

GENERAL NOTES

- Per city code section 7.4.102.D, all exterior lighting shall be arranged to reflect away from any adjoint premises and any public right-of-way and shall be shielded to contain all direct rays on the site. The exterior building lighting, including parking lot lights, shall be full cutoff fixtures without sag lenses.
- Handicapped parking space design shall meet all City and ADA criteria:
 - Ramps shall not be placed in handicapped access aisle.
 - Access aisles may not exceed a 2% slope in any direction, typ.
 - Handicapped ramps may not exceed a slope of 1:12
 - Minimum width for handicapped ramps is 36 inches
- Applicable Codes: 2017 Pikes Peak Regional Building Code (PPRBC) 2015 International Building Code (IBC) 2020 National Electrical Code (NEC) 2018 International Plumbing Code (IPC) 2015 International Mechanical Code (IMC) 2015 International Energy Conservation Code (IECC) 2009 ICC / ANSI 117.1 Accessibility Standard 2015 International Fire Code (IFC)
- Reference, discrepancies and omissions: These notes shall apply to all drawings unless otherwise shown or noted. Features of construction shown are typical and they shall apply generally throughout similar conditions. In the event of omissions, their construction shall be similar to conditions shown and detailed.
- All work and materials shall be in full accordance with the rules and regulations of the Applicable Codes noted above, and all local codes and ordinances. Nothing in these plans is to be construed to permit work not conforming to these codes.
- Dimensions:
 - Do not scale these drawings.
 - Contractor to verify overall building layout dimensions prior to construction.
 - Unless otherwise indicated, dimensions shown are to face of concrete, face masonry, face of stud lines; or, in case of steel construction, to the center line of member.
- Upon completion of each sub-contractor's work, remove all waste, debris, excess materials, tools and equipment from the premises. Leave entire structure and involved portions of the site in a neat, clean and acceptable condition.
- All roofing and flashing materials shall be installed to form a waterproof system per the applicable codes & MFG.
- Lathing, plastering and drywall construction, shall be in full accordance with the HANDBOOK OF RECOMMENDED SPECIFICATIONS FOR LATHING, FURRING AND PLASTERING of the National Foundation for Lathing and Plastering, Inc.
- All details and specifications in these construction documents shall be referred to, in conjunction with the manufacturers specifications. If details conflict with MFG, the manufacturers specifications and recommendations shall take precedence.
- All utilities shown were determined based on drawings prepared by others. GC shall field verify and locate all existing utilities prior to start of work.

DR. HOUSER DENTAL OFFICE ADDITION

PLUMBING FIXTURES

B OCCUPANCY (85 OCCUPANTS)	WATER FIXTURES PER 25	FIXTURES 1 PER 43	PROVIDED
MEN (43)	43/25 = 17 (2)	43/40 = 11 (2)	2 WC / 2 LAVS
WOMEN (43)	43/25 = 17 (2)	43/40 = 11 (2)	2 WC / 2 LAVS
NOTE: A SINGLE USE MENS AND WOMENS RESTROOM ARE INCLUDED IN ADDITION TO TWO UNISEX RESTROOMS. COUNT DOES NOT INCLUDE PRIVATE OFFICE FACILITIES.			
1 ADA DRINKING FOUNTAIN REQUIRED PER 100 OCCUPANTS / 1 PROVIDED			
1 MOP SINK REQUIRED / 1 PROVIDED			

OCCUPANT LOAD

OCCUPANCY PER 1004.11	AREA	SQFT. PER OCC.	CALCULATED OCC. LOAD
WAITING AREA (UNCONCENTRATED)	570 SF.	15 SF. NET	380
BUSINESS	4532 SF.	100 SF. GROSS	453
STORAGE AREA	301 SF.	300 GROSS	10
TOTAL AREA & OCCUPANCY	5403 SF.		843 (85)

Approval includes alternative landscaping pursuant to 6.2.2.A.4 of the Land Development Code.

Approved
 By: **Nina Ruiz**
 Date: **03/28/2022**
 El Paso County Planning & Community Development

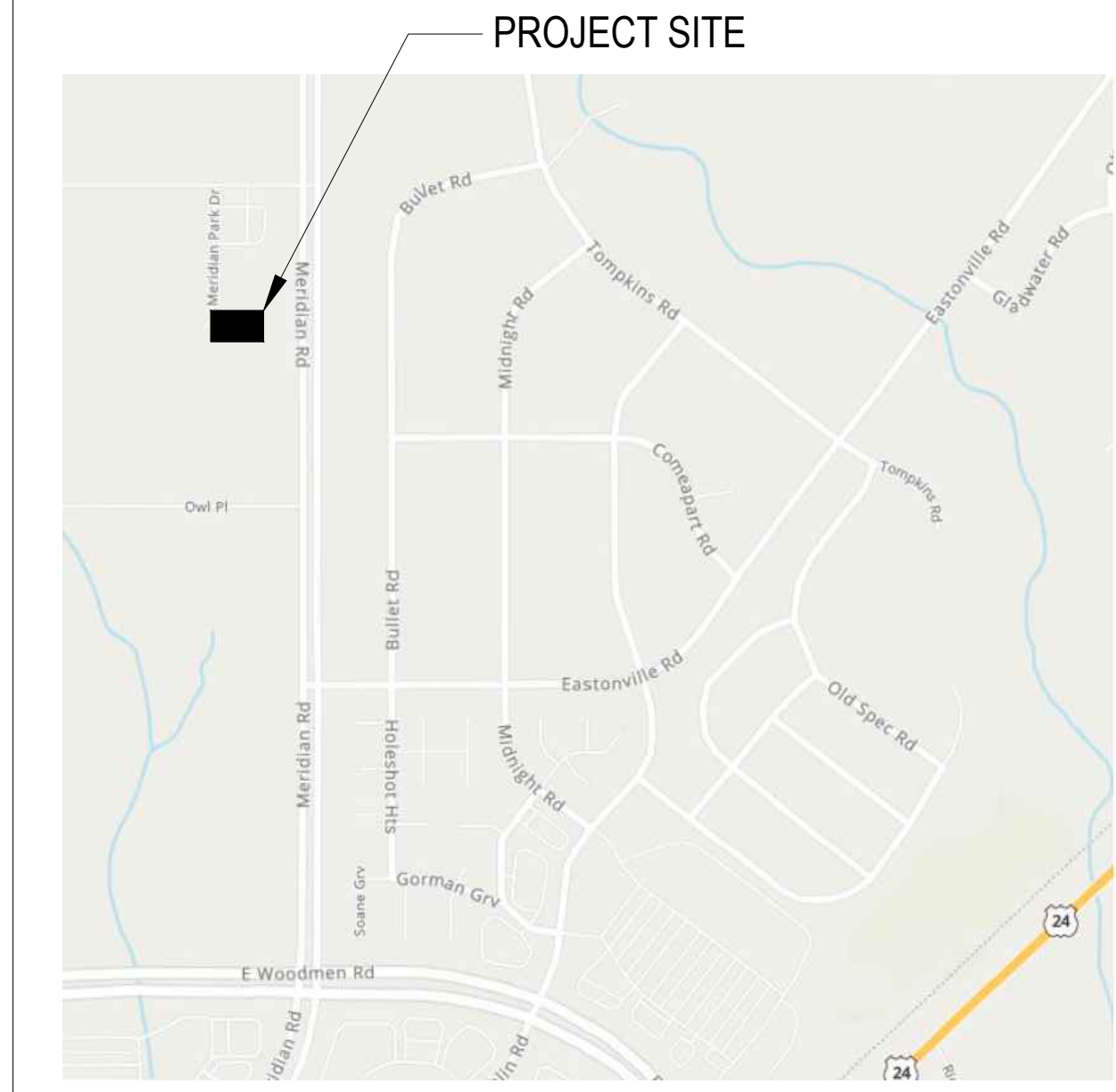
Approved on behalf of Craig Dossey,
 Executive Director PCD

SITE DATA

PROJECT NAME: DR HOUSER DENTAL OFFICE ADDITION
 PROJECT SCOPE/ DESCRIPTION: A 2-STORY ADDITION TO AN EXISTING DENTAL OFFICE. WORK TO INCLUDE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK.
 PROJECT ADDRESS: 8011 MERIDIAN PARK DRIVE PEYTON, CO 80831
 TAX SCHEDULE NO: 5301104003
 LEGAL DESCRIPTION: LOT 2A BENT GRASS EAST COMMERCIAL FL. NO. 2A
 COUNTY ZONING: CS
 EXIST/PROPOSED LAND USE: DENTAL OFFICE, NO CHANGE
 LOT SIZE: 30,477 SF (0.70 AC)
 LOT COVERAGE: 4,491 SF / 30,477 SF = 14.74%
 APPRD DEVELOPMENT PLAN: EL PASO COUNTY FILE NO PPR-18-050
 PARKING CALCULATIONS: MEDICAL OFFICE (1 SPACE/200SF) 5531SF / 200 = 28 SPACES REQUIRED / 28 SPACES PROVIDED (EXISTING)
 ACCESSIBLE SPACES REOD = 2 SPACES
 ACCESSIBLE PARKING PROVIDED = 2 SPACES
 LANDSCAPE AREA, INTERNAL REQUIRED: 5% OF SITE AREA = 30,477 X 0.05 = 1524SF
 LANDSCAPE AREA, INTERNAL PROVIDED: INTERNAL LANDSCAPE AREA = 1524 SF
 872 SF PATIO AREA** @ 50% = 436
 TOTAL INTERNAL LANDSCAPE = 1960 SF
 ** - IN ACCORDANCE WITH LAND USE CODE CHAPTER 6, SECTION 622(E)3(d)
 BLDG SETBACKS: FRONT (WEST) = 63'-0" (25' REOD)
 REAR (EAST) = 66'-2" (25' REOD)
 SIDE (NORTH) = 12'-0" (0' REOD - ADJACENT TO CS ZONE)
 SIDE (SOUTH) = 77'-3" (25' REOD)

BUILDING CODE DATA

CONSTRUCTION TYPE: V-B
 SPRINKLER SYSTEM: NO
 FIRE ALARM SYSTEM: NONE
 RATED CONSTRUCTION: NONE
 EXIST/PROPOSED OCCUP. GROUP: B
 PROJECT AREAS & HEIGHTS
 1ST FLOOR AREA: 3536 SF. (EXISTING)
 975 SF. GROSS (PROPOSED)
 2ND FLOOR AREA: 912 SF. GROSS
 TOTAL AREA: 5403 SF.
 MAX. STORIES: 3 PER TABLE 504.4
 PROPOSED STORIES: 1
 MAX. BUILDING HEIGHT: 40' MAX. PER IBC TABLE 504.3
 PROPOSED BUILDING HEIGHT: 32'
 OCCUPANT LOAD: 85



VICINITY MAP NOT TO SCALE

PROJECT TEAM

OWNER
 8011 PROPERTIES LLC
 8011 MERIDIAN PARK DRIVE
 PEYTON, CO 80831-8128
 CONTACT: JAMIN HOUSER
 JAMIN_H@YAHOO.COM
 (303) 304-1430

ARCHITECT
 BUCHER DESIGN STUDIO, INC.
 BRIAN K. BUCHER, AIA, NCARB
 12325 ORACLE BLVD, SUITE 101
 COLORADO SPRINGS, CO 80921
 (719) 484-0480

CONTRACTOR
 TBD

STRUCTURAL ENGINEER
 TBD

MPE ENGINEER
 TBD

SOILS ENGINEER
 TBD

LANDSCAPE
 HIGHER GROUND DESIGNS, INC.
 5350 N. ACADEMY BLVD, STE 207
 COLORADO SPRINGS, CO 80918

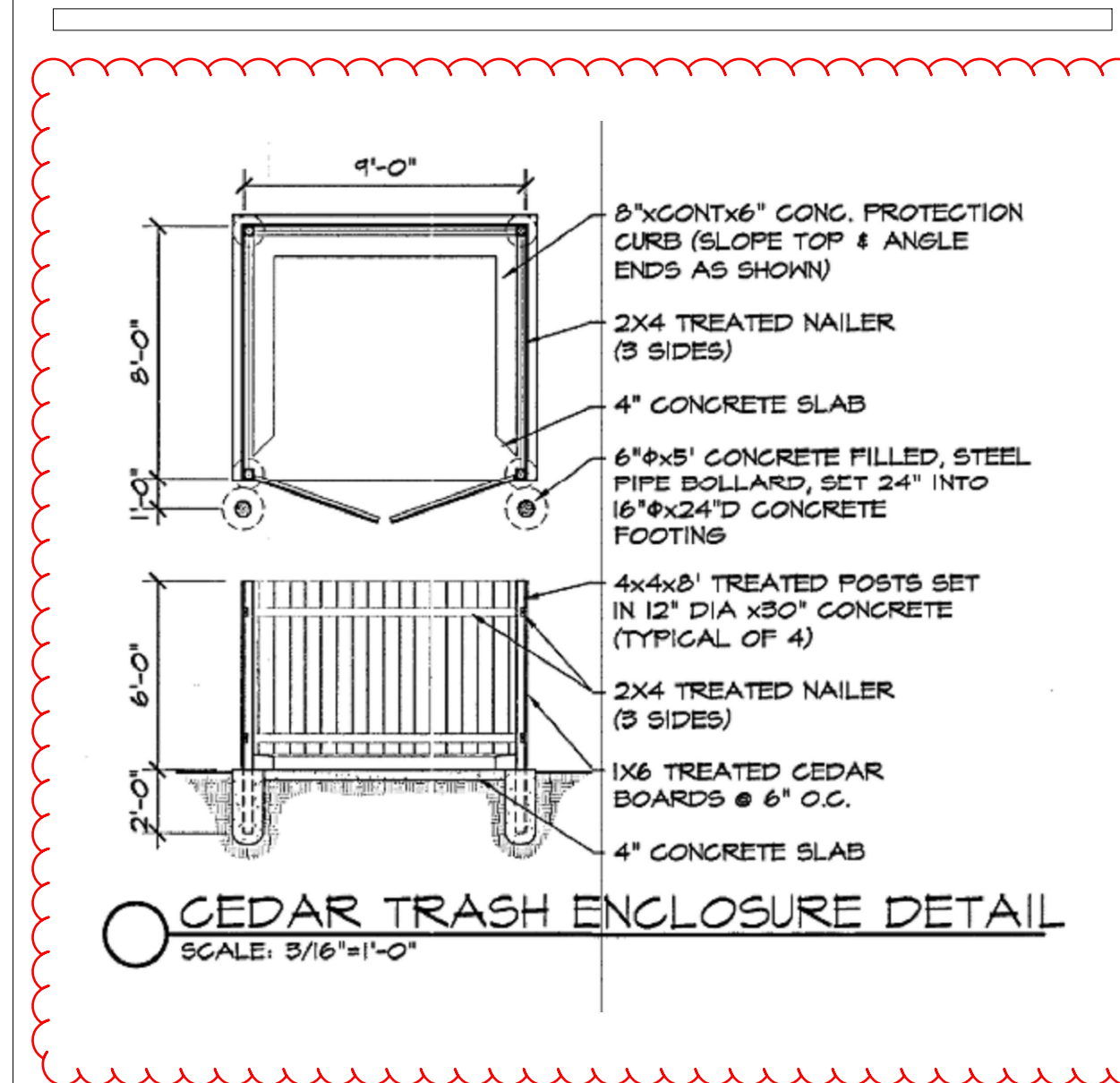
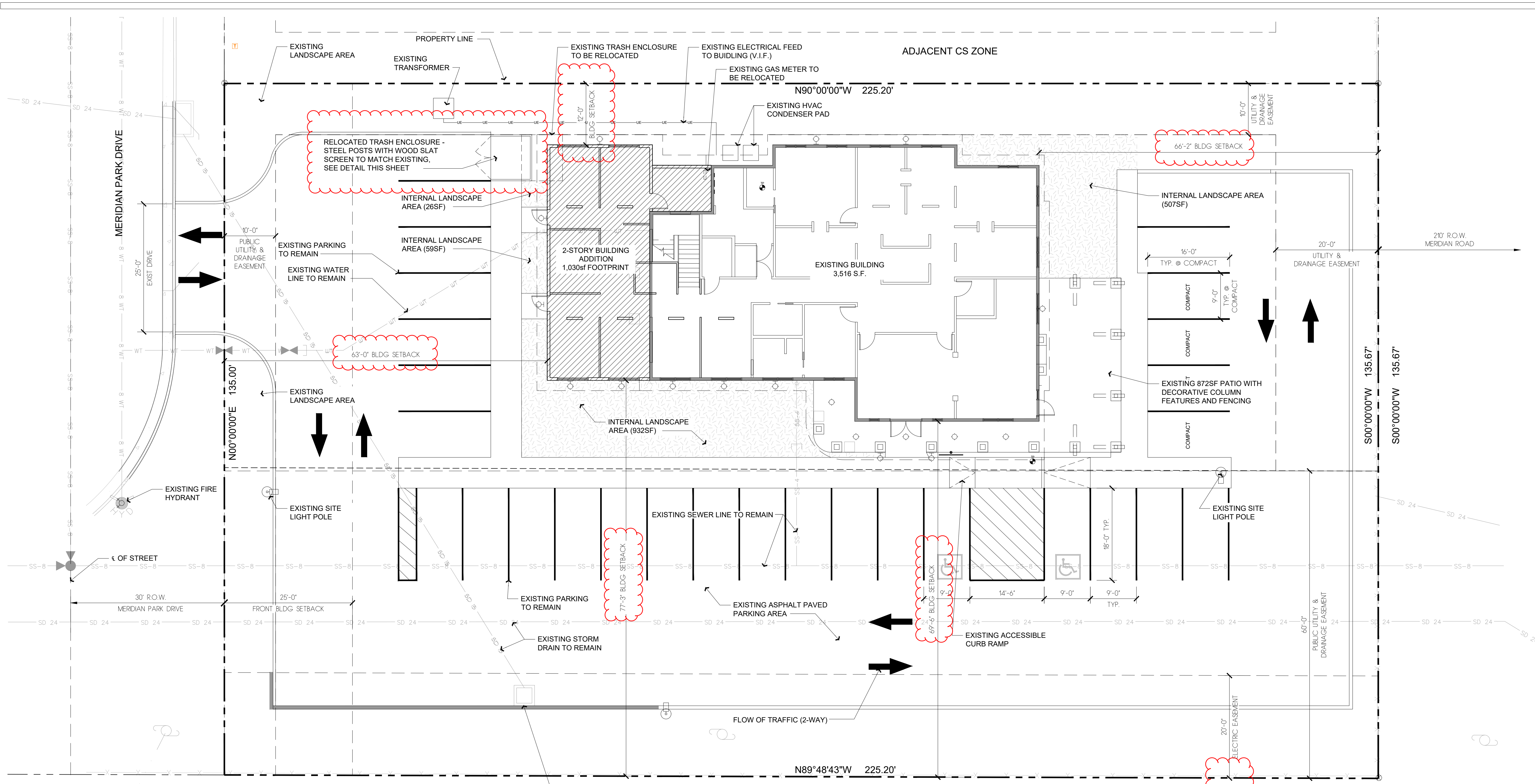
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20th ANNIVERSARY
 BUCHER DESIGN STUDIO
 2002-2022
 architecture + planning
 12325 Oracle Blvd. Suite 101
 Colorado Springs, CO 80921
 (719) 484-0480

Brian K. Bucher, AIA
 Architect
 CO license no. C-4889

A PROPOSED ADDITION FOR

DR. HOUSER



8011 MERIDIAN PARK DR
 FALGON, CO 80831

Sheet Title:
SITE PLAN

Drawing Status:
SITE DEV SUBMITTAL

Revisions:
 No. Description By Date

Date: 3/1/22
 Drawn by:
 Checked by:
 Scale: AS NOTED
 Job No.:

Sheet No.: **A0.1**
 1 Of 1

SITE PLAN
 SCALE: 1"=10'-0"

PCD FILE NO. PPR-21-072



FALCON DENTAL
 DENTAL OFFICE
 8011 MERIDIAN PARK DRIVE
 FALCON, CO

PREPARED FOR:
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NOT FOR CONSTRUCTION

JOB NUMBER	1046-21
REVISIONS	
1-7-22	PER COMMENTS
ORIGINAL DATE	11-10-21
DRAWN BY	JM
DESCRIPTION	LANDSCAPE PLAN
SHEET NO.	L1.1
	SHEET 7 OF 7

CODE REQUIREMENT CHART

LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
MERIDIAN PARK DRIVE	NON-ARTERIAL	10/10 FT	75 LF	1/30 FT	3/3

MOTOR VEHICLE LOTS (MV)			
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/3 SPACES)	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT.)
30	2/2	NA	NA
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.	NA	NA

INTERNAL LANDSCAPING (IL)			
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS.			
NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (5%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1500 SF) (EXCLUDING DRIVEWAYS)
30,471 SF	NON-RESIDENTIAL	1,524 SF / 16,000 SF	3/13
SHRUB SUBSTITUTES REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN	INTERNAL PLANT ABBR. DENOTED ON PLAN	PERCENT GROUND PLANE VEG. REQ./PROV.
0/0	IL	IL	50/50%

LANDSCAPE BUFFERS AND SCREENS (LB)				
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE (50 LF NORTH)	SETBACK BUFFER REQ. / PROV.-FENCE	BUFFER TREES (1/20') REQ./PROV. - NA	EVERGREEN TREES (1/3) REQ./PROV. - NA
TRASH ENCLOSURE	NA	NA	NA	3 UPRIGHT JUNIPER

PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature Width/Hght	Size
EVERGREEN SHRUBS:						
	JSS	3	Juniper x chinensis 'Spartan'	Spartan Juniper	3-4' x 12-15'	5 gal.
ORNAMENTAL GRASSES:						
	CA	7	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1-3' / 2-3'	#1 CONT.

PLANT MATERIAL NOTE

ALL EXISTING PLANT MATERIAL SHALL BE PROTECTED UNLESS RELOCATION IS SPECIFIED ON PLAN. ANY PLANTS THAT ARE DEAD OR IN POOR HEALTH SHALL BE REPLACED. ALL RELOCATED PLANTS SHALL BE WARRANTED FOR ONE GROWING SEASON AFTER TIME OF PLANTING.

TRANSPLANTING TREES SHALL BE PERFORMED BY LICENSED TREE MOVER. TRANSPLANTED TREES SHALL RECEIVE REGULAR WATER AFTER PLANTING BASED ON TIME OF YEAR AND SIZE OF TREE. COORDINATE WITH OWNER FOR TREE WATERING.

NOTE: IRRIGATION SYSTEM TO BE DESIGN/BUILD FOR ALL TURF AND SEEDED AREAS AND DRIP FOR ALL PLANTING AREAS. COORDINATE WITH GENERAL CONTRACTOR. REFER TO IRRIGATION GUIDELINES.

GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Arkansas Tan Rock Cobble: 2-4" Diameter (with weed barrier) Rock to match existing	260 SF

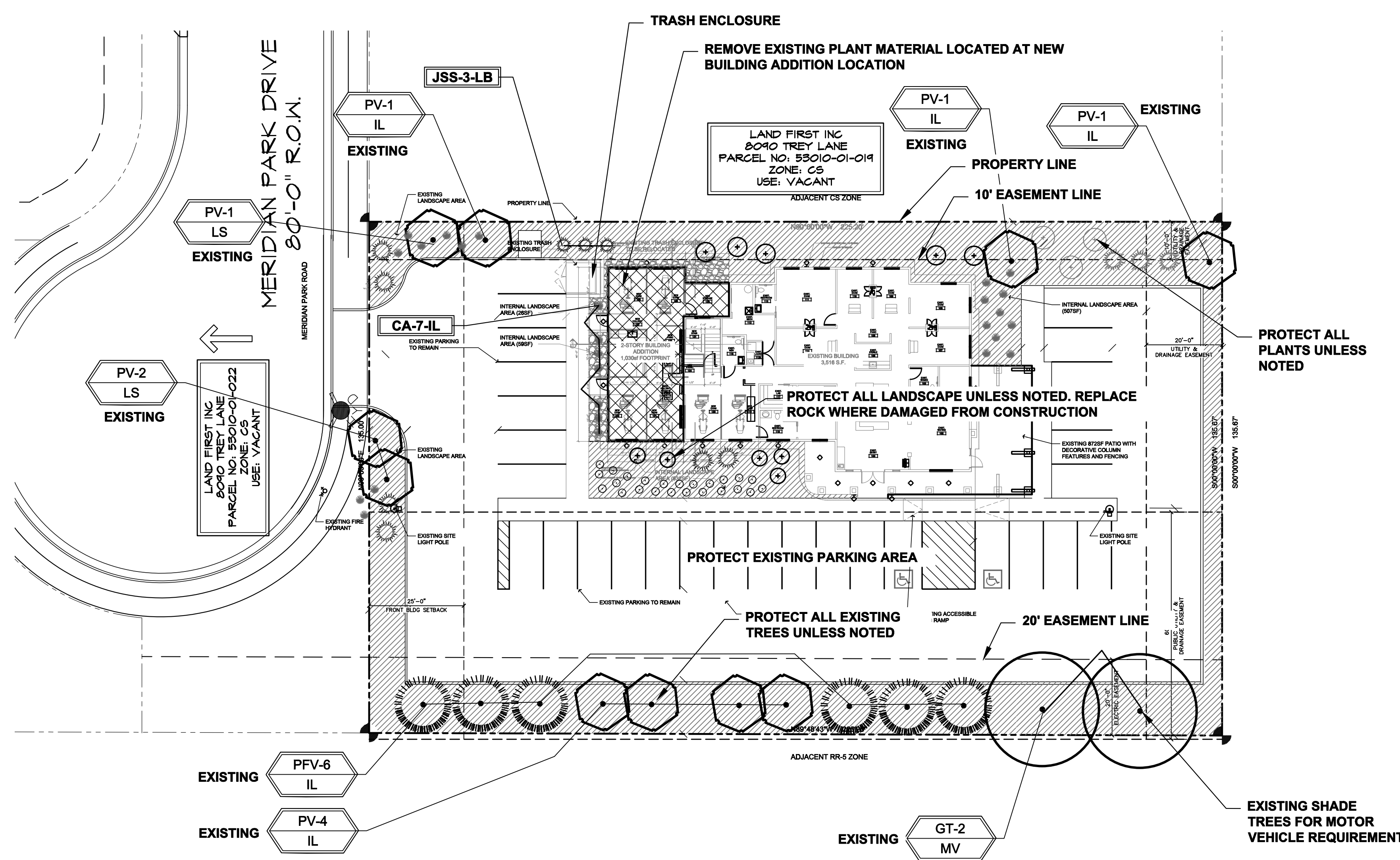
NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND SF ARE FOR REFERENCE ONLY.

UTILITIES NOTE

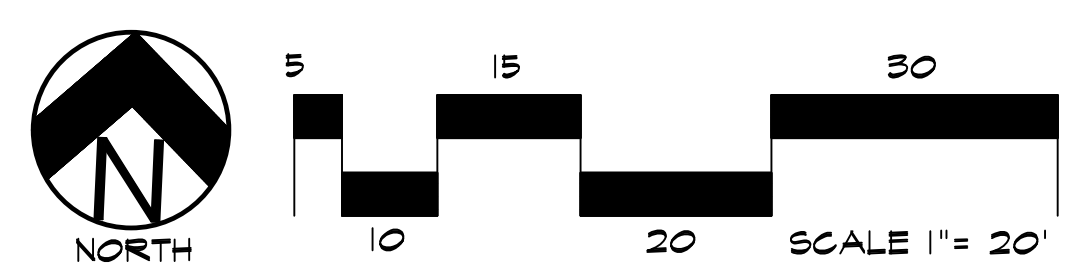
VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODES.

DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.



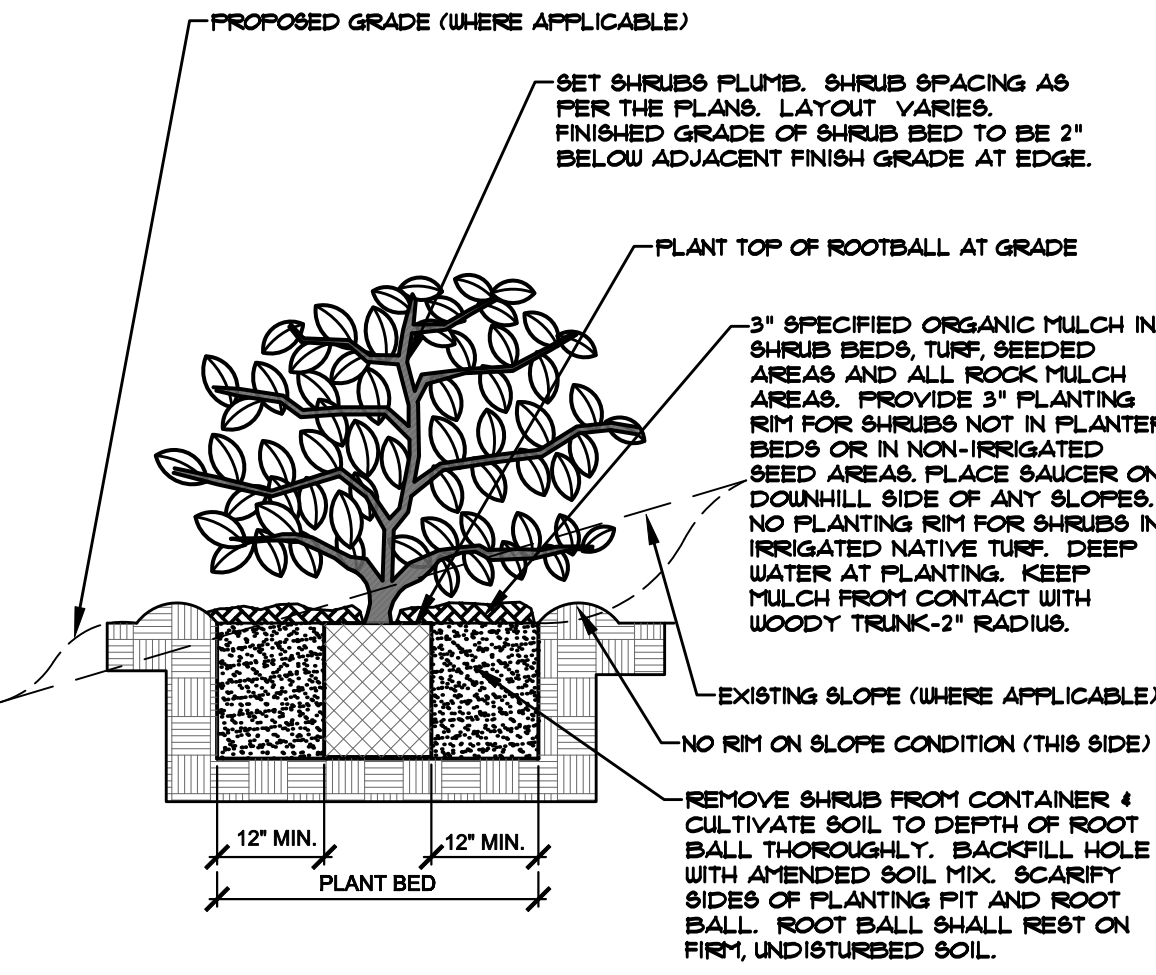
ALTERNATE LANDSCAPE PLAN



UTILITIES NOTE
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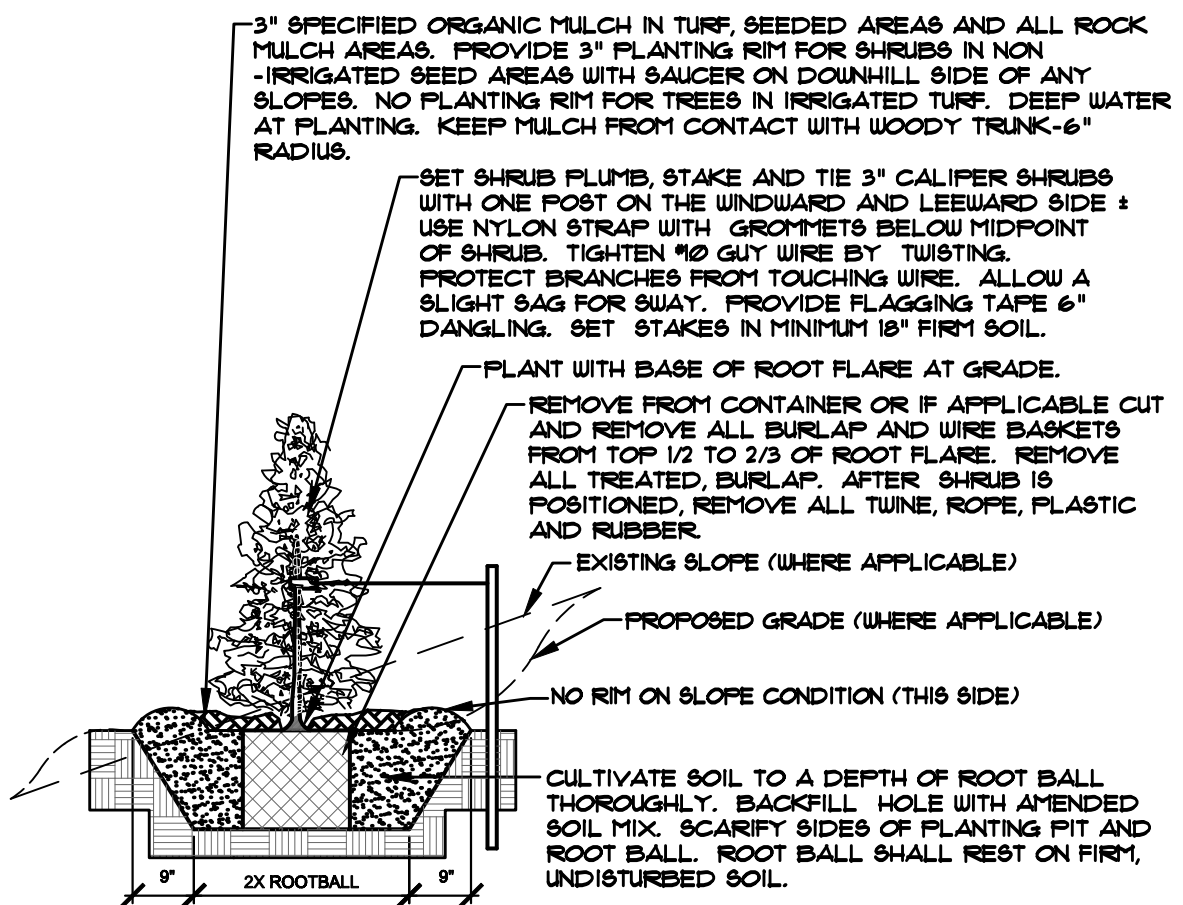
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- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - FOR ROOT BIND AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
 - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



A SHRUB PLANTING DETAIL
NOT TO SCALE

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - FOR ROOT BIND (CONTAINER PLANTS ONLY) AT BOTTOM OF BALL SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
 - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY. (CONTAINER PLANTS ONLY)



B UPRIGHT EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE

LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

ALL EDGING SEPARATING TURF, PLANTER, DECORATIVE ROCK, OR MULCH AREAS TO BE GREEN PRO-STEEL (1/8" x 4" x 10") WITH STAKES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH POLYSPUN WEED BARRIER WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS, UNLESS OTHERWISE SPECIFIED. ORGANIC MULCH TO BE CASCADE CEDAR WITH NO LANDSCAPE FABRIC 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL).

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

DECORATIVE BOULDERS SHALL BE BURIED 1/3 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PLANT SAFE PREEN WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING, REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER, CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM.

REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

SOIL PREP NOTES

SOIL PREPARATION FOR UNDISTURBED OR COMPACTED AREAS:

- IF UNDISTURBED RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
- REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.
- FOR TREES IN ISLANDS REMOVE SOIL TO 36" DEPTH AND REPLACE WITH GRADE B TOPSOIL IF EXISTING SOIL IS SAND OR CLAY.

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODES.

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HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD. STE. 207
COLORADO SPRINGS, CO 80918
Phone: 719-477-1646
Fax: 719-526-1122



FALCON DENTAL
DENTAL OFFICE
8011 MERIDIAN PARK DRIVE
FALCON, CO

PREPARED FOR:
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NOT FOR CONSTRUCTION	JOB NUMBER	1046-21
	REVISIONS	
	1-7-22	PER COMMENTS
	ORIGINAL DATE	11-10-21
	DRAWN BY	JM
	DESCRIPTION	LANDSCAPE DETAILS AND NOTES
	SHEET NO.	L1.2



2-22-22

El Paso County Development Services Department
2880 International Circle
Colorado Springs, CO 80910

RE: Alternate Landscape Plan Request

Location: Falcon Dental, 8011 Meridian Park Drive, El Paso County

To plan reviewer:

We are requesting approval for alternate landscape plan for the parking lot requirements for this lot based on the following.

CODE SECTION:	Part 3, Section 1, Parking Lot Requirements
REQUIREMENT:	One parking lot island for every 15 open parking stalls with more than 15 spaces and end of row islands/landscape area for shade trees. Two shade trees are required based on 30 parking spaces.
PROPOSAL:	Request alternative compliance for the parking lot islands and trees. Do not install any additional islands or shade trees.
JUSTIFICATION:	<p>There are two shade trees located at the southeast corner of the property that shades a portion of the parking area. There are 10 additional trees located along the south boundary that shade the parking area during late afternoon sun.</p> <p>The site was re-designed and approved in 2019 expanding the parking spaces exceeding 15 spaces without islands. The county approved this plan, and it was constructed accordingly.</p> <p>The owner of the property does not want to lose any parking for the facility operations.</p>

Thank you for your consideration in this matter.

John MacKay, PLA

www.highergrounddesigns.com



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DESIGN STUDIO

architecture • planning
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Brian K. Bucher, AIA
Architect
CO license no. C-4889
CA license no. C 23506



A PROPOSED
ADDITION
FOR

DR. HOUSER

8011 MERIDIAN PARK DR.
FALGON, CO 80881

Sheet Title:
**MAIN FLOOR
PLAN**

Drawing Status:
**SITE DEV
SUBMITTAL**

Revisions:
No. Description By Date

No.	Description	By	Date
1			

Date: 12/1/21

Drawn by:

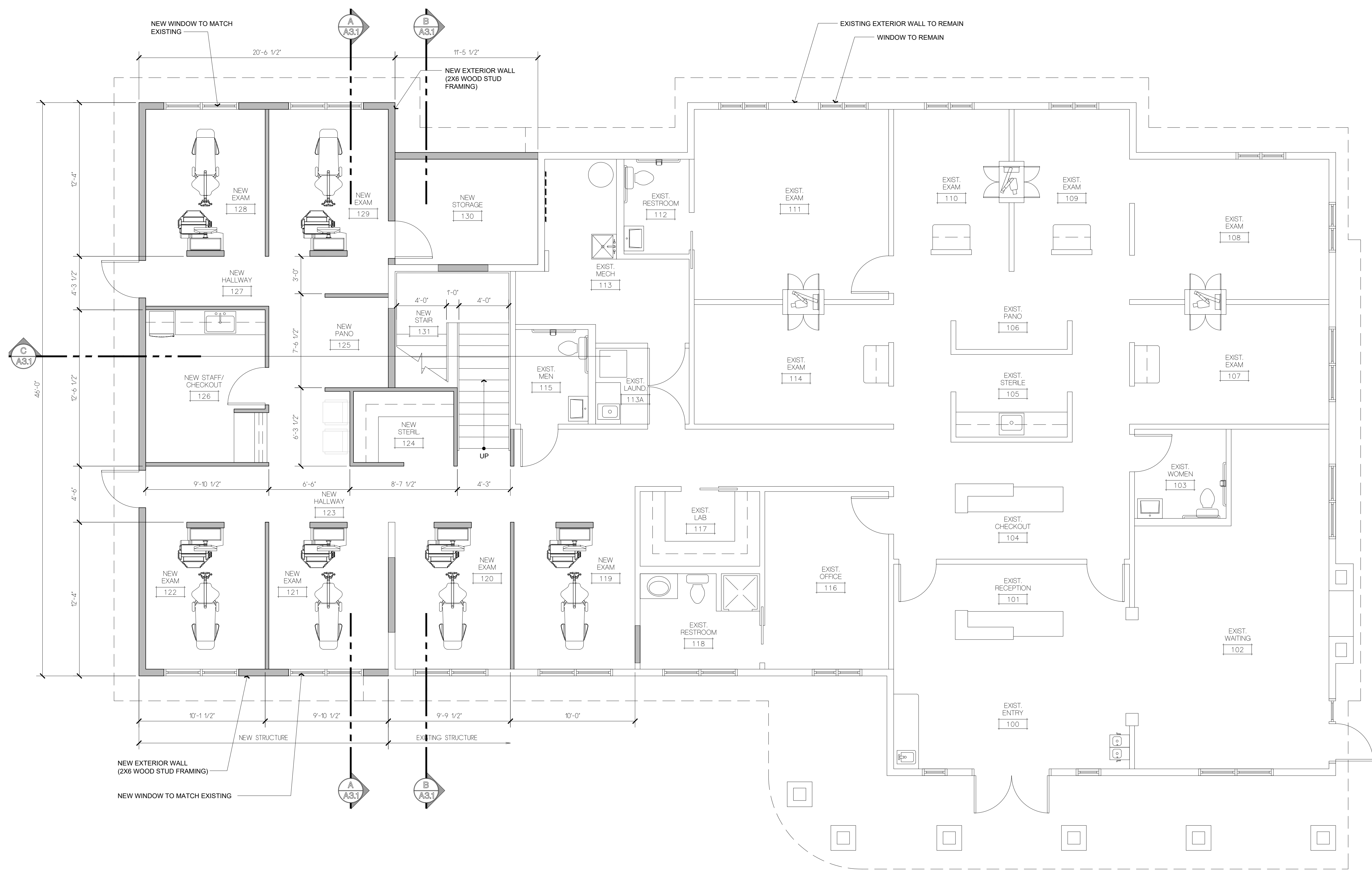
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Scale: AS NOTED

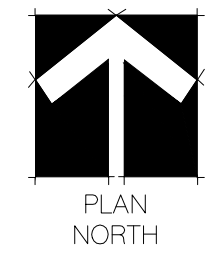
Job No.:

Sheet No.:

A1.1
Of



WALL LEGEND	
(Dashed line symbol)	EXISTING WALL CONST. TO REMAIN
(Solid line symbol)	NEW WALL



MAIN FLOOR PLAN

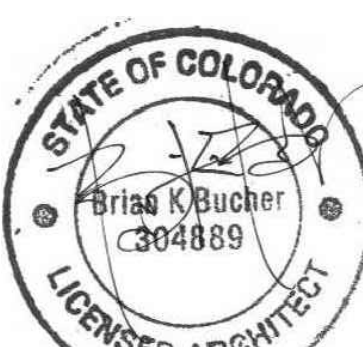
SCALE: 1/4"=1'-0"
EXISTING MAIN FLOOR GROSS AREA: 3536 SF
MAIN FLOOR ADDITION GROSS AREA: 1030 SF
NEW UPPER FLOOR GROSS AREA: 985 SF



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Architect
CO license no. C-4889
CA license no. C 23506



A PROPOSED
ADDITION
FOR

DR. HOUSER

801 MERIDIAN PARK DR.
FALGON, CO 80881

Sheet Title:
UPPER LEVEL
FLOOR PLAN
AND ROOF PLAN

Drawing Status:
SITE DEV
SUBMITTAL

Revisions:

No. Description By Date

1. 12/1/21

Date: 12/1/21

Drawn by:

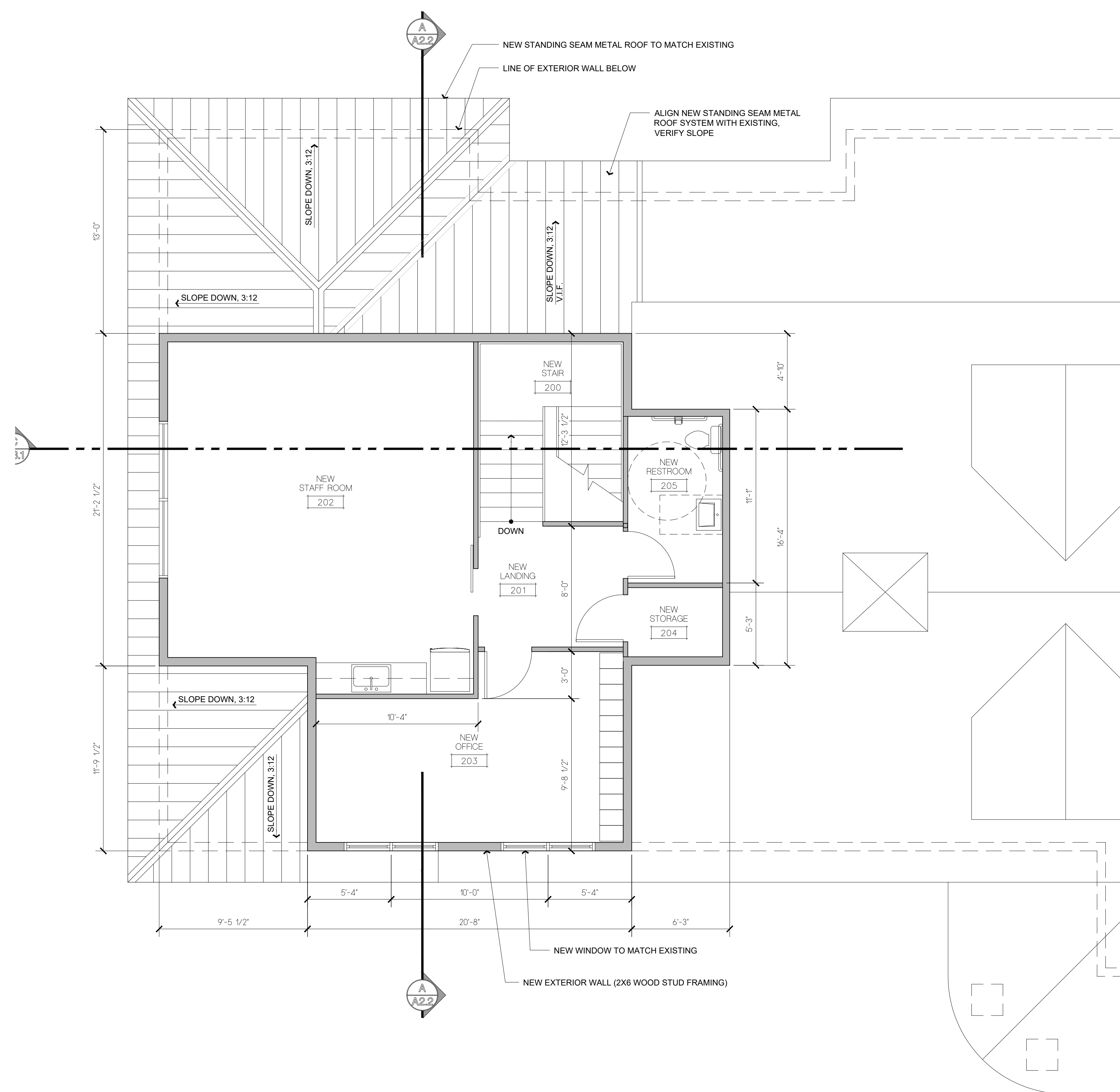
Checked by:

Scale: AS NOTED

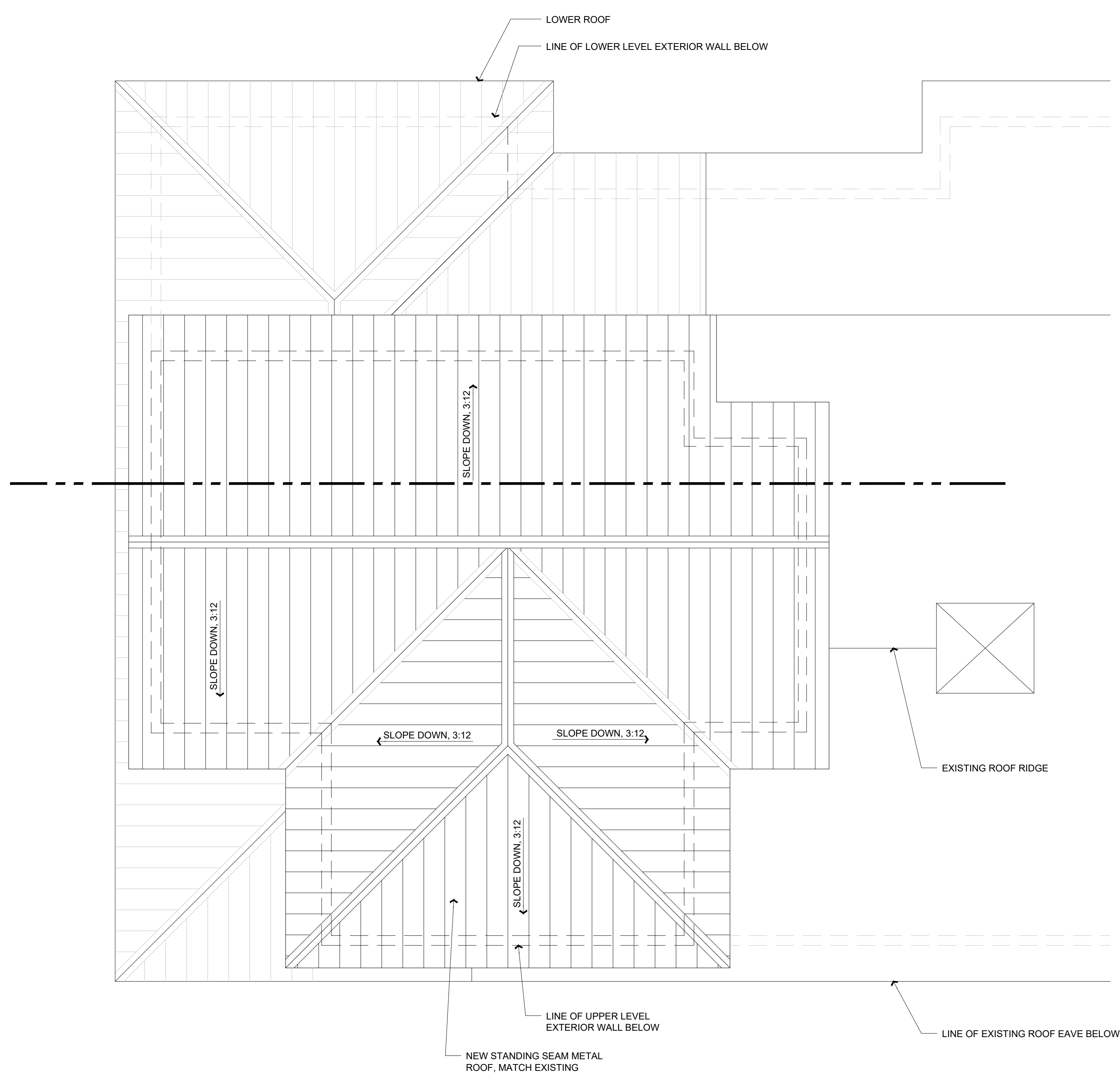
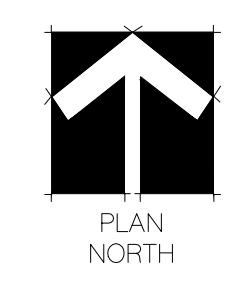
Job No.:

Sheet No.:

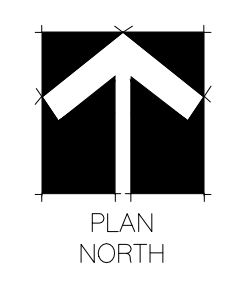
A1.2
Of



UPPER FLOOR PLAN/ LOWER ROOF PLAN
SCALE: 1/4"=1'-0"
UPPER FLOOR AREA: 1228 SF



HIGH ROOF PLAN
SCALE: 1/4"=1'-0"
UPPER FLOOR AREA: 1228 SF





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A PROPOSED ADDITION FOR

DR. HOUSER

8011 MERIDIAN PARK DR
FALCON, CO 80881

Sheet Title:
SITE LIGHTING PLAN

Drawing Status:
SITE DEV SUBMITTAL

Revisions:

No. Description By Date

1. [Symbol] [] [] []

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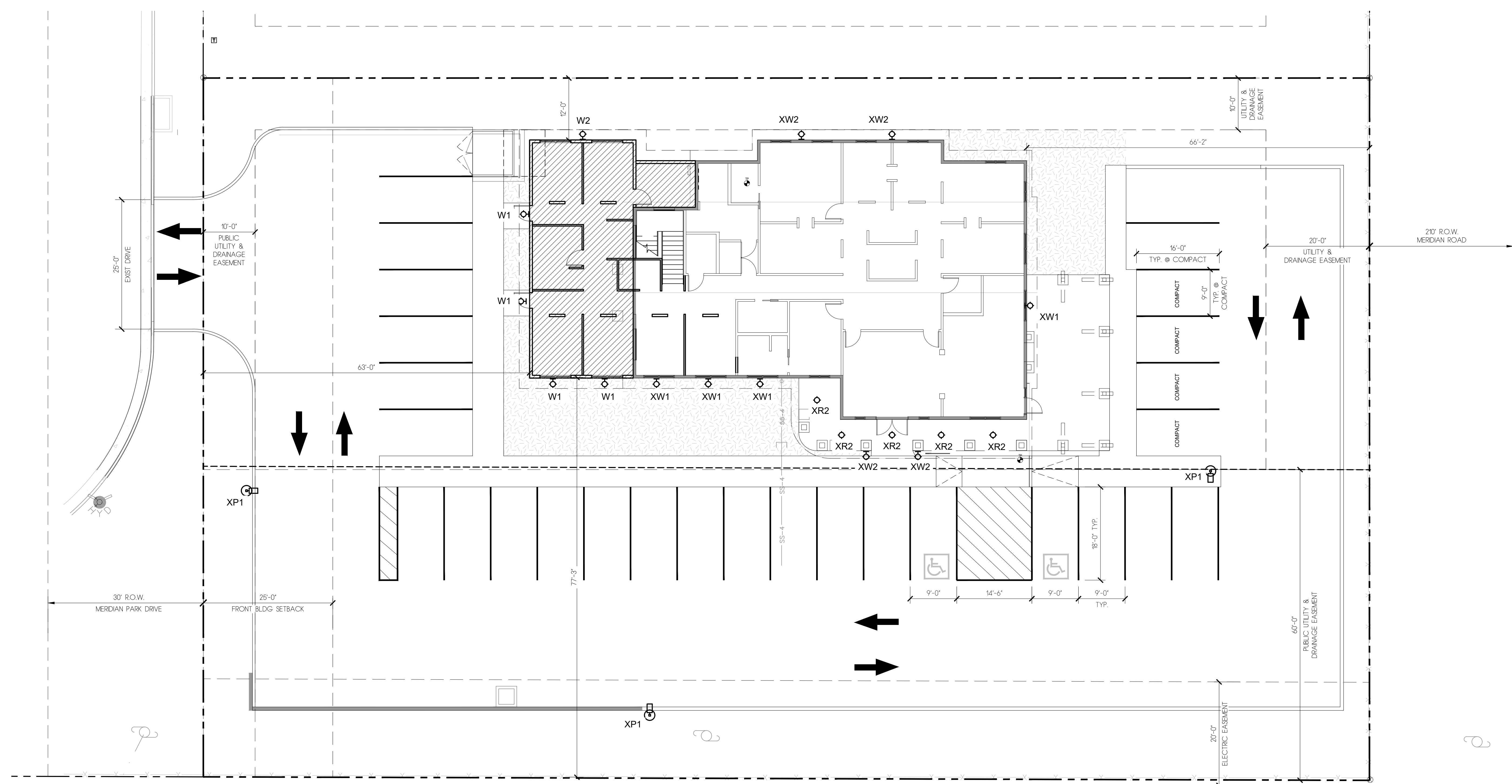
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Sheet No.:

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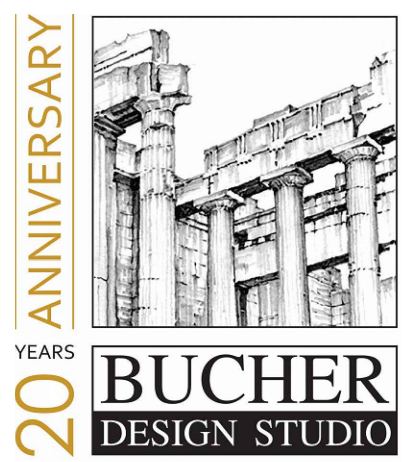
2 Of 7



SITE LIGHTING PLAN
SCALE: 1"=10'-0"

EXTERIOR LIGHTING SCHEDULE

XP1	EXISTING POLE LIGHT- 20' HIGH 400W METAL HALIDE
XR1	EXISTING RECESSED 6" DOWN LIGHT- 22W LED CAN FIXTURE
XW1	EXISTING WALL MOUNTED LIGHT FIXTURE- 17W LED GOOSENECK TYPE FIXTURE
XW2	EXISTING WALL MOUNTED LIGHT FIXTURE- 39W LED SCOFF
W1	NEW WALL MOUNTED LIGHT FIXTURE TO MATCH EXISTING XW1
W2	NEW WALL MOUNTED LIGHT FIXTURE TO MATCH EXISTING XW2



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A PROPOSED
ADDITION
FOR

DR. HOUSER

8011 MERIDIAN PARK DR.
FALGON, CO 80881

Sheet Title:
**NORTH AND
SOUTH EXTERIOR
ELEVATIONS**

Drawing Status:
**SITE DEV
SUBMITTAL**

Revisions:
No. Description By Date

No.	Description	By	Date

Date: 3/1/22

Drawn by:

Checked by:

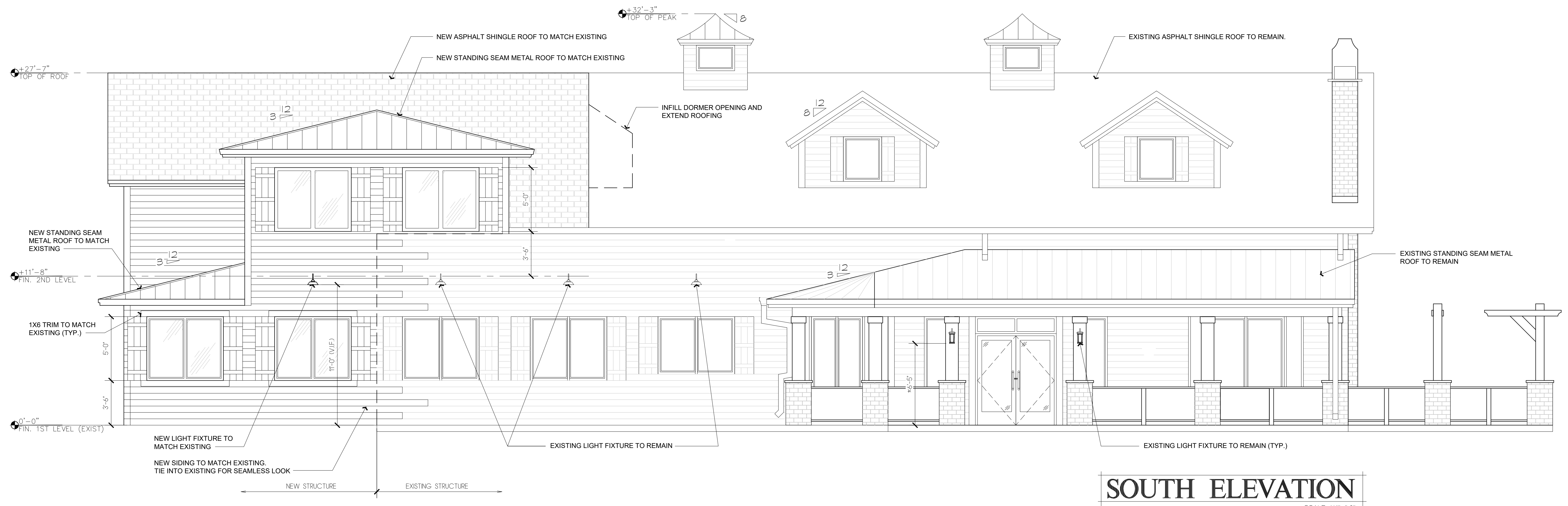
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Job No.:

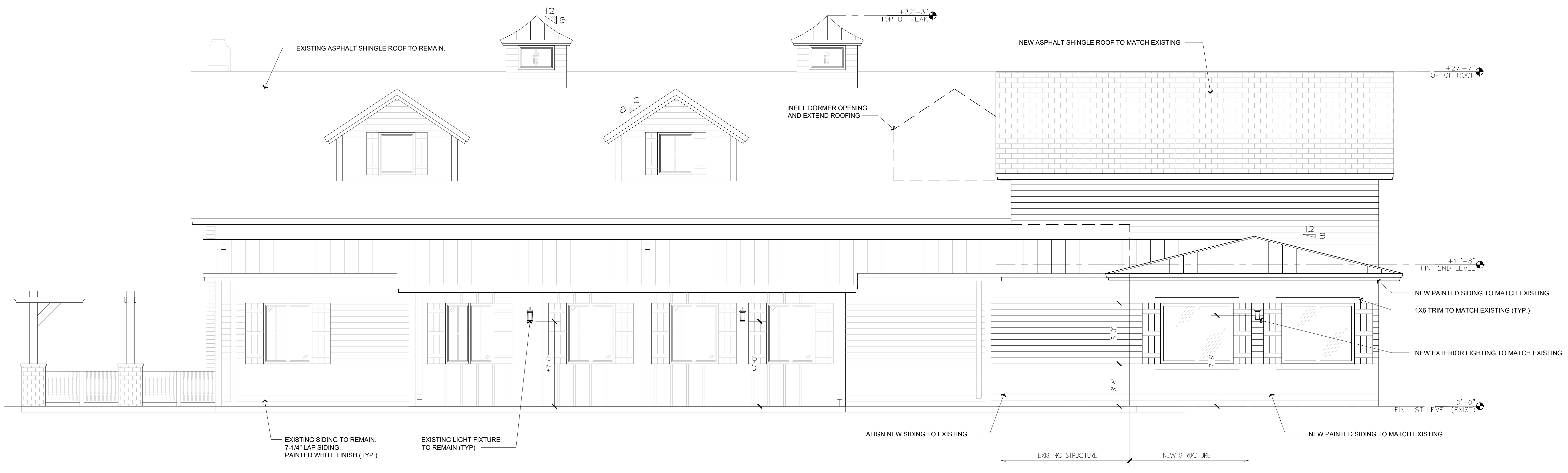
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A2.1

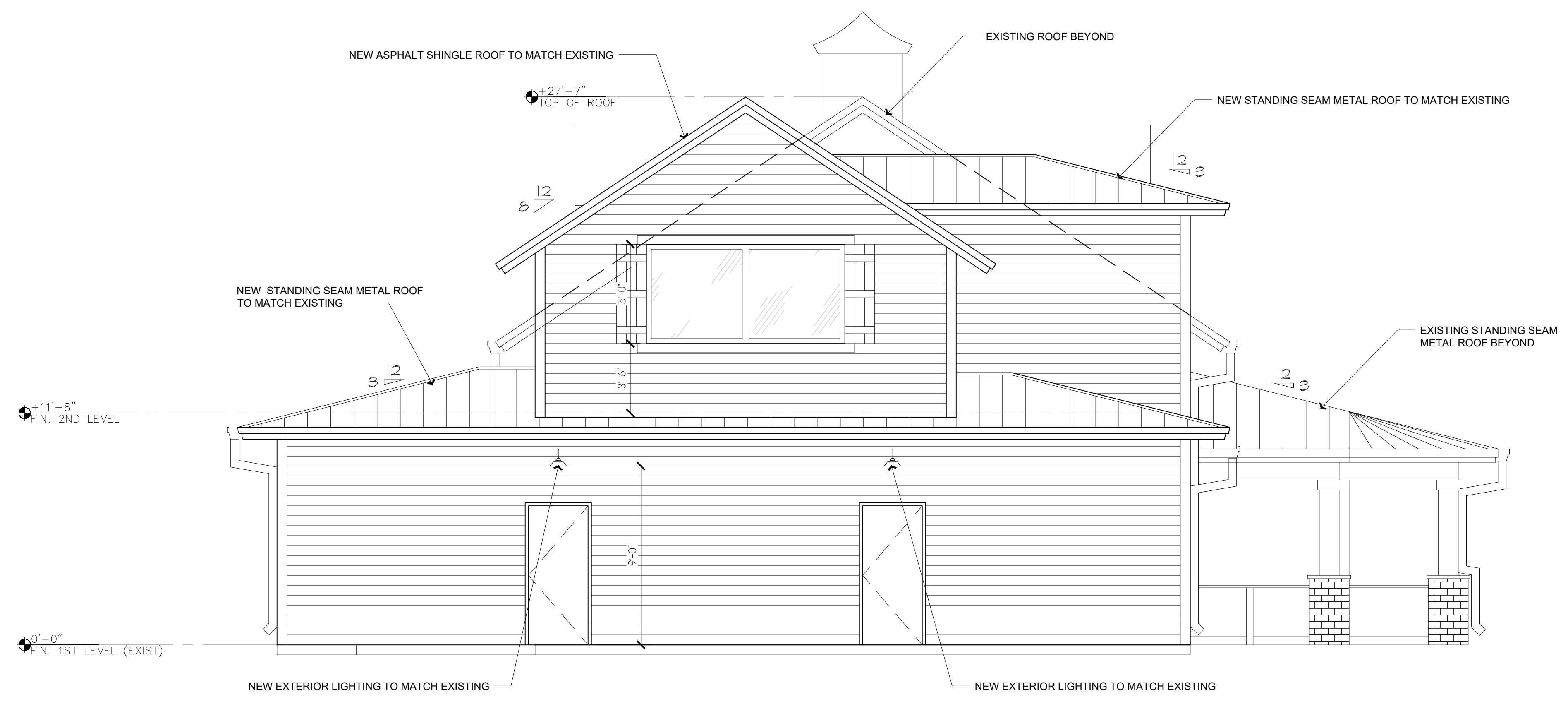
1 Of 2



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

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A PROPOSED
ADDITION
FOR

DR. HOUSER

8011 MERIDIAN PARK DR.
FALGON, CO 80881

Sheet Title:
**WEST EXTERIOR
ELEVATION**

Drawing Status:
**SITE DEV
SUBMITTAL**

Revisions:

No.	Description	By	Date
1			

Date: 3/1/22

Drawn by:

Checked by:

Scale: AS NOTED

Job No.:

Sheet No.:

A2.2
2 Of 2