

SITE PLAN

SCALE 1" = 100'-0"



NOTE:
Site plan is based on preliminary information provided by El Paso County. The intent of the Site Plan is to depict the approximate location of the proposed building and are shown for general reference only. This is not intended to illustrate grading, erosion control, site access, waste water treatment systems, or drainage conditions. This is not a surveyed document and should not be considered as such.

Released for Permit
01/24/2023 8:09:28 AM
Regional Building Department
Amy
ENUMERATION

DRAWN BY

Allegro Design Co. LLC
1760 S. Highway 24
Woodland Park, CO 80863
(719) 641-2095, info@allegrodesignco.com

Signature:

SFD2345

**APPROVED
BESQCP**

01/31/2023 10:46:52 AM
dsdyounger
EPC Planning & Community
Development Department

**APPROVED
Plan Review**

01/31/2023 10:46:59 AM
dsdyounger
EPC Planning & Community
Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBVIATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department

GENERAL CONSTRUCTION & PLAN NOTES:

- These plans are copyrighted 2022 by Allegro Design Co. LLC (Allegro Design Co.), all rights reserved. Any sale, reproduction, creation of derivative works based on these plans, or use of these plans for any purpose without proper compensation and the express written consent of Allegro Design Co. is strictly prohibited. These plans are subject to copyright protection as an architectural work, under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form, as well as, the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction or buildings being seized and/or razed.
- All construction and construction practices to be performed in accordance with all applicable codes and requirements of all regulatory agencies having jurisdiction over the project. Under no condition shall Allegro Design Co. have responsibility for the means, methods or techniques used by the builder in the performance of the work or for conditions of safety at the job site.
- The builder (owner or contractor) is responsible for payment and acquisition of all required permits and fees associated with this project.
- It is the builder's responsibility to thoroughly review and become familiar with all pertinent documents regarding the construction of this project. Any ambiguity, omission or discrepancy discovered in the documents which may cause construction concerns shall be reported to Allegro Design Co. for immediate attention. Failure to discover and notify Allegro Design Co. of said ambiguity, omission or discrepancy prior to the start of construction shall not relieve the builder of responsibility relating to the matter.
- Allegro Design Co.'s liability regarding errors, omissions or discrepancies shall be limited to the correction of the original project drawings.
- It is the builder's responsibility to verify with the home owner or client all finish materials stated on the plans prior to construction. Any ambiguity, omission or discrepancy discovered in the documents which may cause construction concerns shall be reported to Allegro Design Co. for immediate attention.
- Changes or deviations from the original documents, made by the builder or their suppliers without the written consent of the designer, are unauthorized changes to the work and as such shall relieve Allegro Design Co. of all responsibility for any consequences arising therefrom.
- The builder shall be responsible for ensuring that the plans being used for construction are the most current, and match the approved Building Department plan set.
- The builder shall coordinate all colors, finishes, cabinets, countertops, plumbing fixtures, appliances, window and door manufacturers, etc. with the owner.
- The builder shall coordinate the location and construction of all "built-in" requirements for bookcases, entertainment centers, closet shelving, etc. with the owner unless noted otherwise on the plans.
- The builder shall coordinate all "as-built" requirements such as telephone jacks, outlets, switches, fans, lights, security system, intercom, computer network, surround sound, satellite system, central vacuum, air conditioning, home humidifier, water softener, barbecue grill, etc. with the owner and the service installer.
- Allegro Design Co. is not responsible for electrical, plumbing or mechanical system layouts.
- Do not scale the drawings.** If questions arise as to the dimensional requirements of the plans, contact Allegro Design Co. for clarification.
- Automatic sprinkler system may be required.
- All dimensions of walls are from face of stud framing, unless otherwise noted. Undimensioned interior walls are 2x4, unless otherwise noted. Building square footages are calculated from the outside face of exterior stud walls or face of exterior concrete foundation. Door and window dimensions are noted in feet and inches.
- Doors are located 6" from adjacent corner or centered (u.n.o.). Transom and sidelight windows may be included in the door callout. The builder shall verify all door callouts and dimensions with the elevations prior to construction and prior to ordering the door package. (See notes 4, 5, 6, & 13)
- Window callouts are noted as the rough opening, unless otherwise noted. Transom windows may be included in the rough opening window callout. The builder shall verify all window callouts and dimensions with the elevations prior to construction and prior to ordering the window package. (See notes 4, 5, 6, & 13)
- Wall bracing information: unless noted otherwise, all exterior walls shall be constructed as per the wall bracing method cs-wsp (continuous sheathing structure) as per the structural plans (Reference IRC R602.10.4).
- Provide 1 sq. ft. of attic ventilation per 150 sq. ft. attic area or 300 sq. ft. of attic area with 50% of the required ventilation to be located at the upper portion of the roof and the balance of the ventilation to be provided by eave vent. Provide a 22"x30" min access into all attic areas having at least 30" of unobstructed headroom.
- Smoke detectors shall be hardwired, interconnected, and have a battery back-up. An approved carbon monoxide detector shall be installed within 15 ft. of the entrance to all sleeping rooms, and be hardwired w/ battery backup.
- Safety glass shall be required within 18" of floor, 2' of doors, 36" of stairs, and 5' of a bathtub or shower drain. (Reference IRC R308.4)

GENERAL CONSTRUCTION NOTES (CONT.):

- All receptacles within 6' of a water source shall be ground-fault circuit-interrupted. Provide a GFI outlet in garage and on front and rear of house.
- Provide exhaust fans in all bathrooms without windows. Vent to exterior through wall or roof to approved termination cap.
- Cement, fiber cement, or glass mat gypsum shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. Provide water resistant sheet rock at all other applications which may be subject to the adverse effects of moisture.
- Provide egress windows in all sleeping rooms. Maintain a 44" max sill height. Minimum width of opening shall be 20" and min height shall be 24", with the net opening being at least 5.7 sq. ft. Provide a 3'-0"x3'-0" min exterior egress window well if top of window sill is below grade. Provide a permanently secured ladder if well is deeper than 44".
- Provide fire blocking at 10'-0" intervals, horizontal or vertical.
- Float all non-load bearing walls over concrete slabs per the soils report and the detail on these plans.
- A eifer rod is required to be provided in location and manner consistent with applicable codes.

GENERAL SITE NOTES:

- The builder shall become familiar with the project site and all existing site conditions which might impact the proposed scope of work prior to beginning any construction related activities.
- The builder shall be responsible for verifying existing site grades and natural land formations, existing trees and shrubbery and proposed building location. The builder may obtain a licensed surveyor for the purpose of recording accurate site conditions.
- All easements, setbacks, building heights and footprint requirements shall be verified by the builder prior to construction.
- The builder shall confirm the location of any existing utility services and meters and coordinate any required extensions with the utility companies.
- The builder shall be responsible for coordinating final grading and paving of walks, driveways and patios. Finished grades shall slope away from the building a minimum of 10%, or one (1) foot per every ten (10) feet.
- The builder and/or owner shall determine and coordinate all required final landscaping.
- The builder shall keep the premises free from accumulation of waste materials and debris.
- All retaining walls greater than 4'-0" high, to be designed by a licensed Colorado engineer.
- All Concrete foundation walls, pads, piers, and concrete retaining walls shall be designed by a licensed Colorado Professional Engineer.

PROJECT TEAM:

OWNER
Name: Remington Builders
Billing Address: 1304 North Academy Blvd Suite #100
Colorado Springs, Co 80909
Phone: 719-510-6583
Email: sean@rbgco.net

BUILDING CONTRACTOR
Remington Builders

DESIGN GROUP

Allegro Design Co. LLC
1760 S. Highway 24
Woodland Park, CO 80863
(719) 641-2095, info@allegrodesignco.com

LEGAL DESCRIPTION

NE4SW4 SEC 5-12-62, in El Paso County, State of Colorado.

Site Address:
13825 Noah Abel Pt, Calhan, CO 80808

Parcel Number: 2200000602 Tax Status: Taxable

Account Number: R0012304 Class: AG. GRAZING LAND

Acres: 40.0 **A-35 UNPLATTED**

MINIMUM INSULATION REQUIREMENTS (PPRBD)

DOOR & WINDOW U-FACTOR	U-0.32
SKYLIGHT U-FACTOR	U-0.55
CEILING INSULATION	R-49 MIN.
WOOD FRAMED WALL INSULATION	R-20 or 13+5
MASS WALL	R-13/17
FLOOR OVER UNHEATED SPACE	R-30 MIN.
FLOOR OVER EXTERIOR SPACE	R-38 MIN.
RIM JOIST INSULATION	R-30 MIN.
BASEMENT WALL INSULATION	R-10/13 MIN.
SLAB (2' HORIZ OR VERT)	R-10 MIN.
CRAWLSPACE WALL	R-15/19 MIN.

(REFER TO ENERGY CODE CERTIFICATE OR RECHECK REPORT IF PROVIDED)



Design, with family in mind

(719) 641-2095

1760 S. Highway 24
Woodland Park, CO 80863

allegrodesignco.com

REMINGTON BUILDERS
13825 NOAH ABEL PT
CALHAN, COLORADO 80808

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AREA CALCULATIONS

POLE BARN 4160 SF

ARCHITECTURAL

CS Cover Sheet & General Notes
A1 Main Floor Plan
A2 Front & Rear Elevations
A3 Elevations

FOUNDATION

F1 Foundation Plan
F2 Foundation Details

STRUCTURAL

S1 STR Framing Details
S2 Roof Framing Plans

PROJECT No. 22-0239

DATE 12/12/22

DRAWN BY JLH

CHECKED BY JKH

CS

Cover Sheet & General Notes

RESIDENTIAL



2017 PPRBC

Address: 13825 NOAH ABEL PT, CALHAN

Parcel: 2200000602

Plan Track #: 171790 

Received: 23-Jan-2023 (KALLISTAJ)

Description:


RESIDENCE

Contractor:


Type of Unit:

Garage	1560	
Main Level	2600	
	4160	Total Square Feet

Required PPRBD Departments (4)

<p>Enumeration</p> <p>Released for Permit</p> <p>01/24/2023 8:09:40 AM</p>  <p>Amy ENUMERATION</p>	<p>Floodplain</p> <p>(N/A) RBD GIS</p>
<p>Construction</p>	<p>Mechanical</p>

Required Outside Departments (1)

<p>County Zoning</p> <p>APPROVED</p> <p><u>Plan Review</u></p> <p>01/31/2023 10:50:22 AM</p>  <p>dsdyounger EPC Planning & Community Development Department</p>
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Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.