

DEVELOPMENT PLAN

SHOPPES AT OLD RANCH STATION

OLD RANCH ROAD

COLORADO SPRINGS, COLORADO 80908

ARCHITECT

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2435 RESEARCH PARKWAY, SUITE 300
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GENERAL CONTRACTOR

CONSTRUCTION ABBREVIATIONS

AB	ANCHOR BOLT	FF	FINISH FLOOR	FL	FLATE
AC	AIR CONDITIONING	FIN	FINISH	FLAM	FLASTIC LAMINATE
AC	ALTERNATING CURRENT	FL	FLOOR	FLAS	FLASTER
AF	ABOVE FINISH FLOOR	FLSH	FLASHING	FLYWD	FLYWOOD
ALUM	ALUMINUM	FLUOR	FLUORESCENT	FR	FAIR
ALT	ALTERNATE	FS	FULL SIZE	PREFAB	PREFABRICATED
APPROX	APPROXIMATE	FT	FOOT OR FEET	PT	POINT
ARCH	ARCHITECTURAL	FTG	FOOTING	PTN	PARTITION
ASPH	ASPHALT	FURN	FURNISH	QT	QUARRY TILE
ASPH	ASPHALT	FURR	FURRING		
BD	BOARD	GA	GAUGE	R	RISER
BLDG	BUILDING	GI	GALVANIZED	RAD	RADIUS
BLK	BLOCK	GB	GRAB BAR	RD	ROOF DRAIN
BLKG	BLOCKING	GC	GENERAL CONTRACTOR	REF	REFERENCE
BOT	BOTTOM	GL	GLASS	REFR	REFRIGERATOR
BW	BOTH WAYS	GM	GAS METER	REIN	REINFORCED
		GND	GROUND	REQD	REQUIRED
CAB	CABINET	GYP	GYPSUM	REV	REVISION
C.B.	CATCH BASIN			RM	ROOM
CEM	CEMENT	HW	HARDWARE	RO	ROUGH OPENING
CER	CERAMIC	HM	HOLLOW METAL	RTU	ROOF TOP UNIT
CL	CAST IRON	HORIZ	HORIZONTAL		
CLG	CEILING	HTG	HEIGHT	SC	SOLID CORE
CL	CENTER LINE	HTG	HEATING	SCHED	SCHEDULE
C.O.	CLEAN OUT	HYAC	HEATING VENTILATION	SF	SQUARE FOOT
COL	COLUMN		AND AIR CONDITIONING	SECT	SECTION
CONC	CONCRETE	HU	HOT WATER	SHT	SHEET
CONN	CONNECTION	HUH	HOT WATER HEATER	SIM	SIMILAR
CONSTR	CONSTRUCTION			SPEC	SPECIFICATION
CONT	CONTINUOUS	ID	INSIDE DIMENSION	SQ	SQUARE
CONTR	CONTRACTOR	INSUL	INSULATION	SS	STAINLESS STEEL
CTD	COATED	INST	INSTALL	STA	STATION
CTSK	COUNTERSINK	INT	INTERIOR	STD	STANDARD
CC	CENTER TO CENTER	INV	INVERT	STL	STEEL
CW	COLD WATER			STOR	STORAGE
CJ	CONTROL JOINT	JAN	JANITOR	STRUCT	STRUCTURAL
		JT	JOINT	SUSP	SUSPENDED
DIA	DIAMETER	LAM	LAMINATE	SYM	SYMMETRICAL
DBDC	DOUBLE	LAV	LAVATORY		
DEPT	DEPARTMENT	LKR	LOCKER	T	TREAD
DET	DETAIL	LT	LIGHT	T & B	TOP & BOTTOM
DIA	DIAMETER			TLE	TELEPHONE
DIM	DIMENSION	MAX	MAXIMUM	TER	TERRAZZO
DN	DOWN	MBH	1000 BTU/HR	T & G	TONGUE & GROOVE
D.O.	DOOR OPENING	MECH	MECHANICAL	THK	THICK
DR	DOOR	MTL	METAL	TOP	TOP OF PARAPET
D8	DOWN SPOUT	MFR	MANUFACTURER	TOS	TOP OF STEEL
DWG	DRAWING	MH	MANHOLE	TOC	TO OF CONCRETE
		MIN	MINIMUM	TYP	TYPICAL
EA	EACH	MISC	MICELLANEOUS	UNO	UNLESS NOTED
EJ	EXPANSION JOINT	MNTD	MOUNTED		OTHERWISE
EL	ELEVATION			UR	URINAL
ELEC	ELECTRICAL	NIC	NOT IN CONTRACT		
ELEV	ELEVATION	NO	NUMBER	VIF	VERIFY IN FIELD
ENCL	ENCLOSURE	NOM	NOMINAL	VCT	VINYL COMPOSITION TILE
EQ	EQUAL	NTS	NOT TO SCALE	VERT	VERTICAL
EW	EACH WAY			VEST	VESTIBULE
EW	ELECT WATER COOLER	OC	ON CENTER	VT	VINYL TILE
EXIST	EXISTING	OFF	OFFICE	VTR	VENT THROUGH ROOF
EXP	EXPANSION	OH	OVERHEAD		
EXPO	EXPOSED	OFNG	OPENING	W	WITH
EXT	EXTERIOR	OPP	OPPOSITE	WC	WATER CLOSET
EF	EXHAUST FAN	OA	OUTSIDE AIR	WD	WOOD
				WDW	WINDOW
FA	FIRE ALARM	LB	POUND	WO	WITHOUT
FD	FLOOR DRAIN	PCF	LB PER CUBIC FOOT	WT	WEIGHT
FDN	FOUNDATION	PSF	LB PER SQUARE FOOT	WUF	WELDED WIRE FABRIC
FE	FIRE EXTINGUISHER	PSI	LB PER SQUARE INCH	WO	WALL OPENING

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF GROUND UP CONSTRUCTION, AND SITE IMPROVEMENTS. THE BUILDING IS LOCATED AT OLD RANCH RD. & BLUE HORIZON. REFER TO VICINITY MAP FOR PROPERTY LOCATION.

VICINITY MAP



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PROJECT DATA

CONSTRUCTION TYPE

REVIEW UNDER THE 2015 INTERNATIONAL BUILDING CODE

TYPE OF CONSTRUCTION: V-B

FIRE SPRINKLED

BUILDING AREA

BUILDING SQUARE FOOTAGE = 16,800 SF.
STORIES = 1 STORY (ALLOWED PER IBC SEC 504.1)

OCCUPANCY

OCCUPANCY CLASSIFICATION: GROUP - B, M, A-2 OFFICE, RETAIL, RESTAURANT, OR WHOLESALE STORES PER IBC CHAPTER 3
(OCCUPANCY CLASSIFICATION AND OCCUPANT LOADING MAY CHANGE DURING TENANT FINISH PHASE)

OCCUPANT LOAD:
MERCANTILE ON GROUND FLOOR = 30 SF. PER OCCUPANT
OFFICE AND BUSINESS AREAS = 100 SF PER OCCUPANT
ASSEMBLY (TABLE & CHAIR) = 15 SF PER OCCUPANT

ALLOWABLE AREA:

PER TABLE 503 = ALLOWABLE AREA = 6,000 SF.
INCREASE FOR SPRINKLERS =
3 x 6,000 = 18,000 > 16,800 = OK

NON-SEPARATED USES

NON-SEPARATED USES =
MOST RESTRICTIVE USE = A-2

MEANS OF EGRESS:

NO. OF EXITS REQUIRED = 2
NO. OF EXITS PROVIDED = 2

LEGAL DESCRIPTION:

TR IN SE4 SEC 22-12-66 DE5C AS FOLS: COM AT S4 COR SEC 22, S81<40'21" E 1085.66 FT. TO POB;
N 39<08'08" W 30.61', N 45<22'21", W 190.19 FT
N 41<51'54" W 169.32 FT, N 05<06'46" W 65.53 FT,
N 15<11'44" E 19.06 FT, S 02<19'03" E 319.31 FT,
S 61<45'56" E 35.56 FT, N 21<41'30" E 24.58 FT TO PT
ON SLY ROW LN OF OLD RANCH RD ALG CUR TO R
HAVING A RAD OF 625.00 FT AN ARC DIST OF 30.00 FT
M/L S 63<09'34" E 156.83 FT, N 26<50'26" E 20.50 FT,
S 65<20'36" E 380.41 FT, S 63<09'34" E 281.29 FT TO POC
TO L HAVING A RAD OF 1040.00 FT TO A PT 40.00 FT N
OF THE S SEC LN OF SEC 22, TH S 89<45'46" W ALG LN
40.00 FT N & PARA TO SEC LN 950.00 FT M/L TO POB,
TOG WITH SLY 400 FT VAC OLD RANCH RD ADJ

EXISTING ZONING:

A

PARCEL I.D. NUMBER:

6222400002

REGULATORY/REVIEW AGENCIES

REGIONAL BUILDING DEPARTMENT
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO. 80910
719-321-2880

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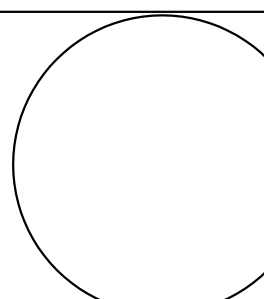
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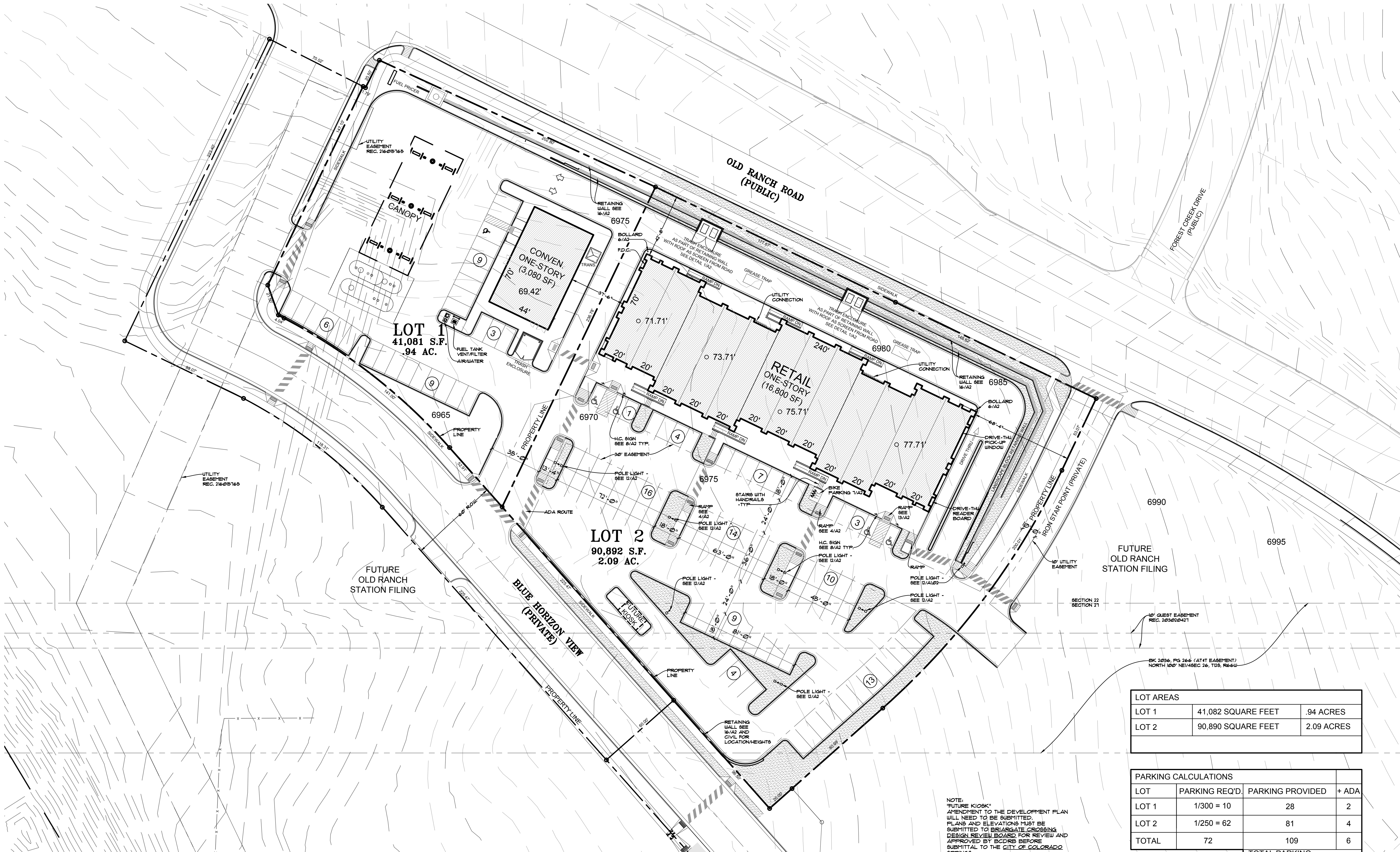
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TITLE SHEET



NOTE:
"FUTURE KIOSK"
AMENDMENT TO THE DEVELOPMENT PLAN
WILL NEED TO BE SUBMITTED.
PLANS AND ELEVATIONS MUST BE
SUBMITTED TO BIRMGATE CROSSING
DESIGN REVIEW BOARD FOR REVIEW AND
APPROVED BY BCDRS BEFORE
SUBMITTAL TO THE CITY OF COLORADO
SPRINGS

LOT AREAS		
LOT 1	41,082 SQUARE FEET	.94 ACRES
LOT 2	90,890 SQUARE FEET	2.09 ACRES

PARKING CALCULATIONS			
LOT	PARKING REQ'D	PARKING PROVIDED	+ ADA
LOT 1	1/300 = 10	28	2
LOT 2	1/250 = 62	81	4
TOTAL	72	109	6
TOTAL PARKING WITH ADA			= 115

030'60'90'

1A-1

PLAN - SITE

SCALE: 1/32

N

NORTH

CITY FILE NO.

FILE NO. T.B.D.

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SITE PLAN

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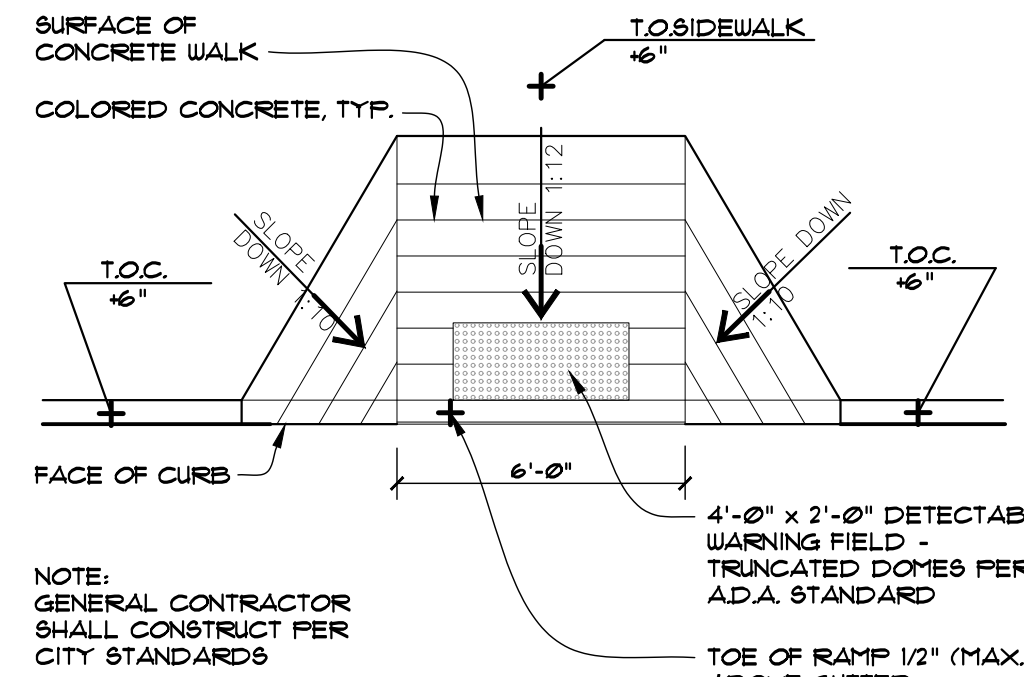
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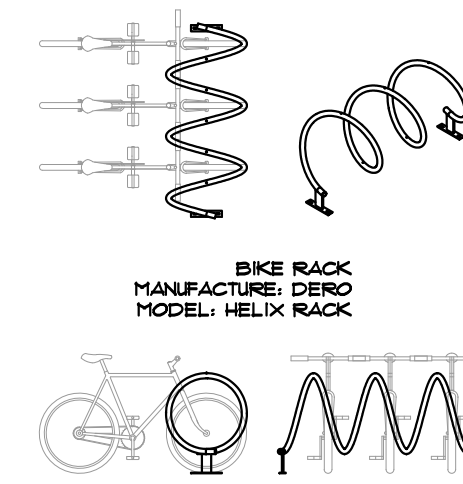
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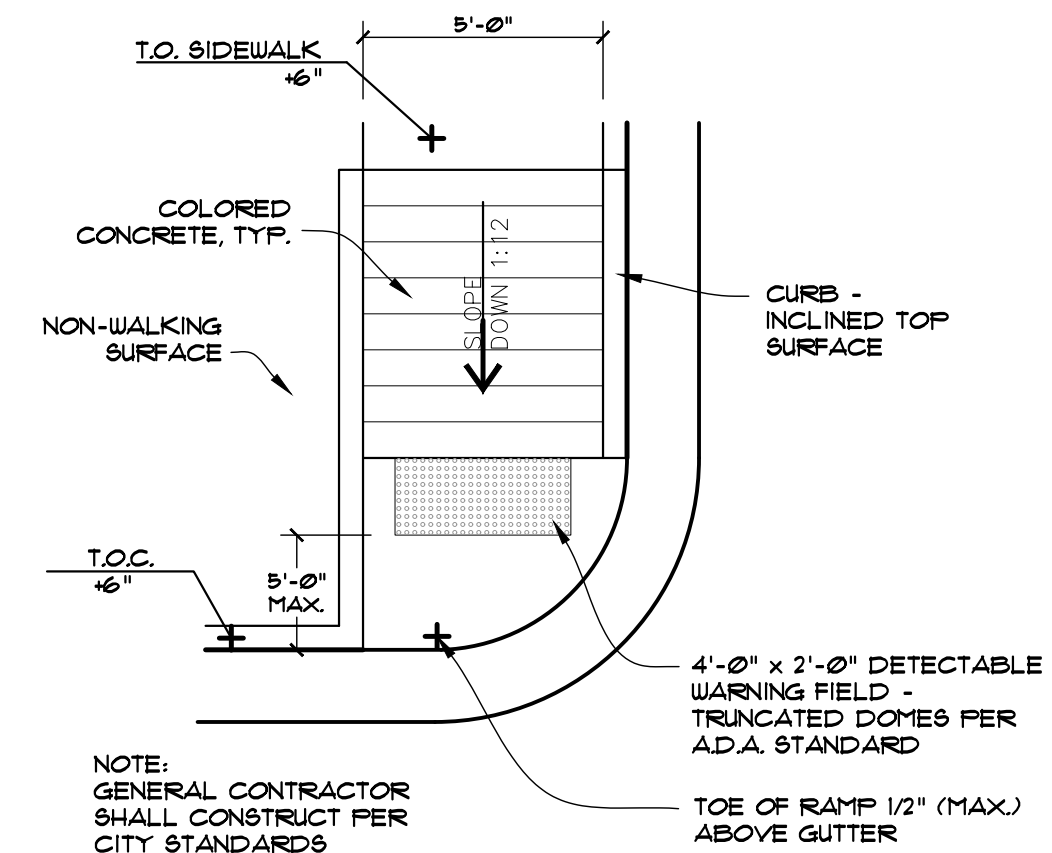
DETAIL - FIXTURE VIEW
NTA



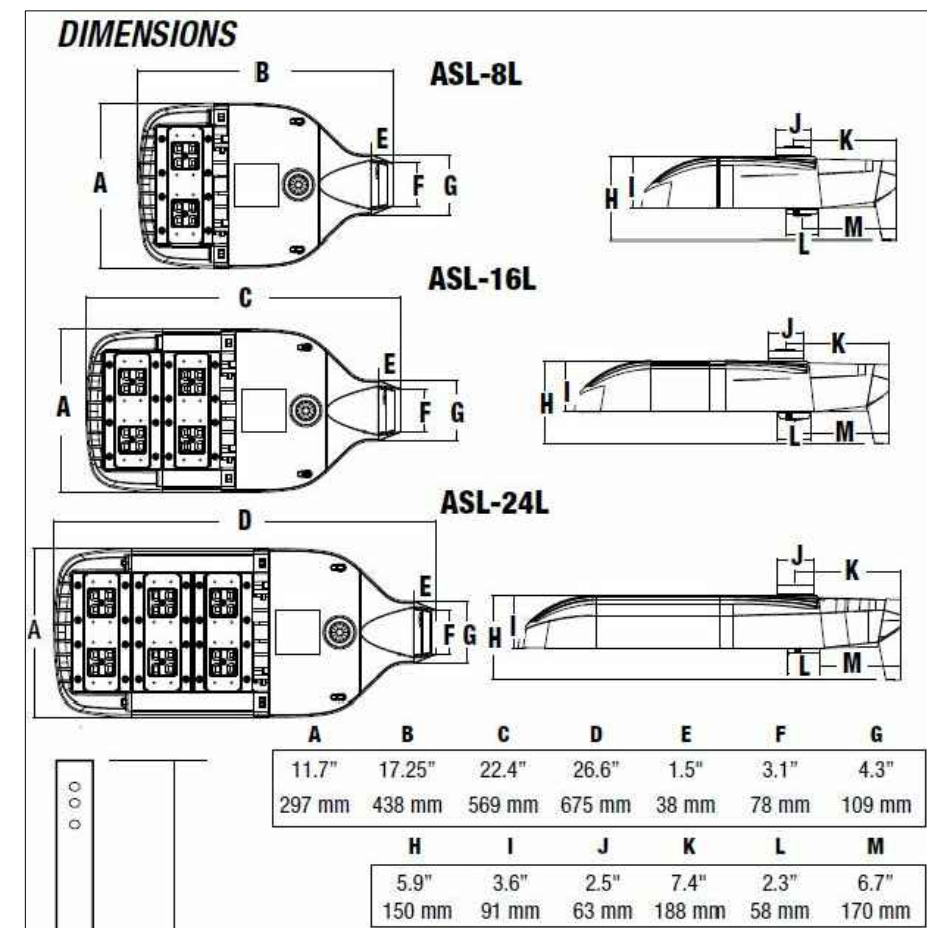
DETAIL - H.C. RAMP
1/4" = 1'-0"



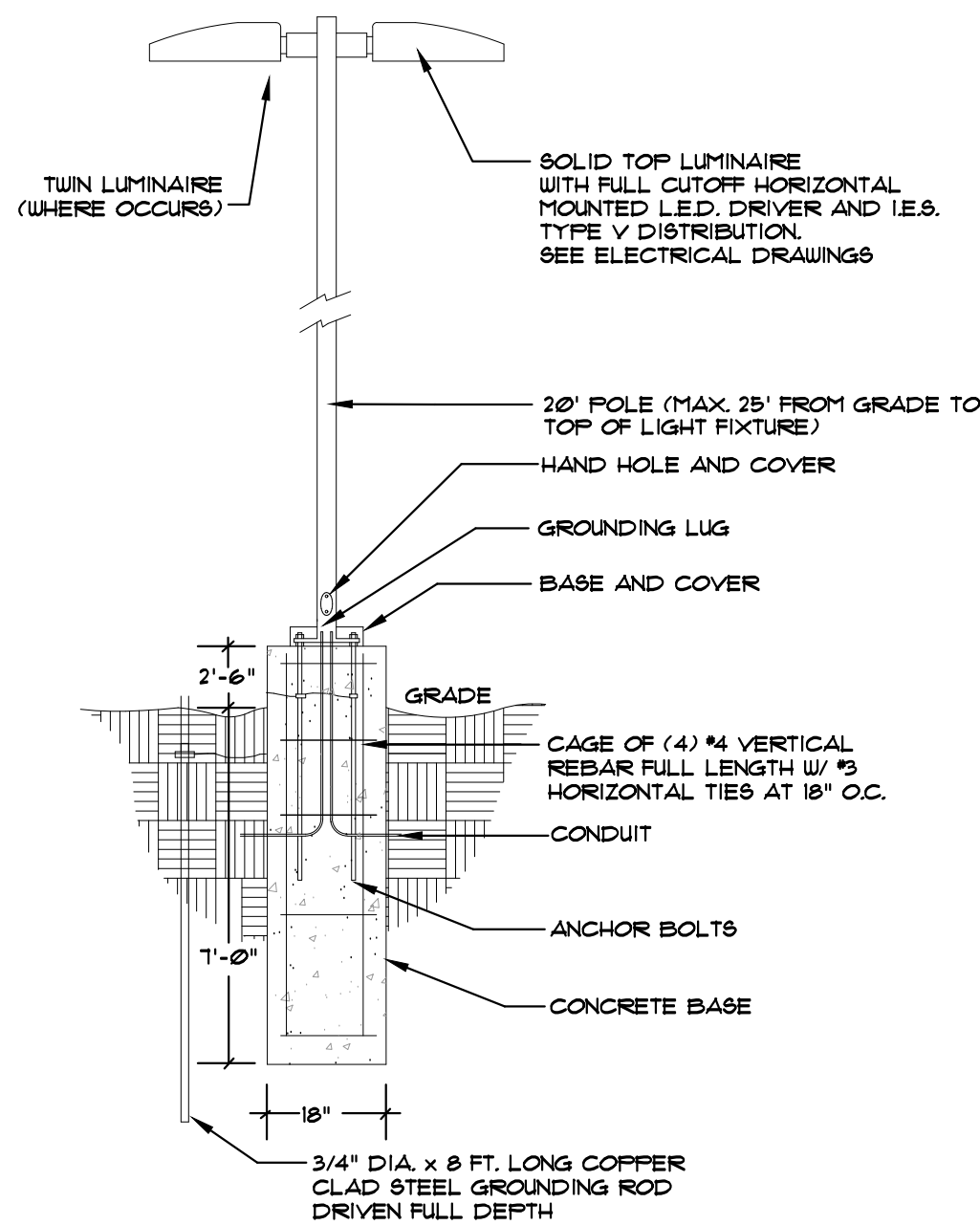
DETAIL - BIKE RACK
NTA



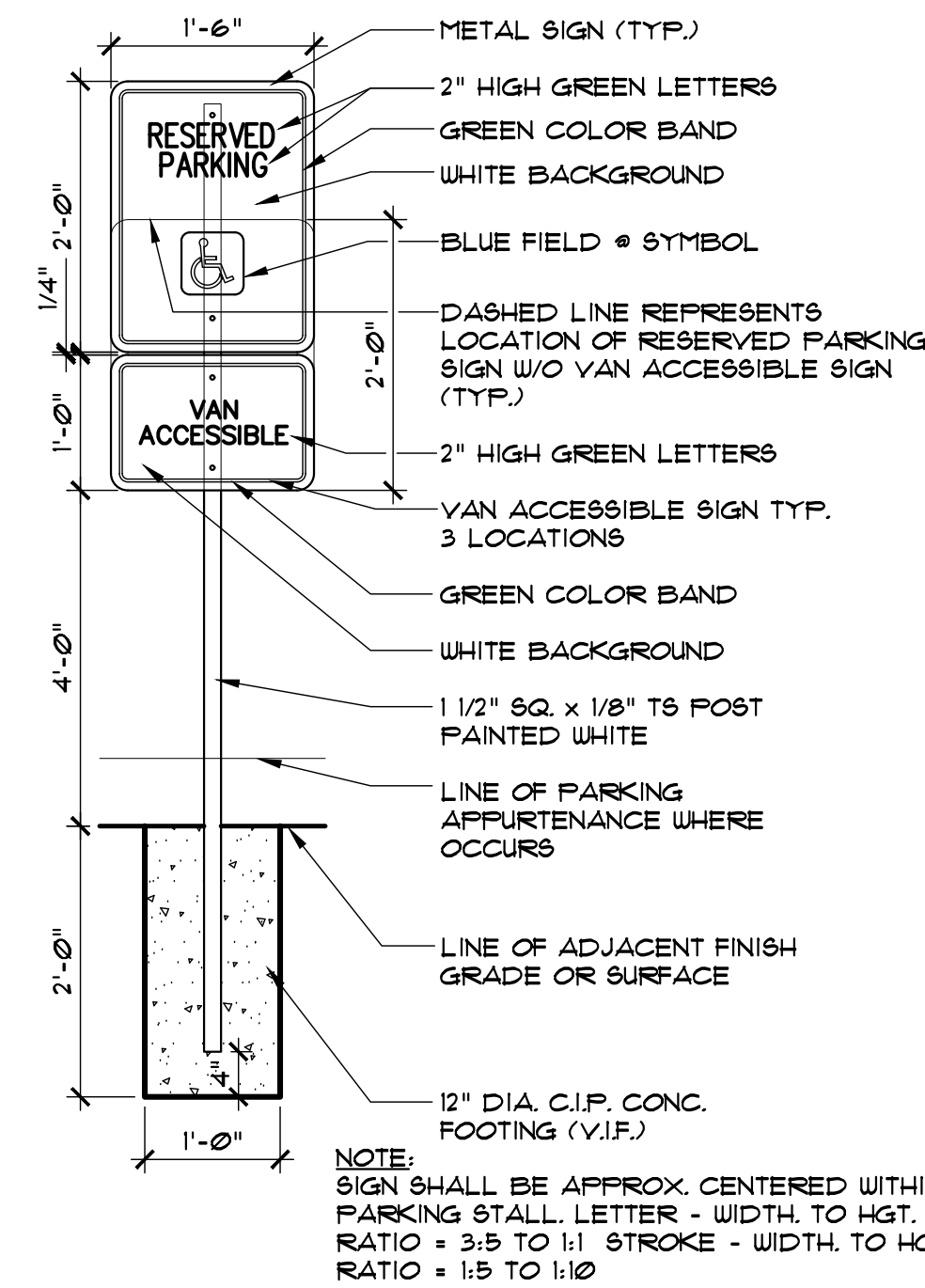
DETAIL - H.C. RAMP
1/4" = 1'-0"



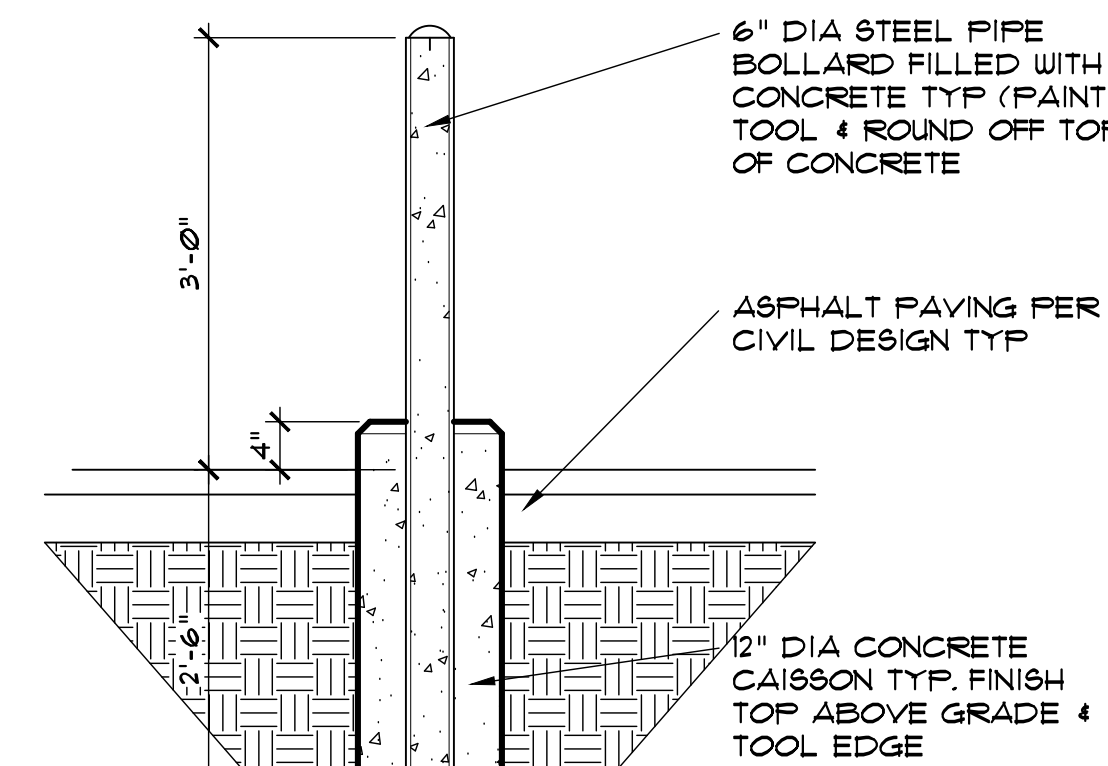
DETAIL - POLE TOP LIGHT FIXTURE DIMENSIONS
NTA



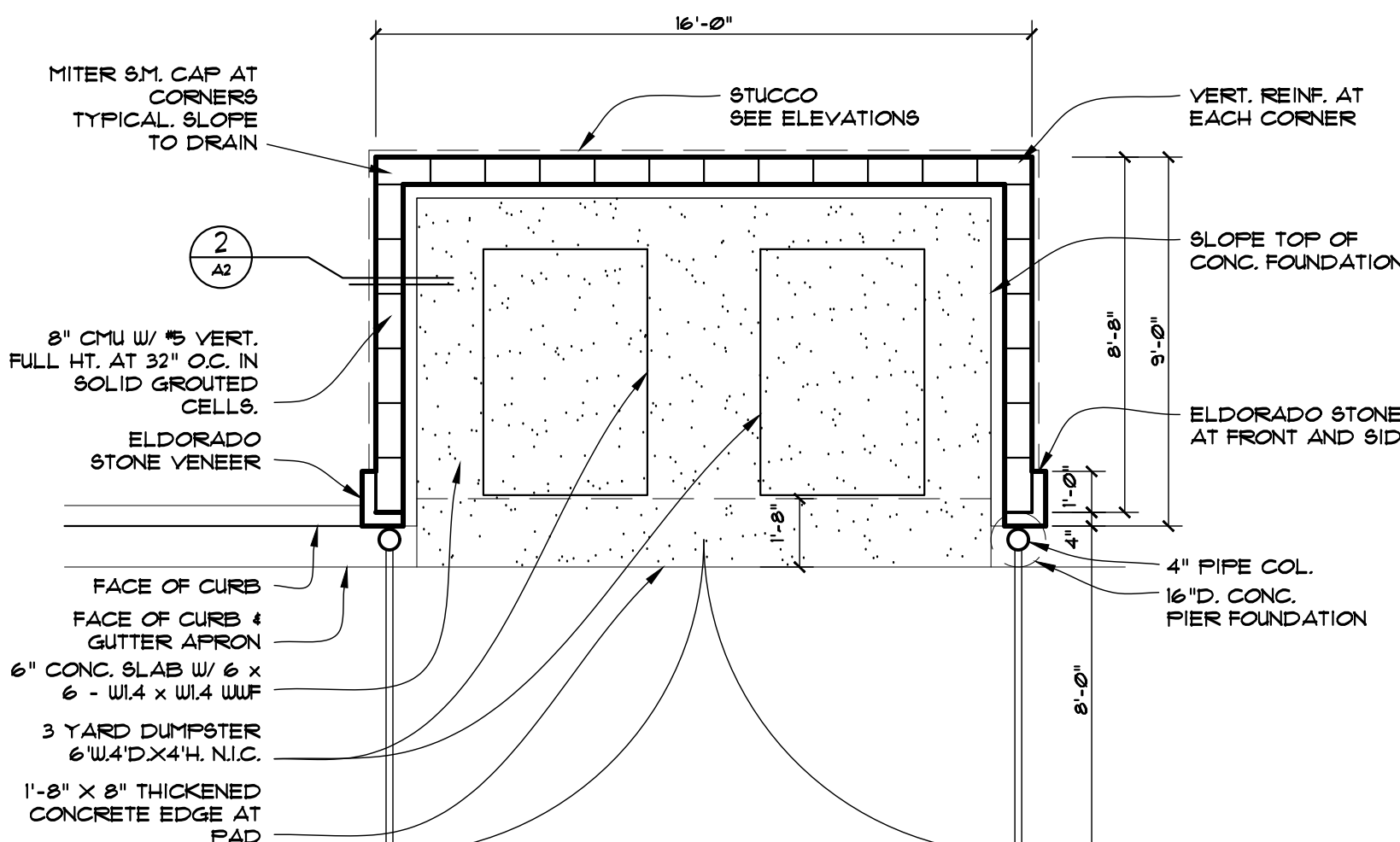
DETAIL - LIGHT FIXTURE
NTA



ELEVATION - H.C. SIGN
3/4" = 1'-0"

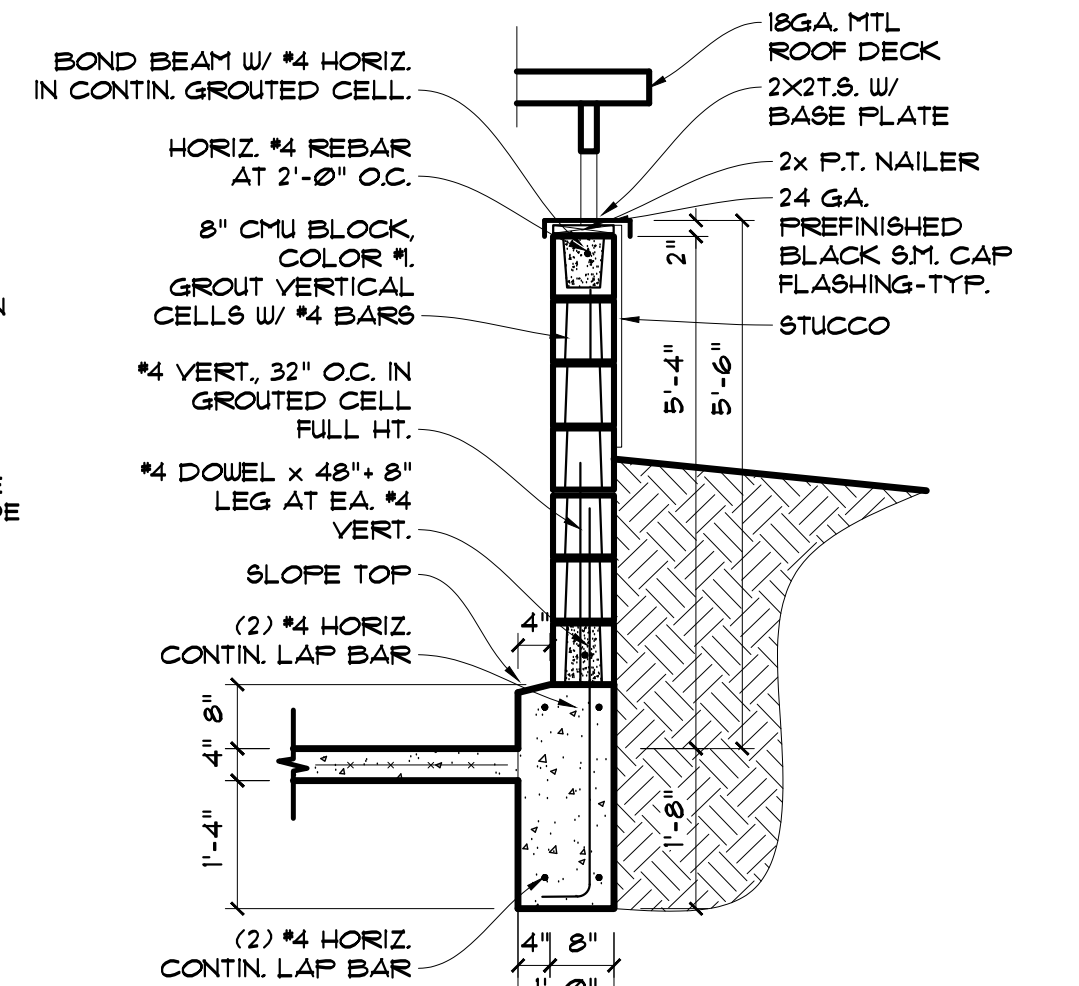


DETAIL - PIPE BOLLARD
3/4" = 1'-0"

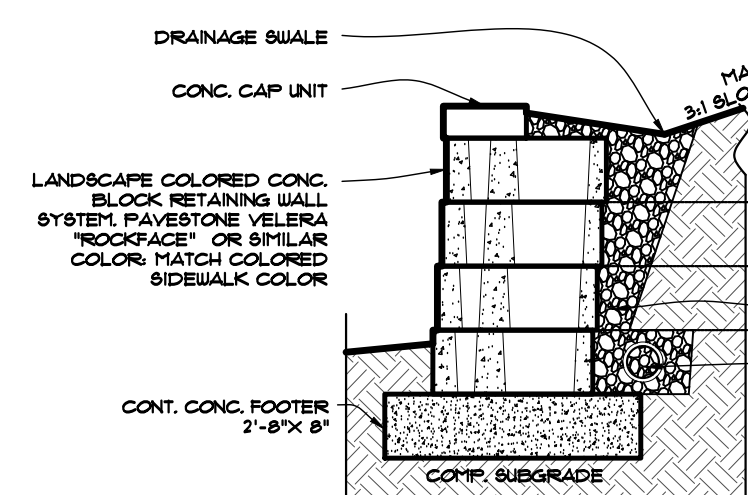


PLAN - TRASH ENCLOSURE
1/4" = 1'-0"

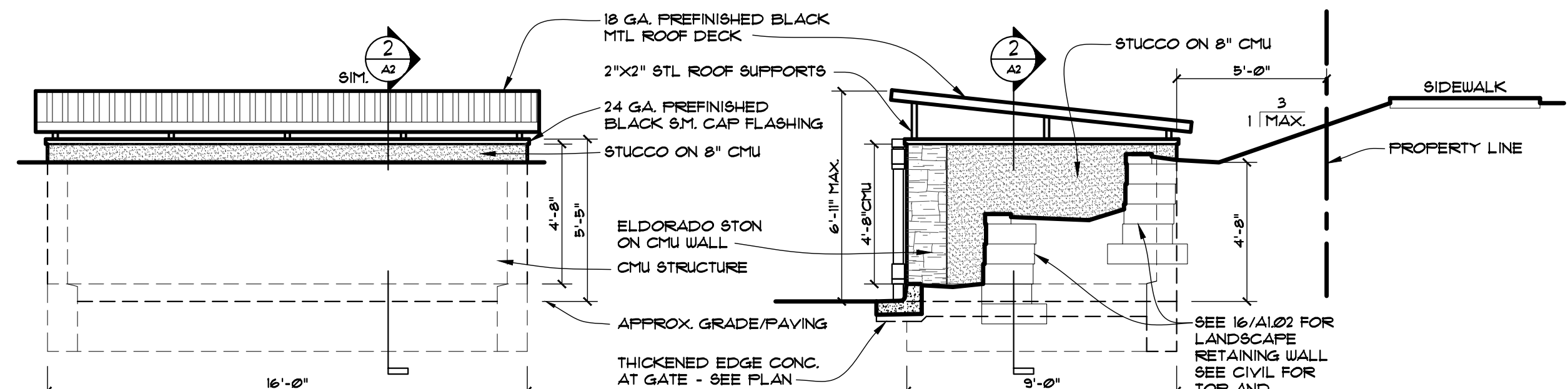
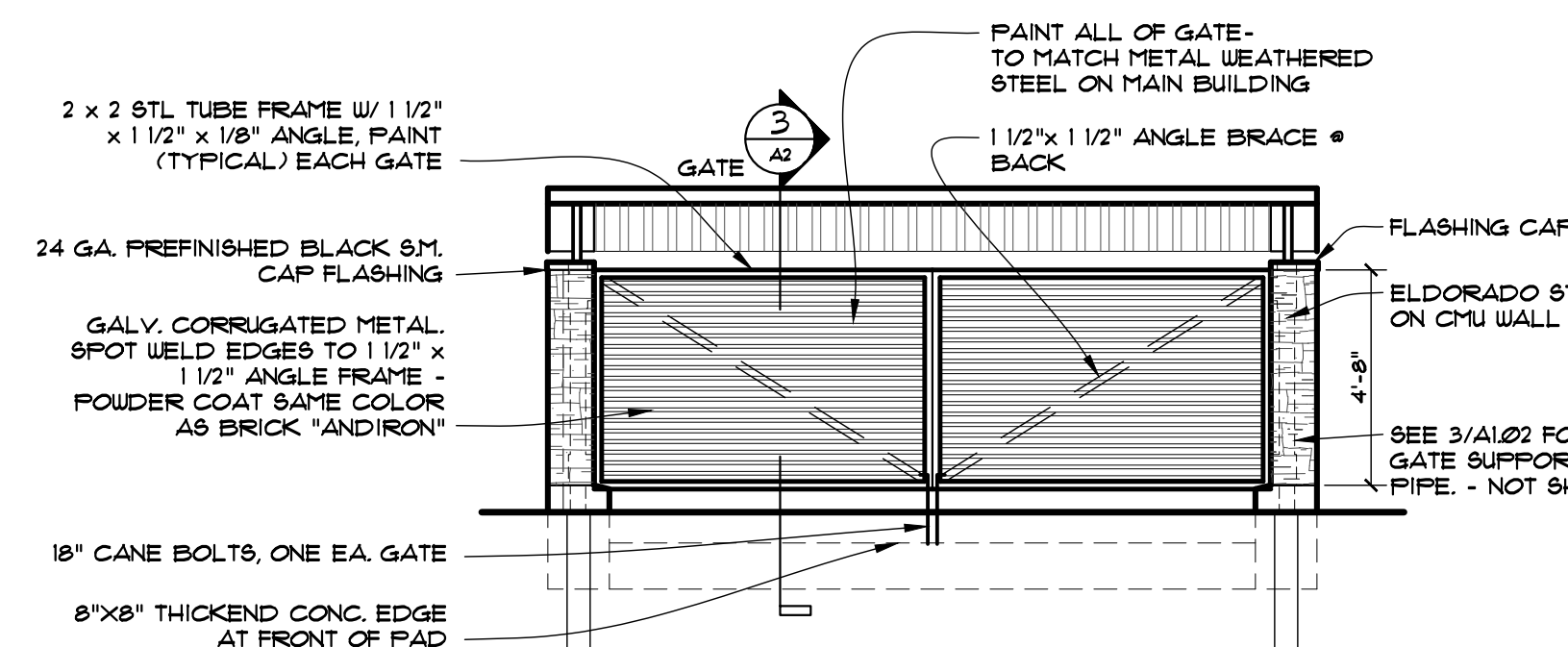
DETAIL - TRASH ENCLOSURE GATE
1/2" = 1'-0"



VERTICAL SECTION - TRASH ENC. WALL
1/2" = 1'-0"
CATCH PAN

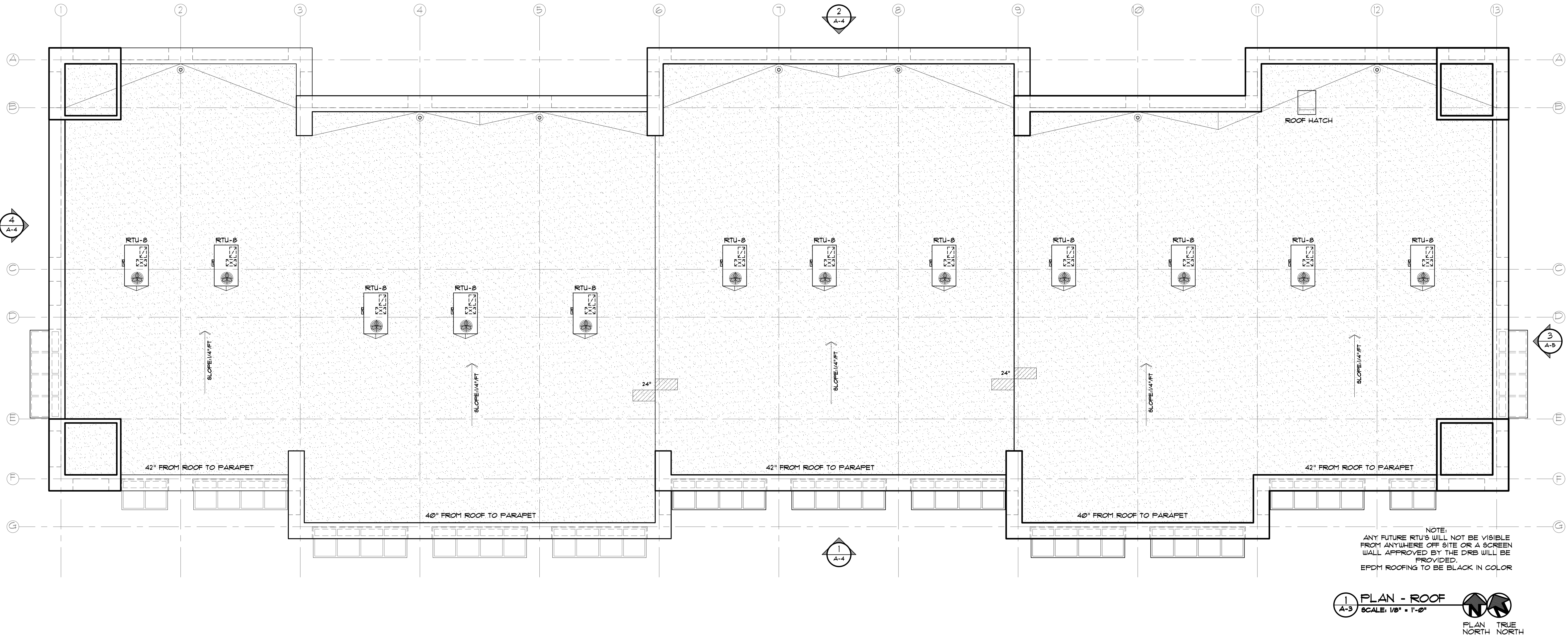


VERTICAL SECTION - LANDSCAPE WALL
1/2" = 1'-0"



DETAIL - TRASH ENCLOSURE - ELEVATIONS
1/4" = 1'-0"

CITY FILE NO: T.B.D.



1 PLAN - ROOF
A-3 SCALE: 1/8" = 1'-0"

PLAN TRUE
NORTH NORTH

NOTE:
ANY FUTURE RTU'S WILL NOT BE VISIBLE
FROM ANYWHERE OFF SITE OR A SCREEN
WALL APPROVED BY THE DRB WILL BE
PROVIDED.
EPDM ROOFING TO BE BLACK IN COLOR



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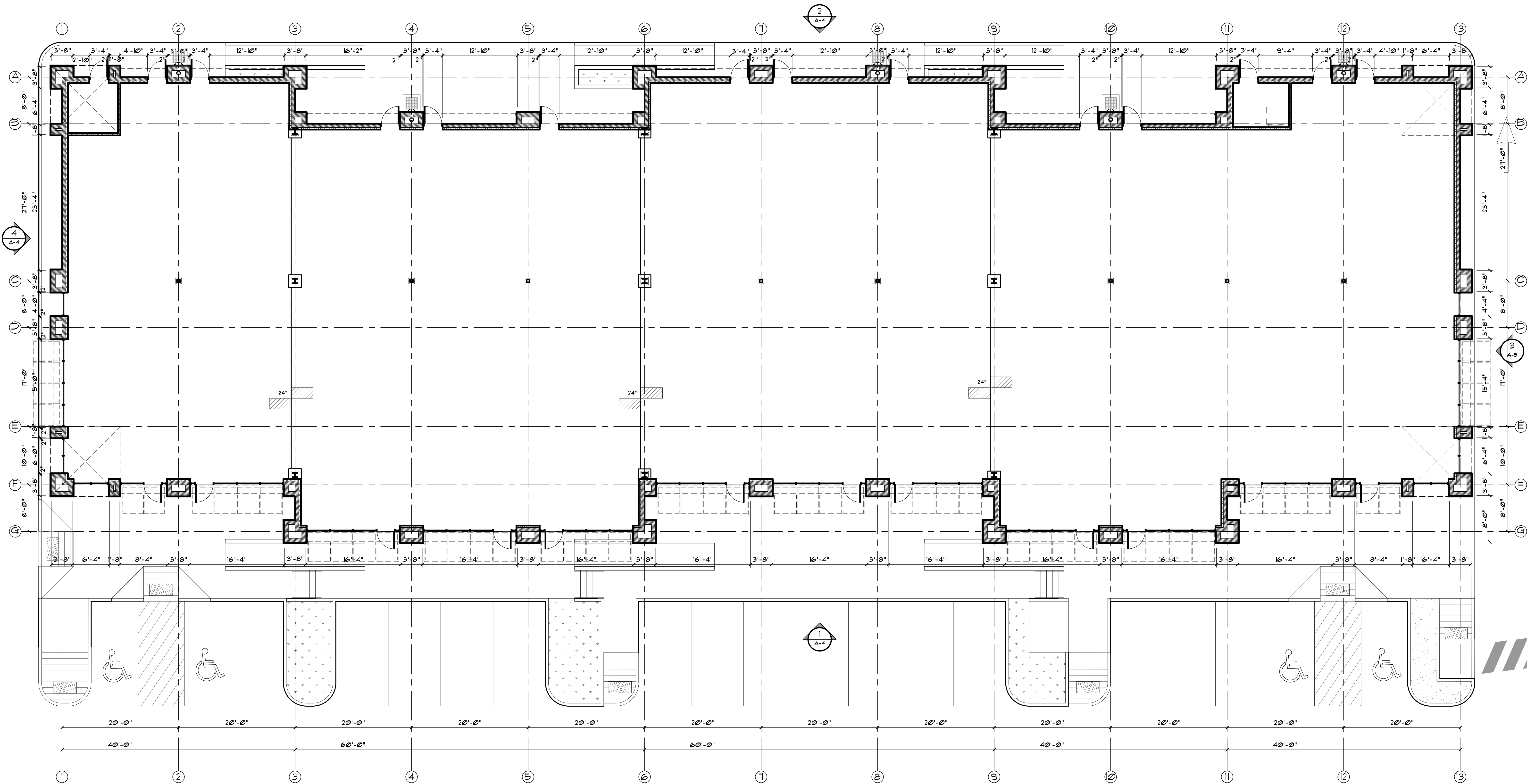
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FILE NO. T.B.D.



1
A-4

DETAIL - DIMMABLE RECESSED L.E.D. LIGHT
SCALE: 1/2" = 1'-0"

SPECIFICATIONS

HOUSING	Extruded aluminum housing. Continuous runs available.
FINISH	Satin anodized or white paint finish standard. Custom finish optional.
LENS	Extruded DR acrylic, snap-on frosted widespread lens.
LED DRIVER	Remote, universal voltage; 0-10V dimming standard; custom programmable. (Order Separately)
MOUNTING	Surface Mount; See page 2 for options and details.
LED's	(LED boards) 50,000 hours. (L70), 85 CRI, by Nichia and Cree.
CERTIFICATION	ETL/CSA listed for damp locations. 2001431 MADE IN THE USA

PROJECT:
TYPE:

3500K

5/8"

1 3/8"

1
A-4

DETAIL - CORNICE WITH RECESSED L.E.D. LIGHT
SCALE: 1/2" = 1'-0"

24 GA. "PAINTLOK" PARAPET EDGE FLASHING.

6"

1'-0"

1'-1 1/4"

2 1/2"

DIMMABLE RECESSED INDIRECT L.E.D. STRIP LIGHT 3500K. INTENT IS TO LIGHTLY WASH THE WALL WITH LIGHT NOT ILLUMINATE SIGNAGE.

3/4" STUCCO WITH ACRYLIC COAT OVER 8" REINF. CMU. CONSTRUCTION.

24 GA. "PAINTLOK" PARAPET CAP FLASHING ON 3/4" TREATED FLYWOOD.

CONT. BOND BEAM, REFER TO STRUCT.

EXTEND ROOF MEMBRANE UP AND OVER PARAPET.

STONE VENEER ON CMU.

2
A-4

PLAN - FLOOR
SCALE: 1/8" = 1'-0"

PLAN TRUE NORTH

LED WALL WASH LIGHTS:
LIGHT GLOW TO BE 1'-2'
BELOW FIXTURE WITH A
WARM 3500K LEVEL.

NOTE: RECESSED DIMMABLE
FIXTURE WILL ALLOW
FUTURE ADJUSTMENT OF
LIGHT LEVELS TO SUIT.

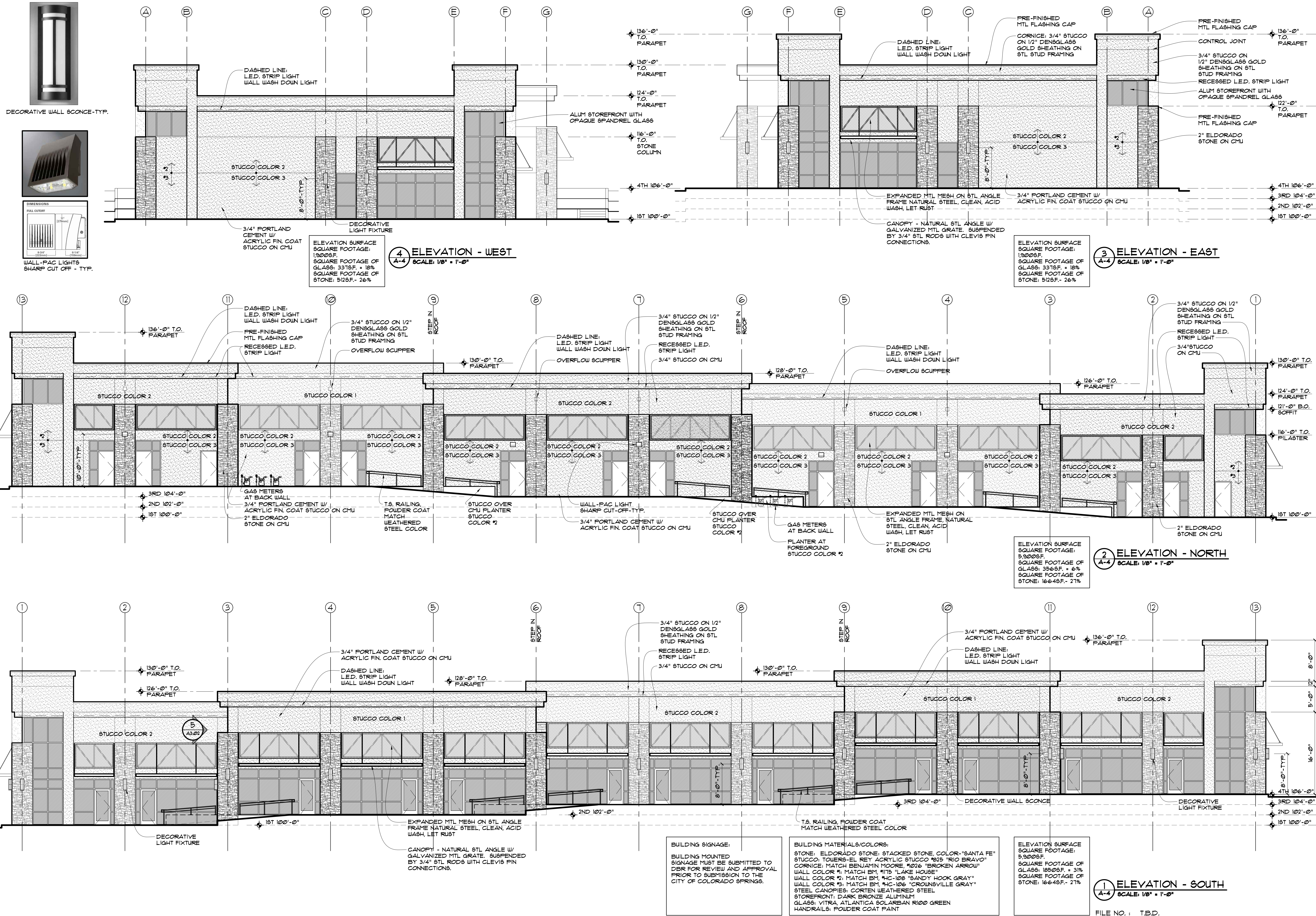
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PROJECT NO.

DRN BY:
LCR

REVISIONS:



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ELEVATIONS

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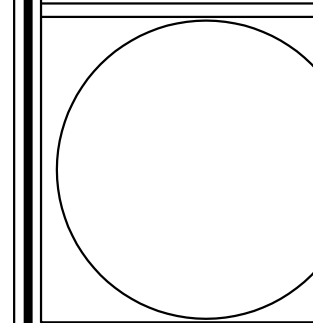
1 ELEVATION - SOUTH
A-4 SCALE: 1/8" = 1'-0"

FILE NO.: T.B.D.

ELEVATION SURFACE
SQUARE FOOTAGE:
5,300SF.
SQUARE FOOTAGE OF
GLASS: 1890SF. = 31%
SQUARE FOOTAGE OF
STONE: 16648SF. = 21%

BUILDING MATERIALS/COLORS:
STONE: ELDORADO STONE; STACKED STUCCO, COLOR: "SANTA FE"
STUCCO: TOWERS-EL REY ACRYLIC STUCCO #25 "RIO BRAVO"
CORNICHE: MATCH BENJAMIN MOORE, #1026 "BROKEN ARROW"
WALL COLOR #1: MATCH BM, #115 "LAKE HOUSE"
WALL COLOR #2: MATCH BM, #140-108 "SANDY HOOK GRAY"
WALL COLOR #3: MATCH BM, #140-108 "CROUNSVILLE GRAY"
STEEL CANOPIES: CORTEN WEATHERED STEEL
STOREFRONT: DARK BRONZE ALUMINUM
GLASS: VITRA, ATLANTICA SOLARBAN R100 GREEN
HANDRAILS: POWDER COAT PAINT

BUILDING SIGNAGE:
BUILDING MOUNTED
SIGNAGE MUST BE SUBMITTED TO
DEPT. FOR REVIEW AND APPROVAL
PRIOR TO SUBMISSION TO THE
CITY OF COLORADO SPRINGS.



PRINTED BY: KANG
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PRINT DATE: May 14, 2019 - 12:00pm

01 FRONT (WEST) ELEVATION
1/4" = 1'-0"

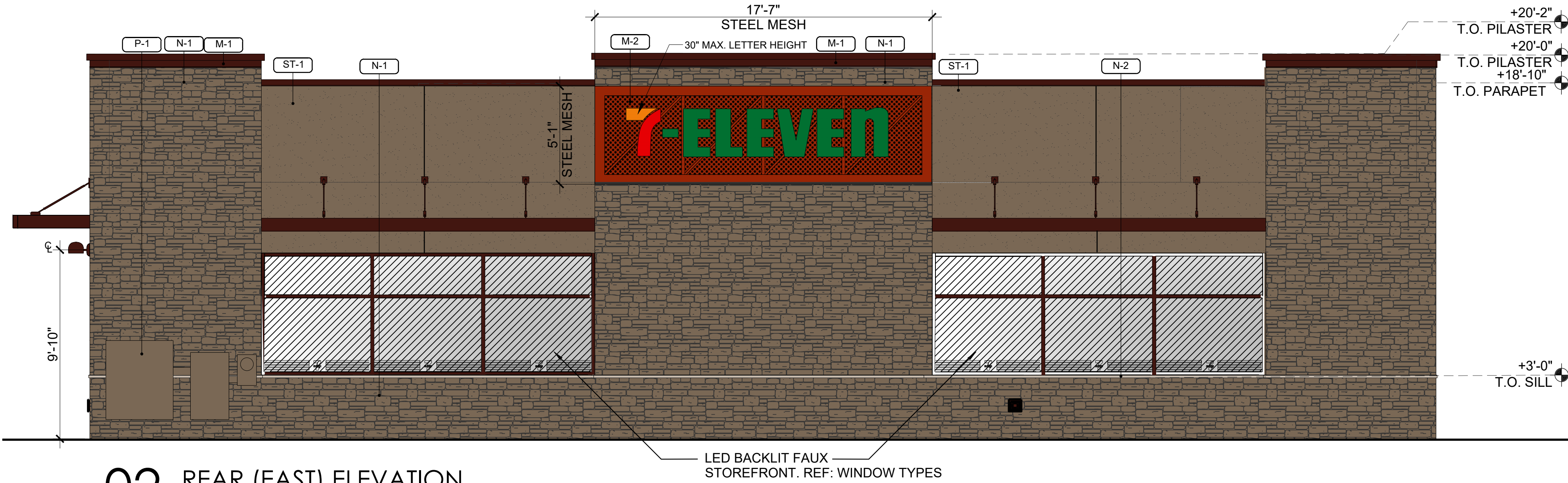


EXTERIOR FINISH SCHEDULE

NOTE: SEALANT COLORS: MATCH COLOR OF ADJACENT MATERIAL BEING SEALED - WHEN 2 OR MORE COLORS ARE ADJACENT, MATCH LIGHTER-COLORED MATERIAL.

FINISH	MATERIAL	PATTERN
M-1	24 GAUGE GALV. SHEET METAL COPING CAP, SLOPE 1/4" PER FOOT, PRE-FINISHED TO MATCH CANOPIES AND OTHER METAL WORKS (SW 7048 "URBANE BRONZE") - OR SIMILAR	
M-2	EXPANDED MTL. MESH ON STL ANGLE FRAME, NATURAL STEEL	
P-1	PREFINISHED SHEET METAL DOWNSPOUT SYSTEM AND PRE-FABRICATED AWNINGS TO MATCH CANOPIES AND OTHER METAL WORKS (SW 7048 "URBANE BRONZE") - OR SIMILAR	
N-1	STONE VENEER - ELDORADO STONE - MOUNTAIN LEDGE - "SIERRA" - OR SIMILAR	
N-2	PRE-CAST CONCRETE SILL	
ST-1	DRYVIT (OR EQUAL) - EIFS - "SW 7508 TAVERN TAUPE" - OR SIMILAR	
S-1/S-2	KAWNEER, "DARK BRONZE" ALUMINUM STOREFRONT FRAME - 1" INSULATED CLEAR GLAZING BY OLDCASTLE - OR EQUAL - OR SIMILAR	
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, LIGHT POLES, AND EXTERIOR BOLLARDS - SHERWIN WILLIAMS "SW 7508 TAVERN TAUPE" OR SIMILAR	
ACM-1	ALUMINUM COMPOSITE MATERIAL- ALCOA REYNOBOND- "PUEBLO TAN"	

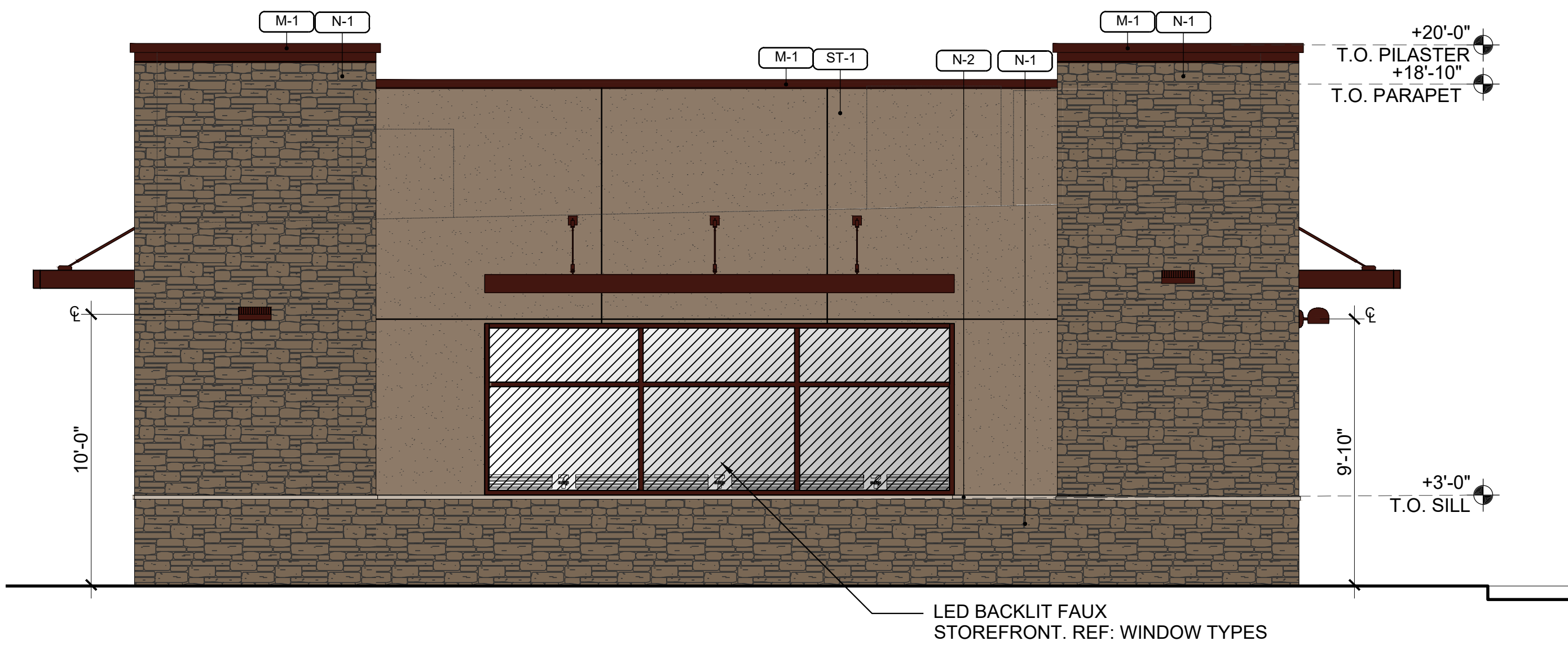
02 REAR (EAST) ELEVATION
1/4" = 1'-0"



03 SIDE (SOUTH) ELEVATION
1/4" = 1'-0"

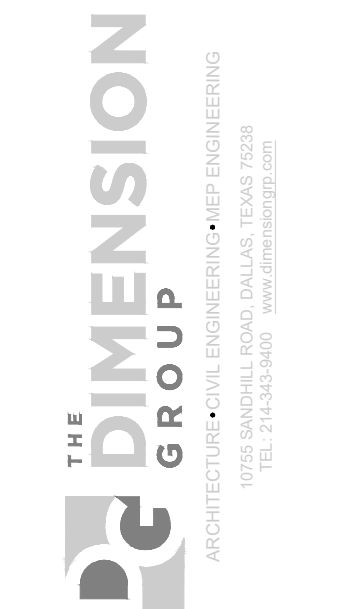
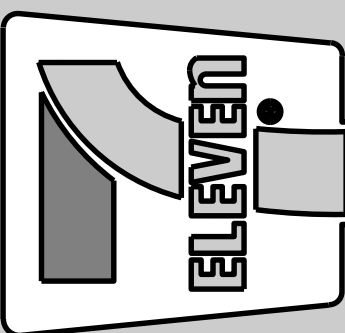


04 SIDE (NORTH) ELEVATION
1/4" = 1'-0"



7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063

7-ELEVEN #1043322
OLD RANCH ROAD
COLORADO SPRINGS, CO 80908



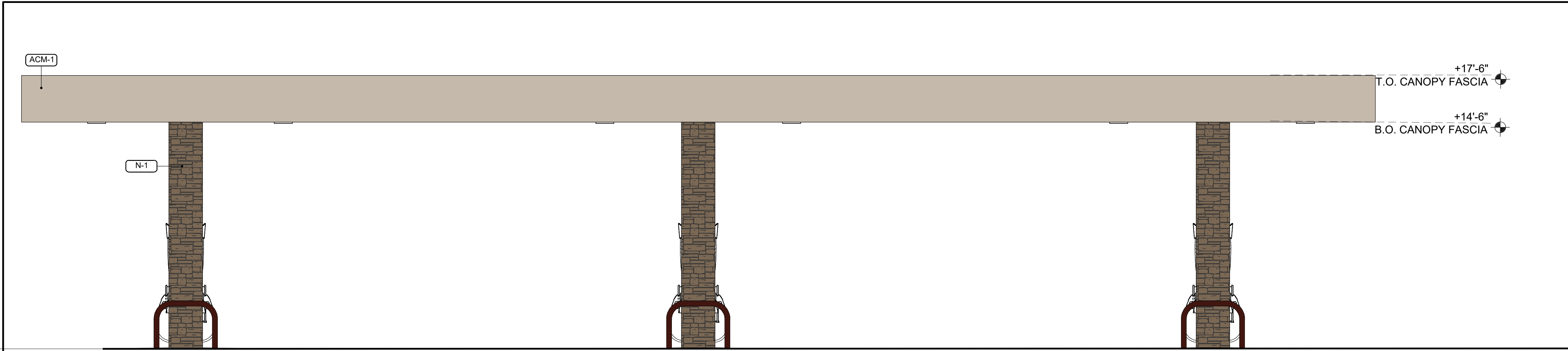
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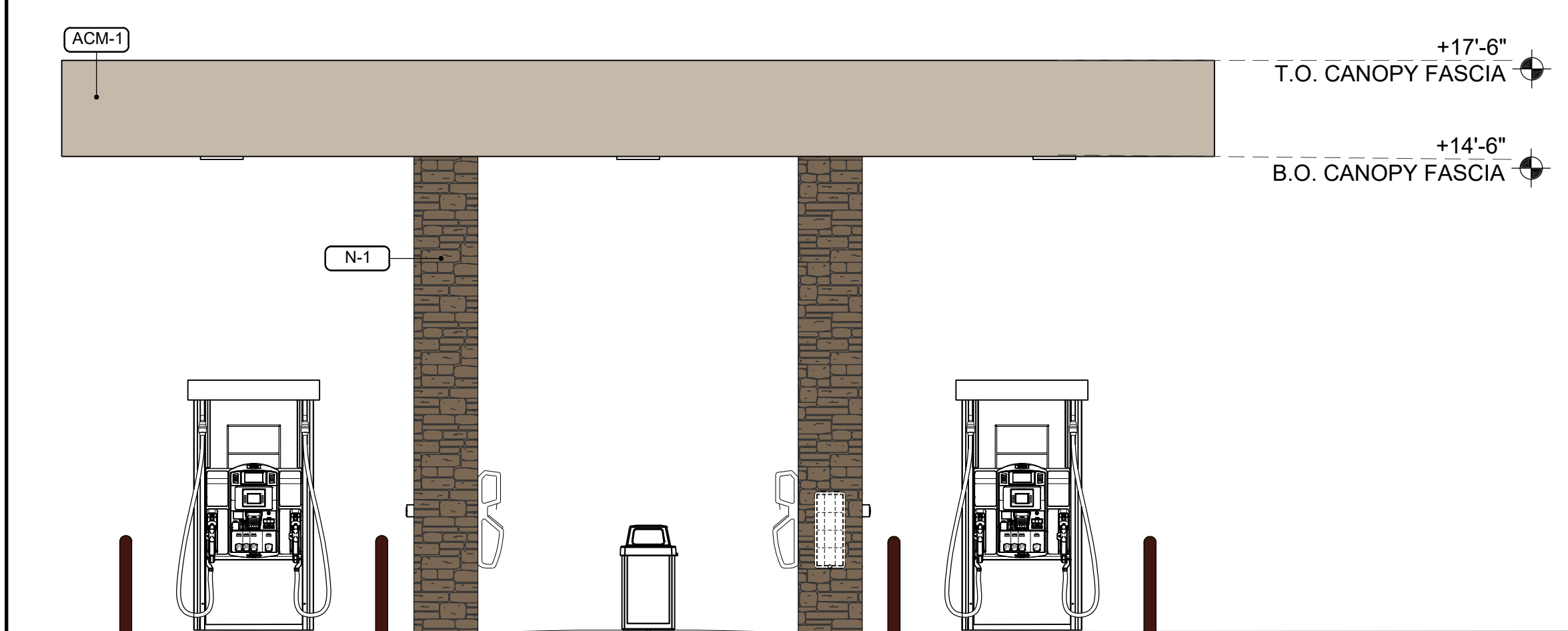


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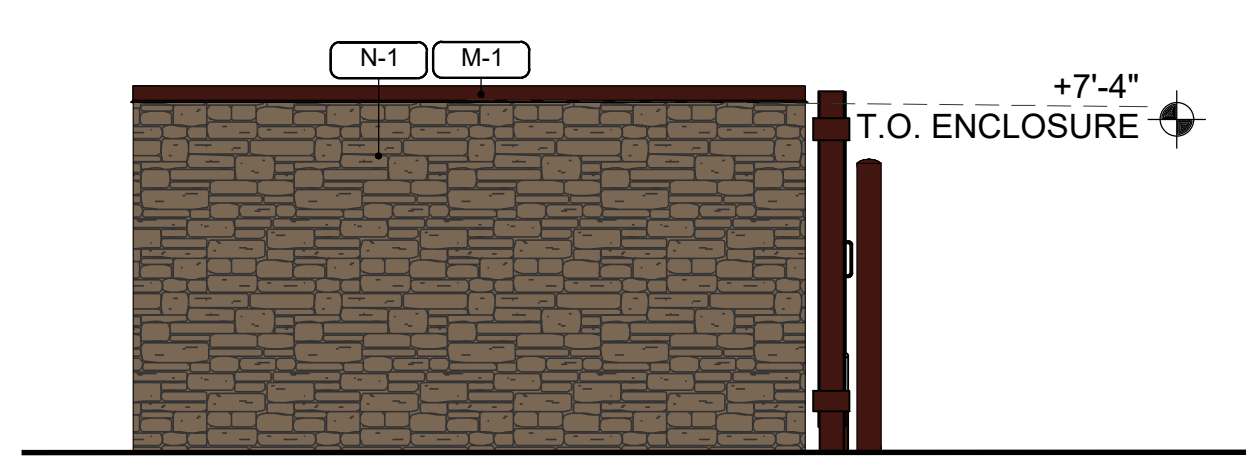
A-6



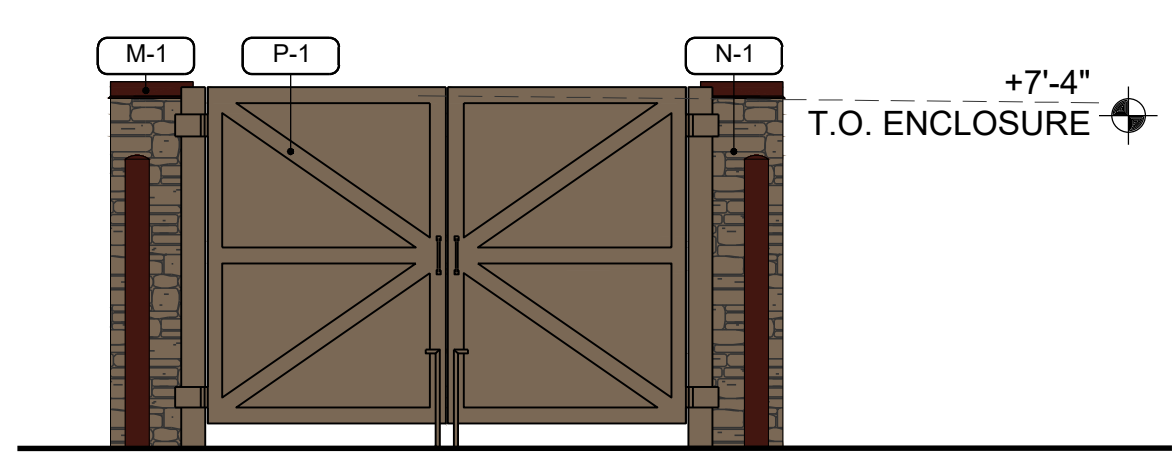
01 SITE-SOUTH MPD CANOPY FRONT/REAR (EAST/WEST) ELEVATION
1/4" = 1'-0"



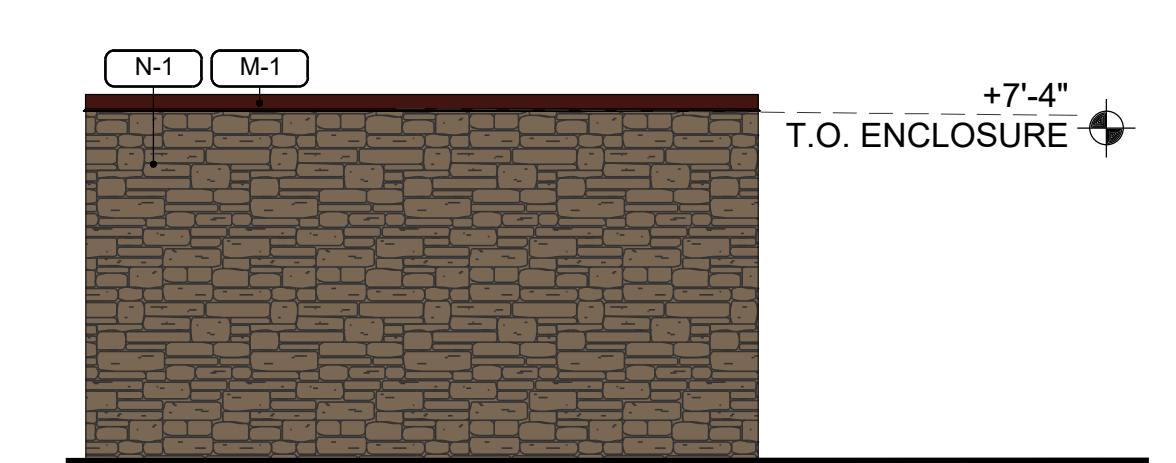
02 SITE-SOUTH MPD CANOPY SIDE (NORTH/SOUTH) ELEVATION
1/4" = 1'-0"



03 TRASH ENCLOSURE SIDE ELEVATION
3/16" = 1'-0"

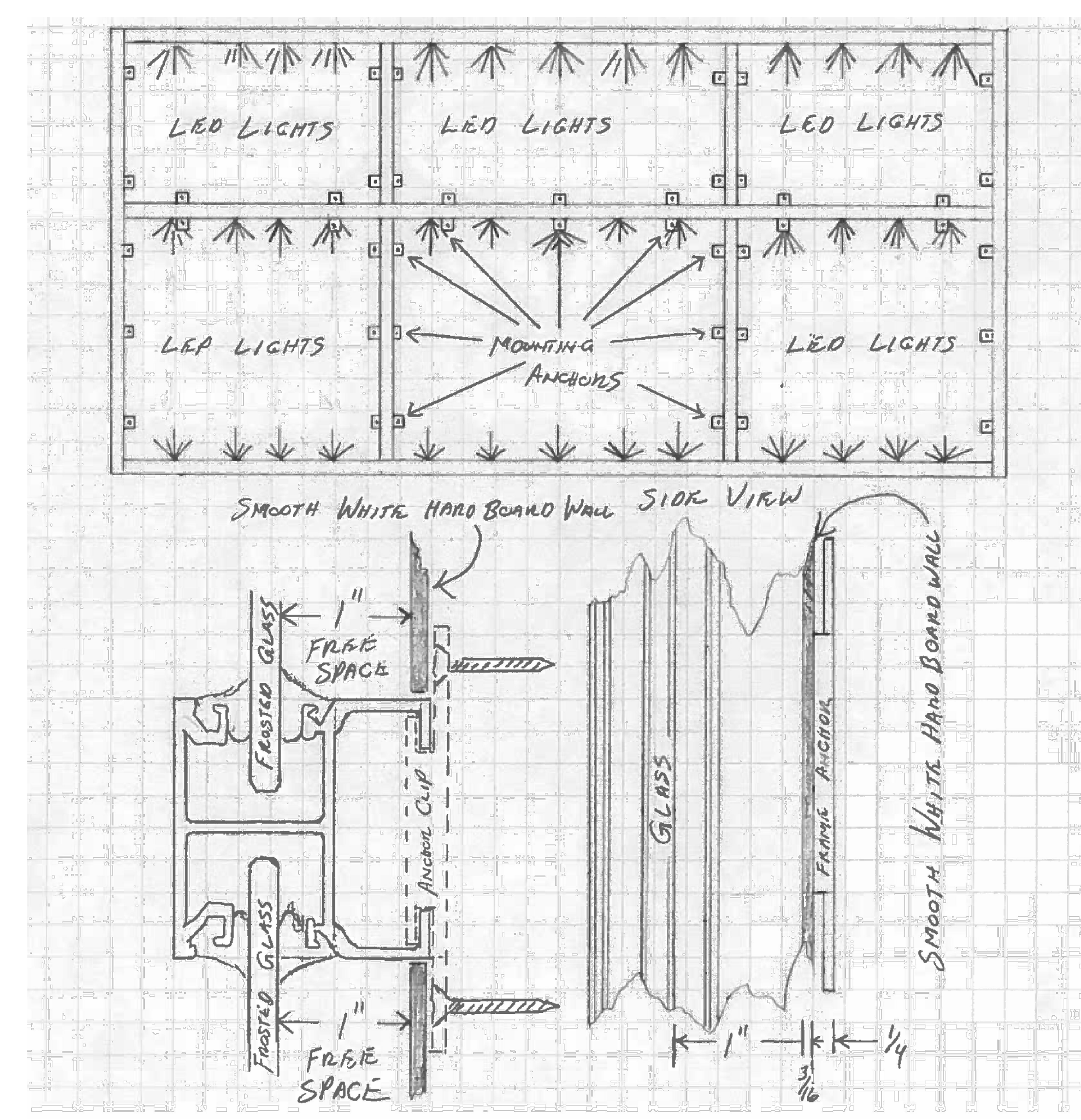


04 TRASH ENCLOSURE FRONT ELEVATION
3/16" = 1'-0"



05 TRASH ENCLOSURE FRONT ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE		
NOTE: SEALANT COLORS: MATCH COLOR OF ADJACENT MATERIAL BEING SEALED - WHEN 2 OR MORE COLORS ARE ADJACENT, MATCH LIGHTER-COLORED MATERIAL.		
FINISH	MATERIAL	PATTERN
M-1	24 GAUGE GALV. SHEET METAL COPING CAP, SLOPE 1/2" PER FOOT, PRE-FINISHED TO MATCH CANOPIES AND OTHER METAL WORKS (SW 7048 "URBANE BRONZE") - OR SIMILAR	
M-2	EXPANDED MTL. MESH ON STL ANGLE FRAME, NATURAL STEEL	
P-1	PREFINISHED SHEET METAL DOWNSPOUT SYSTEM AND PRE-FABRICATED AWNINGS TO MATCH CANOPIES AND OTHER METAL WORKS (SW 7048 "URBANE BRONZE") - OR SIMILAR	
N-1	STONE VENEER - ELDORADO STONE - MOUNTAIN LEDGE - "SIERRA" - OR SIMILAR	
N-2	PRE-CAST CONCRETE SILL	
ST-1	DRYVIT (OR EQUAL) - EIFS - "SW 7508 TAVERN TAUPE" - OR SIMILAR	
S-1/S-2	KAWNEER, "DARK BRONZE" ALUMINUM STOREFRONT FRAME - 1" INSULATED CLEAR GLAZING BY OLDCASTLE - OR EQUAL - OR SIMILAR	
P-1	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, LIGHT POLES, AND EXTERIOR BOLLARDS-SHERWIN WILLIAMS "SW 7508 TAVERN TAUPE" OR SIMILAR	
ACM-1	ALUMINUM COMPOSITE MATERIAL- ALCOA REYNOBOND-"PUEBLO TAN"	



06 FAUX BACKLIT WINDOW DETAIL
3/16" = 1'-0"

PRINTED BY: KANOE
DRAWING NAME: 08-073_XELEVATIONS.DWG
PRINT DATE: May 14, 2018 - 12:01pm

7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING, TEXAS 75063	7-ELEVEN #1043322 OLD RANCH ROAD COLORADO SPRINGS, CO 80908
Job#: SEI-1043322	
Scale: AS NOTED	Date: 04/15/19
Drawn By:	Checked By:
Documents prepared by The Dimension Group are to be used only for the specific project and not for any other project or any other party, without the expressed written consent of The Dimension Group. It is not to be used in a way other than that specifically intended. User will hold The Dimension Group harmless from all claims and losses.	
PRELIMINARY DRAWINGS Not for construction	
SHEET: 8 of 19	
A-7	



PRINTED BY: TKINDE
DRAWING NAME: C8-073_XELEVATIONS.DWG

SHEET: 9 of 19

A-8

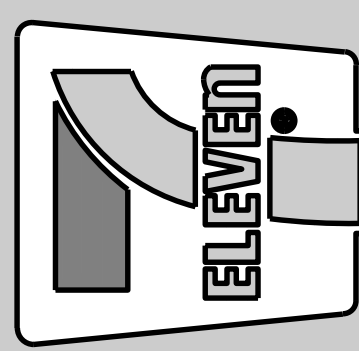
Job#: SEI-1043322

Scale:	AS NOTED
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Scale. AS NOTED

Date: 04/15/19

Drawn By:




7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063

7-ELEVEN #1043322
OLD RANCH ROAD
COLORADO SPRINGS, CO 80908

[illegible]

Proto 04-30-2018

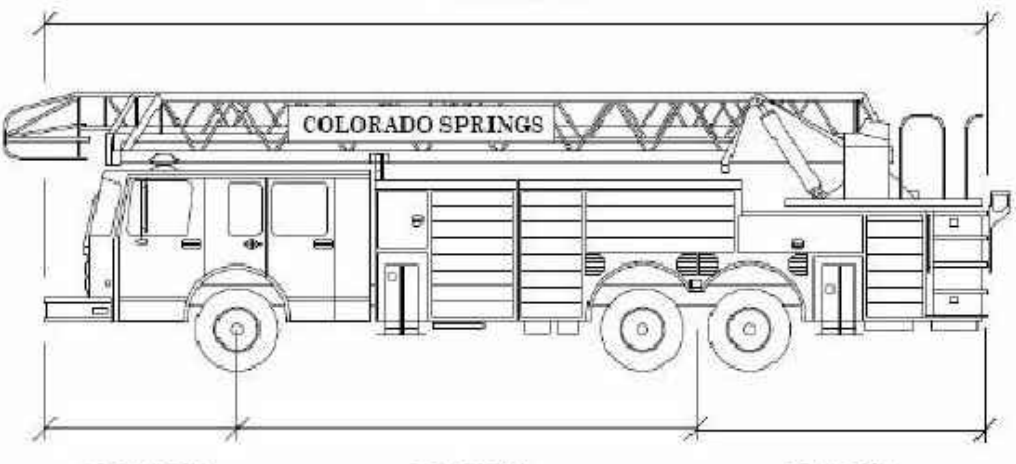
Colorado Springs Fire Department
Division of the Fire Marshal
CSFD Apparatus Specifications



2017

CSFD Apparatus Data Used Within AutoTurn

42.5' (509")



Width8.42' (101")

Track8.17' (98")

Lock to Lock Time5.00 seconds


Steering Angle44 degrees

Other Useful Apparatus Data

Angle of Approach	Less than 8° degrees (not % percent)
Angle of Departure	Less than 8° degrees (not % percent)
Undercarriage Clearance	.66' (8")
Rear Overhang (c/s of rear axle to rear bumper)	10' (120")
Wheelbase (c/s of front axle to c/s of forward rear axle)	20' (240")
Inside Turning Radius	33' (396")
Outside Turning Radius	53' (636")

If any other specific information is needed, please contact the Division of the Fire Marshal

Division of the Fire Marshal | 375 Printers Parkway | TEL 719-385-5978 • FAX 719-385-7334



CSFD APPARATUS DATA - N.T.S.

PLAN - AUTOTURN STUDY
SCALE: 1:30
NORTH

CITY FILE NO.

FILE NO. T.B.D.

John P. Nelson
associates

1626 E. Pikes Peak, Colorado Springs, CO 80906 Phone: (719) 632-3364
John@jpnarch.com (719) 632-1181 Fax

AUTOTURN STUDY

SHOPPES AT OLD RANCH STATION

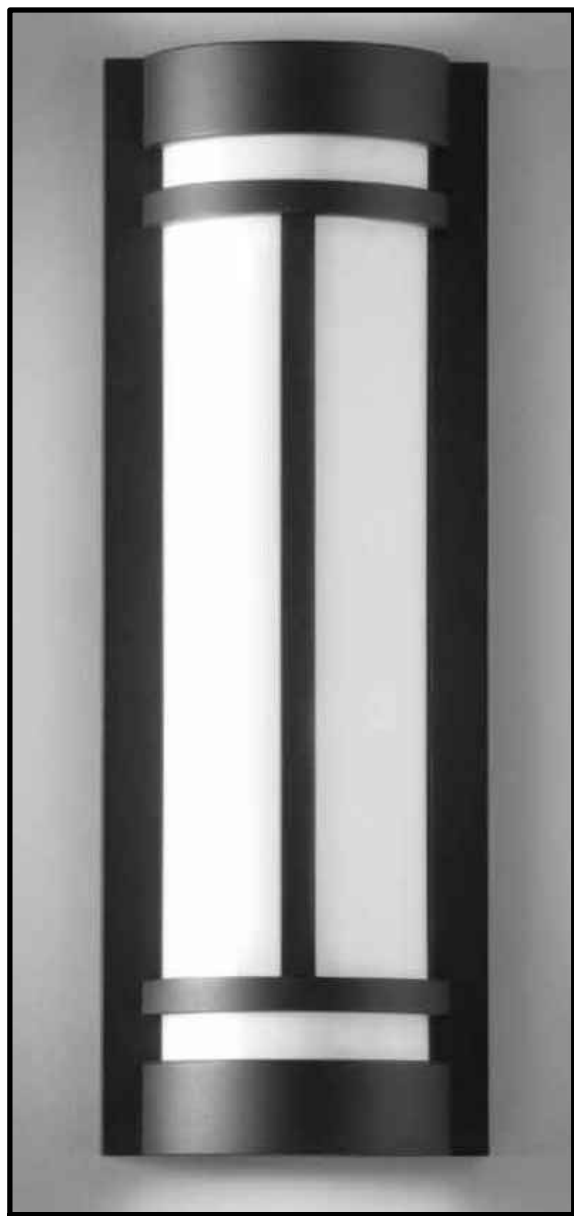
OLD RANCH ROAD
COLORADO SPRINGS, COLORADO 80908

PROJECT NO.

DRN BY:
LCR

REVISIONS:

ISSUE
DATE: 06-03-2019
SHEET:
A-9
10 OF 19

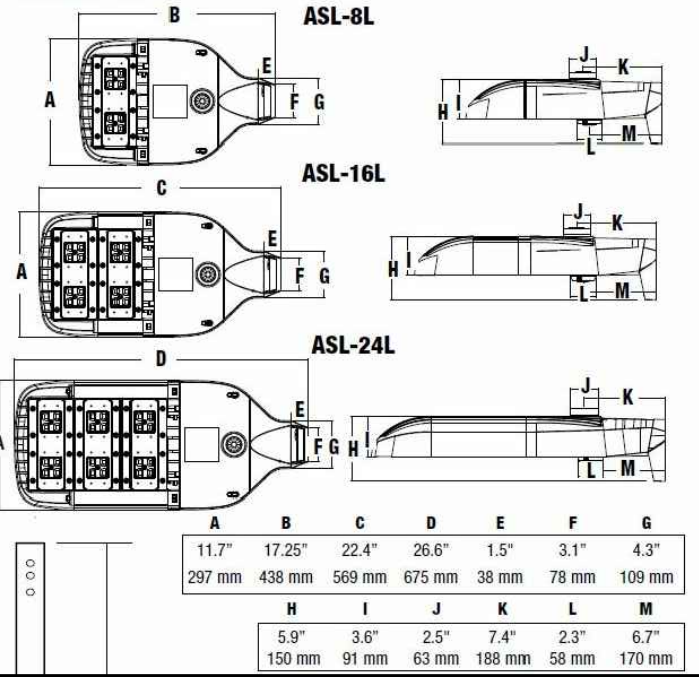


DW6 - DECORATIVE ARCHITECTURAL LIGHT

PRODUCT IMAGE(S)



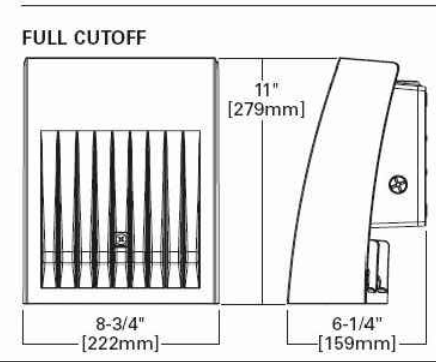
DIMENSIONS



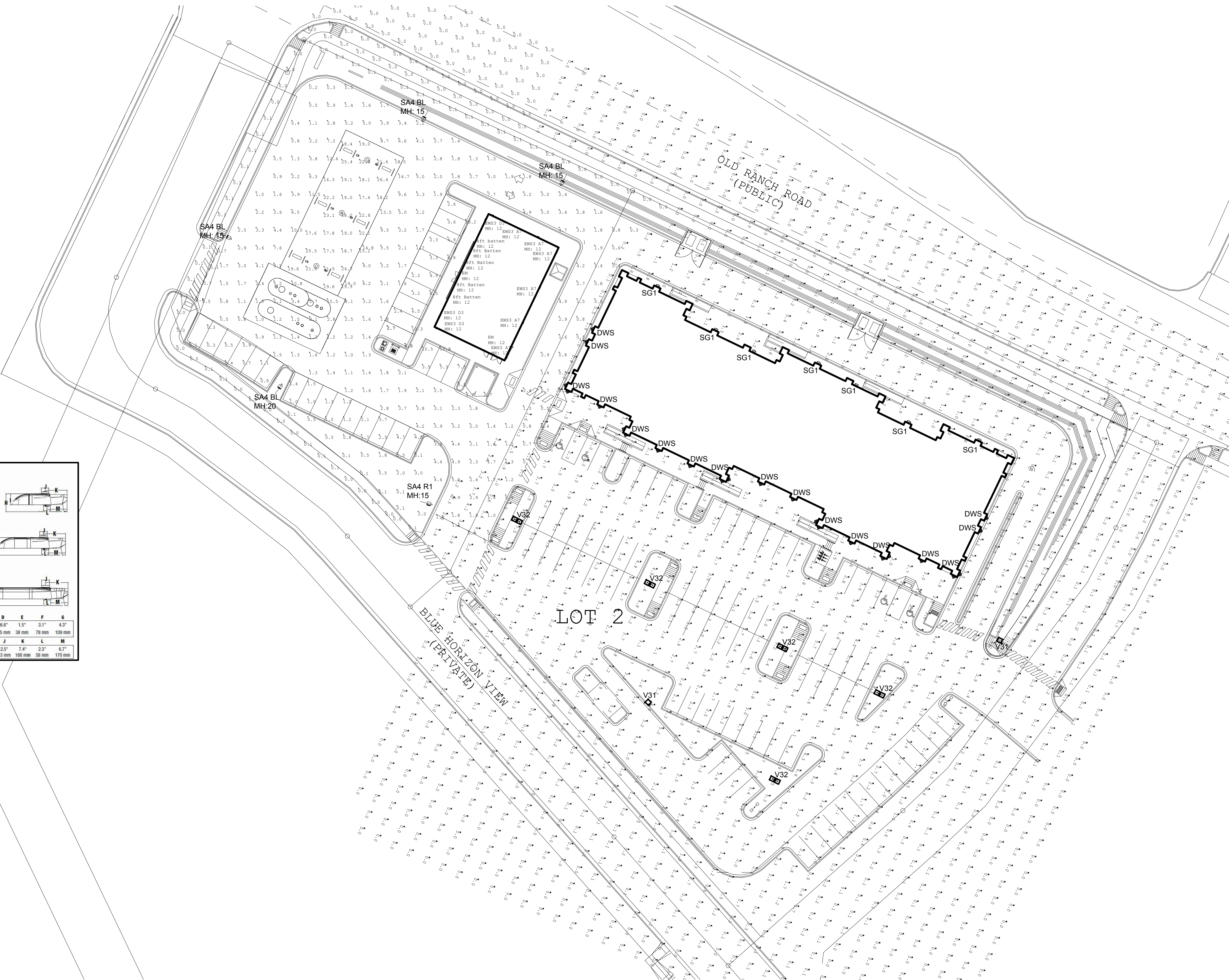
VG 31 AND 32 - POLE LIGHTS - TYP.



DIMENSIONS



SG1 - WALL-PACK LIGHTS
SHARP CUT OFF - TYP.



T-11 BUILDING

Label	Accessories	Qty	Description	Acc. MxH	Acc. Lum. Lumens
1	EMERGENCY	1	EMERGENCY	120-270V	25
2	EMERGENCY	1	EMERGENCY	120-270V	25
3	EMERGENCY	1	EMERGENCY	120-270V	25
4	EMERGENCY	1	EMERGENCY	120-270V	25
5	EMERGENCY	1	EMERGENCY	120-270V	25
6	EMERGENCY	1	EMERGENCY	120-270V	25
7	EMERGENCY	1	EMERGENCY	120-270V	25
8	EMERGENCY	1	EMERGENCY	120-270V	25
9	EMERGENCY	1	EMERGENCY	120-270V	25
10	EMERGENCY	1	EMERGENCY	120-270V	25
11	EMERGENCY	1	EMERGENCY	120-270V	25
12	EMERGENCY	1	EMERGENCY	120-270V	25

Label	Accessories	Qty	Description	Acc. MxH	Acc. Lum. Lumens
1	EMERGENCY	1	EMERGENCY	120-270V	25
2	EMERGENCY	1	EMERGENCY	120-270V	25
3	EMERGENCY	1	EMERGENCY	120-270V	25
4	EMERGENCY	1	EMERGENCY	120-270V	25
5	EMERGENCY	1	EMERGENCY	120-270V	25
6	EMERGENCY	1	EMERGENCY	120-270V	25
7	EMERGENCY	1	EMERGENCY	120-270V	25
8	EMERGENCY	1	EMERGENCY	120-270V	25
9	EMERGENCY	1	EMERGENCY	120-270V	25
10	EMERGENCY	1	EMERGENCY	120-270V	25
11	EMERGENCY	1	EMERGENCY	120-270V	25
12	EMERGENCY	1	EMERGENCY	120-270V	25

RETAIL BUILDING

Label	Accessories	Qty	Description	Acc. MxH	Acc. Lum. Lumens
1	EMERGENCY	1	EMERGENCY	120-270V	25
2	EMERGENCY	1	EMERGENCY	120-270V	25
3	EMERGENCY	1	EMERGENCY	120-270V	25
4	EMERGENCY	1	EMERGENCY	120-270V	25
5	EMERGENCY	1	EMERGENCY	120-270V	25
6	EMERGENCY	1	EMERGENCY	120-270V	25
7	EMERGENCY	1	EMERGENCY	120-270V	25
8	EMERGENCY	1	EMERGENCY	120-270V	25
9	EMERGENCY	1	EMERGENCY	120-270V	25
10	EMERGENCY	1	EMERGENCY	120-270V	25
11	EMERGENCY	1	EMERGENCY	120-270V	25
12	EMERGENCY	1	EMERGENCY	120-270V	25

Label	Accessories	Qty	Description	Acc. MxH	Acc. Lum. Lumens
1	EMERGENCY	1	EMERGENCY	120-270V	25
2	EMERGENCY	1	EMERGENCY	120-270V	25
3	EMERGENCY	1	EMERGENCY	120-270V	25
4	EMERGENCY	1	EMERGENCY	120-270V	25
5	EMERGENCY	1	EMERGENCY	120-270V	25
6	EMERGENCY	1	EMERGENCY	120-270V	25
7	EMERGENCY	1	EMERGENCY	120-270V	25
8	EMERGENCY	1	EMERGENCY	120-270V	25
9	EMERGENCY	1	EMERGENCY	120-270V	25
10	EMERGENCY	1	EMERGENCY	120-270V	25
11	EMERGENCY	1	EMERGENCY	120-270V	25
12	EMERGENCY	1	EMERGENCY	120-270V	25

PLAN - PHOTOMETRIC
SCALE: 1:30



CITY FILE NO.

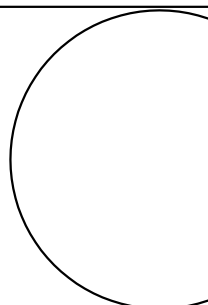
FILE NO. T.B.D.

PROJECT NO.

DRN BY:

LCR

REVISIONS:



ISSUE DATE: 06-03-2019

SHEET:

A-10
11 OF 19

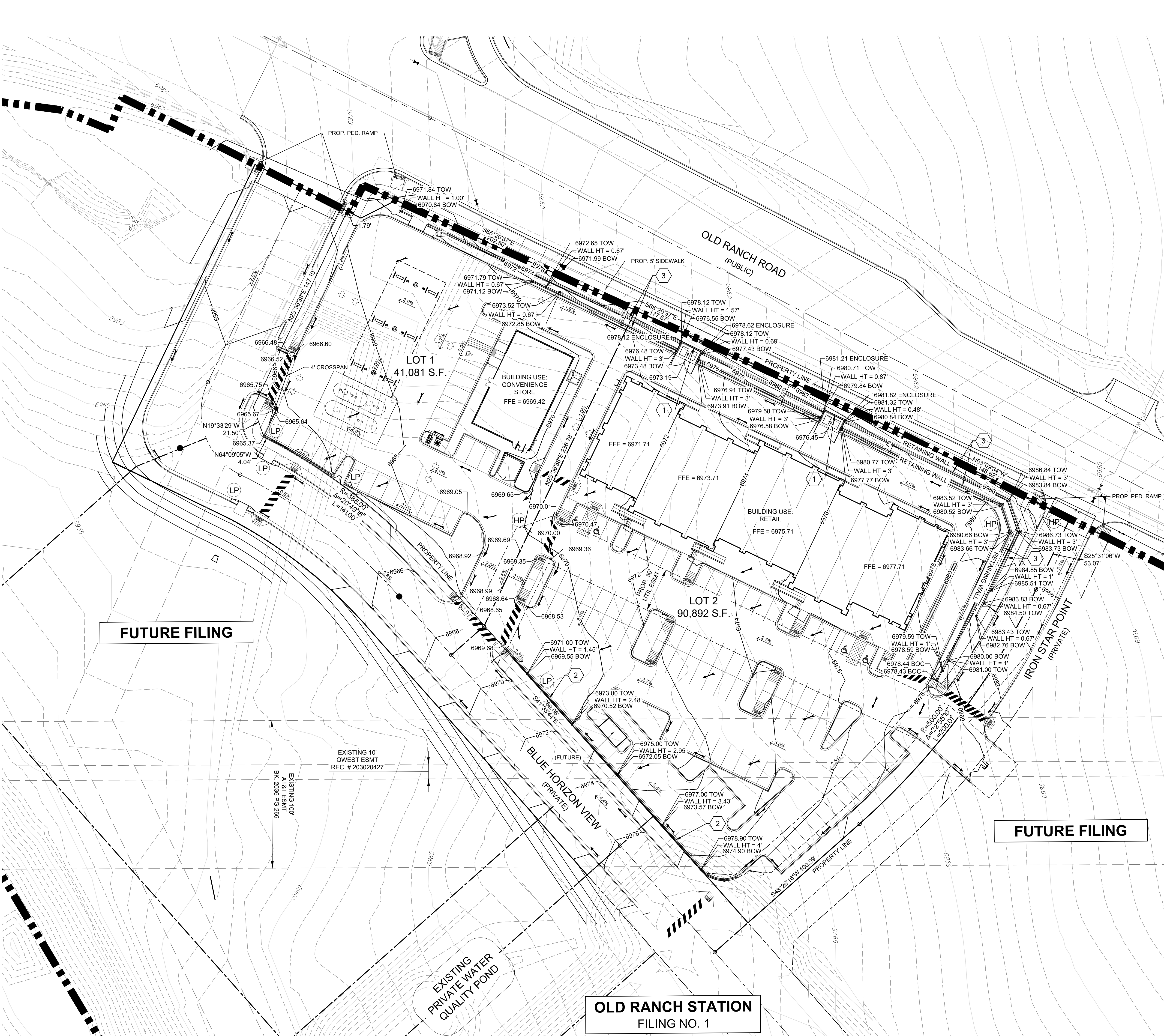
SHOPPES AT OLD RANCH STATION

OLD RANCH ROAD
COLORADO SPRINGS, COLORADO 80908

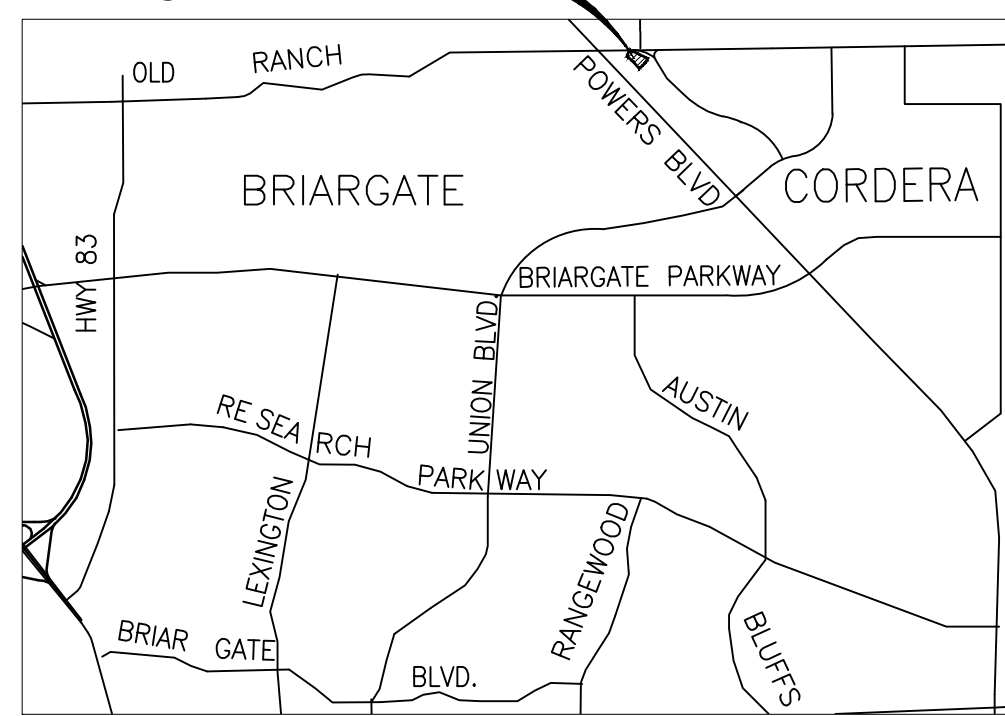
John P. Nelson
Associates

1626 E. Pike Peak, Colorado Springs, CO 80906 Phone: (719) 632-3364
John@jpnarch.com (719) 632-1761 Fax

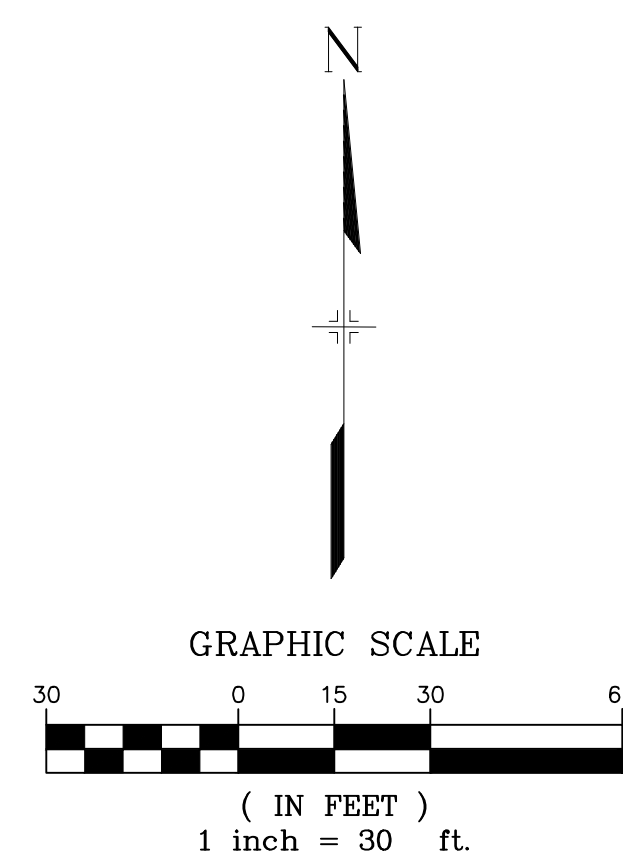
PHOTOMETRIC PLAN



Project Site

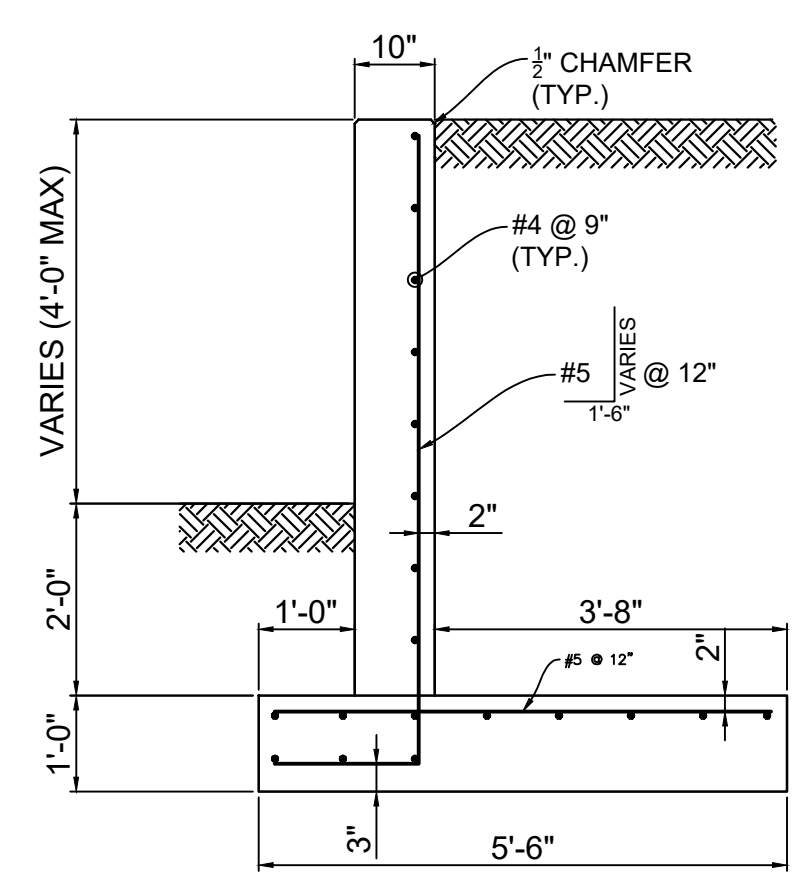


VICINITY MAP:
N.T.S.



LEGEND

- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - LP LOW POINT
 - HP HIGH POINT
 - FLOW DIRECTION
 - SWALE
 - BOUNDARY LINE
 - LOT LINE
 - PROPOSED EASEMENT
- ① REINFORCED CMU WALL (SEE 1 / A2)
② CAST IN PLACE CONCRETE WALL (SEE DETAIL THIS SHEET)
③ MSE LANDSCAPE WALL (SEE 16 / A2)



NOTES:
1. ALL CONCRETE SHALL BE CDOT CLASS B; F'c = 4,500 psi
2. ALL REINFORCING STEEL SHALL BY Fy = 60ksi

NOTE:
RETAINING WALL ELEVATIONS
SUBJECT TO CHANGE BASED ON
FINAL DETAILED GRADING

John P. Nelson
associates
1626 E. Pikes Peak, Colorado Springs, CO 80909 Phone: (719) 632-3384
john@pnarch.com (719) 632-1781

SHOPPES AT OLD RANCH STATION

OLD RANCH ROAD
COLORADO SPRINGS, COLORADO 80908

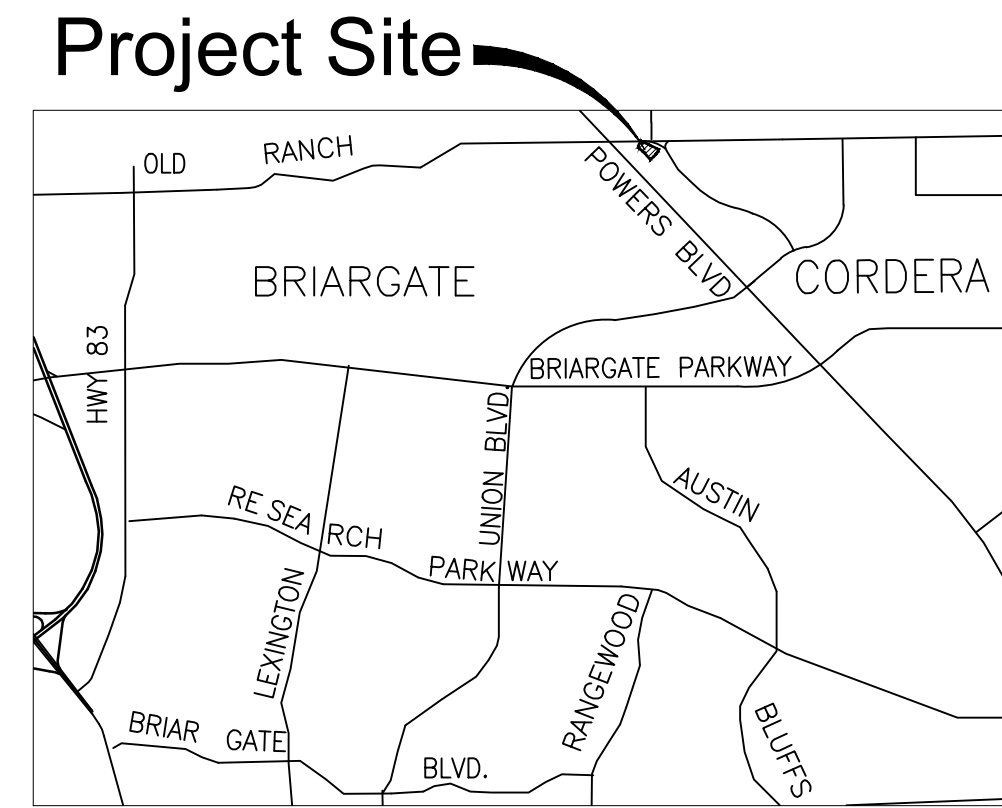
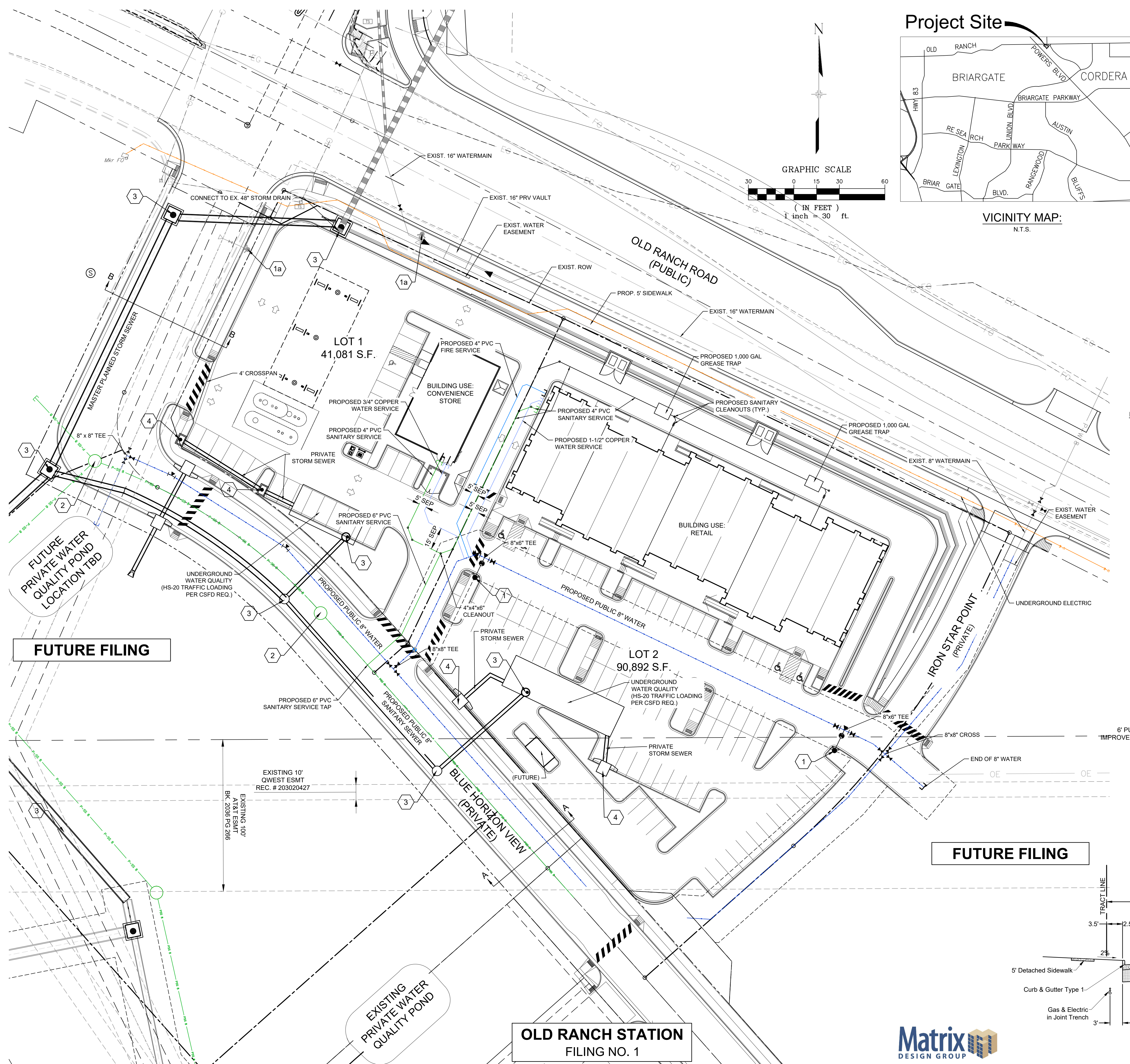
PROJECT NO.
18.1036.001.000
DRN. BY:
L.C.R.
REVISIONS:

REVIEW SET
JUNE 29, 2018

ISSUE
DATE: 05/16/2019
SHEET:
C-1
PRELIMINARY
GRADING PLAN
SHEET 12 OF 19

Matrix
DESIGN GROUP

AR PUD 18-XXXXX



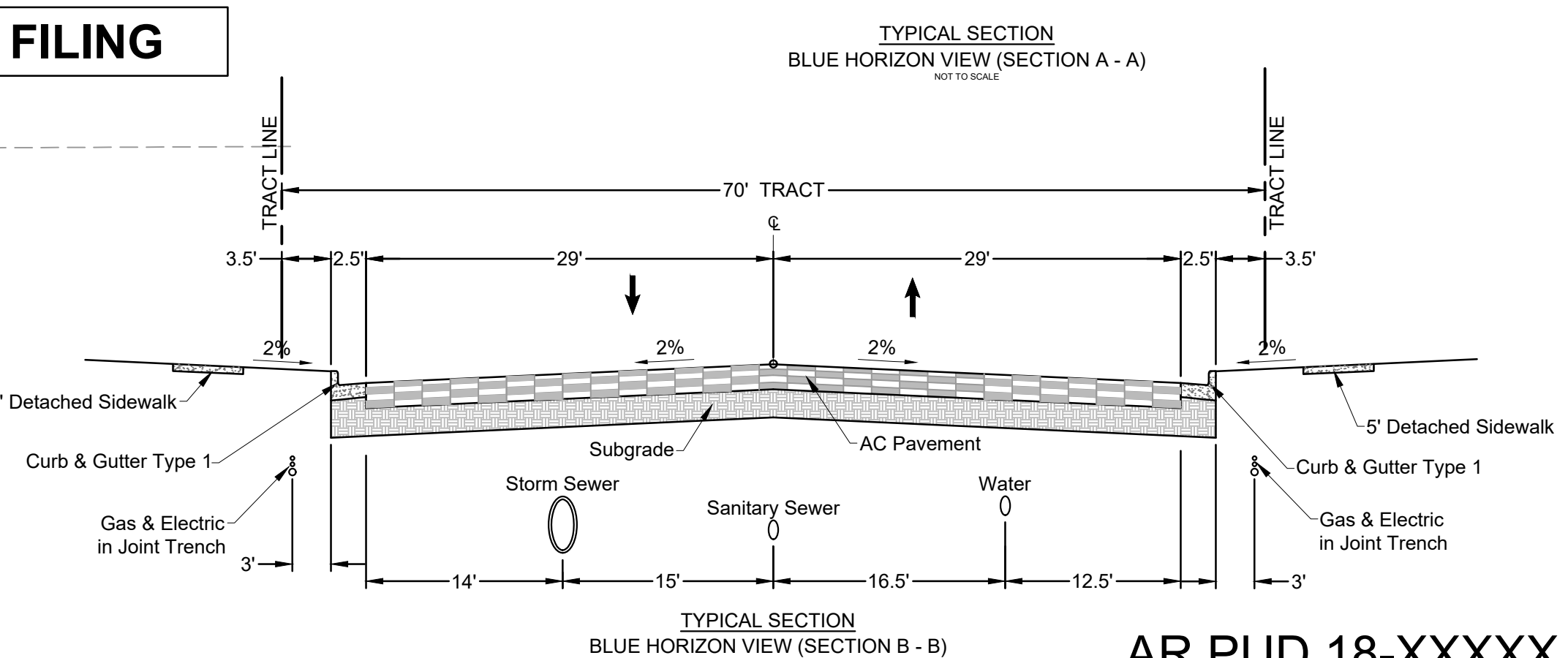
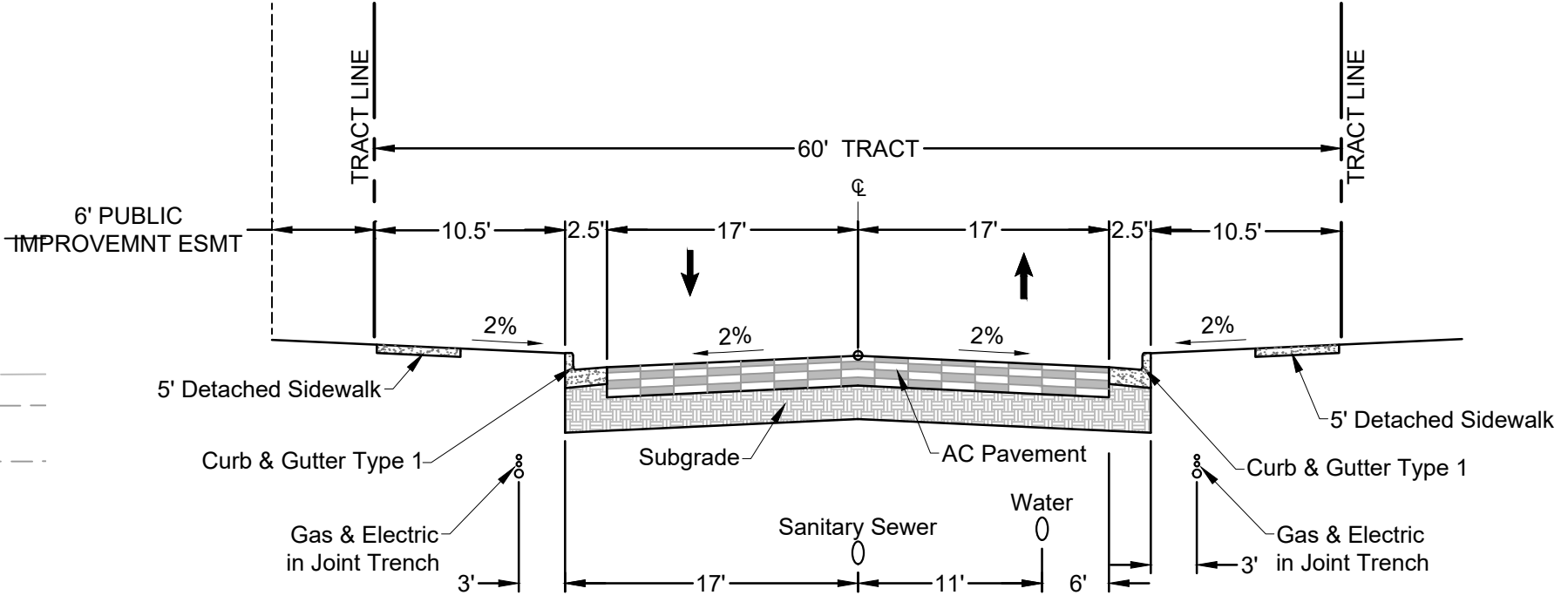
- Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:
- Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
 - Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accord with all applicable codes and regulations, Springs Utilities Line Extension & Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
 - Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities' Rules and Regulations.
 - Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
 - The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
 - Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.
 - The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Line Extension and Service Standards).
 - Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
 - Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to secure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 668-4985 or South 668-5564).
 - It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easement, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
 - Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards; and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates and policies of Springs Utilities.

- NOTES:
- A PRIVATE EASEMENT WILL BE REQUIRED FOR LOT 2 FIRE SERVICE AND WASTEWATER SERVICE LINES FOR THE PORTIONS THAT ENCROACH INTO LOT 1 PROPERTY.
 - A MULTIPLE OWNERSHIP AGREEMENT WILL BE REQUIRED FOR THE WASTEWATER SERVICE LINE THAT SUPPORTS LOT 1 AND LOT 2 FROM THE 6" TAP AT BLUE HORIZON VIEW, TO THE PROPOSED 4"x4"x6" CLEANOUT WYE.

LEGEND

- BOUNDARY LINE —————
- LOT LINE —————
- PROPOSED EASEMENT - - - - -
- PROPOSED STORM SEWER (RCP/PP) =====
- PROPOSED SANITARY MAIN ——— P-SS 8 ———
- PROPOSED WATER MAIN ——— P-W 8 ———
- ① PROPOSED FIRE HYDRANT
- ②a EXISTING FIRE HYDRANT
- ② PROPOSED SANITARY SEWER MANHOLE
- ③ PROPOSED STORM SEWER MANHOLE
- ④ PROPOSED STORM SEWER INLET

- NOTES:
- ALL STORM LINES SHOWN ARE HEREON PUBLIC UNLESS OTHERWISE NOTED.
 - ALL STORM LINES SHALL BE HDPE OR CLASS III RCP.



John P. Nelson Associates
1626 E. Pikes Peak, Colorado Springs, CO 80909 Phone: (719) 632-1384
john@jpnarch.com (719) 632-1781

SHOPPES AT OLD RANCH STATION
OLD RANCH ROAD
COLORADO SPRINGS, COLORADO 80908

PROJECT NO.
18.1036.001.000

DRN. BY:
L.C.R.

REVISIONS:

REVIEW SET
JUNE 29, 2018

ISSUE DATE: 05/16/2019
SHEET:
U-1
PRELIMINARY UTILITY PLAN
SHEET 13 OF 19

AR PUD 18-XXXXX

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LANDSCAPE SETBACKS (L5)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE FEET REQUIRED	NO. OF TREES REQ./PROVIDED
OLD RANCH RD	MINOR ARTERIAL	20/20 FT	205 FT	1/25 FT	8/10
SHRUB SUBSTITUTES REQ./PROV. (25% MAX)	ORNAMENTAL GRASS SUB. REQ./PROV.	SETBACK PLANT ABBR. DENOTED ON PLAN	PERCENT GROUND PLANE VEG. REQ./PROV.		
10/10 (FLP)	0/0	L5	75%/75%		

NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	LENGTH OF FRONTAGE (FT) (EXCLUDING DRIVEWAYS)	2/3 LENGTH OF FRONTAGE (FT)
78	2/2	FRONTAGE	NA LF	NA LF
(15) MIN. 3% SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.	LENGTH OF SCREENING WALL OR BERM PROV.	VEHICLE LOT PLANT ABBR. ON PLAN	PERCENT GROUND PLANE REQ./PROV.
0/0	0/0	0 LF	MV	75%/75%

INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS. 100% SHRUB SUBSTITUTION FOR NON-RESIDENTIAL / 50% SHRUB SUBSTITUTION FOR MULTI-FAMILY.			
NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)
53,684 SF	NON-RESIDENTIAL 5%	2,684 SF/1,200 SF	6/4
SHRUB SUBSTITUTES REQ./PROV.	ORNAMENTAL GRASS SUB. REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN	PERCENT GROUND PLANT VEG. REQ./PROV.
20/20 (FLP)	0/0	IL	75%/75%

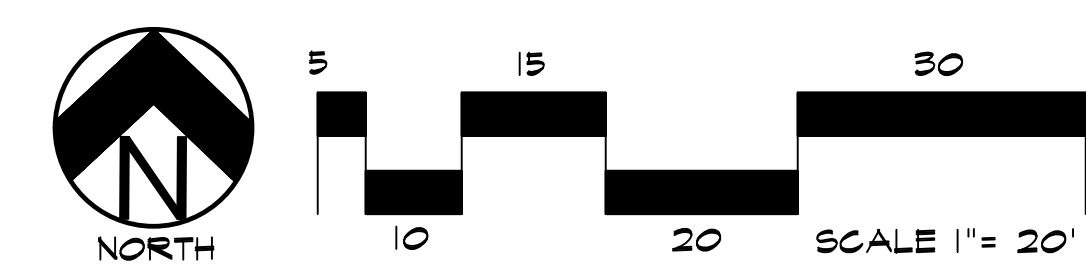
STREET NAME OR PROPERTY LINE (ELEV.)	WIDTH (FT) REQ./PROV.	LINEAR FOOTAGE	BUFFER TREES (1/20') REQ./PROV.	EVERGREEN TREES REQ. (50%) / PROVIDED
NA TRASH ENCLOSURE(S)	15/15 FT NA	0 LF NA	0/0 NA	0/0 3/3 (UPRIGHT EVERGREEN)
LENGTH OF 6 FT. OPAQUE STRUCTURE REQ./PROV.	TREE ABBR. DENOTED ON PLAN	PERCENT GROUND PLANE VEG. REQ./PROV.		
0/0 6' HIGH WOOD ENCLOSURE	LB LBT (SHRUB)	75%/75% NA		

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VPQJUSCPAUPCŠAPUV/DOAMUCO/BUU/COYAJZ/USJUCOUAUUUP/OUAJOXOYAJUA/OUUUUXOŠE/OUZOUAM/UPCŠAP/OUOCUOAJŠAP/UYAJVP/OUUE

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BCH: CF7CBGHFI 7H€B	JOB NUMBER	
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	REVISIONS	
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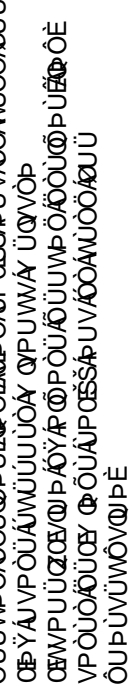
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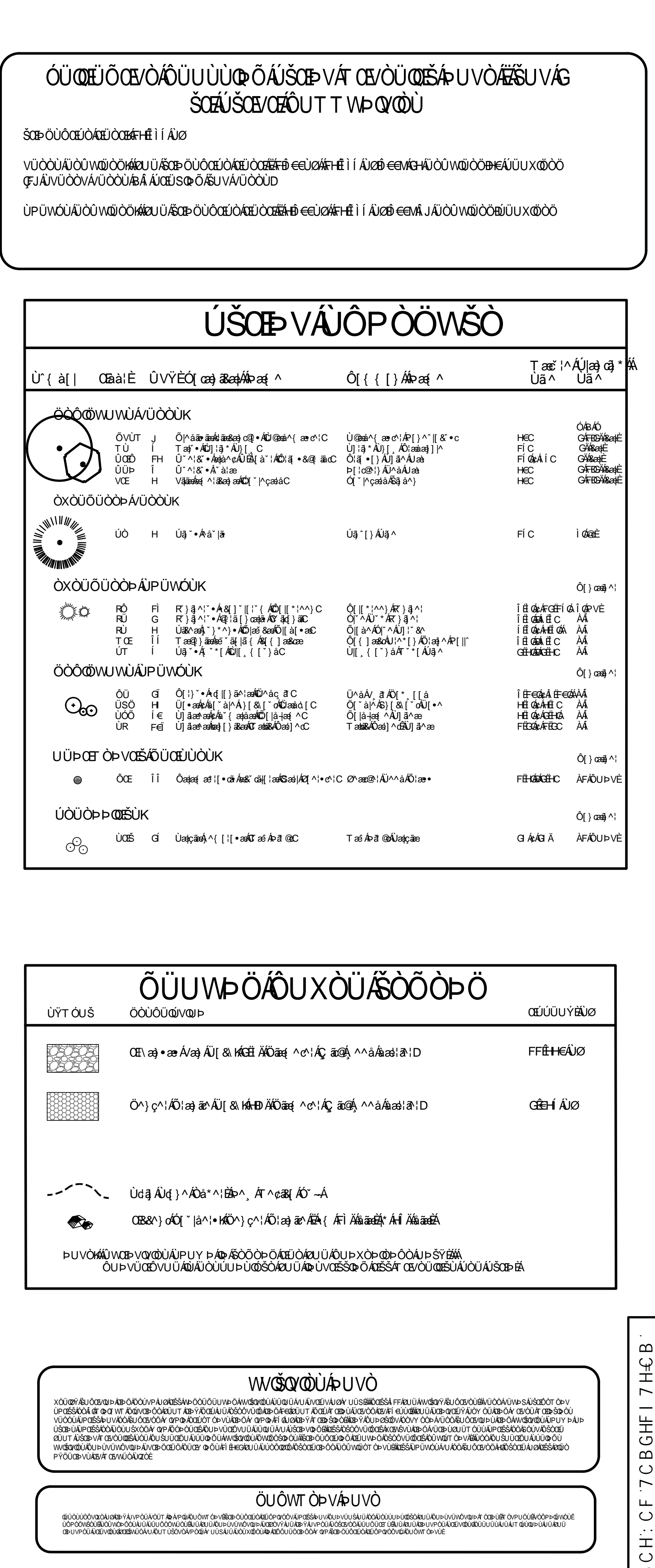
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