

PROJECT TEAM

OWNER
 BRIAN & SHERYLL EBBS
 7430 PINE CONE RD.
 COLORADO SPRINGS, CO 80908

CONTRACTOR
 STEWART REMODEL DESIGN BUILD
 9051 N 30TH ST., STE 102
 COLORADO SPRINGS, CO 80919
 (719) 266-0336

ARCHITECT
 R. AUSTIN ARCHITECT, LLC
 P.O. BOX 62603
 COLORADO SPRINGS, CO 80962
 (719) 309-8709

7430 PINE CONE ROAD REMODEL

7430 PINE CONE RD.
 COLORADO SPRINGS, CO 80908

CONSTRUCTION DOCUMENTS

DRAWING LIST

- A1.0 COVER SHEET
- A2.0 FOUNDATION PLAN
- A2.1 FRAMING PLANS
- A2.2 LOWER FLOOR PLANS
- A2.4 MAIN FLOOR PLANS
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A3.2 3D VIEWS
- A4.0 BUILDING SECTIONS
- A5.0 SCHEDULES
- A6.0 ELECTRICAL PLANS
- A7.0 PLUMBING PLANS

VICINITY MAP



CLIENT
 BRIAN AND SHERYLL EBBS
 7430 PINE CONE RD.
 COLORADO SPRINGS, CO 80908

ARCHITECT OF RECORD
R. AUSTIN ARCHITECT

ROBERT J. AUSTIN, AIA, NCARB
 P.O. BOX 62603
 COLORADO SPRINGS, CO 80962

PROJECT NO.
 24-036.00

**7430 PINE CONE ROAD
 REMODEL**
 CONSTRUCTION DOCUMENTS

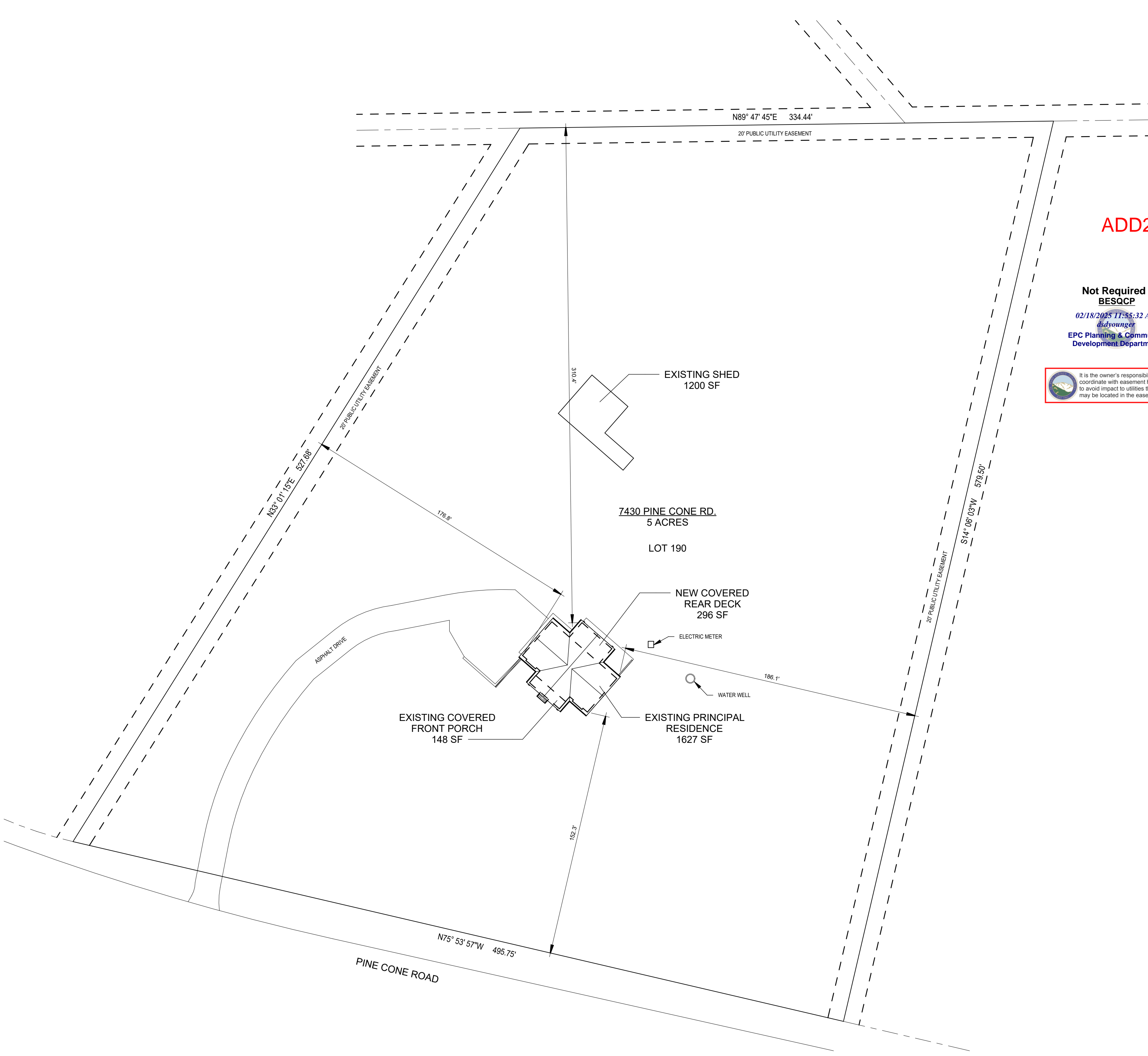
DATE
 2/11/25

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

SHEET NAME
 COVER SHEET

A1.0



ADD2558

Not Required BESQP
 02/18/2025 11:55:32 AM
 ddwynger
 EPC Planning & Community Development Department

APPROVED Plan Review
 02/18/2025 11:55:37 AM
 ddwynger
 EPC Planning & Community Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBLATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATIONS.

The agency cannot be held liable for any damage or loss in the event of any change in a County's need.

Consent of discharge of any drainage into is not permitted without approval of the Planning & Community Development Department.

PROJECT DESCRIPTION

ADDRESS: 7430 PINE CONE RD. COLORADO SPRINGS, CO 80908

ZONING: RR-5

TSN: 5132003002

PLAT NO.: R05546

LEGAL DESCRIPTION: LOT 190 WILDWOOD VILLAGE UNIT 4

PROJECT DESCRIPTION: THE PROJECT SCOPE INCLUDES AN INTERIOR REMODEL OF THE EXISTING RESIDENCE, A RENOVATION OF THE EXISTING ENTRY PORCH, AND THE ADDITION OF A NEW 296 SF REAR DECK.

APPLICABLE CODES: 2023 PIKES PEAK REGIONAL BUILDING CODE
 2021 INTERNATIONAL RESIDENTIAL CODE
 2023 NATIONAL ELECTRIC CODE
 2021 INTERNATIONAL MECHANICAL CODE
 2021 INTERNATIONAL PLUMBING CODE
 2021 INTERNATIONAL ENERGY CONSERVATION CODE

FOOTPRINT AREA: EXISTING RESIDENCE FOOTPRINT: 1627 SF
 EXISTING COVERED FRONT PORCH: 148 SF
 NEW COVERED REAR DECK: 296 SF
 EXISTING SHED: 1200 SF
 TOTAL: 3271 SF

LOT COVERAGE: 3271 SF / 217,800 SF = 1.5% LOT COVERAGE

2023 PPRBC - TABLE R402.1.3

CLIMATE ZONE: 5

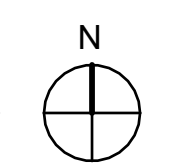
ENVELOPE REQUIREMENTS
 FENESTRATION U-FACTOR: .32 MAX
 SKYLIGHT U-FACTOR: .55 MAX
 GLAZED FENESTRATION SHGC: NR
 CEILING: R-49 MIN
 WOOD FRAMED WALLS: R-20 MIN
 FLOOR: R-30 MIN
 SLAB: R-10 CI MIN, 2 FT DEPTH
 CRAWL SPACE: R-19 MIN OR R-15CI

LOT SIZE:
 LOT AREA: 5 ACRES

GENERAL NOTES

- CONTRACTOR REQUIREMENTS:** THE CONTRACTOR AND TRADE CONTRACTORS ARE TO REFERENCE ALL OF THE DRAWINGS IN THEIR ENTIRETY AS A COMPLETE SET OF CONTRACT DOCUMENTS AND INCLUDE ALL REQUIREMENTS SHOWN AND SPECIFIED.
- CODE:** THE PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2023 PIKES PEAK REGIONAL BUILDING CODE, THE 2021 INTERNATIONAL RESIDENTIAL CODE, AND OTHER ASSOCIATED ICC CODES AMONG RESPECTIVE DISCIPLINES. THE AUTHORITY HAVING JURISDICTION IS THE PIKES PEAK REGIONAL BUILDING DEPARTMENT.
- COMPLIANCE:** THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL LAWS AND CODES. THE CONTRACTOR IS TO COORDINATE ALL UTILITY WORK WITH RESPECTED UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED BUILDING PERMITS AND INSPECTIONS.
- SAFETY:** THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF THE PUBLIC AND THE PROPERTY WITHIN THE CONTRACTOR'S SITE LIMITS DURING CONSTRUCTION.
- ARCHITECT'S STATUS:** THE ARCHITECT SHALL NOT CONTROL OR BE IN CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK.
- DIMENSIONS:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS OF THE JOB SITE.
 - DATA HAS BEEN OBTAINED FROM SOURCES THE ARCHITECT BELIEVES ARE RELIABLE, BUT THE ACCURACY OF SUCH DATA IS NOT GUARANTEED.
 - THE CONTRACTOR SHALL VERIFY DIMENSIONS WITH THE FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN DRAWINGS & THE FIELD CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF THE CONDITION IN QUESTION BEFORE PROCEEDING WITH THE WORK IN THAT AREA.
 - DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- COORDINATION:**
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE C, A, S, & MEP SYSTEMS WITH EXISTING SITE AND INFRASTRUCTURE AND NEW CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING WITH THE WORK. ALL TRADE CONTRACTORS ARE TO REFERENCE ARCHITECTURAL DRAWINGS FOR ANY SPECIFIC REQUIREMENTS THAT MAY AFFECT THEIR WORK, INCLUDING LOCATIONS, PLACEMENT, HEIGHTS, ETC. OF EQUIPMENT, FIXTURES, ETC.
 - THE INSTALLATION OF EQUIPMENT, HARDWARE, PIPING, CONDUIT, ETC. THAT OBSTRUCTS ACCESSIBILITY FOR NEW OR EXISTING EQUIPMENT IS NOT ACCEPTABLE.
 - THE CONTRACTOR SHALL VERIFY LOCATIONS AND REQUIREMENTS FOR ALL OWNER SUPPLIED FIXED EQUIPMENT AND COORDINATE WITH THE CONTRACT DOCUMENTS.
 - ALL PIPING SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED OR AS NOTED. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
- EXTENT OF WORK:** THE EXTENT OF WORK SHALL BE LIMITED TO THAT INDICATED IN THE CONSTRUCTION DOCUMENTS. NO ADDITIONAL WORK SHALL BE DONE WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT. ANY ADDITIONAL WORK PERFORMED WITHOUT WRITTEN APPROVAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
- UTILITY DISRUPTIONS, SCHEDULED AND UNANTICIPATED:** UTILITY OUTAGES, SHUT DOWNS, OR CUT OVERS ARE TO BE SCHEDULED IN ADVANCE OR AS APPROVED IN ADVANCE BY THE OWNER.
- ADJACENT PROPERTIES:** THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING WITH THE HOMEOWNER OR THE HOMEOWNER'S REPRESENTATIVE ANY WORK THAT MAY DISTURB ADJACENT PROPERTIES IN ANY WAY.
- LANDSCAPE PROTECTION:** THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION.
- MATERIALS:** THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL BUILDING MATERIALS IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION.
- BUILDING ENVELOPE:** THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ENVELOPE SYSTEMS INCLUDING FLASHING SYSTEMS, SEALANTS, WINDOWS, DOORS, ETC ARE COMPLETELY WATERTIGHT AT THE BUILDING 'DRY LINE'.
- FURNITURE:** ANY FURNITURE INDICATED ON PLANS IS INCLUDED FOR INFORMATION ONLY.
- FINAL CLEAN:** REMOVE DUST, DEBRIS, OILS, STAINS, FINGERPRINTS, AND LABELS FROM EXPOSED FINISH SURFACES INCLUDING GLAZING AND REFLECTORS OF LIGHT FIXTURES.

1 SITE PLAN
 A1.0 1" = 40'-0"



RESIDENTIAL



2023 PPRBC
2021 IECC Amended

Address: 7430 PINE CONE RD, COLORADO SPRINGS

Parcel: 5132003002

Plan Track #: 198532 

Received: 12-Feb-2025 (SIERRAC)

Description:

**EXTERIOR/INTERIOR REMODEL/COVERED
DECK**

Contractor:

Type of Unit:

Required PPRBD Departments (3)

| |
|---|
| <p>Floodplain</p> <p>(N/A) RBD GIS</p> |
|---|

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|----------------------------|
| <p>Construction</p> |
|----------------------------|

| |
|--------------------------|
| <p>Mechanical</p> |
|--------------------------|

Required Outside Departments (1)

| |
|---|
| <p>County Zoning</p> <p>APPROVED Plan Review</p> <p><i>02/18/2025 11:56:33 AM</i> <i>dsdyounger</i></p> <p>EPC Planning & Community Development Department</p> |
|---|

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.