PER EL PASO COUNTY STANDARD DRAWING SD_2-20
2	PROPOSED 5.5' WIDE CONCRETE SIDEWALK ADJACENT TO PARKING. 5' WIDE IN AREAS NOT ADJACENT TO PARKING UNLESS OTHERWISE NOTED. SIDEWALK DETAIL PER EL PASO COUNTY STANDARD DRAWING D-2.
3	PROPOSED ACCESS AND CROSSPAN COLORADO SPRINGS DETAIL D7B
4	PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWING SD_2-40 AND SD_2-41
5	PROPOSED TRASH ENCLOSURE WITH SCREEN WALL - REF. ARCHITECT PLANS FOR DETAILS
6	PROPOSED ACCESSIBLE ADA PARKING STALL (VAN ACCESSIBLE STALLS PER PLAN)
7	PROPOSED PEDESTRIAN CROSSWALK (18" STRIPING) REF. CONSTRUCTION DETAILS
8	PROPOSED LANDSCAPE AREA
9	PROPOSED ELECTRIC VEHICLE DESIGNATED PARKING STALL (LEVEL 2 CHARGER)
10	PROPOSED ADA PARKING STRIPING
11	PROPOSED SIDEWALK RAMP WITH HANDRAILS
12	PROPOSED DETACHED GARAGE - REF. ARCHITECT PLANS FOR DETAILS
13	PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
14	PROPOSED R1-1 STOP SIGN (30 IN X 30 IN)
15	PROPOSED R7-8 ADA SIGN (12 IN X 18 IN) VAN STALLS ADD VAN ACCESSIBLE SIGN
16	PROPOSED FIRE LANE NO PARKING SIGN (12 IN X 18 IN)
17	PROPOSED FOREBAY
18	PROPOSED FENCE - REF. LANDSCAPE PLANS FOR DETAILS
19	PROPOSED 4" WIDE PARKING STRIPE (TYP.)
20	PROPOSED GATE - REF. LANDSCAPE PLANS FOR DETAILS
21	PROPOSED GRAVEL POND MAINTENANCE PRIVATE ACCESS ROAD - REF. POND DETAILS
22	PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS
23	PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)
24	PROPOSED STREET SIGN - MUTCD D-03
25	PROPOSED LIGHT POLE (TYP.) - REF. LIGHTING PLANS FOR DETAILS
26	PROPOSED AMENITY AREA - REF. LANDSCAPE PLANS FOR DETAILS
27	PROPOSED DOG PARK WITH FENCE - REF. LANDSCAPE PLANS FOR DETAILS
28	PROPOSED BOLLARD
29	PROPOSED BIKE RACKS (NUMBER PER PLAN) - REF. LANDSCAPE DETAILS
30	4" DIAMETER BOLLARDS
31	PROPOSED FIRE HYDRANT
32	PROPOSED CURB CUT (2' UNLESS OTHERWISE NOTED)
33	PROPOSED STRIPING
34	PROPOSED SIDEWALK CHASE (1' UNLESS OTHERWISE NOTED)
35	PROPOSED WHEEL STOP, NUMBER PER PLAN
36	PROPOSED CURB RAMP PER EL PASO COUNTY STANDARD DRAWINGS SD_2-50.
37	RESERVED PARKING SIGNAGE BY OWNER, TYP.
38	RESERVED PARKING STRIPING IN 4" ALL WHITE LETTERING
39	CURB RAMP PER COLORADO SPRINGS DETAIL D-8A
40	5' SIDEWALK PER COLORADO SPRINGS DETAIL D18

KEY NOTES: EXISTING

1	EX. FIRE HYDRANT	11	EX. STORM MANHOLE	21	EX. STORM SEWER
2	EX. WATER LINE	12	EX. TRAFFIC CONTROL STRUCTURE	22	EX. FIBER OPTIC BOX
3	EX. WATER VALVE	13	EX. UNDERGROUND ELECTRIC LINE	23	EX. TELEPHONE BOX
4	EX. SANITARY SEWER MANHOLE	14	EX. OVERHEAD ELECTRIC LINE	24	EX. STORM GRATE
5	EX. SANITARY SEWER	15	EX. ELECTRIC METER	25	EX. ELECTRICAL EQUIPMENT
6	EX. STORM SEWER INLET	16	EX. STREETLIGHT	26	EX. ELECTRICAL BOX
7	EX. ELECTRIC VAULT	17	EX. TRANSFORMER	27	EX. IRRIGATION EQUIPMENT
8	EX. FIBER OPTIC VAULT	18	EX. WATER METER	28	EX. SIGN
9	EX. GAS LINE	19	EX. ELECTRIC MANHOLE		
10	EX. TELEPHONE LINE	20	EX. TRAFFIC VAULT		



KEYMAP
NTS

NOTES

1. ALL INTERNAL DRIVES TO BE PRIVATE.
2. ALL DIMENSIONS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.
3. SEE LANDSCAPE PLANS FOR OPEN SPACE AND COMMON AREA LOCATIONS AND SIZE DETAILS.
4. SEE FIRE PLAN FOR FIRE LANES AND FIRE TRUCK AUTOTURN.
5. ALL PARKING CURB RADII SHALL BE 4' UNLESS SPECIFIED ON PLANS.
6. NORTHINGS AND EASTINGS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:
STORM INLETS (CURB): MIDPOINT/FLOWLINE
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POLE SIGNS: CENTER OF POLE
ELECTRIC TRANSFORMERS: CORNER OF CONCRETE PAD
BUILDINGS & GARAGES: OUTSIDE FACE OF STUD/EDGE OF SLAB
7. RETAINING WALLS OVER 30" WHERE FALL PROTECTION IS BUILT WITHIN, REFERENCE WALL PLANS AND STRUCTURAL DETAIL. FOR WALLS WHERE PROTECTION RUNS PARALLEL, REFERENCE LANDSCAPE PLANS

LEGEND

---	PROPERTY LINE
---	BUILDING AND LANDSCAPE SETBACK
---	PROPOSED UTILITY EASEMENT
---	EXISTING UTILITY EASEMENT
SDA	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
HDA	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED RIP RAP
	PROPOSED GRAVEL MAINTENANCE PATH
	PROPOSED ASPHALT PATH PER LANDSCAPE PLANS
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED CATCH GUTTER
	PROPOSED SPILL GUTTER
X	PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
---	PROPOSED HAND RAIL
---	PROPOSED SWALE
	PROPOSED HVAC
	PROPOSED LIGHTPOLE
ST	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM INLET, TYPE R
	PROPOSED TRANSFORMER
	PROPOSED AREA DRAIN
	PROPOSED STORM INLET, TYPE C

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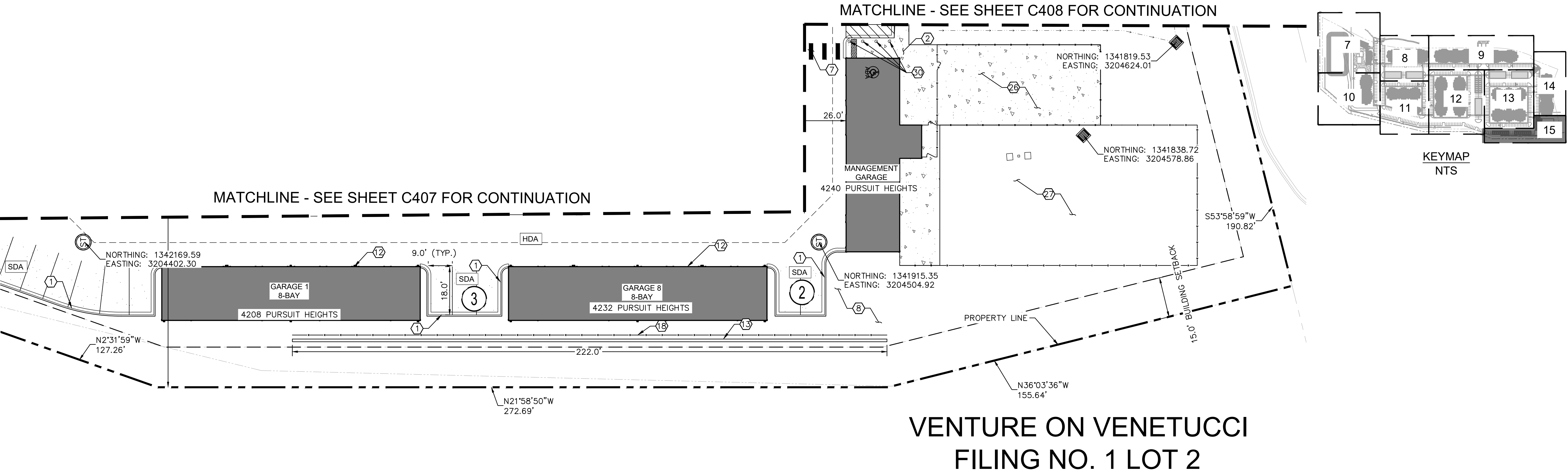
SHEET TITLE

DETAILED SITE PLAN

SHEET NUMBER

14

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KEY NOTES: PROPOSED

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22	PROPOSED TRANSFORMER - REF. MEP PLANS FOR DETAILS		
23	PROPOSED MONUMENT SIGN LOCATION (TO BE APPROVED UNDER SEPARATE PERMIT)		

NOTES

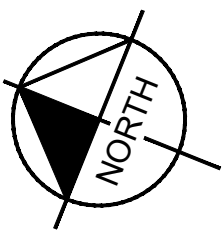
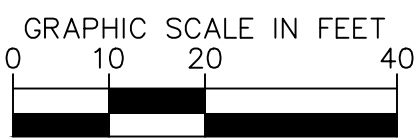
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KEY NOTES: EXISTING

1	EX. FIRE HYDRANT	15	EX. ELECTRIC METER
2	EX. WATER LINE	16	EX. STREETLIGHT
3	EX. WATER VALVE	17	EX. TRANSFORMER
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LEGEND

	PROPERTY LINE
	BUILDING AND LANDSCAPE SETBACK
	PROPOSED UTILITY EASEMENT
	EXISTING UTILITY EASEMENT
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED RIP RAP
	PROPOSED GRAVEL MAINTENANCE PATH
	PROPOSED ASPHALT PATH PER LANDSCAPE PLANS
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED PARKING COUNT (ELECTRIC VEHICLE SPACE AS NOTED WITH AN "EV")
	PROPOSED HAND RAIL
	PROPOSED SWALE
	PROPOSED HVAC
	PROPOSED LIGHTPOLE



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619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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PLANNER / LANDSCAPE ARCHITECT

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Greenwood Village, CO 80111 (303) 228-2300

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

PROJECT INFO

DATE: 03/14/2025
PROJECT MGR: MTH
PREPARED BY: FCR

ENTITLEMENT

DATE: BY: DESCRIPTION:

DETAILED SITE PLAN

15

SHEET NUMBER

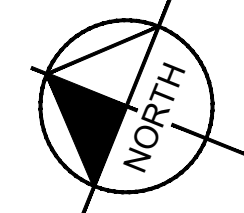
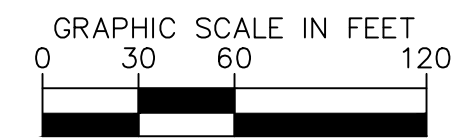
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- PROPERTY LINE
--- PROPOSED EASEMENT LINE
--- EXISTING STORM SEWER
--- PROPOSED STORM SEWER
--- W --- EXISTING WATER LINE
--- W --- PROPOSED WATER LINE
--- PROPOSED FIRE HYDRANT
--- PROPOSED WATER VALVE
--- PROPOSED TEE
--- PROPOSED WATER BEND W/ THRUST BLOCK
--- EXISTING FIRE HYDRANT
--- TRANSFORMER

- UTILITY KEY NOTES
- 1 PRIVATE SANITARY SEWER PIPE
 - 2 PRIVATE SANITARY SEWER MANHOLE
 - 3 PRIVATE SANITARY SEWER SERVICE LINE
 - 4 PUBLIC WATER MAIN
 - 5 WATER SERVICE LINE
 - 6 FIRE SERVICE LINE
 - 7 FIRE HYDRANT
 - 8 FDC
 - 9 PUBLIC SANITARY SEWER PIPE
 - 10 STORM PIPE (PRIVATE)
 - 11 STORM MANHOLE (PRIVATE)
 - 12 PUBLIC SANITARY SEWER MANHOLE
 - 13 GAS METER
 - 14 ELECTRIC METER

- GENERAL NOTES
1. GAS METERS MUST BE A MINIMUM OF 3--FEET FROM DOORS, OPERABLE WINDOWS, OR OPENINGS IN WALLS.





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OVERALL UTILITY PLAN

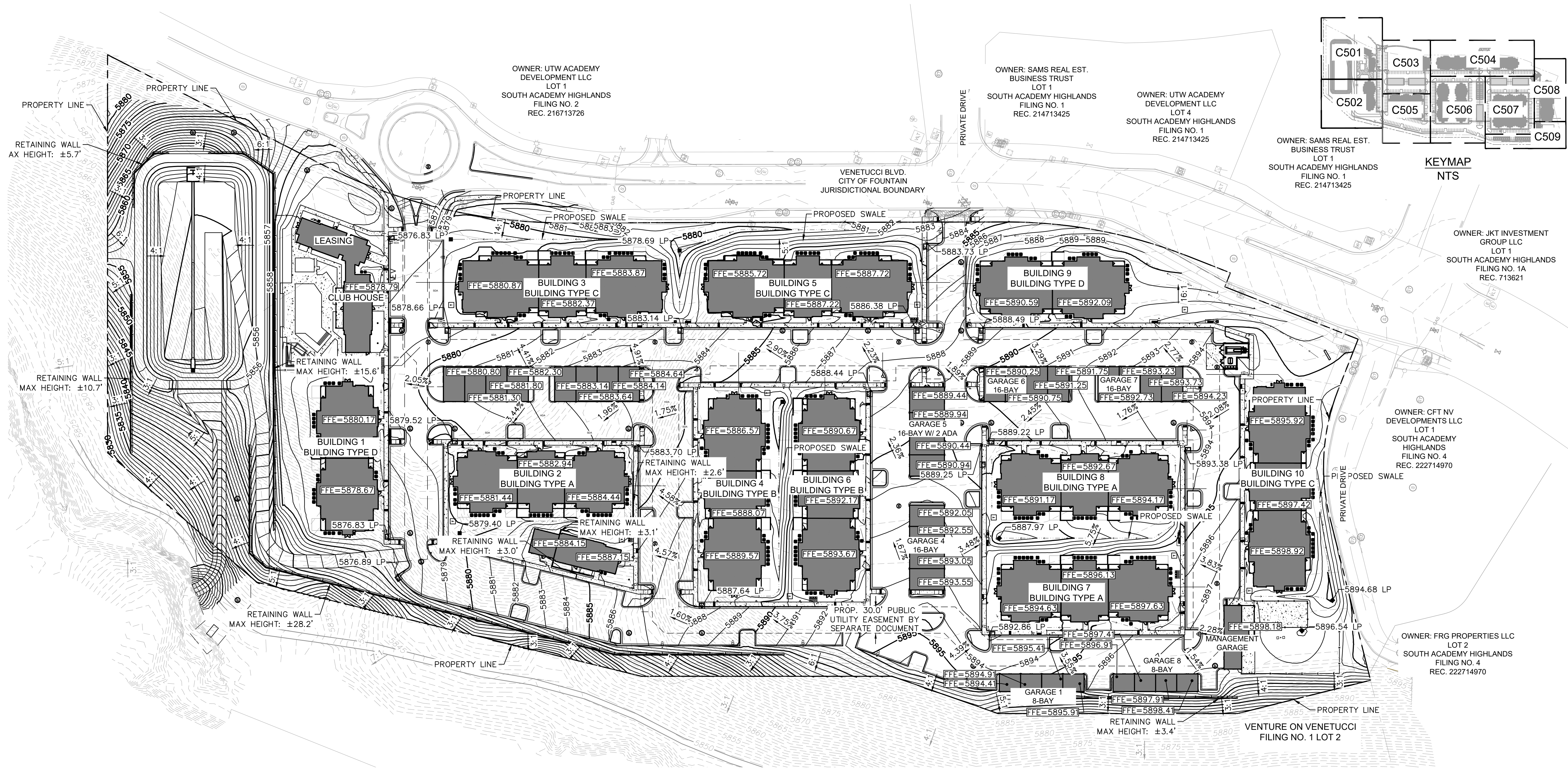
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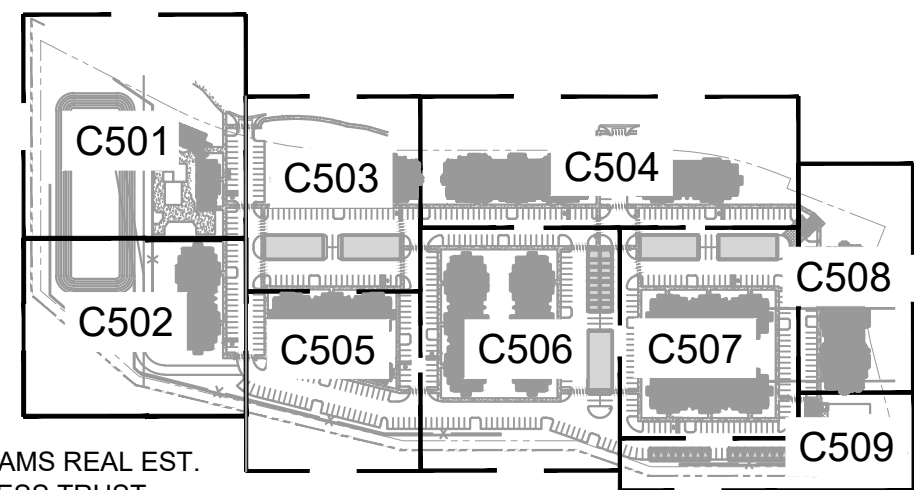
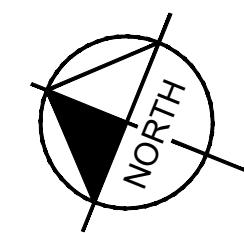
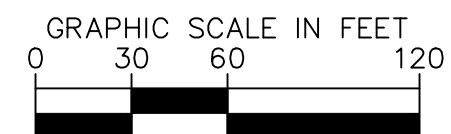
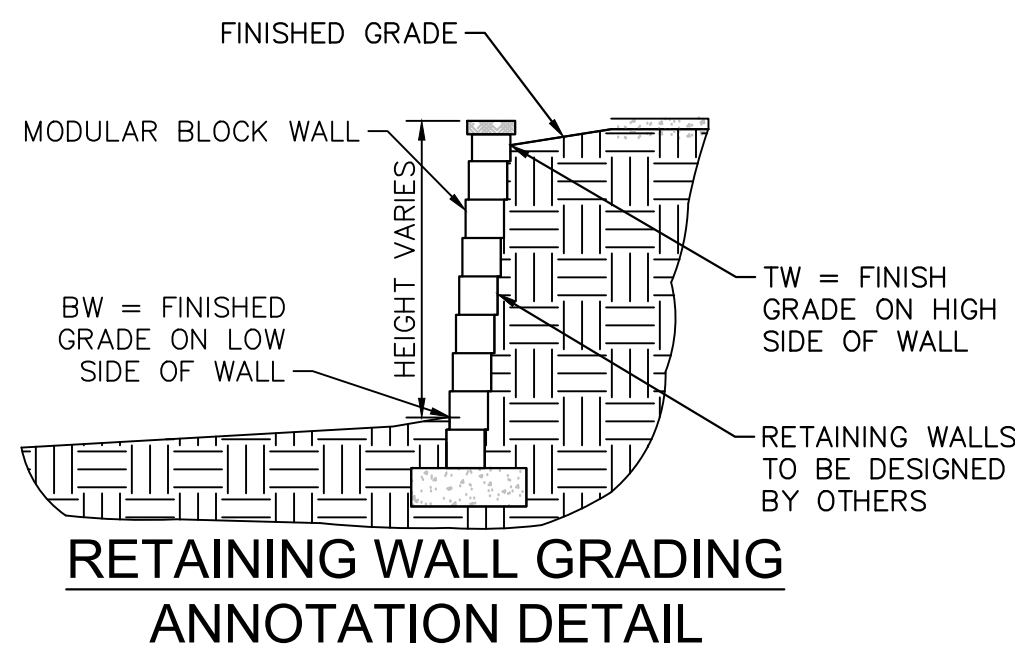
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LEGEND

---	PROPERTY LINE		PROP. SIDEWALK
---	BUILDING SETBACK	XXXX	PROP. MAJOR CONTOUR
---	PROP. ESMT	XXXX	PROP. MINOR CONTOUR
---	PROP. SWALE	XXXX	EX. MAJOR CONTOUR
---	PROP. CATCH GUTTER	XXXX	EX. MINOR CONTOUR
---	PROP. SPILL GUTTER		
X.XX%	3:1		PROP. SLOPE ARROW
X.XX%	3:1		EX. SLOPE ARROW



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OVERALL GRADING PLAN

17

P:\Thompson Thirt(Venetucci Boulevard\Drawings)\Landscape\VENETUCCI\VENETUCCI.dwg (LS NOTES & SCHEDULES) 3/13/2025 1:24:44 PM jsmith

LANDSCAPE NOTES

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- SOD TO BE KENTUCKY BLUEGRASS BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- DECORATIVE ROCK MULCH: 3/4" Breckstone Gold; AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL DECORATIVE ROCK MULCH AREAS.
- ALL PLANTS NOT LABELED AS FULFILLING A COUNTY LANDSCAPE REQUIREMENT ARE "EXTRA" PER COUNTY STANDARDS, AND WILL BE INSTALLED AT THE OWNER'S DISCRETION.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.

LANDSCAPE REQUIREMENTS

Landscape Setbacks and Buffers

See Code Section 6.2.2.B.1

Street Name or Zone Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req. / Prov.
East (Venetucci Blvd)	PRINCIPAL ARTERIAL	25' / 25'	1,505'	1 / 20'	76 / 76
South (Walmart Heights)	NON-ARTERIAL	15' / 15'	400'	1 / 25'	16 / 16
Shrub Substitutes Required / Provided	Ornamental Grass Sub. Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided		
0 / 0	0 / 0	VB	75% / 75%		
0 / 0	0 / 0	SB	75% / 75%		

Internal Landscaping

See Code Section 6.2.2.E

Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required/Provided	Internal Trees (1/500 SF) Required/Provided
706,948 SF	15%	106,042 / 106,042	213/213
Shrub Substitutes Required / Provided	Ornamental Grass Substitutes Required/Provided	Internal Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
0 / 0	0 / 0	--	75% / 75%

Motor Vehicle Lots

See Code Section 6.2.2.C.1

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required /Provided	Plant Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)
579	39 / 39	MV	n/a	0'
2/3 Length of Frontage (ft.)	Length of Screening Wall or Berm Provided	Min. 3' Screening Plants Req. /Prov.	Evergreen Plants Veg. Req. / Prov.	Percent Ground Plane Veg. Req. / Prov.
0'	0'	0 / 0	0 / 0	75% / 75%

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
DECIDUOUS TREES							

	Cs	5	Catalpa speciosa / Northern Catalpa	50'	30'	1.5" Cal.	B&B
	Co	12	Celtis occidentalis / Common Hackberry	50'	50'	1.5" Cal.	B&B
	Fg	28	Fraxinus pennsylvanica / Green Ash	60'	40'	1.5" Cal.	B&B
	Qm	12	Quercus macrocarpa / Burr Oak	60'	60'	1.5" Cal.	B&B
	Qc	12	Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak	40'	15'	1.5" Cal.	B&B
	Tr	9	Tilia tomentosa / Silver Linden	50'	40'	2.5" Cal.	B&B

EVERGREEN TREES

	Ppb	10	Picea pungens `Baby Blueeyes` / Baby Blue Eyes Spruce	30'	15'	6` HT	B&B
	Ped	64	Pinus edulis / Pinon Pine	25'	20'	6`	B&B
	Ppo	36	Pinus ponderosa / Ponderosa Pine	65'	30'	6`	B&B

ORNAMENTAL TREES

	Ao	7	Aesculus glabra / Ohio Buckeye	30'	30'	1.5" Cal.	B&B
	As	40	Amelanchier alnifolia / Serviceberry	20'	12`	#5 CONT.	CONT
	Fne	91	Forestiera neomexicana / New Mexican Privet	12'	8'	5 GAL	CONT
	Mp	22	Malus x `Prairifire` / Prairifire Crab Apple	20'	20'	1.5" Cal.	B&B

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
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DECIDUOUS SHRUBS

	Bg	49	Berberis thunbergii `Golden Rocket` / Golden Rocket Japanese Barberry	4'	2.5`	5 GAL	CONT
	Cf	223	Cornus stolonifera 'Farrow' TM / Arctic Fire Red Twig Dogwood	4'	4'	5 GAL	
	Ena	105	Ericameria nauseosa / Rubber Rabbitbrush	5'	5'	5 GAL	CONT
	Fpa	40	Fallugia paradoxa / Apache Plume	6'	6'	5 GAL	CONT
	Pmo	68	Physocarpus monogynus / Mountain Ninebark	4'	4'	5 GAL	CONT

EVERGREEN SHRUBS

	Jbc	109	Juniperus horizontalis `Blue Chip` / Blue Chip Juniper	1'	8'	5 GAL	CONT
	Jsg	160	Juniperus x media `Sea Green` / Sea Green Juniper	6'	8'	5 GAL	CONT
	Pmb	43	Pinus mugo `Big Tuna` / Big Tuna Mugo Pine	8'	6'	5 GAL	CONT
	Yel	11	Yucca elata / Soaptree Yucca	15'	5'	5 GAL	CONT

ANNUALS/PERENNIALS

	Ka	125	Kniphofia x `Alcazar` / Alcazar Red Hot Poker	2'	2'	#1 CONT	CONT
	Pa2	159	Perovskia atriplicifolia / Russian Sage	3.5'	3.5'	5 GAL	CONT
	Rp	103	Ratibida pinnata / Yellow Coneflower	4'-6'	1.5'	#1 CONT	CONT
	Rfu	27	Rudbeckia fulgida / Black-Eyed Susan/Coneflower	2'	2'	1 GAL	CONT
	Sa	155	Sedum x `Autumn Fire` / Autumn Fire Sedum	2'	1.5`-2`	#3 CONT	CONT
	Ygl	69	Yucca glauca / Soapweed	4'	4'	1 GAL	CONT

ORNAMENTAL GRASSES

	Cb	373	Calamagrostis brachytricha / Korean Feather Reed Grass	4'	3'	1 GAL	CONT
	Clt	1	Chasmanthium latifolium / Northern Sea Oats	3'	2'	1 GAL	CONT
	Sh	156	Sporobolus heterolepis / Prairie Dropseed	2.5'	2.5'	#3 CONT	CONT

GROUND COVER SCHEDULE

	DETENTION SEED MIX El Paso County Conservation District All Purpose Mix Big Bluestem - 20% Blue Grama - 10% Green Needlegrass - 10% Western Wheatgrass - 20% Sideoats Grama - 10% Switchgrass - 10% Prairie Sandreed - 10% Yellow Indiangrass - 10% Seeding will be in compliance with SCM Ch. 5 Hydroseed @ 19.3 PLS/acre	24,139 sf
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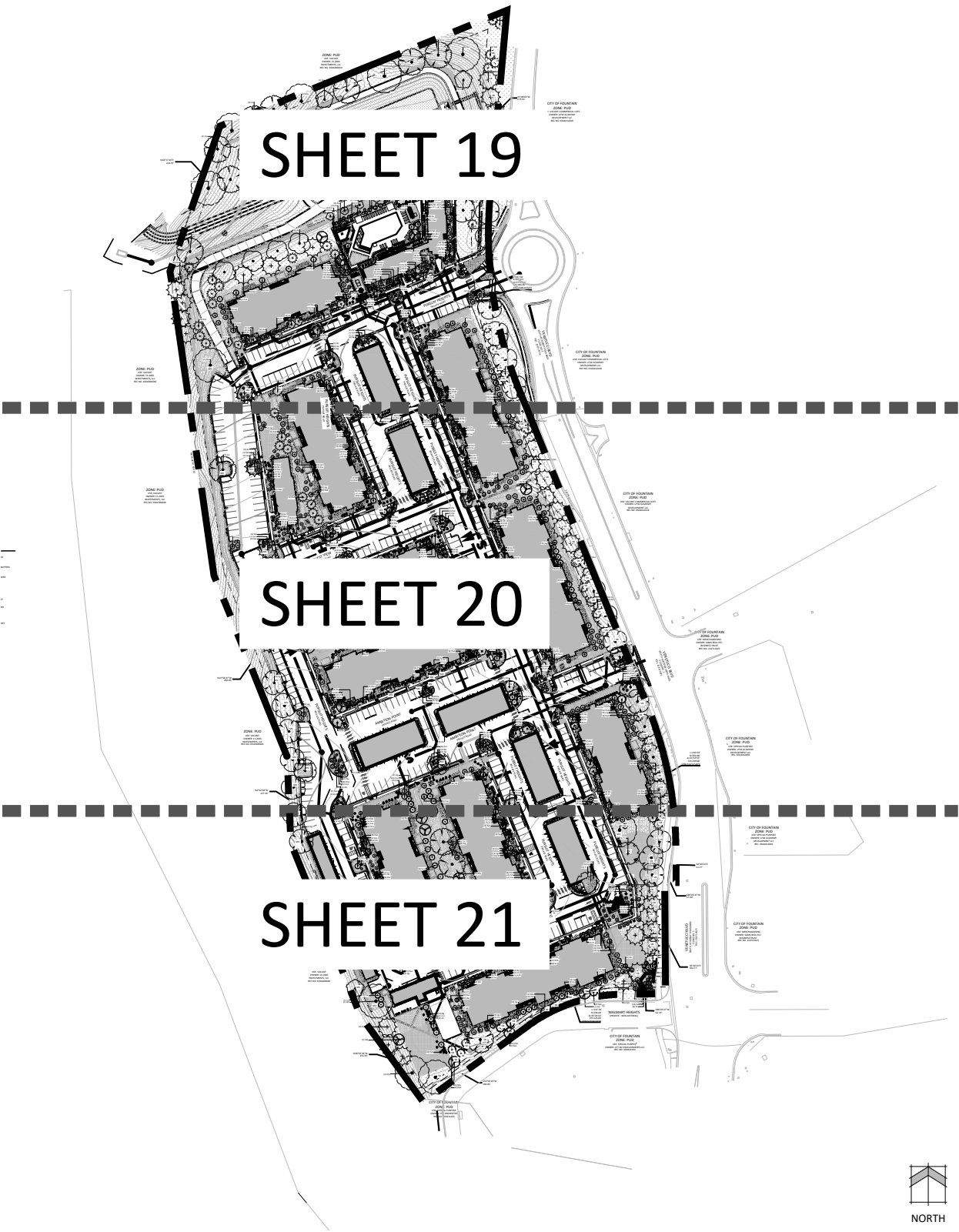
	NATIVE SEED MIX El Paso County Conservation District All Purpose Mix Big Bluestem - 20% Blue Grama - 10% Green Needlegrass - 10% Western Wheatgrass - 20% Sideoats Grama - 10% Switchgrass - 10% Prairie Sandreed - 10% Yellow Indiangrass - 10% Seeding will be in compliance with SCM Ch. 5 Hydroseed @ 19.3 PLS/acre Only to be planted in areas where development has created a ground disturbance. In undisturbed areas existing ground cover to remain.	112,442 sf
--	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------

	DECORATIVE ROCK MULCH	121,051 sf
--	-----------------------	------------

	WOOD MULCH	34,780 sf
--	------------	-----------

	ARTIFICIAL TURF	8,621 sf
--	-----------------	----------

	TURF SOD Kentucky Bluegrass Blend	16,036 sf
--	--------------------------------------	-----------



OVERALL SITE - KEY MAP



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619 N. Cascade Avenue, Suite 200
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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

OTHER INFO

PROJECT INFO

DATE: 11/05/2024
PROJECT MGR: PROJECT MGR
PREPARED BY: J. SMITH

STAMP

ENTITLEMENT

ISSUE INFO

DATE: 03/14/2025 BY: JS DESCRIPTION: PER EPC COMMENTS

ISSUE / REVISION

LANDSCAPE NOTES & SCHEDULES

SHEET TITLE

18

18 OF 43

SHEET NUMBER

PLAN FILE #

VENTURE ON VENETUCCI
SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, COLORADO
FINAL LANDSCAPE PLAN

GROUND COVER SCHEDULE

DETENTION SEED MIX 24,139 sf
El Paso County Conservation District All Purpose Mix
Big Bluestem - 20%
Blue Grama - 10%
Green Needlegrass - 10%
Western Wheatgrass - 20%
Sideoats Grama - 10%
Switchgrass - 10%
Prairie Sandreed - 10%
Yellow Indiangrass - 10%
Seeding will be in compliance with SCM Ch. 5
Hydroseed @ 19.3 PLS/acre

NATIVE SEED MIX 112,442 sf
El Paso County Conservation District All Purpose Mix
Big Bluestem - 20%
Blue Grama - 10%
Green Needlegrass - 10%
Western Wheatgrass - 20%
Sideoats Grama - 10%
Switchgrass - 10%
Prairie Sandreed - 10%
Yellow Indiangrass - 10%
Seeding will be in compliance with SCM Ch. 5
Hydroseed @ 19.3 PLS/acre
Only to be planted in areas where development has created a ground disturbance. In undisturbed areas existing ground cover to remain.

DECORATIVE ROCK MULCH 121,051 sf

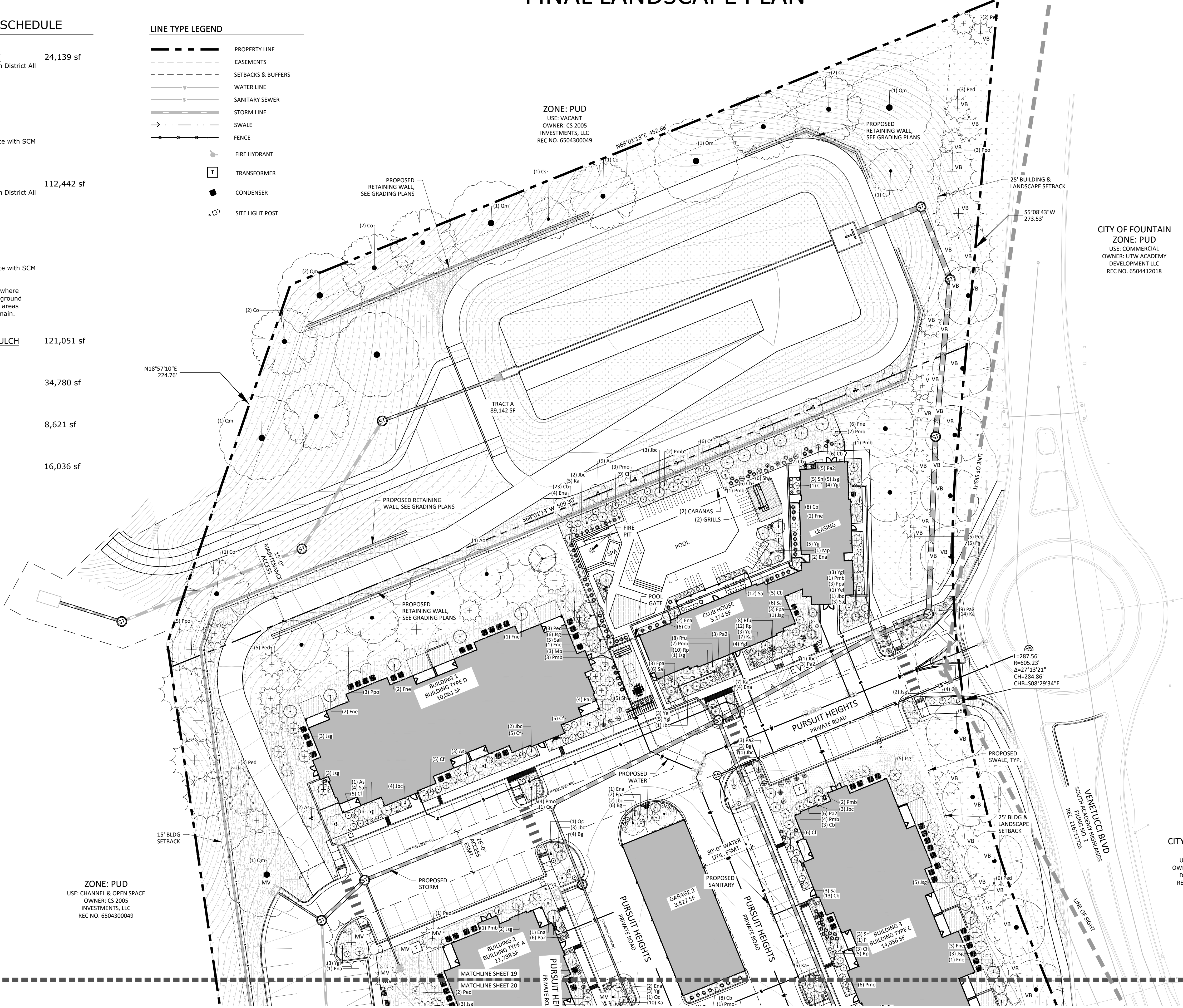
WOOD MULCH 34,780 sf

ARTIFICIAL TURF 8,621 sf

TURF SOD 16,036 sf
Kentucky Bluegrass Blend

LINE TYPE LEGEND

- PROPERTY LINE
- EASEMENTS
- SETBACKS & BUFFERS
- WATER LINE
- SANITARY SEWER
- STORM LINE
- SWALE
- FENCE
- FIRE HYDRANT
- TRANSFORMER
- CONDENSER
- SITE LIGHT POST

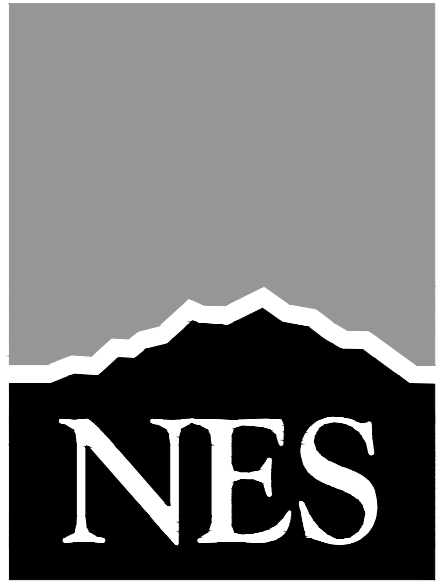


CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY
DEVELOPMENT LLC
REC NO. 6504412018

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY
DEVELOPMENT LLC
REC NO. 6504412018

ZONE: PUD
USE: CHANNEL & OPEN SPACE
OWNER: CS 2005
INVESTMENTS, LLC
REC NO. 6504300049

ZONE: PUD
USE: VACANT
OWNER: CS 2005
INVESTMENTS, LLC
REC NO. 6504300049



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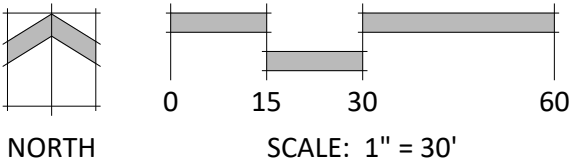
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FINAL LANDSCAPE PLAN

19

19 OF 43



SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, COLORADO
FINAL LANDSCAPE PLAN

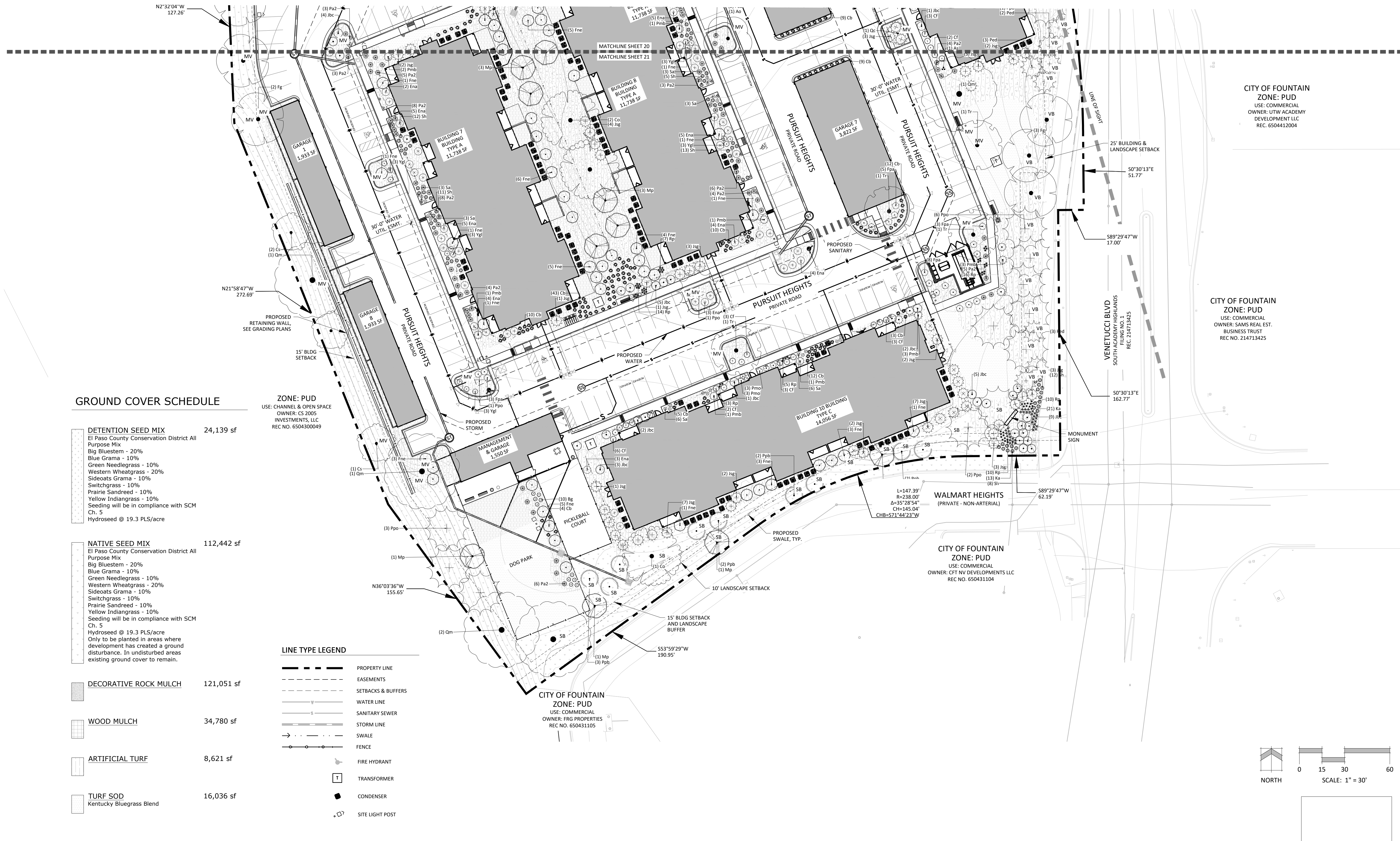


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CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: UTW ACADEMY
DEVELOPMENT LLC
REC. 6504412004

CITY OF FOUNTAIN
ZONE: PUD
USE: COMMERCIAL
OWNER: SAMS REAL EST.
BUSINESS TRUST
REC NO. 214713425

VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

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PROJECT MGR:	PROJECT MGR
PREPARED BY:	J. SMITH

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FINAL LANDSCAPE PLAN

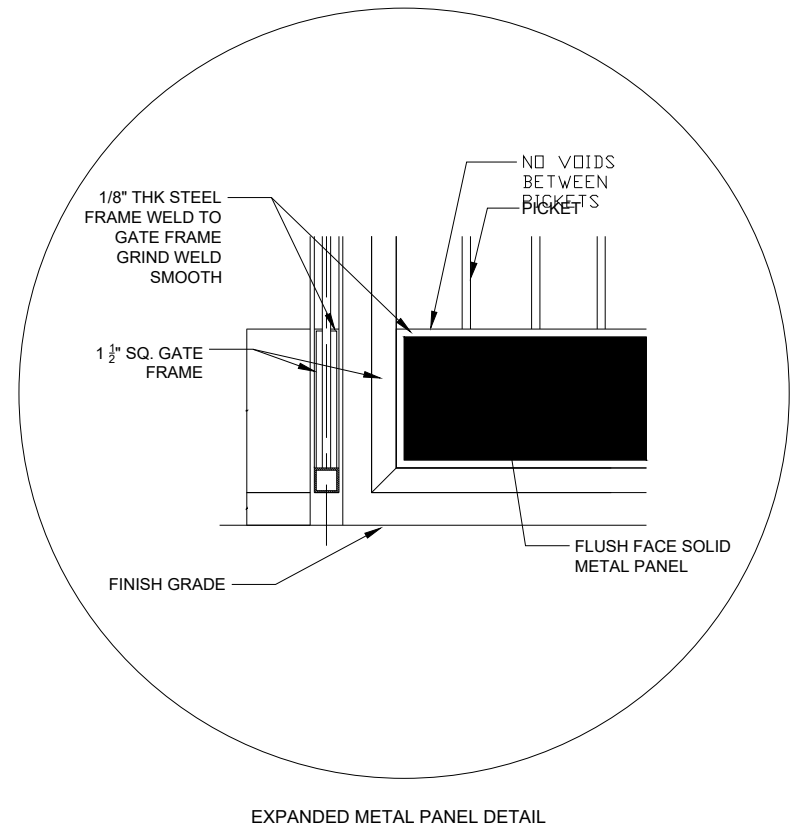
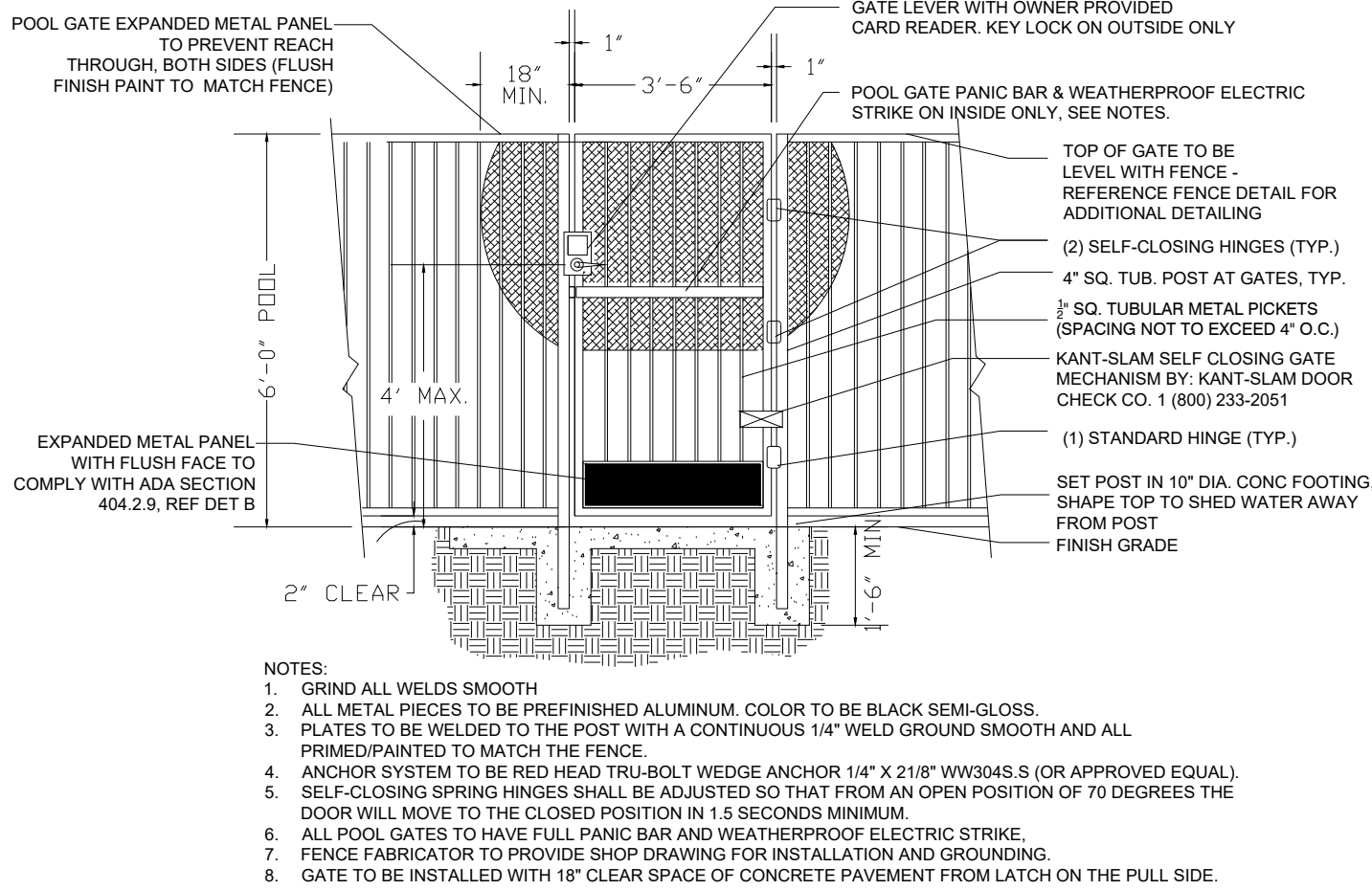
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21 OF 43

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VENTURE ON VENETUCCI

SECTION 4 TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO FINAL LANDSCAPE PLAN



1

POOL GATE

NTS

P-TT-35

2

GRILL STATION

NTS

P-TT-61



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LANDSCAPE DETAILS

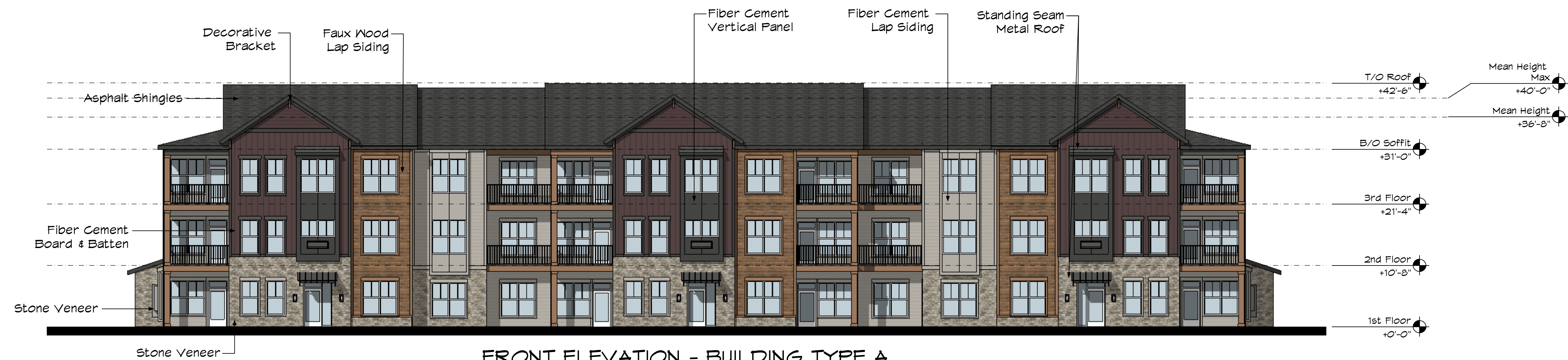
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SHEET NUMBER

23

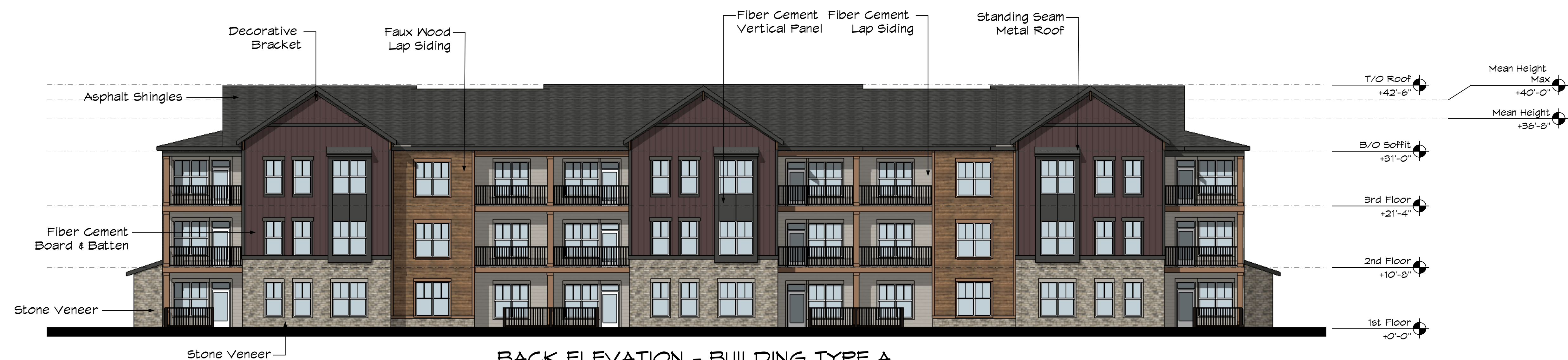
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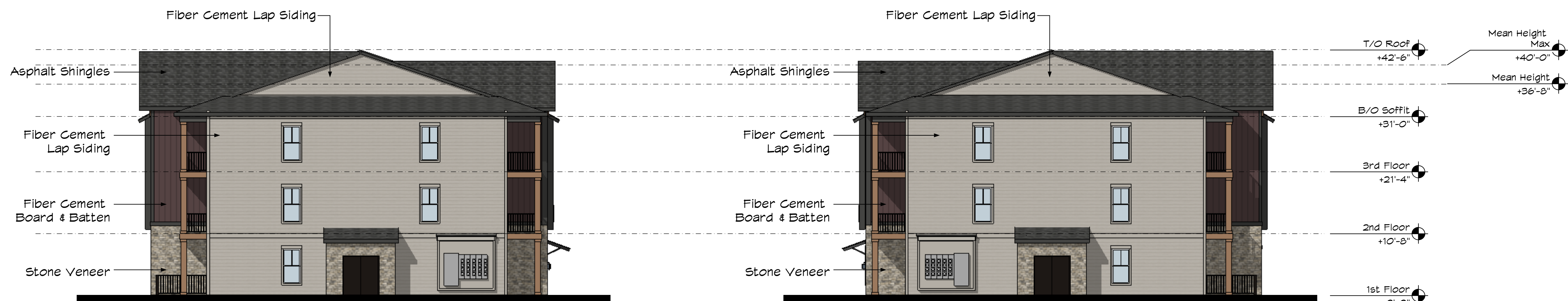
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BACK ELEVATION - BUILDING TYPE A

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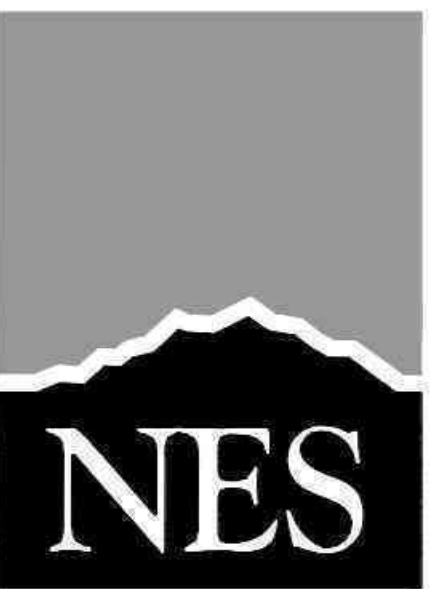


SIDE ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE A

Scale: 3/32" = 1'-0"



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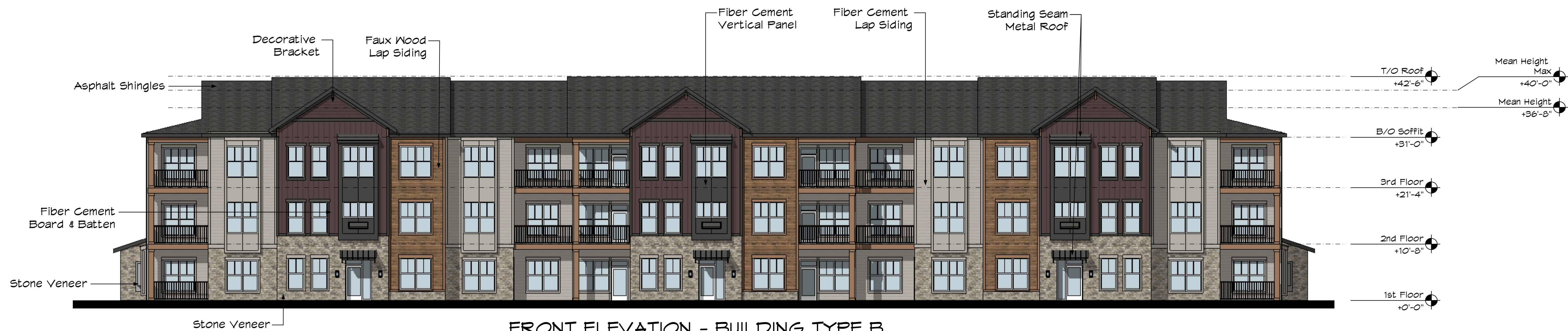
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ARCHITECTURAL ELEVATIONS

24

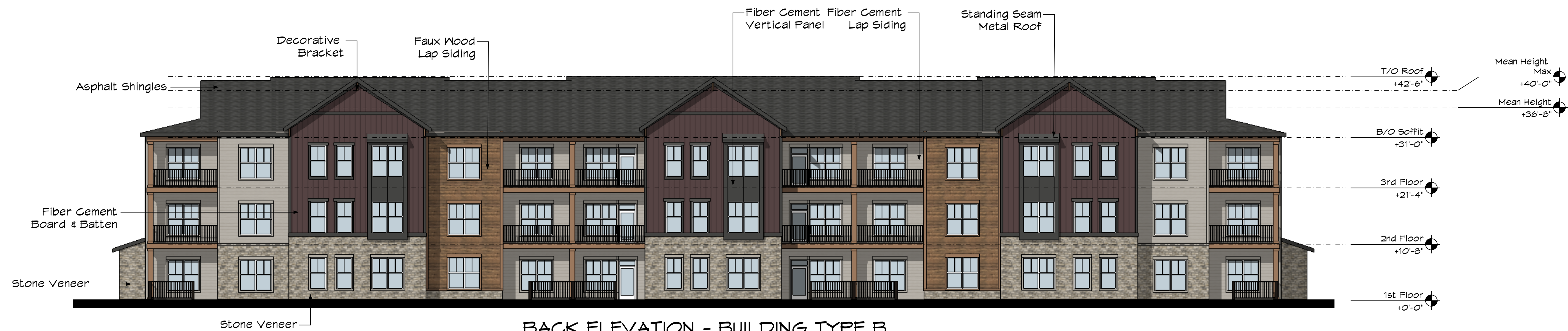
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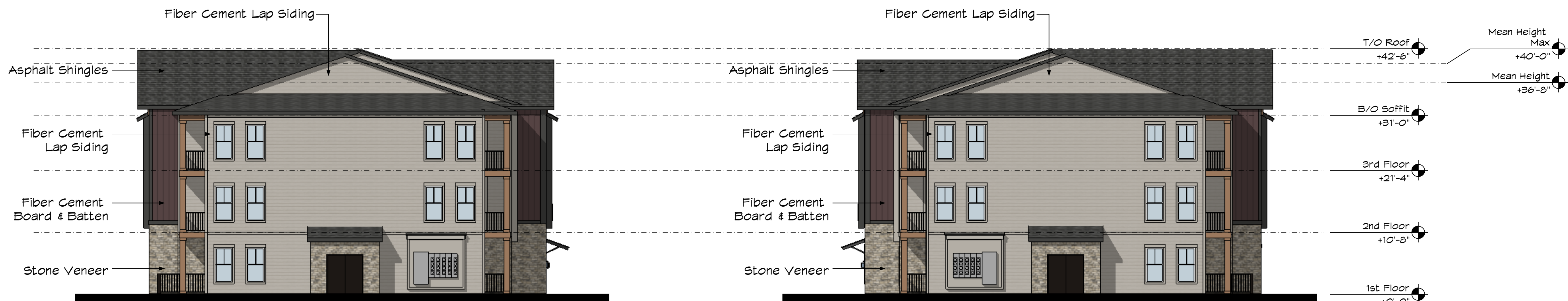
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BACK ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE B

Scale: 3/32" = 1'-0"



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25

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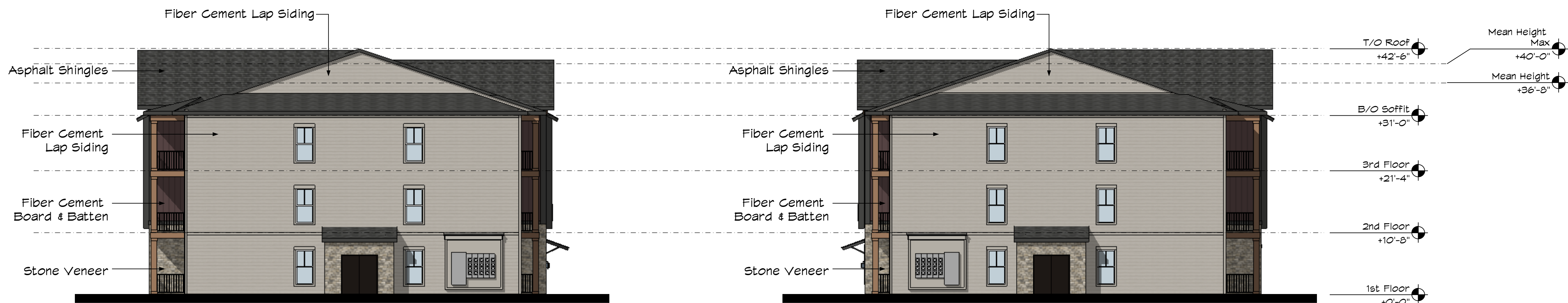
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FRONT ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



BACK ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



SIDE ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"

SIDE ELEVATION - BUILDING TYPE C
Scale: 3/32" = 1'-0"



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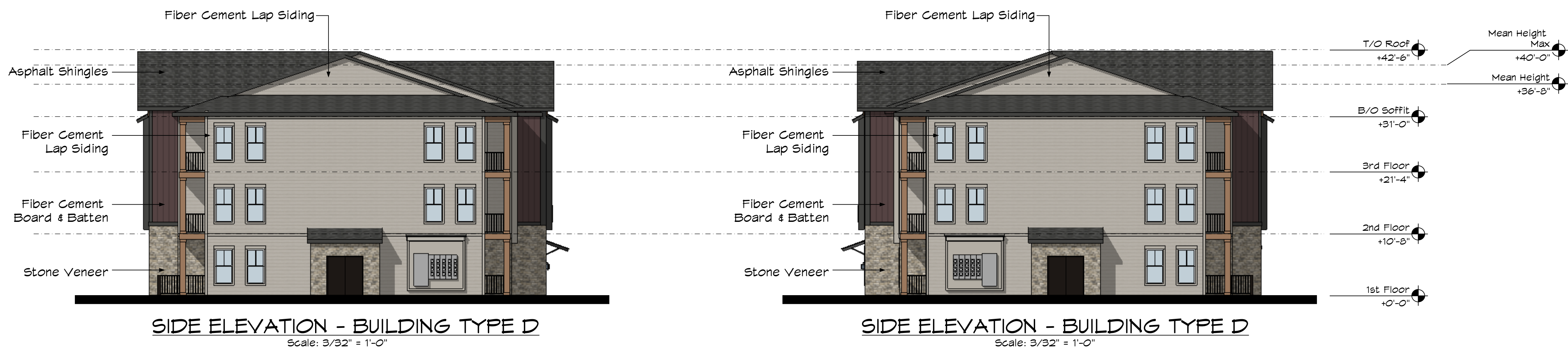
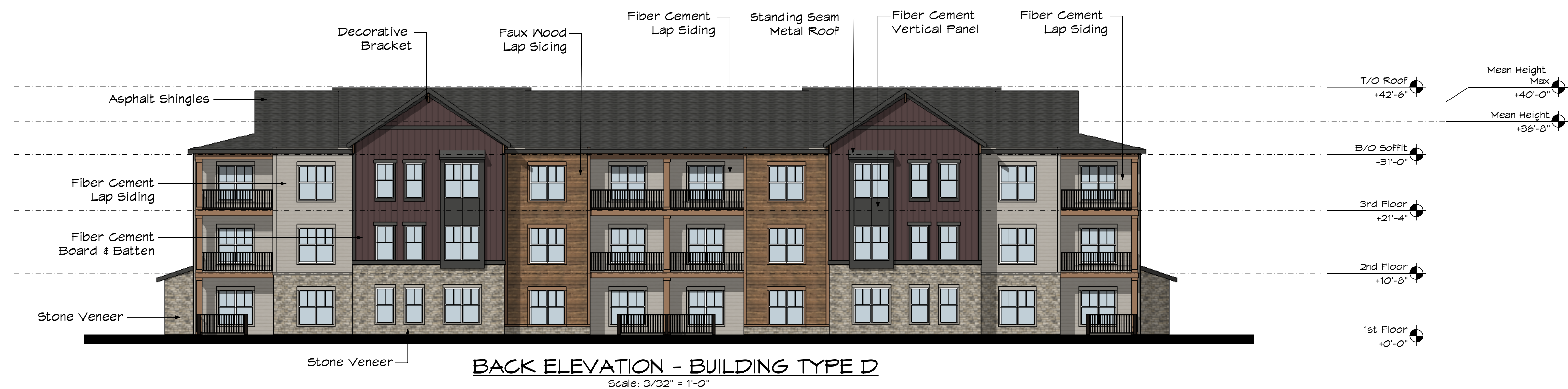
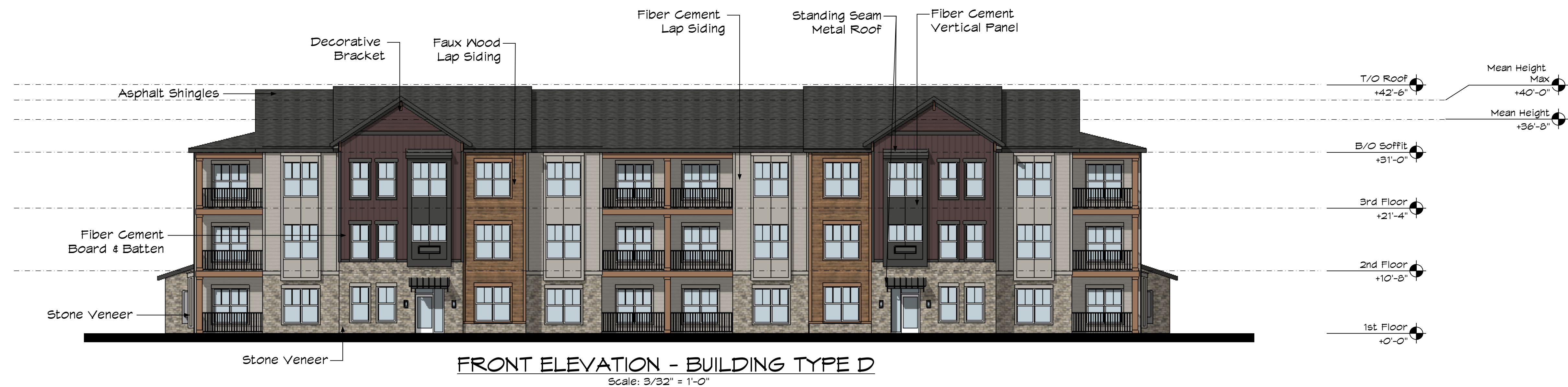
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ARCHITECTURAL
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26
26 OF 43
CPC #



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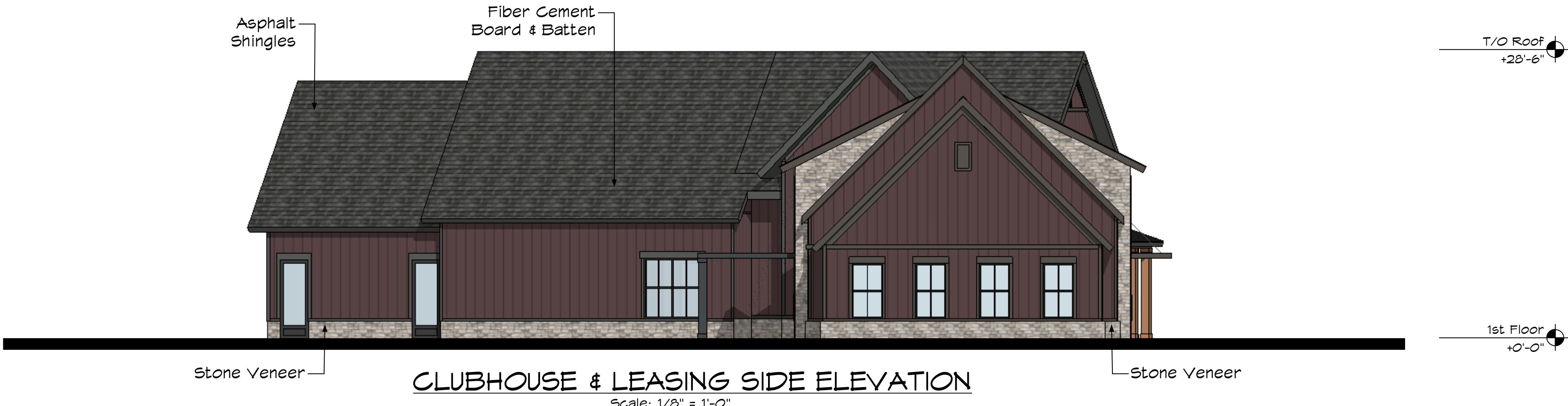
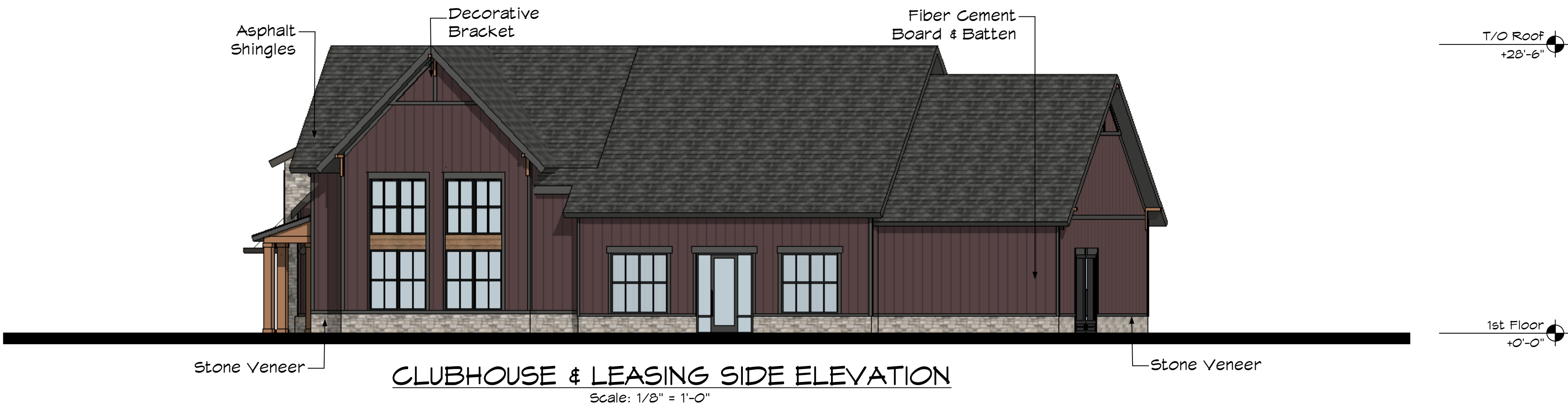
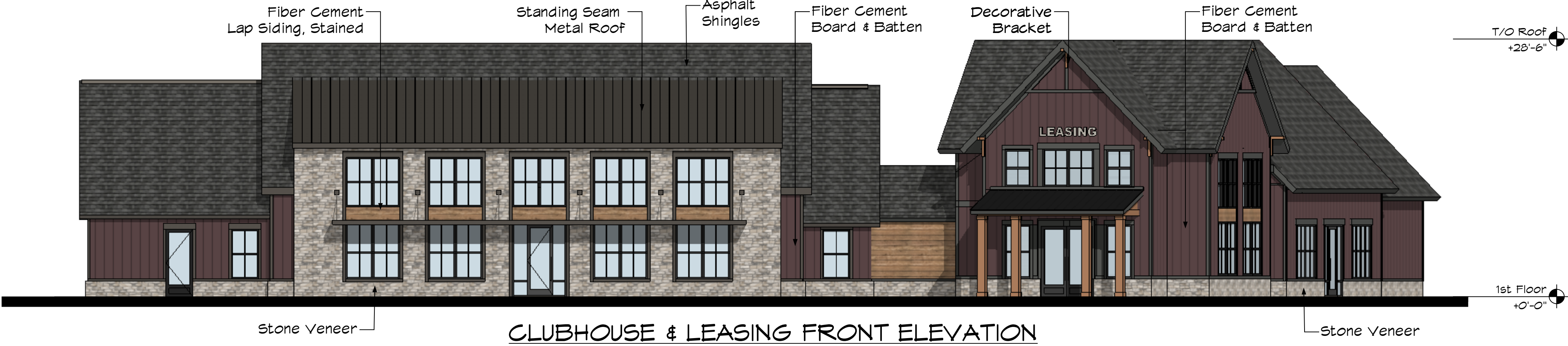
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27

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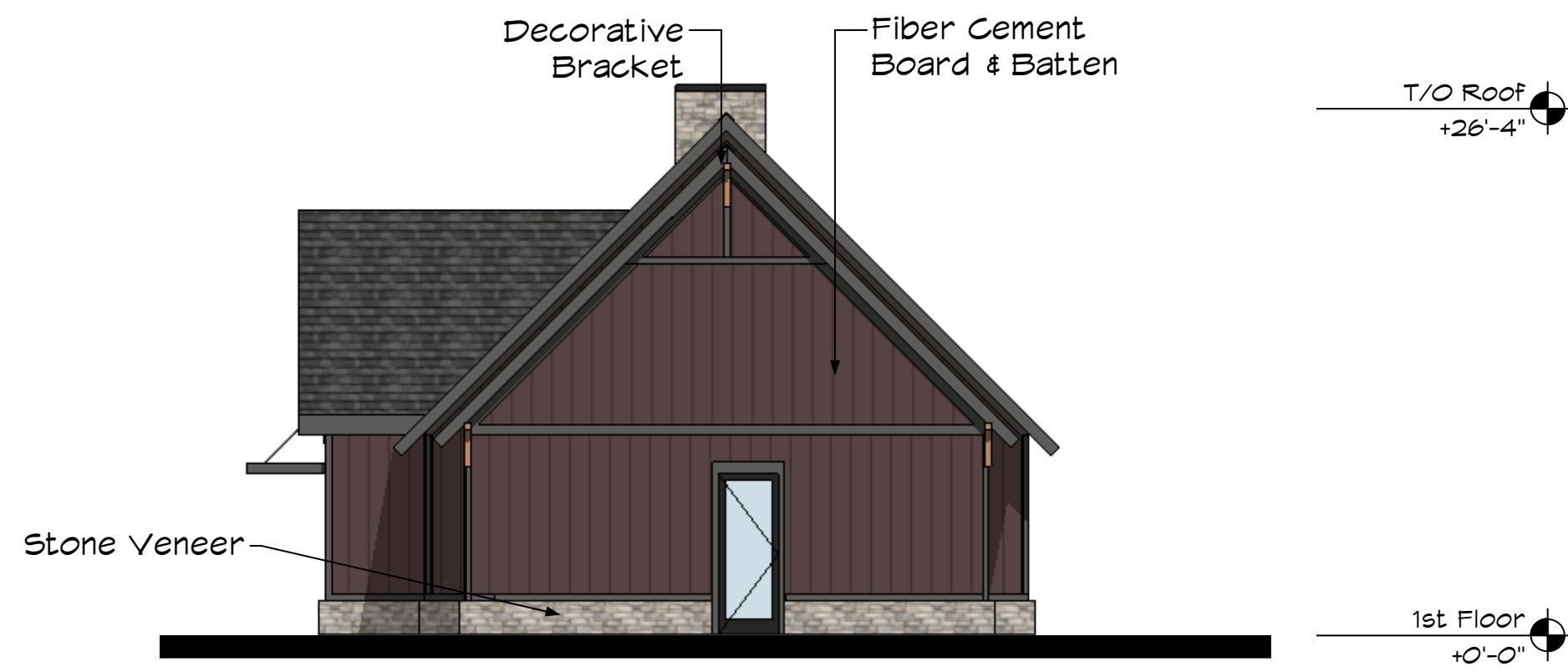
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PROJECT MGR: PROJECT MGT
PREPARED BY: PREPARED BY

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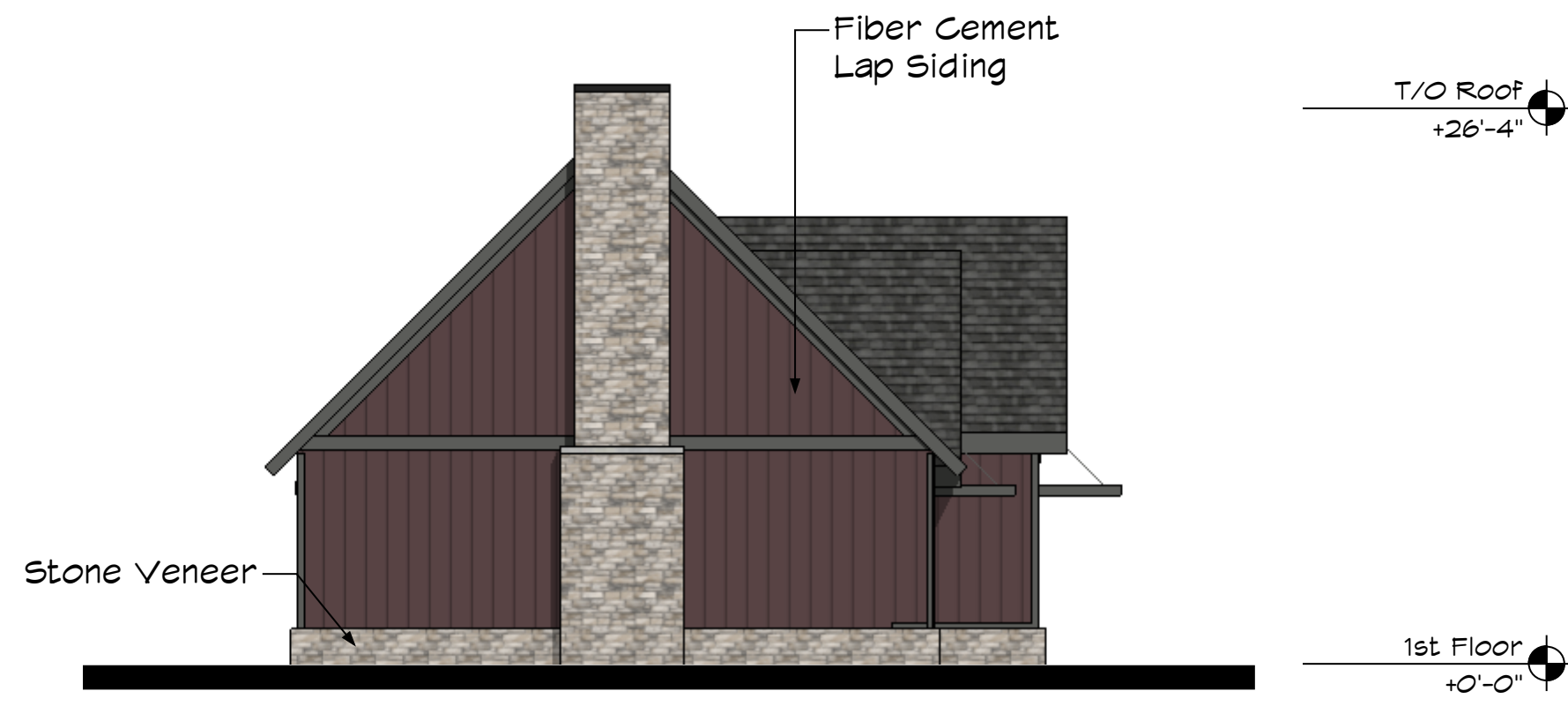
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ARCHITECTURAL ELEVATIONS

28
28 OF 43
CPC #



FITNESS FRONT ELEVATION
Scale: 1/8" = 1'-0"



FITNESS BACK ELEVATION
Scale: 1/8" = 1'-0"



FITNESS SIDE ELEVATION
Scale: 1/8" = 1'-0"



FITNESS SIDE ELEVATION
Scale: 1/8" = 1'-0"



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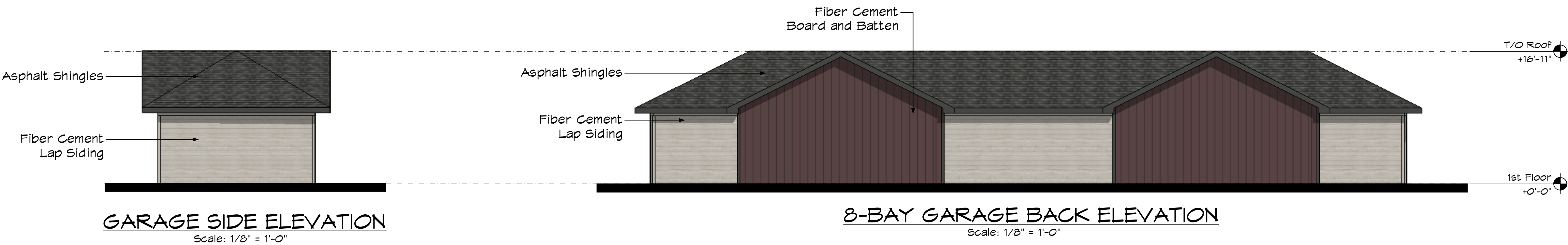
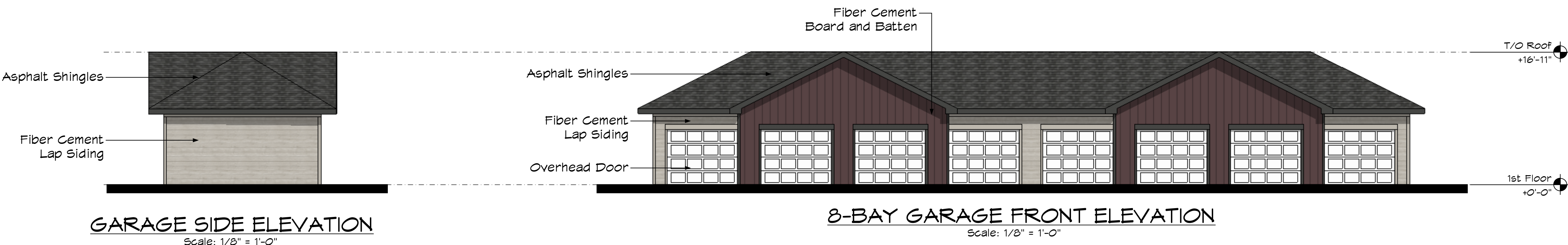
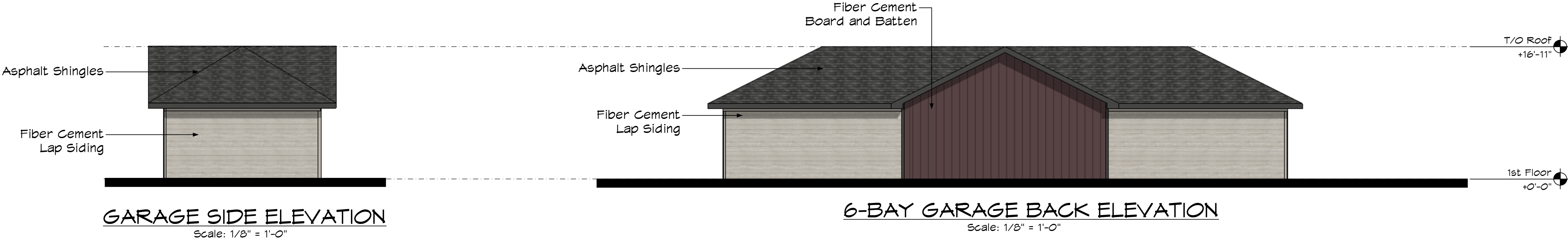
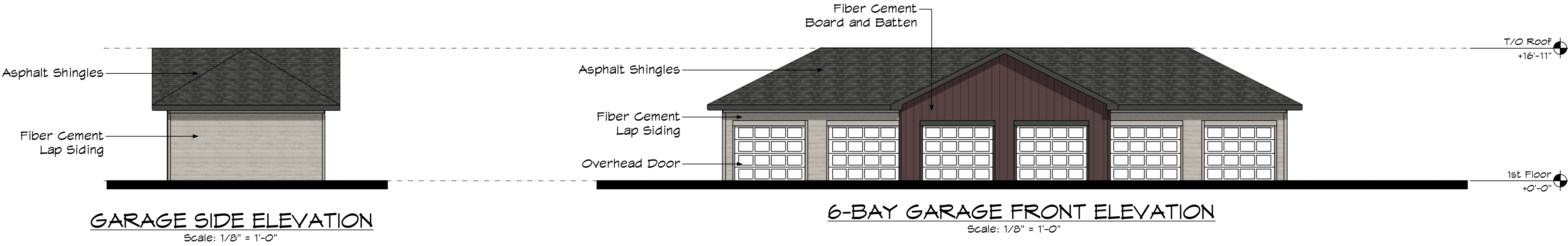
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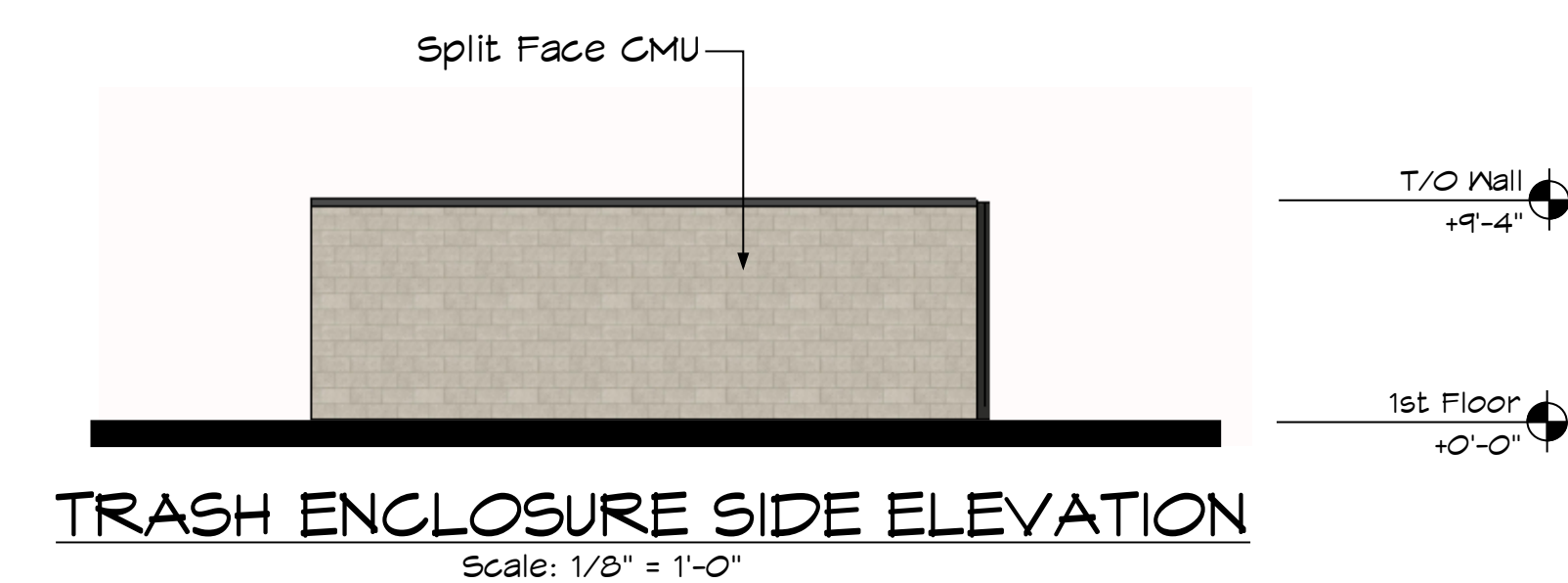
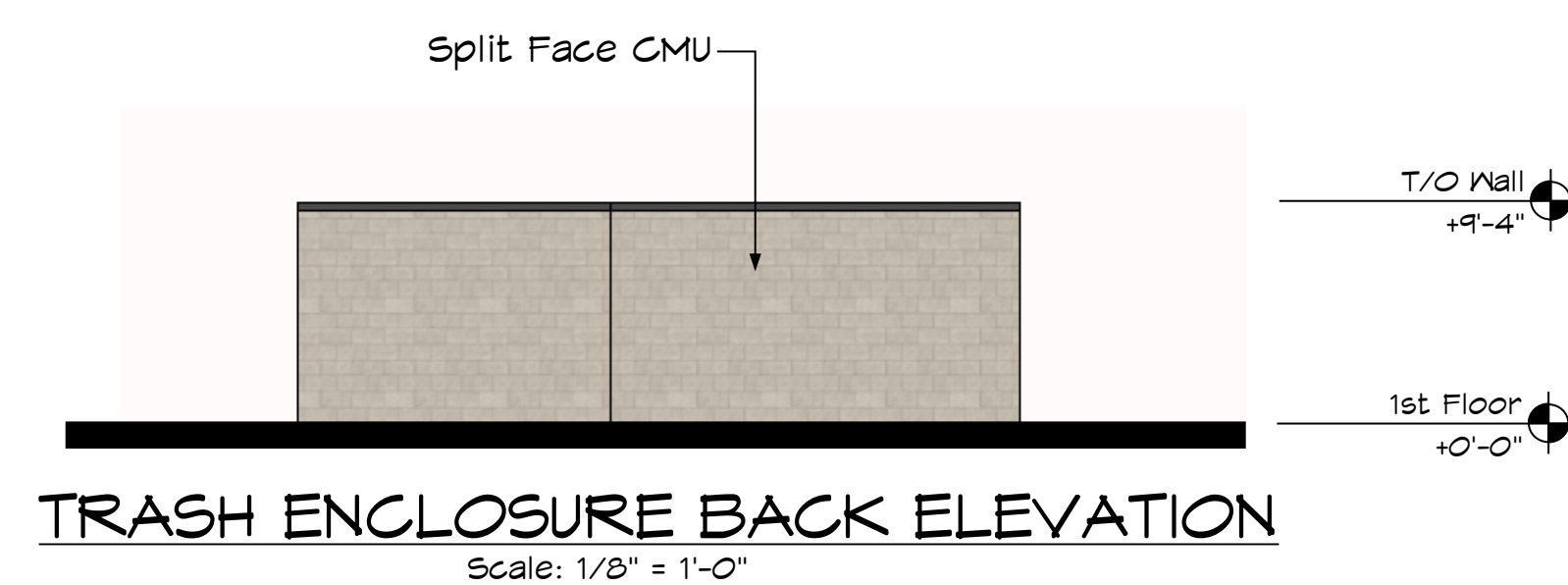
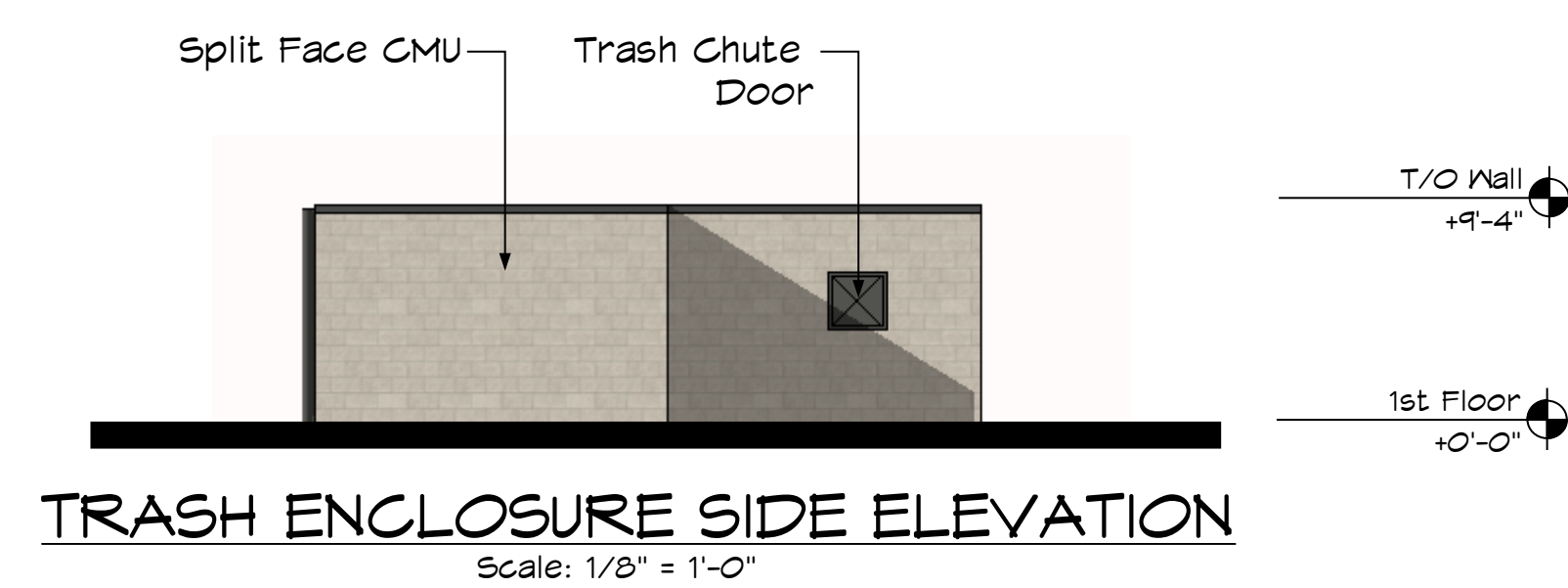
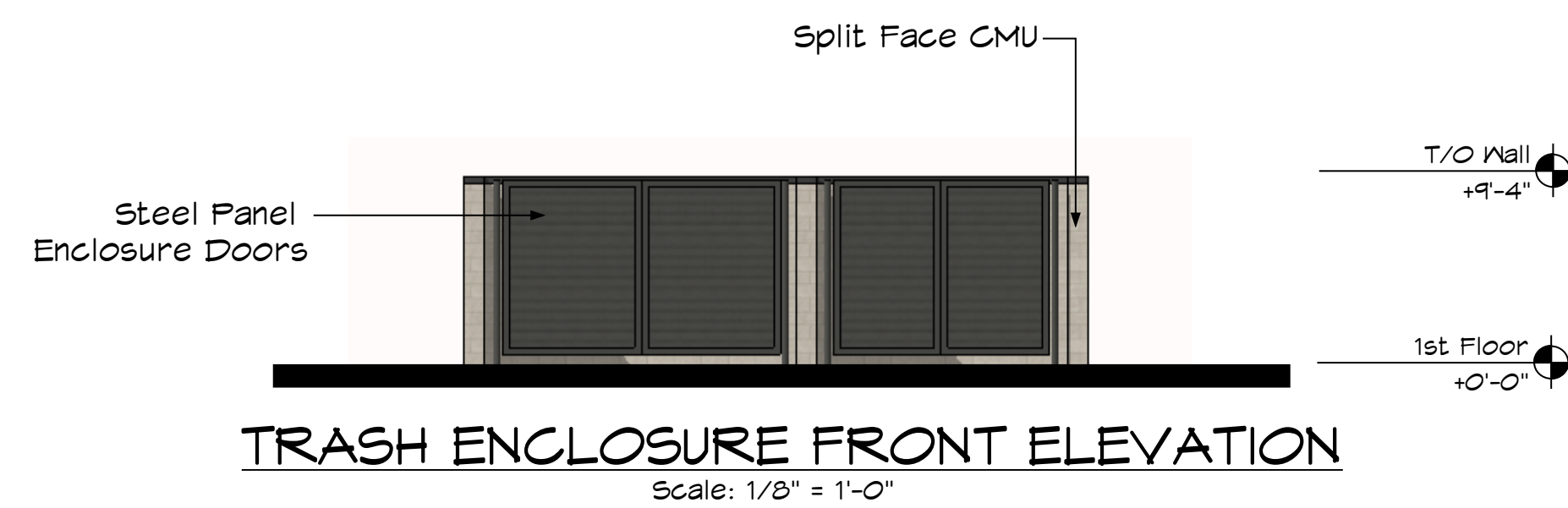
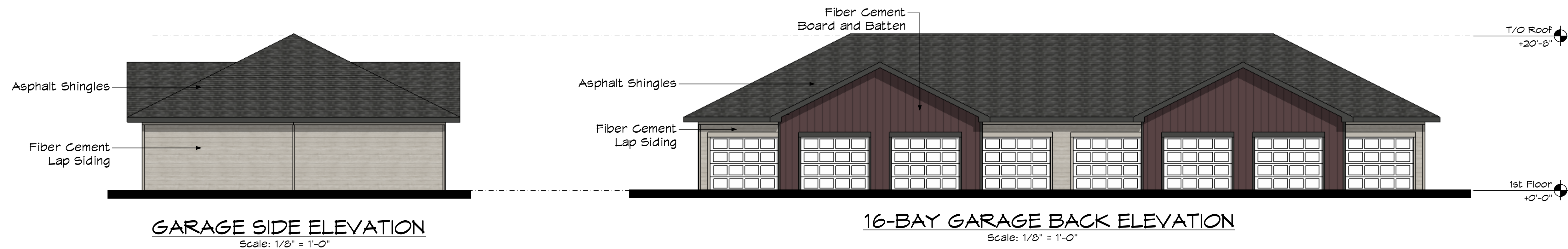
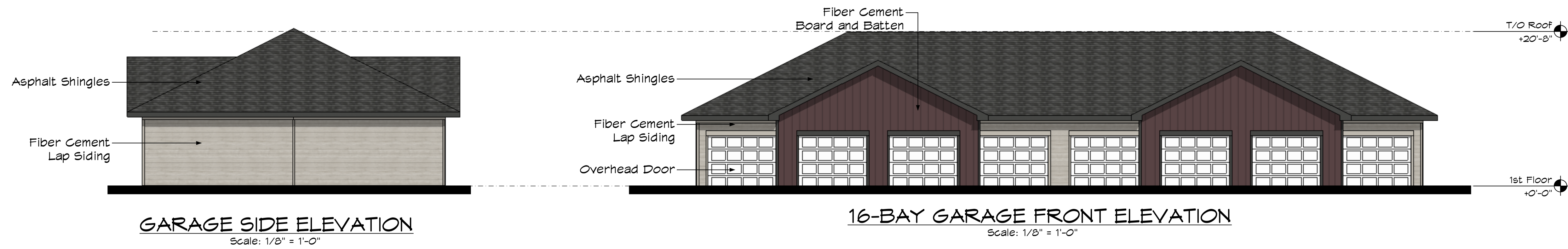
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VENTURE ON VENETUCCI

MULTI-FAMILY

VENETUCCI BLVD

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ARCHITECTURAL ELEVATIONS

31

31 OF 43

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IN ASSOCIATION WITH

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SHEET TITLE

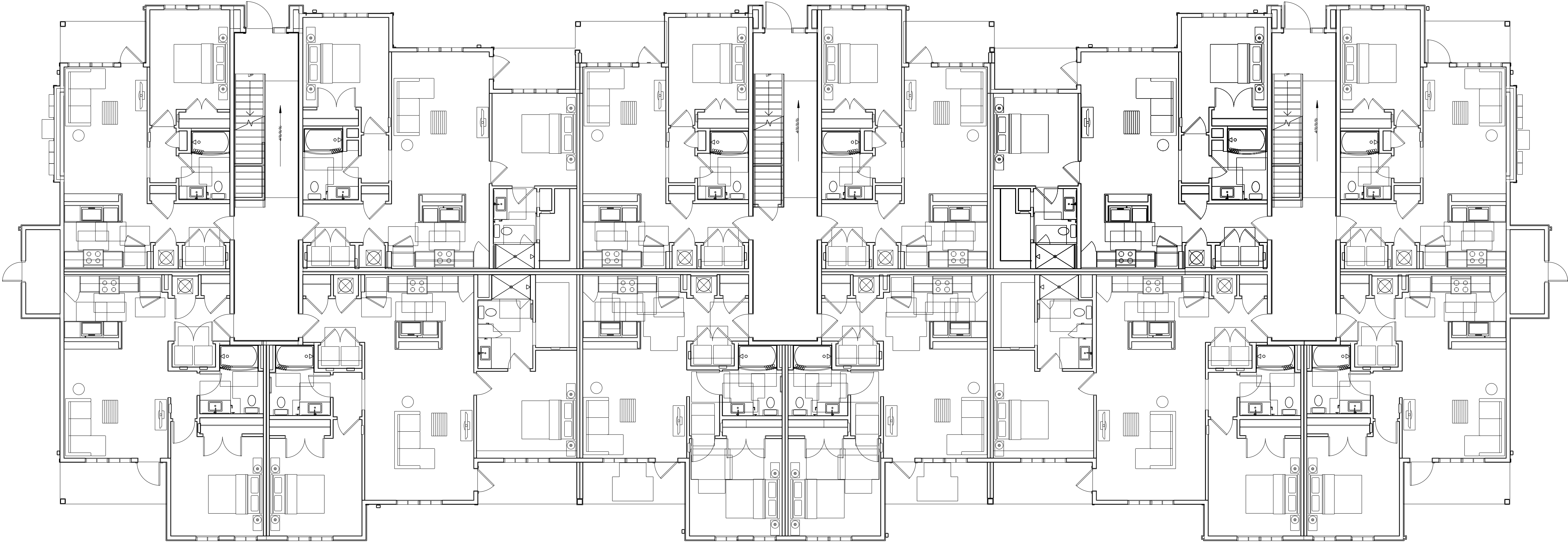
ARCHITECTURAL FLOOR
PLANS

32

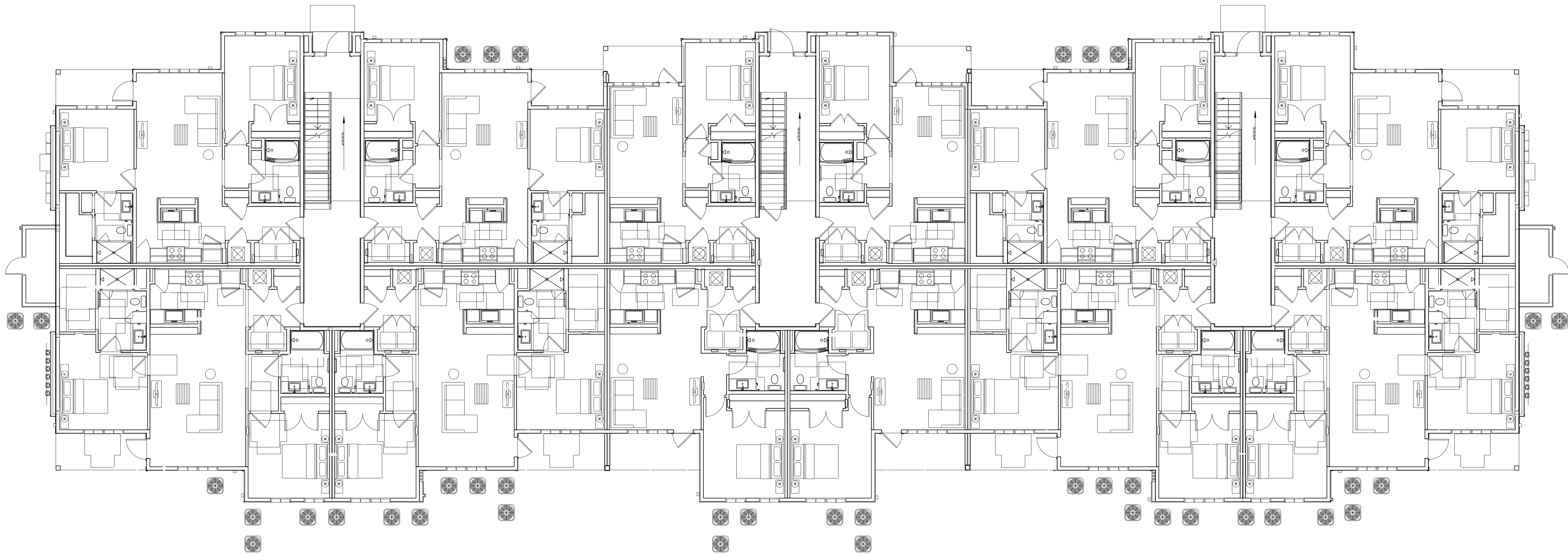
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PLAN FILE #



Type A Building Floor Plan
Scale: 1/8" = 1'-0"



Type B Building Floor Plan
Scale: 1/8" = 1'-0"



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MULTI-FAMILY

VENETUCCI BLVD

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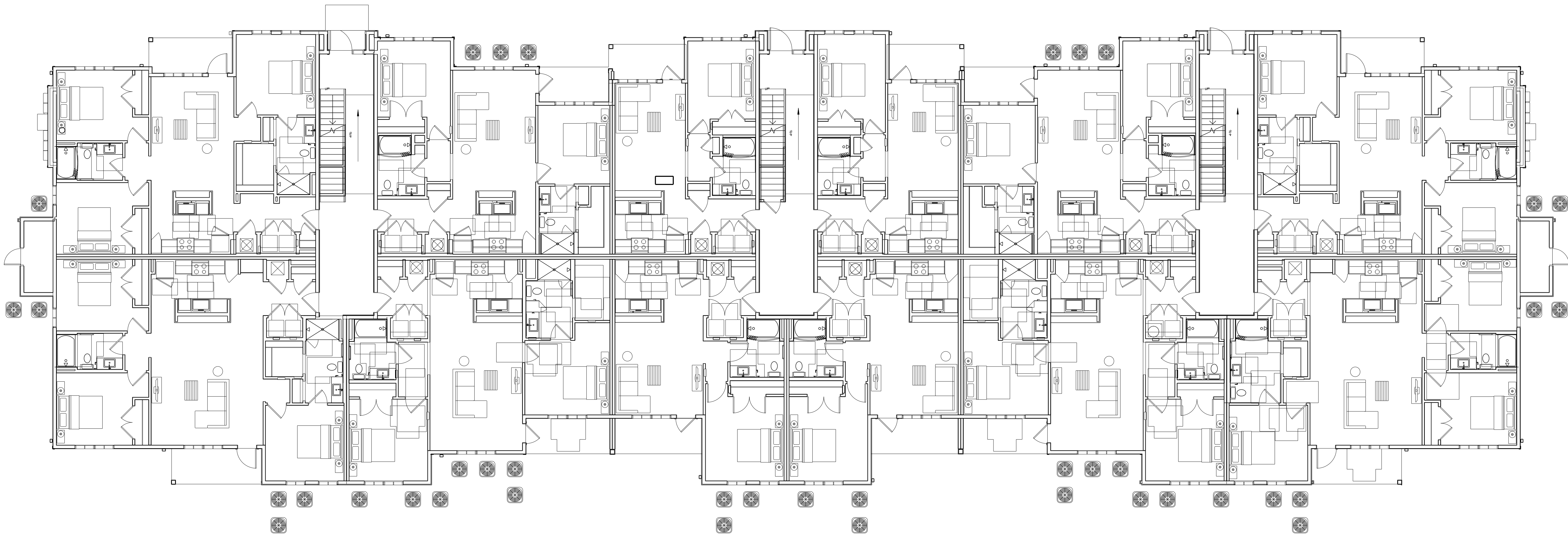
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Type C Building Floor Plan
Scale: 1/8" = 1'-0"



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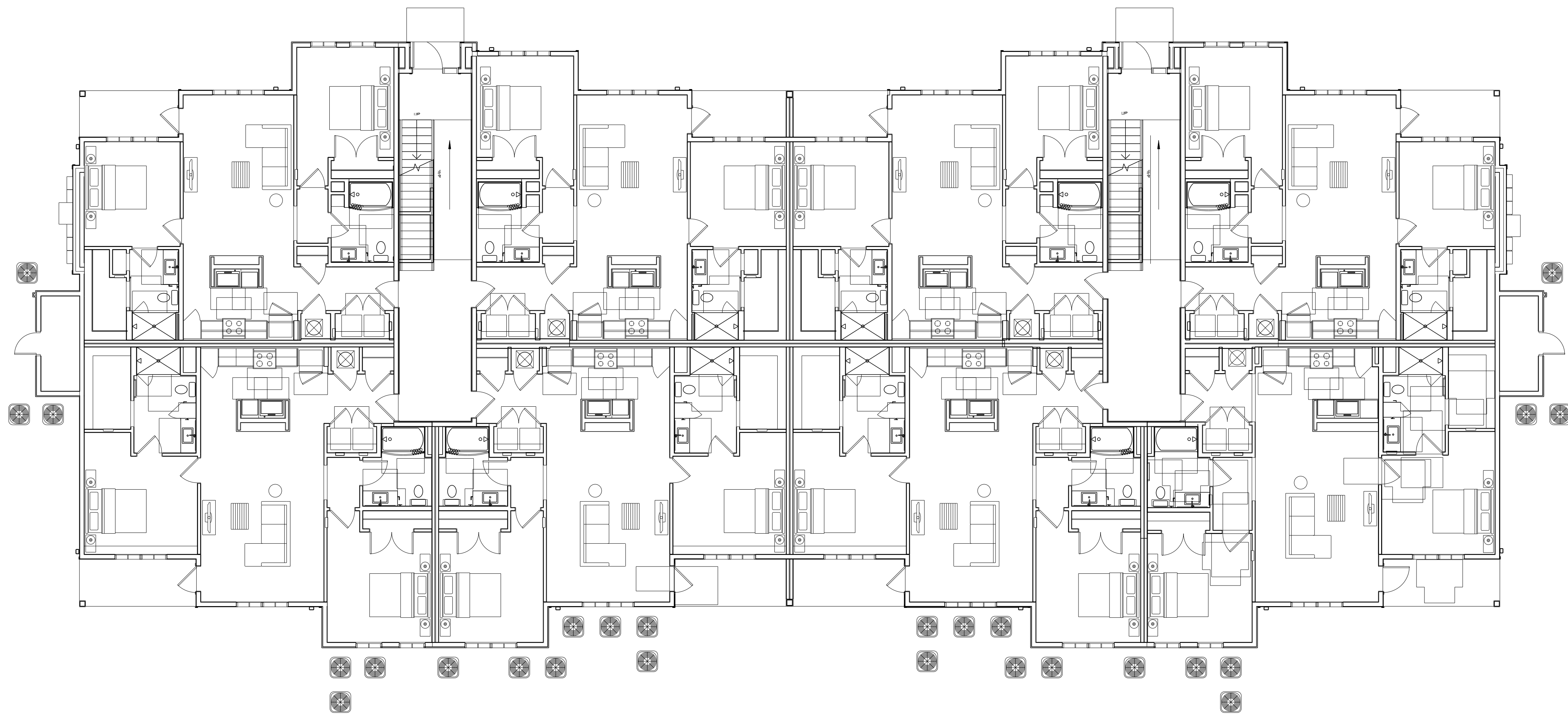
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Type D Building Floor Plan
Scale: 1/8" = 1'-0"



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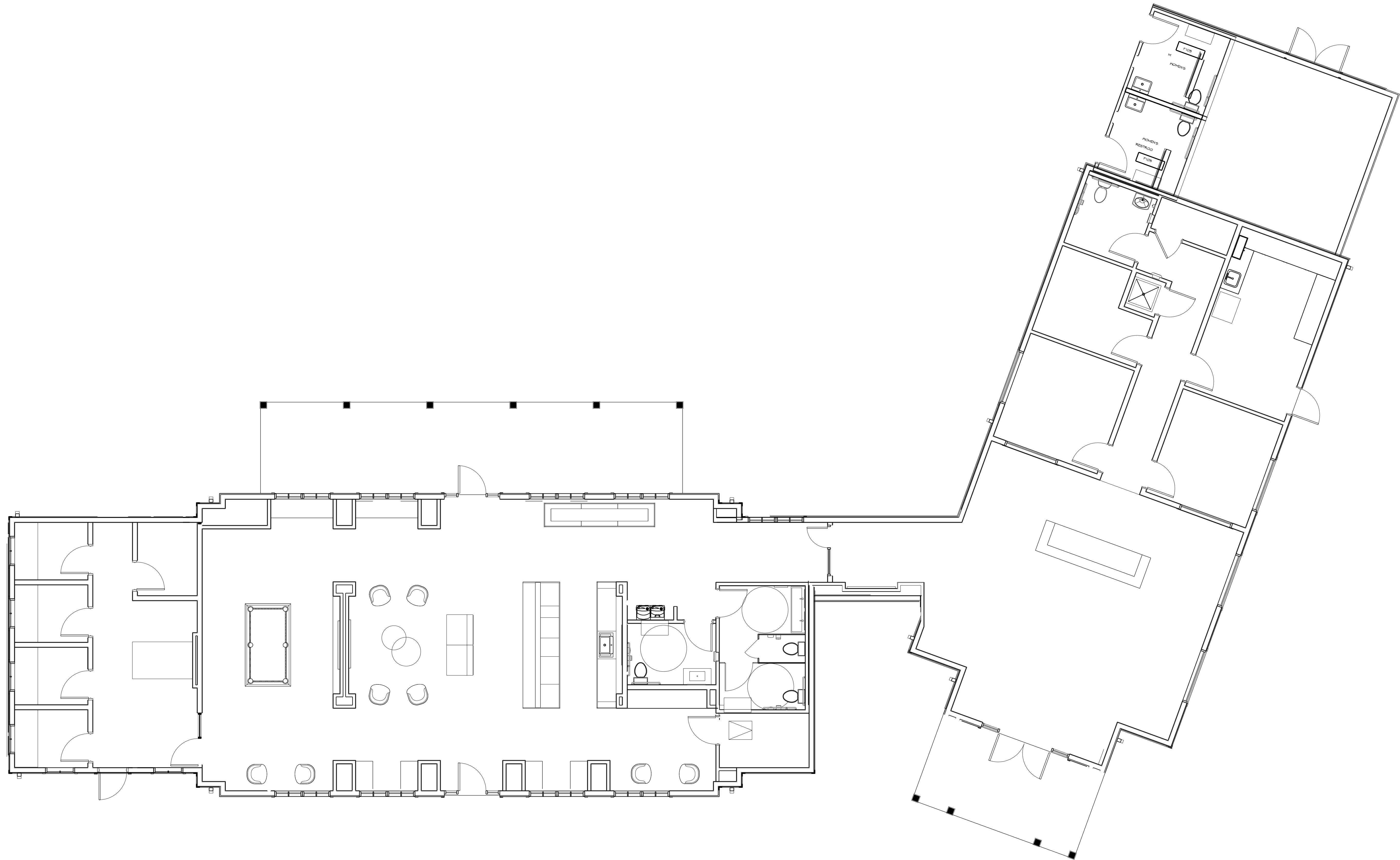
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ARCHITECTURAL FLOOR
PLANS

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Clubhouse and Leasing Building Floor Plan
Scale: 3/16" = 1'-0"



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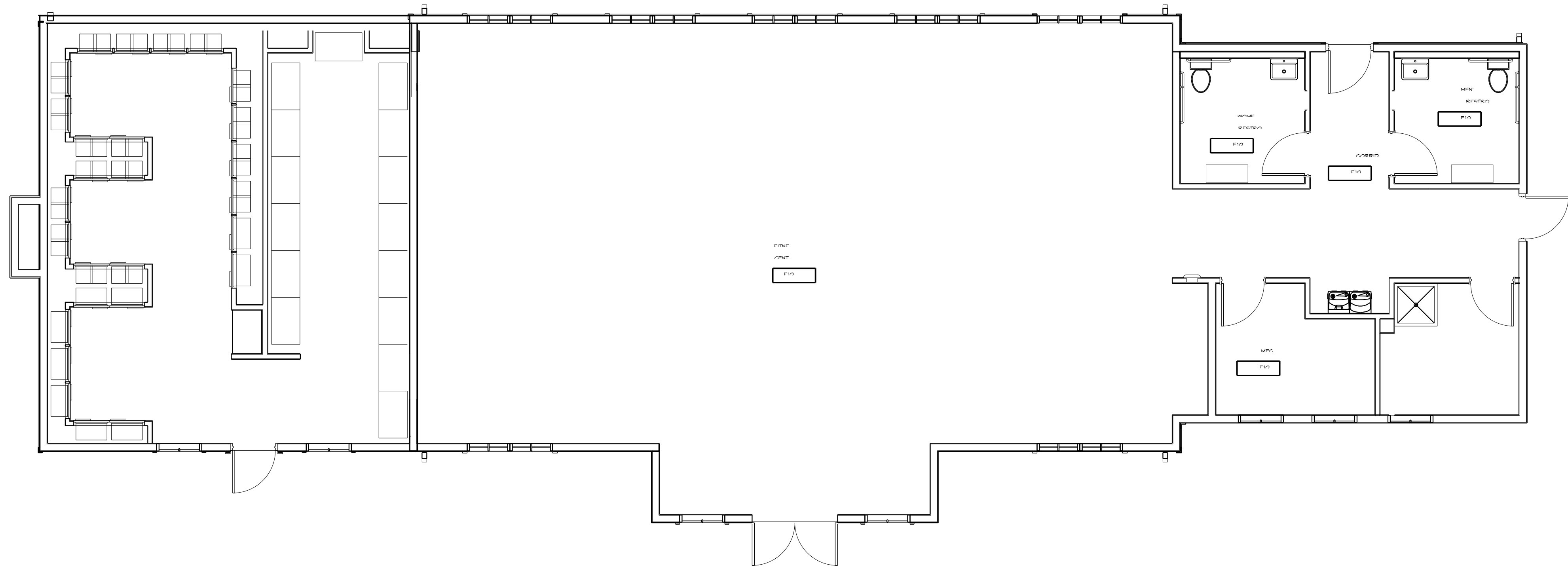
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Fitness and Mail Building Floor Plan
Scale: 3/16" = 1'-0"



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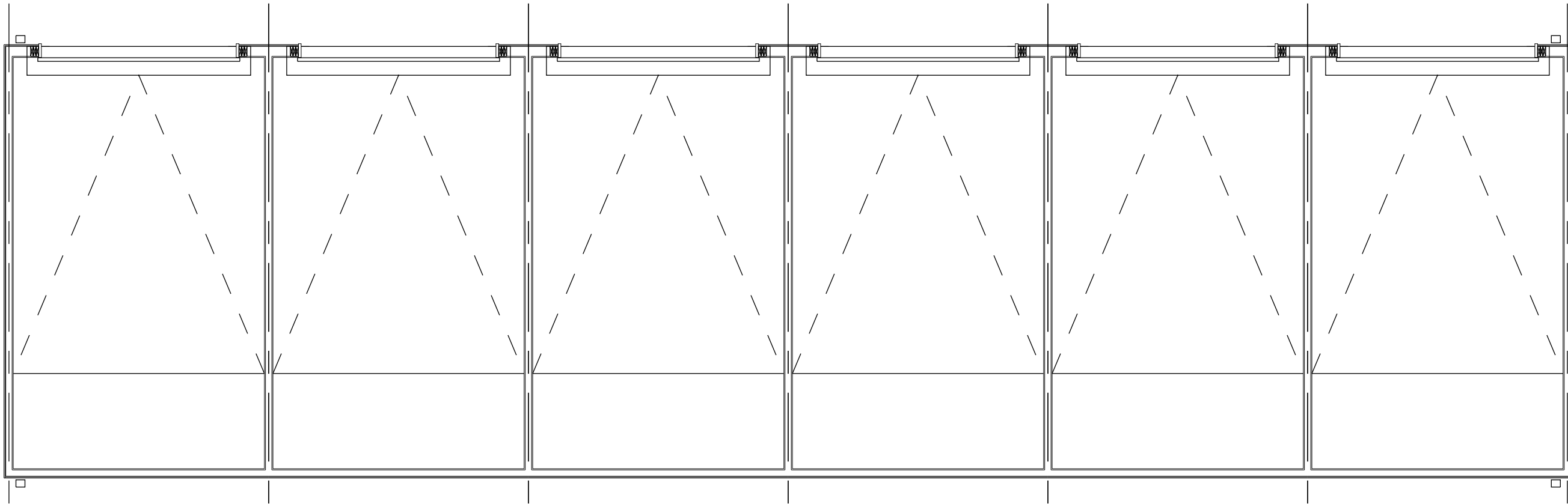
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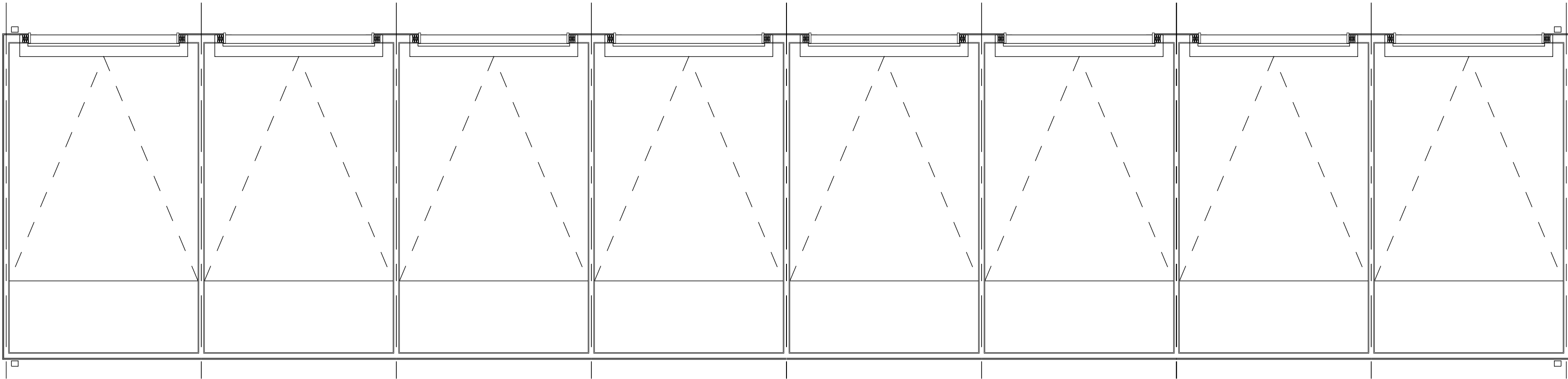
ARCHITECTURAL FLOOR
PLANS

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6 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"



8 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"



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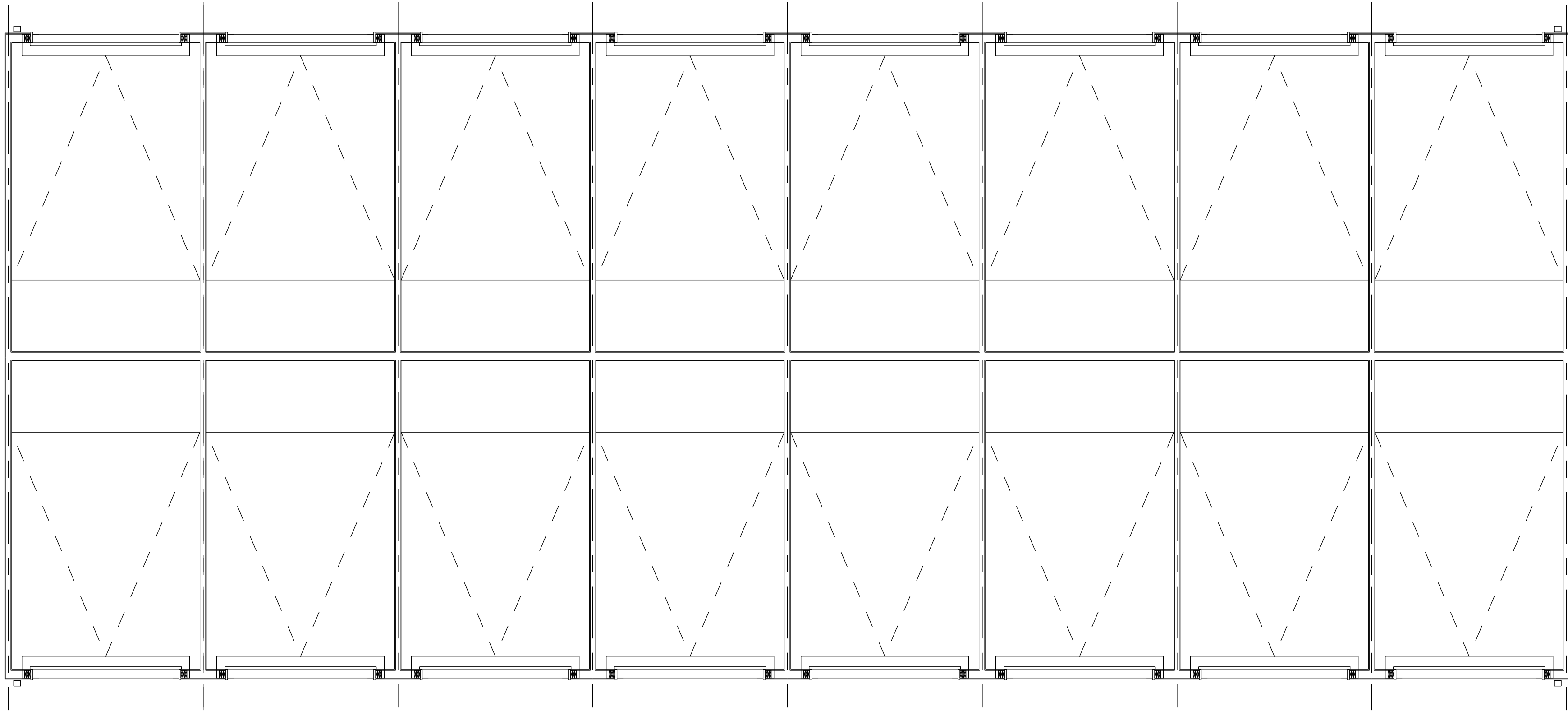
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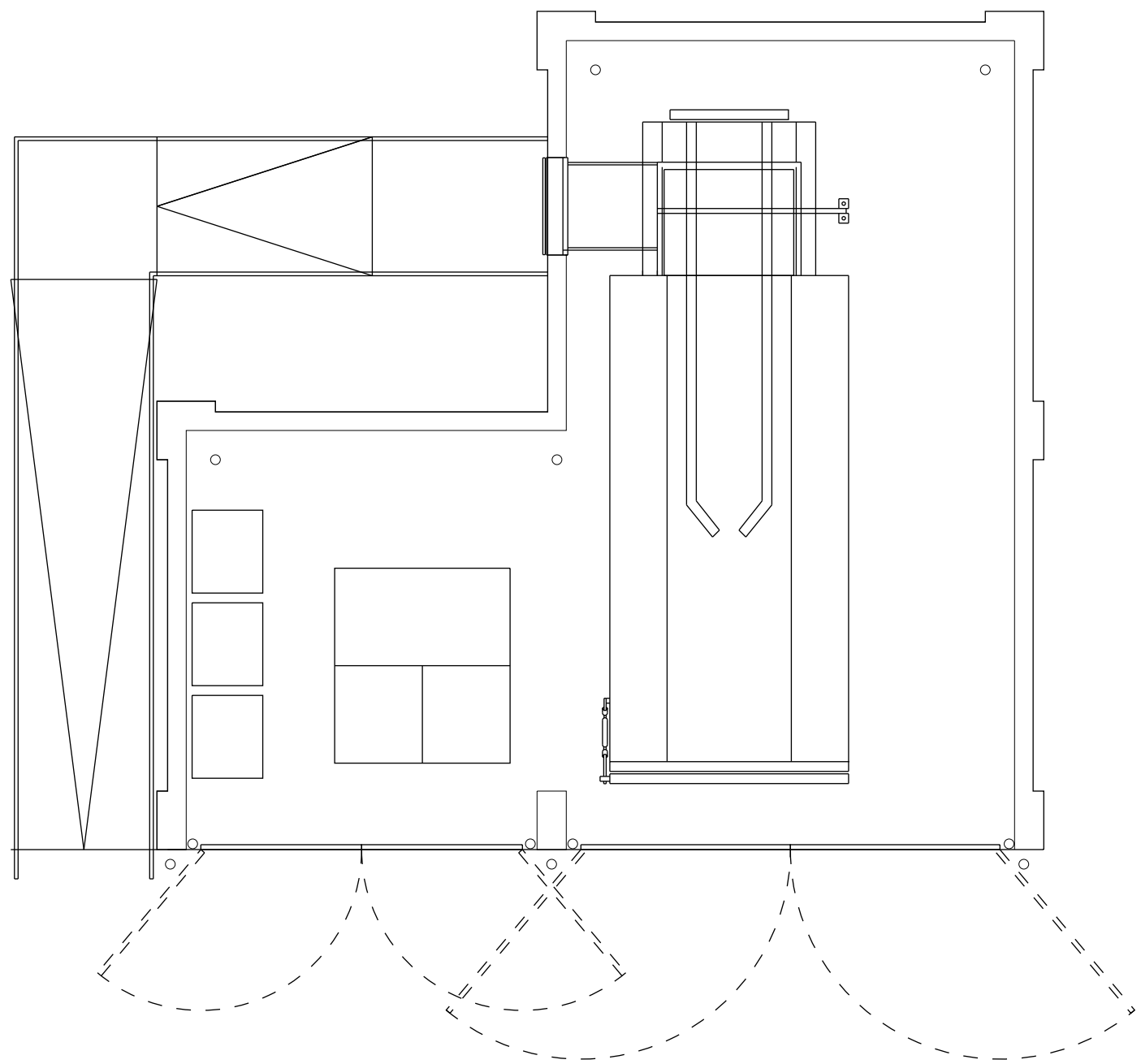
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PLAN FILE #

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16 Bay Garage Floor Plan
Scale: 3/16" = 1'-0"



Trash Enclosure Floor Plan
Scale: 3/16" = 1'-0"



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MATERIAL SELECTION

Reviewed - ☒ Finalized - ☐



ASPHALT
SHINGLES



METAL
AWNING



STONE
VENEER



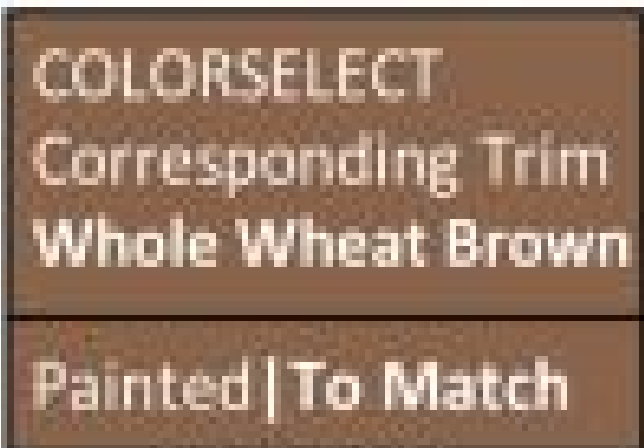
BALCONY
DECKING



FIBER CEMENT
SIDING - CS1



FIBER CEMENT
TRIM - CS1



BALCONY



FIBER CEMENT
SIDING - CS1 & CS2



FIBER CEMENT
TRIM - CS1 & CS2



WINDOWS



FIBER CEMENT
SIDING - CS2



FIBER CEMENT
TRIM - CS2



FAUX WOOD LAP
SIDING - CS1 & CS2



TRIM @ FAUX WOOD
LAP - CS1 & CS2



FASCIA & GUTTERS
- CS1 & CS2



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ARCHITECTURAL MATERIALS

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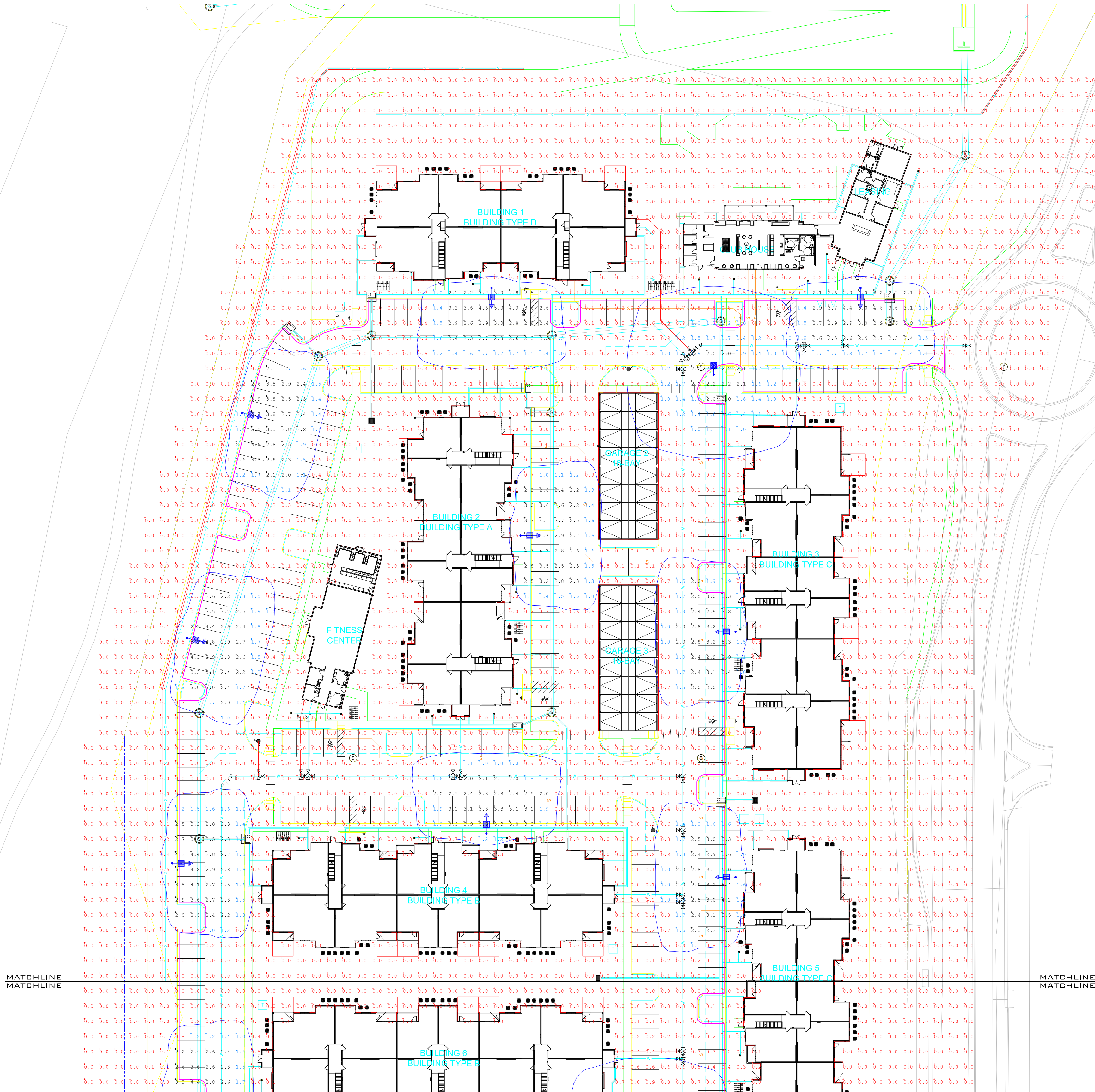
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PHOTOMETRIC PLAN

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CPC #



MATCHLINE
MATCHLINE

MATCHLINE
MATCHLINE

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclr	PtSpcTb
PARKING & DRIVES	Fc	1.06	5.7	0.0	N.A.	N.A.	10	10

Luminaire Schedule							
WLS17721 TTRES - VENETUCCI RD COLORADO SPRINGS, CO PM: HOLLY PLEASE EMAIL US FOR PRICING AT HOLLY@WLSLIGHTING.COM							
Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts	
	3	A	17408	0.950	WLS-NV-1-T5QM-48L-1050-40K7-SLW 20' MOUNTING HEIGHT	158	
	20	B	12356	0.950	WLS-NV-1-T4-48L-1-40K7-HSS-SLW 20' MOUNTING HEIGHT	156	



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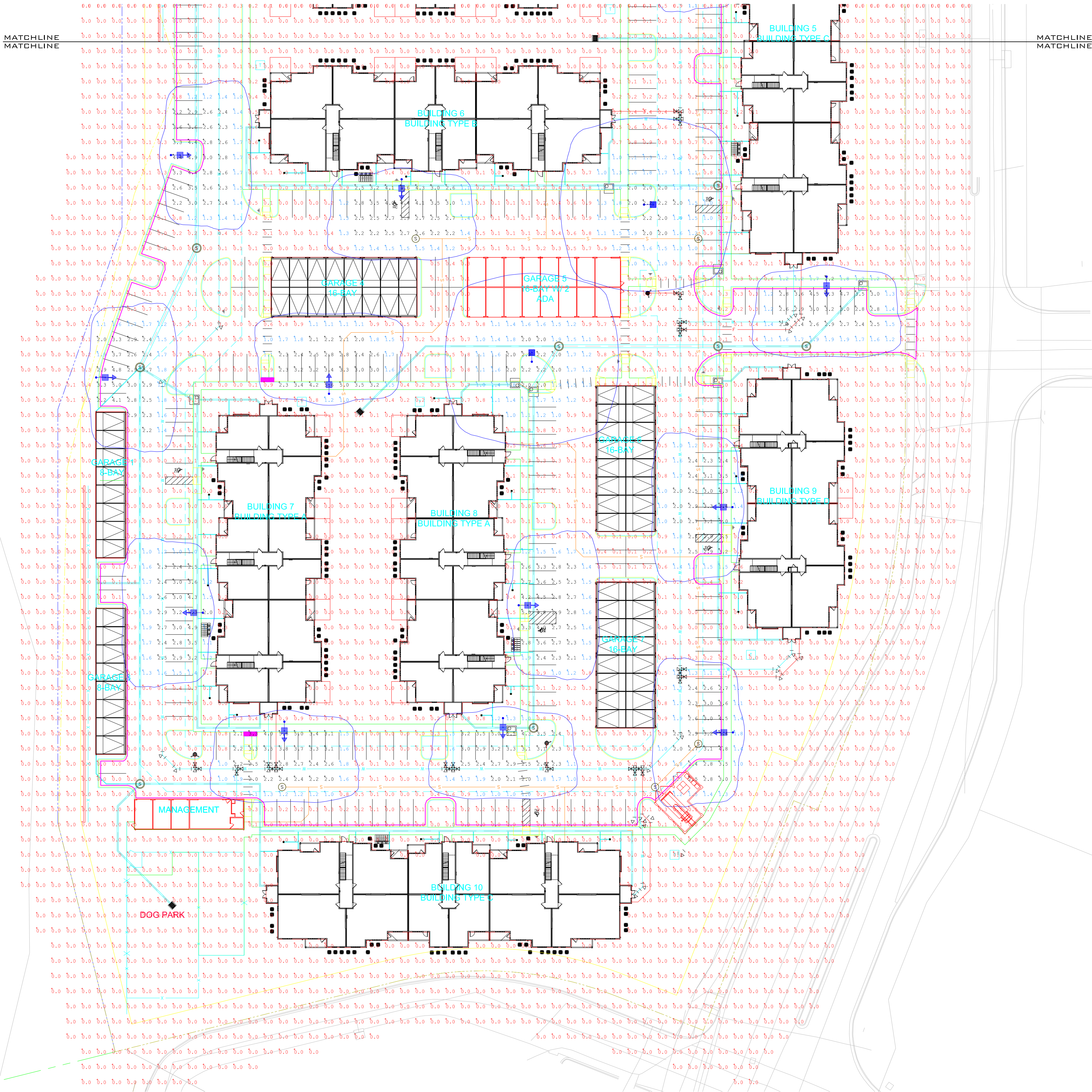
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PHOTOMETRIC PLAN

42

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CPC #



Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclr	PtSpcTb
PARKING & DRIVES	Fc	1.06	5.7	0.0	N.A.	N.A.	10	10

Luminaire Schedule							
WLS17721 TTRES - VENETUCCI RD COLORADO SPRINGS, CO PM: HOLLY PLEASE EMAIL US FOR PRICING AT HOLLY@WLSLIGHTING.COM							
Symbol	Qty	Label	Lum. Lumens	LLP	Description	Lum. Watts	
●	3	A	17408	0.950	WLS-NV-1-T5QM-48L-1050-40K7-SLW 20' MOUNTING HEIGHT	158	
■	20	B	12356	0.950	WLS-NV-1-T4-48L-1-40K7-HSS-SLW 20' MOUNTING HEIGHT	156	

Type:

NV SERIES LED AREA

SPECIFICATIONS

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
 - Parking Lots
 - Auto Dealerships
 - General Area Lighting

CONSTRUCTION

- Die Cast Aluminum
- External cooling fins, Finite Element Analysis (FEA) designed
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP-65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

FINISH

- 3-5 mils electrostatic powder coat.
- WLS standard high-quality finishes prevent corrosion protects against and extreme environmental conditions

ELECTRICAL

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver by Philips Advance
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment
- Lumileds Luxeon MX LED's
- CRI ≥ 70
- Color temperatures: 3000K, 4000K, 5000K

OPTICS

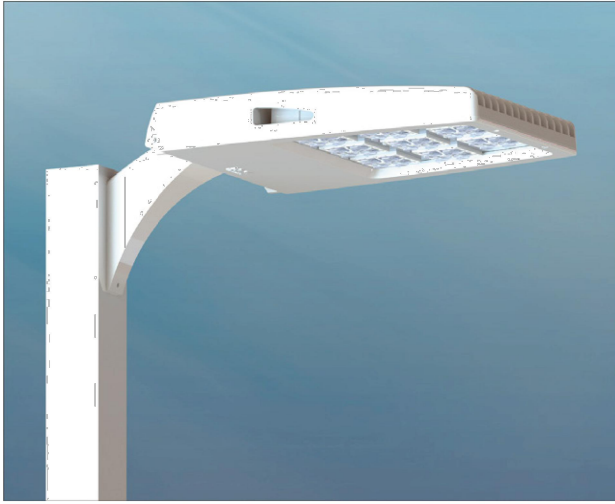
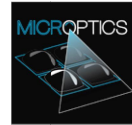
- Silicone optics high photo thermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life. UV and thermal stability with scratch resistance increases exterior application durability.
- IES Types T2, T3, T4, T5 AND N3

WARRANTY

- Five-year limited warranty for drivers and LEDs.

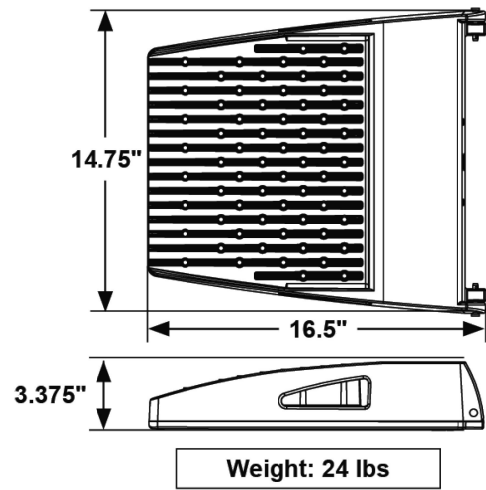
LISTINGS

- Certified to UL 1598
- UL 8750
- CSA C22.2 No. 250.0
- DesignLights Consortium® (DLC)
- DesignLights Consortium Premium® (DLCP)
- IP65/ IP67 Rated
- 3G Vibration Rated per ANSI C136.31-2010

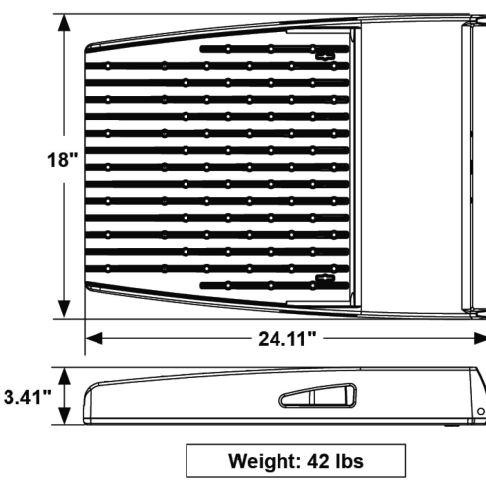


DIMENSIONS

NV-1



NV-2



Made in the U.S.A. of the U.S. and imported parts.
Meets Buy American requirements for ARRA.

WLS LIGHTING
SYSTEMS

6820 Corporation Pkwy
Fort Worth, TX 76126
800.633.8711

www.wlsighting.com

Project Name: _____

Date: _____

Location: _____

Notes: _____

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Specifications subject to change without notice.

NV SERIES LED AREA

ORDERING INFORMATION

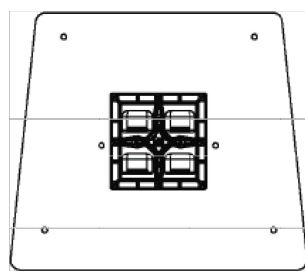
Refer to example below. SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE.

PRODUCT	OPTIC	LED #	DRIVER	COLOR TEMPERATURE	VOLTAGE	MOUNTING	COLOR OPTIONS	OPTIONS
NV-1	T2 Type 2 T3 Type 3 T4 Type 4 T5 Type 5 N3 Nema 3 30" Narrow Beam	16 16L 32 32L 48 48L 64 64L	35 350mA (16L ONLY) 53 530mA (16L ONLY) 7 700mA 1 1050mA	30K 3000K 40K 4000K 50K 5000K	UNV 120-277 HV 347-480	Direct Pole DP53 3" (Single, D180) DP57 7" (D90, T90, T120, QD) KM Knuckle Mount WM Wall Mount TM Trunnion Mount *Standard finish is stainless steel. *Can be painted to match fixture. TA Tennis Arm ASA Architectural Sweep Arm	BRZ Bronze WHT White SVR Silver BLK Black GPH Graphite GRY Grey ASA Architectural Sweep Arm	BD Bird Deterrent MGF Marine Grade Finish OPP Optic Plate Painted to Match Fixture PE7 Nema 7-Pin Receptacle PCR Photocell + Receptacle PER Receptacle + Shorting Cap FSP-20 FSP-211 with Motion Sensor (UNV Voltage) 9'-20' Heights FSP-40 FSP-211 with Motion Sensor (UNV Voltage) 21'-40' Heights QMB Quick Mount Bracket RQMB Retrofit Mount Bracket RPA4 Round Pole Adaptor 3'-4" Pole RPA5 Round Pole Adaptor 5'-6" Pole ROL Rotated Optic Left ROR Rotated Optic Right AHS Automotive House Side Shield HSS House Side Shield 10K Surge Protector (NV-2 only) NO No Options
NV-2		80 80L 96 96L 112 112L 128 128L	7 700mA 1 1050mA					

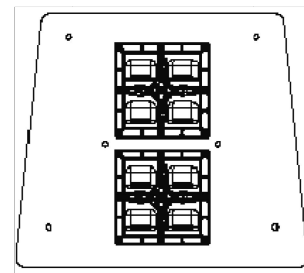
ORDER:

WLS-NV							
--------	--	--	--	--	--	--	--

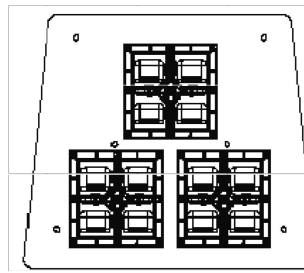
Example: WLS-NV-2-T5-96-1-40K-UNV-DP53-BRZ-NO



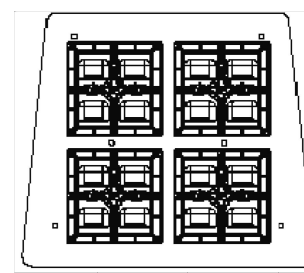
NV-1 / 16L



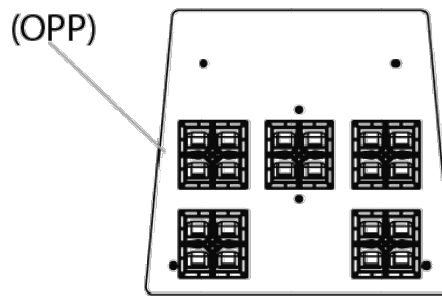
NV-1 / 32L



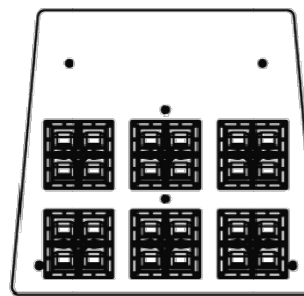
NV-1 / 48L



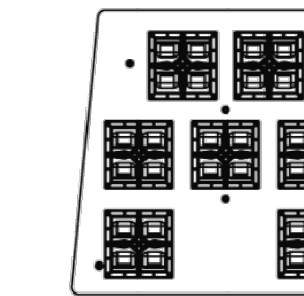
NV-1 / 64L



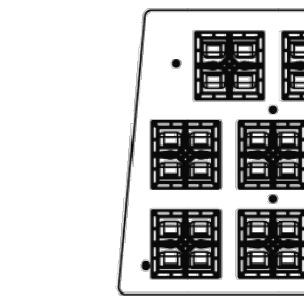
NV-2 / 80L



NV-2 / 96L



NV-2 / 112L



NV-2 / 128L

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SYSTEMS

6820 Corporation Pkwy
Fort Worth, TX
76126800.633.8711

www.wlsighting.com

Project Name: _____

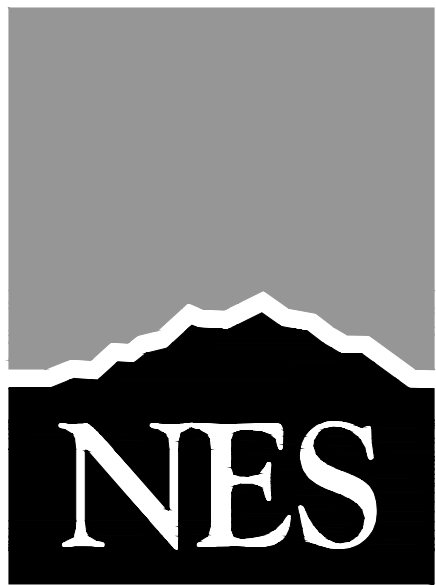
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LIGHTING CUTSHEETS

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