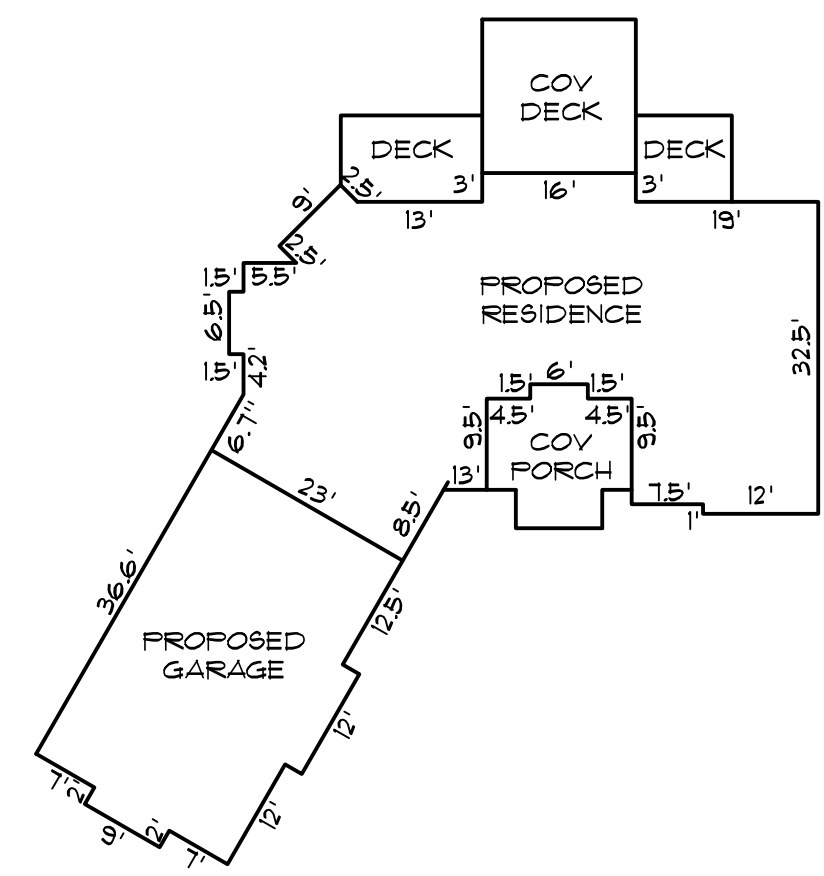


**VICINITY MAP**

NO SCALE



**HOUSE FOOTPRINT**

NO SCALE



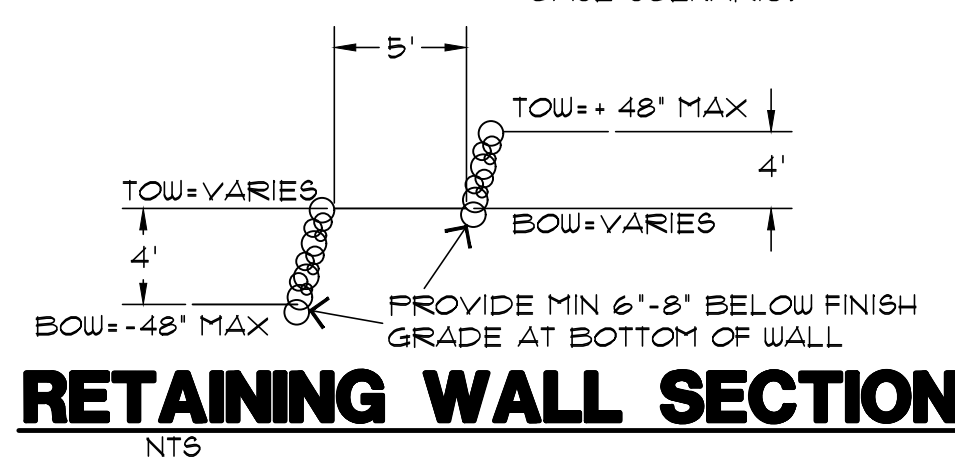
**FRONT ELEVATION**

NO SCALE

**AVERAGE GRADE:**

99 x 8 = 792
90 x 6 = 540
92 x 1 = 92
<b>TOTAL = 1424</b>
1424/15 = <b>94.9 AVERAGE GRADE</b>

**NOTE:**  
IN MOST CASES THE RETAINING WALLS ARE ONLY ONE TIER. TWO TIERS SHOWN FOR WORST CASE SCENARIO.



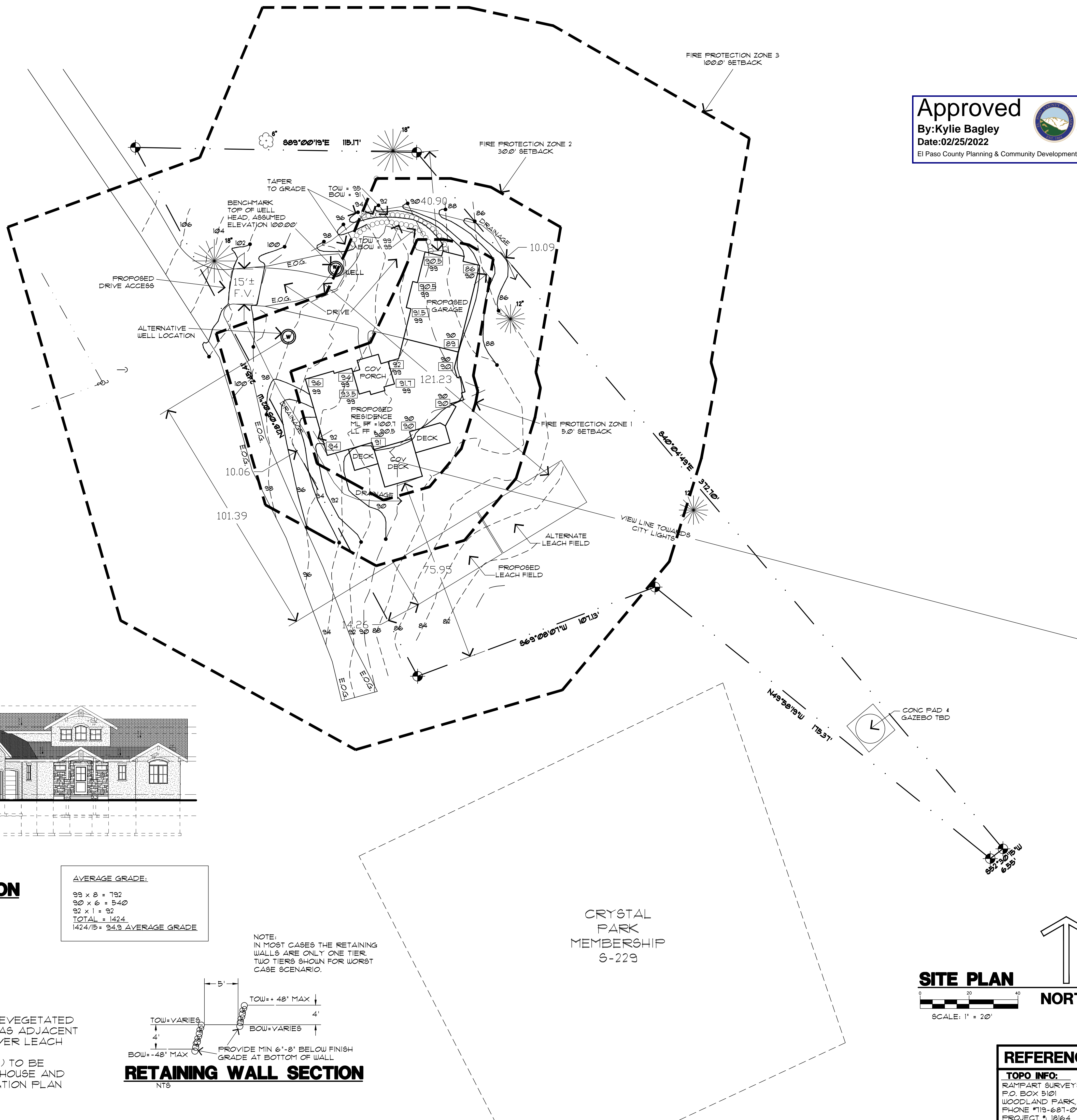
**RETAINING WALL SECTION**

NTS

**NOTES TO SITE:**

**REVEGETATION/LANDSCAPE PLAN:**

- ALL DISTURBED AREAS WILL BE REVEGETATED WITH NATIVE GRASSES, INCLUDING AREAS ADJACENT TO FOUNDATION AND SPECIFICALLY OVER LEACH FIELD.
- TREES AND VEGETATION (EXISTING) TO BE REMOVED FROM WITHIN FOOTPRINT OF HOUSE AND SEPTIC ONLY OR PER WILDFIRE MITIGATION PLAN



**Approved**  
By: **Kylie Bagley**  
Date: **02/25/2022**  
El Paso County Planning & Community Development

**SITE INFO:**

**ADDRESS:**  
439 PONDEROSA VIEW

**LEGAL:**  
SITE 6-229 SITE ADDITION TO CRYSTAL PARK SUBDIVISION FILING NO. 2  
EL PASO COUNTY, COLORADO

**SITE DATA:**  
LOT SIZE = 30,790 SQFT  
BUILDING FOOTPRINT =  
HOUSE = 1,715 SQFT  
GARAGE = 880 SQFT  
PORCH = 188 SQFT  
COV DECK = 255 SQFT  
UNCOV DECK = 208 SQFT  
TOTAL = 3,246 SQFT  
LOT COVERAGE = 10.5%  
ZONING = FUD  
BUILDING HEIGHT = SEE ELEVATIONS  
TAX SCHEDULE =

**SITE NOTES:**

- 1) Topographic information is to be supplied by others. See below for info.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- 6) Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 7) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 8) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- 9) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- 10) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.
- 11) Benchmark: top of well head, assumed elevation 100.00'

**SITE LEGEND:**

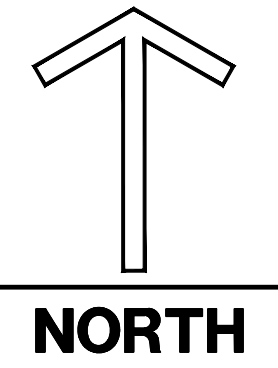
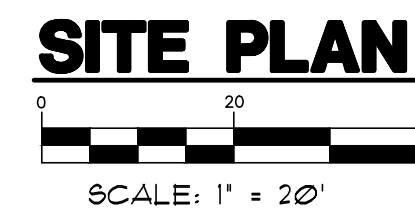
- PROPERTY LINES & CORNERS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED BOULDER RETAINING WALL
- CONIFEROUS TREE
- DECIDUOUS TREE
- WELL
- FOUND REBAR AND YELLOW CAP STAMPED "FOUR SQUARE PL6 18993"
- GUY WIRE
- UTILITY POLE
- E.O.G. EDGE OF GRAVEL
- OVERHEAD UTILITY LINE
- NATURAL GRADE
- FINISH GRADE
- NO ROCK OUT CROPPING EXIST AT SITE

**SITE TERMS:**

- ABBREVIATIONS:**
- BOU = BOTTOM OF RETAINING WALL
  - E = EXISTING TO REMAIN
  - LL = LOWER LEVEL
  - ML = MAIN LEVEL
  - NC = NEW CONSTRUCTION
  - RM = REMOVE
  - ROW = RIGHT OF WAY
  - SB = SETBACK
  - SQ. FT. OR SF = SQUARE FEET
  - TOP = TOP OF FOUNDATION
  - TOW = TOP OF RETAINING WALL
  - UL = UPPER LEVEL
  - WO = WALKOUT

**REFERENCE INFO:**

**TOPO INFO:**  
RAMPART SURVEYS, LLC  
P.O. BOX 5101  
WOODLAND PARK, CO 80866  
PHONE 719-681-0920  
PROJECT #: 18164



**SITE PLAN**

SCALE: 1" = 20'

**REVISIONS**

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Email: Office@LGAstudios.com  
Website: www.lgastudios.com

**CONTRACTOR**  
**PALACE HOMES, INC.**  
1216 W. COLORADO AVENUE #110  
COLORADO SPRINGS, COLORADO 80904  
Phone: (719) 632-6635  
EMAIL: garcon@palacehomesinc.com

**THE BROWNORTH-CLAPPER RESIDENCE**  
439 PONDEROSA RD  
COMPUTER FILE #20-270

**DRAWN BY:** MDW

**CHECKED BY:** LGA  
PLOT 02/10/22 12:10 PM

SITE PLAN  
VICINITY MAP  
SITE NOTES

Sheet #  
**SP1**  
OF 1 Sheets

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