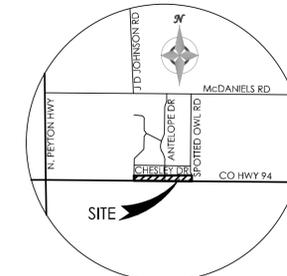
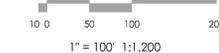


# PRELIMINARY PLAN FOR VIEWPOINT ESTATES FILING NO. 2

PORTION OF SECTION 10, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH PRINCIPAL MERIDIAN  
EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE



**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED LOT LINE
- EASEMENT LINE
- ROAD CENTERLINE
- NO BUILD LINE
- NO BUILD AREA



**ABBREVIATIONS**

- AC ACRES
- NO. NUMBER
- REC. RECEPTION
- ROW RIGHT-OF-WAY
- SCH. SCHEDULE
- SF SQUARE FEET

**OWNERS/APPLICANTS**

VIEWPOINT ESTATES, LLC.  
PO BOX 6797  
COLORADO SPRINGS CO, 80934-6797

**CONSULTANT/ENGINEER**

M.V.E., INC.  
1903 LELARAY STREET, SUITE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736

**TAX SCHEDULE NO.**

3410010001 & 3410009001

**AREA**

24.332± ACRES

**LOTS 1 - 7, VIEWPOINT ESTATES FILING NO. 2**

7 LOTS = 24.137± ACRES  
NO BUILD AREA WITHIN LOTS = 9.604± ACRES  
DENSITY = 1 LOT = 3.448± ACRES

ACCESS TO BE FROM CHESLEY DRIVE.

**SETBACKS**

FRONT SETBACK = 25'  
REAR SETBACK = 25'  
SIDE SETBACKS = 15'

**ZONING**

EXISTING: RR-2.5 (RESIDENTIAL RURAL)

**LEGAL DESCRIPTION**

LOTS 71 AND 72, VIEWPOINT ESTATES AS RECORDED UNDER RECEPTION NO. 99189220, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

**FLOODPLAIN STATEMENT**

BOTH LOTS 71 AND 72, VIEWPOINT ESTATES ARE LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA, "AREA OF MINIMAL FLOOD HAZARD AND ZONE X" (SFHA's) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0805G, AND MAP NUMBER 08041C0810G, EFFECTIVE DECEMBER 7, 2018.

**NO BUILD AREA**

NO BUILDING STRUCTURES TO BE LOCATED IN NO BUILD AREAS. FENCES ALLOWED SO AS NOT TO IMPEDE STORM DRAINAGE RUNOFF FLOWS.

**STREET CLASSIFICATIONS**

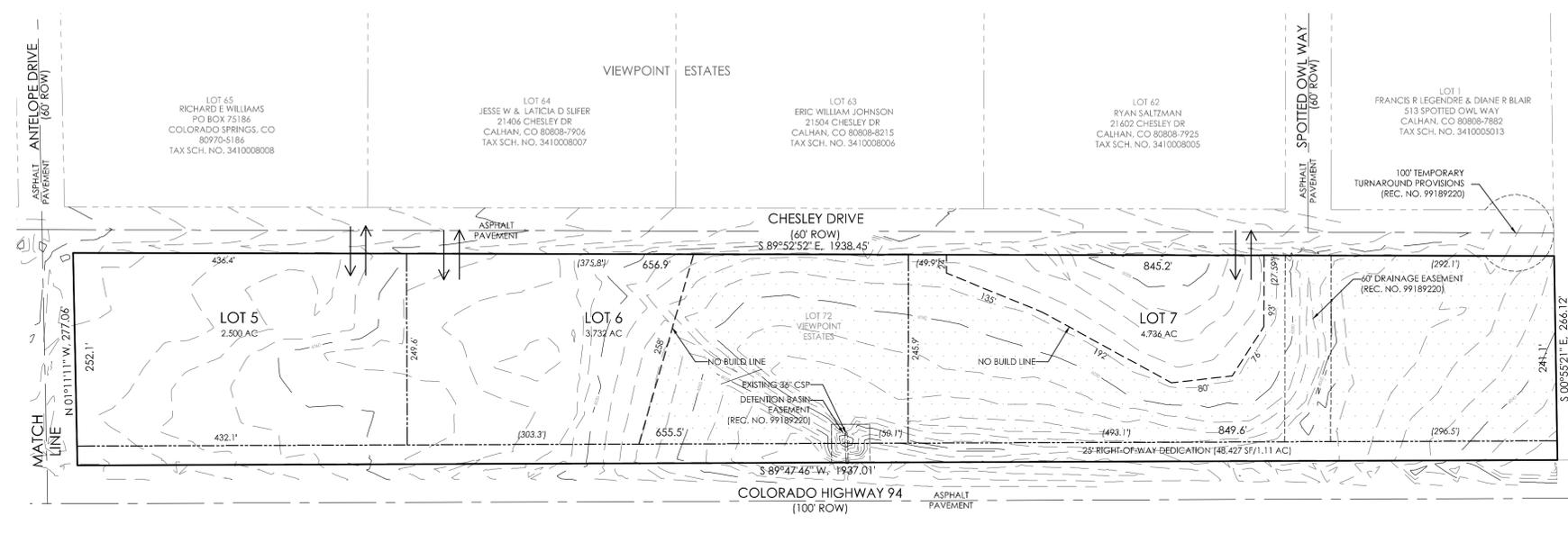
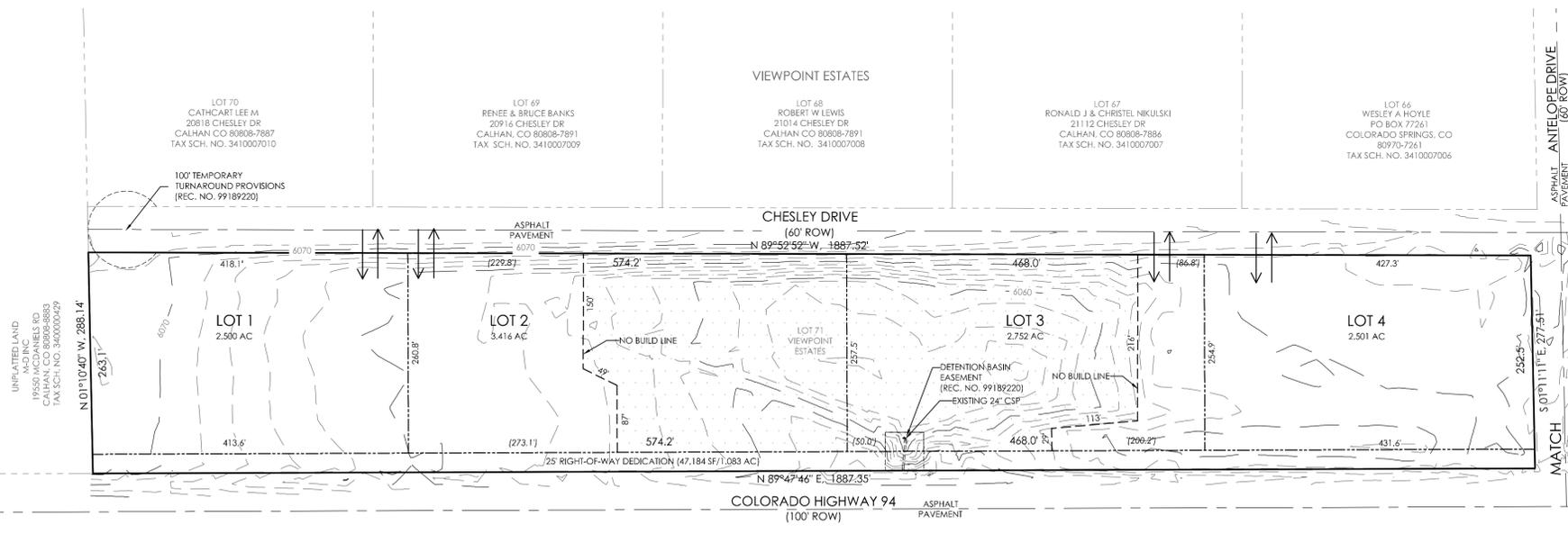
ALL DRIVES ARE CLASSIFIED AS TYPICAL URBAN RESIDENTIAL COLLECTOR

**EASEMENTS**

UNLESS OTHERWISE SHOWN, ALL EASEMENTS ARE RECORDED UNDER "VIEWPOINT ESTATES", RECEPTION NO. 099189220 OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

**STANDARD COUNTY PLAT NOTES**

1. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY DEVELOPMENT SERVICES DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; FIRE PROTECTION REPORT; NATURAL FEATURES REPORT.
2. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
3. UNLESS OTHERWISE INDICATED, ALL SIDE AND REAR LOT LINES ARE HEREBY PLATTED ON EITHER SIDE WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT, ALL FRONT LINES WITH A 15 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT UNLESS OTHERWISE INDICATED. ALL EXTERIOR SUBDIVISION BOUNDARIES ARE HEREBY PLATTED WITH A 15 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
4. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECTS ENVIRONMENTAL ASSESSMENT.
5. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
6. MAILBOXES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND US POSTAL SERVICE REGULATIONS.
7. EXCEPT AS OTHERWISE NOTED ON THE PRELIMINARY PLAN, INDIVIDUAL LOT PURCHASERS ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS, INCLUDING NECESSARY DRAINAGE CULVERTS PER LAND DEVELOPMENT CODE SECTION 4.3.3.C.2 AND 4.2.2.C.3. DUE TO THEIR LENGTH, SOME OF THE DRIVEWAYS WILL NEED TO BE APPROVED BY THE TRI-LAKES MONUMENT FIRE PROTECTION DISTRICT.



**PRELIMINARY PLAN FOR LOT 71**

**PRELIMINARY PLAN FOR LOT 72**

**PRELIMINARY PLAN  
VIEWPOINT ESTATES  
FILING NO. 2**

**MVE, INC.**  
ENGINEERS SURVEYORS

1903 Lelaray Street, Suite 200  
Colorado Springs CO 80909  
719.635.5736 www.mvecm.com

MVE PROJECT:  
61099  
MVE DRAWING:  
PRELIM-CS  
DATE:  
NOVEMBER 8, 2021  
SHEET:  
SHEET 1 OF 1