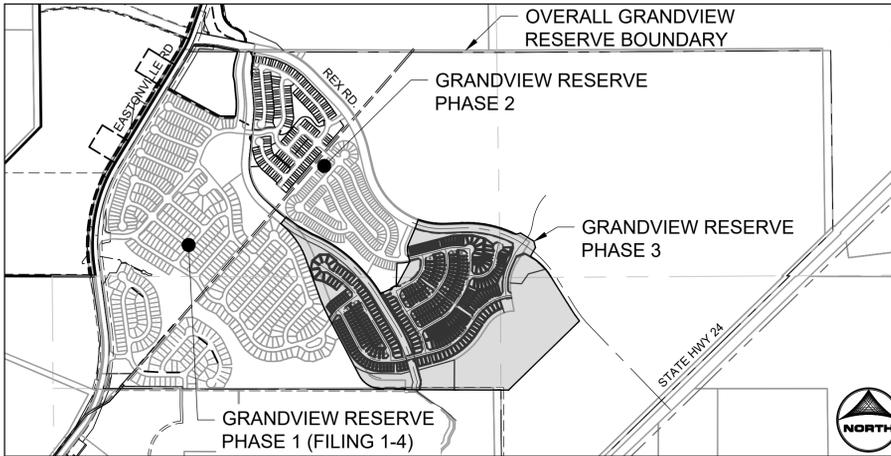


WALTON, CHRIS, 10/17/2024, 12:38 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

PH3 - SHEET INDEX

- 01 - COVER SHEET
- 02 - TYPICAL SECTIONS
- 03 - TYPICAL SECTIONS
- 04 - OVERALL AND ADJACENT PROPERTY PLAN
- 05 - TRACT PLAN
- 06 - TRACT PLAN TABLES
- 07 - OVERALL SITE PLAN
- 08 - SITE PLAN - 1 OF 8
- 09 - SITE PLAN - 2 OF 8
- 10 - SITE PLAN - 3 OF 8
- 11 - SITE PLAN - 4 OF 8
- 12 - SITE PLAN - 5 OF 8
- 13 - SITE PLAN - 6 OF 8
- 14 - SITE PLAN - 7 OF 8
- 15 - SITE PLAN - 8 OF 8

Lot layout ; Geo Constraints ; a site plan is for one lot at building permit in the County

DEVELOPMENT STANDARDS AND GUIDELINES (SINGLE FAMILY DETACHED LOTS):

- THERE SHALL BE ONLY ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE FAMILY RESIDENCE ON A LOT.
- ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE APPROVED GRANDVIEW RESERVE SKETCH PLAN (SP-20-001).
- MINIMUM LOT AREA: THREE THOUSAND THREE HUNDRED SQUARE FEET (3,300SF). (REFER TO TYPICAL LOT LAYOUTS)
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM.
- MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40').
- MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (25').
- MINIMUM DRIVEWAY LENGTH: 20' FROM FACE OF GARAGE TO BACK OF SIDEWALK
- SETBACK REQUIREMENTS:
 - FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE FIFTEEN FEET (15') TO FACE OF HOUSE
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: TWENTY FEET (20')
 - CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
 - CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

ACCESSORY USE STANDARDS:

- ACCESSORY STRUCTURE USE SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES SUCH AS SHEDS, DECKS, DETACHED DECKS, GAZEBOS, PATIOS, HOT TUBS AND POOLS. THERE SHALL BE NO ACCESSORY LIVING QUARTERS OR ADDITIONAL DWELLING UNITS ALLOWED.
- ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE.
- DECKS ATTACHED TO HOMES OVER 18" TALL ARE PRINCIPAL STRUCTURES. STAND ALONE DECKS ARE ACCESSORY STRUCTURES.
- MAXIMUM ACCESSORY STRUCTURE HEIGHT: FIFTEEN FEET (15')
- SETBACK REQUIREMENTS:
 - FRONT YARD: FIFTEEN FEET (15')
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: FIVE FEET (5')
 - CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
 - CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

TRACT R (FUTURE SCHOOL TRACT) NON-RESIDENTIAL DEVELOPMENT STANDARDS:

- MINIMUM LOT AREA: FIVE ACRES (25 ACRES).
- MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30%
- MAXIMUM STRUCTURAL HEIGHT: FIFTY FEET (50').
- BUILDING SETBACK REQUIREMENTS:
 - FRONT YARD: FIFTY FEET (50')
 - SIDE YARD: FIFTY FEET (50')
 - REAR YARD: FIFTY FEET (50')
- FINAL LAYOUT WILL BE PROVIDED AT SITE DEVELOPMENT PLAN. SITE DEVELOPMENT PLAN WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR LOTS 323

SITE DATA

EXISTING LAND USE:	GRAZING & AGRICULTURAL
EXISTING ZONING:	RR-2.5
PROPOSED ZONING:	PUD
SITE AREA:	102,823 AC
PROPOSED NUMBER OF DWELLING UNITS:	322
MAXIMUM GROSS DENSITY (ALLOWED PER SKETCH PLAN):	PARCEL J - 4 DU/AC, PARCEL I - 8 DU/AC
PROPOSED GROSS DENSITY:	SEE LAND USE TABLE BELOW
TOTAL AREAS (SEE LAND USE TABLE BELOW)	

GRANDVIEW RESERVE PHASE 3 - LAND USE TABLE					
LAND USE	AREA (ACRES)	DWELLING UNITS	GROSS DENSITY (DU/ACRE)	**ALLOWABLE DENSITY (DU/ACRE-PER (see below)	% OF LAND
SINGLE FAMILY RESIDENTIAL	38.00	322	4.11		37%
PORTION OF 77.83 WITHIN SKETCH PLAN AREA I	10.95	27	2.46	8.00	
PORTION OF 77.83 WITHIN SKETCH PLAN AREA J	67.34	295	4.38	4.00	
DRAINAGE CHANNEL TRACTS	5.98	N/A	N/A	N/A	6%
DETENTION TRACTS	7.21	N/A	N/A	N/A	7%
PARK TRACT	1.48	N/A	N/A	N/A	1%
OPEN SPACE TRACTS	9.77	N/A	N/A	N/A	10%
ROAD R.O.W.	15.85	N/A	N/A	N/A	15%
SCHOOL SITE	25.00	N/A	N/A	N/A	24%
TOTAL PHASE 3 LAND AREA	102.82	N/A	N/A		100%
TOTAL LAND AREA (Excluding School Site)	78.30				

PUBLIC STREETS

- ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS. DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS EXCEPT FOR LANDSCAPE AREAS WHICH SHALL BE MAINTAINED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT OR HOMEOWNERS ASSOCIATION.
- ALL LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT VIA DEVELOPMENT AGREEMENT, LICENSE AGREEMENT OR INTER-GOVERNMENT AGREEMENT.
- REX ROAD AS ILLUSTRATED ON THE DRAWINGS WILL BE A PUBLIC STREET DESIGNED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS. DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.
- PUBLIC STREETS WITHIN THIS DEVELOPMENT PROVIDE LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY ON FILE FOR THIS PROJECT.

TRAFFIC IMPACT FEES:

- THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

LANDSCAPE

- COMMON OPEN SPACE AREAS SHALL BE XERISCAPED AS MUCH AS FEASIBLE BALANCING WITH AESTHETICALLY PLEASING LANDSCAPE DESIGN APPROACHES. URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARKS VIA PARK LAND AGREEMENTS.
- LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.4.1.D. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
- TRAILS TO BE SOFT SURFACE (I.E. CRUSHED REFINES) AND FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES AT THE TIME OF THE FINAL PLAT.
- ANY FUTURE NON-REGIONAL TRAILS TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT.

GENERAL NOTES

- THE GRANDVIEW RESERVE PHASE 3 OVERALL GROSS DENSITY IS 4.11 DU/AC, ON 78.30 ACRES, FOR A TOTAL OF 322 UNITS. PER SKETCH PLAN APPROVAL DENSITY TRANSFERS MAY OCCUR IN WHICH THE TRANSFERRED DENSITY IS LONG AS THE OVERALL GROSS DENSITY OF THE PROJECT IS BELOW THE APPROVED MAXIMUM UNIT COUNT. ANY DENSITY BELOW THIS CAP MAY BE USED IN SUBSEQUENT PHASES AND TRANSFERRED TO OTHER PARCELS AS LONG AS THE TOTAL MAXIMUM UNIT COUNT ON THE APPROVED SKETCH PLAN IS NOT EXCEEDED.
- DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THIS PUD DEVELOPMENT PLAN. MAJOR MODIFICATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS UNLESS OTHERWISE PROVIDED BY THE LAND DEVELOPMENT CODE.
- CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT TO PROVIDE WATER SERVICE TO THE PROJECT. CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY WOODMAN HILLS METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE WOODMAN HILLS METROPOLITAN DISTRICT (WHMD) WASTEWATER SYSTEM WHICH WILL CONVEY THE WASTEWATER TO THE TREATMENT FACILITY WHERE THE DEVELOPER SHALL BE RESPONSIBLE FOR TREATMENT AND DISPOSAL.
- REFERENCE TRACT PLAN FOR TRACTS TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT. TRACTS INCLUDE LANDSCAPE EASEMENTS, DRAINAGE TRACTS, STORM WATER FACILITIES, OPEN SPACE TRACTS, STREETScape PLANTINGS, DETENTION POUNDS, UTILITIES, FENCES, PARKS AND RECREATIONAL FACILITIES, TRAILS, MAILBOX CLUSTERS, AND OTHER USES. FUTURE DEVELOPMENT TRACT FOR THE SCHOOL SITE WILL BE HELD BY THE COUNTY UNTIL THE APPROPRIATE SCHOOL DISTRICT REQUESTS THE SITE.
- ALL ELECTRICAL SERVICES SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED WILL BE GIVEN EASEMENTS AS REQUIRED.
- BLACK HILLS ENERGY WILL PROVIDE NATURAL GAS.
- PUBLIC UTILITY DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/ OR AS SHOWN WITHIN THE DETAILS.
- PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVED BY EL PASO COUNTY PARKS. PARK IMPROVEMENTS WILL BE SUBMITTED FOR REVIEW AND APPROVAL WITH THE FINAL PLAT.
- FEES IN LIEU OF LAND WILL BE PROVIDED FOR SCHOOLS AND PARKS. IF REQUIREMENTS ARE NOT MET WITH LAND DEDICATION.
- ALL COMMUNITY DEVELOPMENT STANDARDS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/ OR AS SHOWN WITHIN THE DETAILS.
- PRELIMINARY MAILBOX KIOSK LOCATIONS SHOWN, FINAL LOCATIONS SUBJECT TO APPROVAL BY THE USFS. ADJUSTMENTS TO LOCATION MAY BE MADE WITH FINAL PLAT AND CONSTRUCTION DRAWINGS.
- THIS PUD DEVELOPMENT PLAN & PRELIMINARY PLAN IS NOT FOR CONSTRUCTION.
- PUBLIC UTILITY DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLOWS:
 - FRONT: TEN FEET (10')
 - REAR: FIVE FEET (5')
 - SIDE: TEN FEET (10')
 - REAR: TEN FEET (10')
 - ALL TRACTS: LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.
 - MVEA: TWENTY FEET (20') MIN. WIDTH EASEMENT WILL BE PROVIDED TO MVEA IN SELECT AREAS AROUND THE PERIMETER OF THE OVERALL SITE OR THROUGH OPEN SPACE TRACTS. THE EXACT LOCATIONS SHALL BE COORDINATED WITH MVEA WITH FINAL LOCATIONS TO BE INCLUDED ON THE FINAL PLAT. MVEA INFRASTRUCTURE DESIGN WAS IN PROGRESS AT THE TIME OF THIS PUD PRELIMINARY PLAN APPROVAL.

INDIVIDUAL DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/ OR AS SHOWN WITHIN THE DETAILS. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE SIDE-LOT DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES. STRUCTURES, FENCES, AND LANDSCAPING THAT COULD IMPED THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.

- GRASS BUFFER BMPs WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.
- STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS AND EL PASO COUNTY DETAILS AND SPECIFICATIONS.
- SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRANDVIEW RESERVE AND THE GRANDVIEW RESERVE DESIGN GUIDELINES.
- FENCING:
 - * ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND ANY FUTURE DESIGN GUIDELINES FOR GRANDVIEW RESERVE.
 - * NO FENCES SHALL IMPEDE DRAINAGE IN ANY WAY.
- NO SIDEWALKS ADJACENT TO RESIDENTIAL LOTS ARE TO BE 5" THICK AND SUBJECT TO THE DEVELOPER COLATERALIZING AND INSTALLING SAID SIDEWALKS. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION.
- ENVIRONMENTAL NOTE: DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, RULES AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE).
- ADA NOTE: THE SUBDIVIDER / DEVELOPER HAS FAMILIARIZED ITSELF WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.

- ALL TRAILS ARE TO BE NON-CURBORIZED TRAILS.
- THERE SHALL BE NO DIRECT LOT ACCESS TO REX ROAD AND WISHAW PL.
- THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.
- MINOR CHANGES SUCH AS MINOR LOT OR TRACT LINE ADJUSTMENTS UPON FINAL ENGINEERING WILL NOT REQUIRE A PUD OR PRELIMINARY PLAN AMENDMENT.

FLOODPLAIN NOTES:

- THIS PROPERTY IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBERS '08041C05566 AND '08041C05520 EFFECTIVE DATE 7, 2018.
 - THE EXISTING FLOODPLAIN BOUNDARIES WILL BE REVISED VIA A LOMR MODELING THE PROPOSED IMPROVEMENTS TO ESTABLISH FLOOD ELEVATIONS AND THEN PROCESSED THROUGH TO FEMA TO ESTABLISH ZONE AE FLOODPLAIN LIMITS. NO GRADING WILL TAKE PLACE WITHIN THE EXISTING FLOODPLAIN LIMITS UNTIL THE LOMR HAS BEEN APPROVED.
 - THOSE LOTS EITHER PARTIALLY OR ENTIRELY LOCATED WITHIN THE CURRENT FLOODPLAIN SHALL NOT BE PLATTED UNTIL THE FLOODPLAIN BOUNDARY REVISION PROCESS IS COMPLETED EFFECTIVELY REMOVING THE FLOODPLAIN LIMITS FROM THESE LOTS.
 - THE SUBMITTAL AND REVIEW OF THE FLOODPLAIN REVISION OCCUR INDEPENDENTLY OF THIS PRELIMINARY PLAN AND SHALL BE APPROVED PRIOR TO THE PLATTING OF ANY LOTS CURRENTLY LOCATED WITHIN FLOODPLAIN BOUNDARIES.
 - NO STRUCTURES OR SOLID FENCES ARE PERMITTED WITHIN THE DESIGNATED FLOODPLAIN AREA.
- UPPER BLACK SQUIRREL CREEK GROUNDWATER MANAGEMENT DISTRICT NOTE:
- THE UPPER BLACK SQUIRREL CREEK (UBSC) GROUNDWATER MANAGEMENT DISTRICT REQUIRES THAT ANY GROUNDWATER DISCHARGED TO THE SURFACE OR INTO AN UNDERDRAIN SYSTEM MUST BE INFILTRATED BACK INTO THE GROUND. IT IS THE DEVELOPER'S RESPONSIBILITY TO COMPLY WITH THE UBSC DISTRRICT REQUIREMENTS.
 - EL PASO COUNTY DOES NOT OWN AND IS NOT RESPONSIBLE FOR THE UNDERDRAINS OR GROUNDWATER DISCHARGE SYSTEMS SHOWN IN THESE PLANS AND ASSUMES NO LIABILITY FOR WATER RIGHTS ADMINISTRATION BY APPROVING THESE PLANS. MAINTENANCE AND WATER RIGHTS ARE THE RESPONSIBILITY OF THE DEVELOPER AND GRANDVIEW RESERVE METROPOLITAN DISTRICT.

LAND OWNER CERTIFICATION

In Witness Whereof:
 HAS EXECUTED THESE PRESENTS THIS _____ DAY OF _____, 20__ A.D., A DELAWARE CORPORATION

WILLIAM CARLSLE, VICE PRESIDENT OF LAND
 MELODY HOMES, INC.

PAUL HOWARD
 4 SITE INVESTMENTS LLC

COUNTY CERTIFICATION

This PUD Development Plan and Preliminary Plan for Grandview Reserve Phase 3 was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 20__, subject to any notes specified hereon and any conditions included in the resolution of approval, the dedications of land to the public (streets, tracts, easements; list those applicable) will be accepted upon recordation of the final plat(s), but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

I hereby certify that this instrument was filed in my office on this ____ day of _____, 20__, and was recorded at Reception Number _____ of the records of El Paso County.

El Paso County Clerk and Recorder _____ Date _____

Chair, Board of County Commissioners _____ Date _____

Director, Planning and Community Development _____ Date _____

SPECIAL DISTRICT NOTES:
THIS INSTRUMENT IS SUBJECT TO THE DISCLOSURE AND RECORDATION TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE REQUIRED WITH EACH PLAT.

you removed the special District Disclosure note- please put it back this is with Grandview MD No

LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY: CW JOB DATE: PUD DEVELOPMENT PLAN
 APPROVED: KVH JOB NUMBER: 201662
 CAD DATE: 10/17/2024
 CAD FILE: J:\2020\201662\CAD\Drawings\CIPUD_Phase_3_662.203\PUDD\Cover_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO



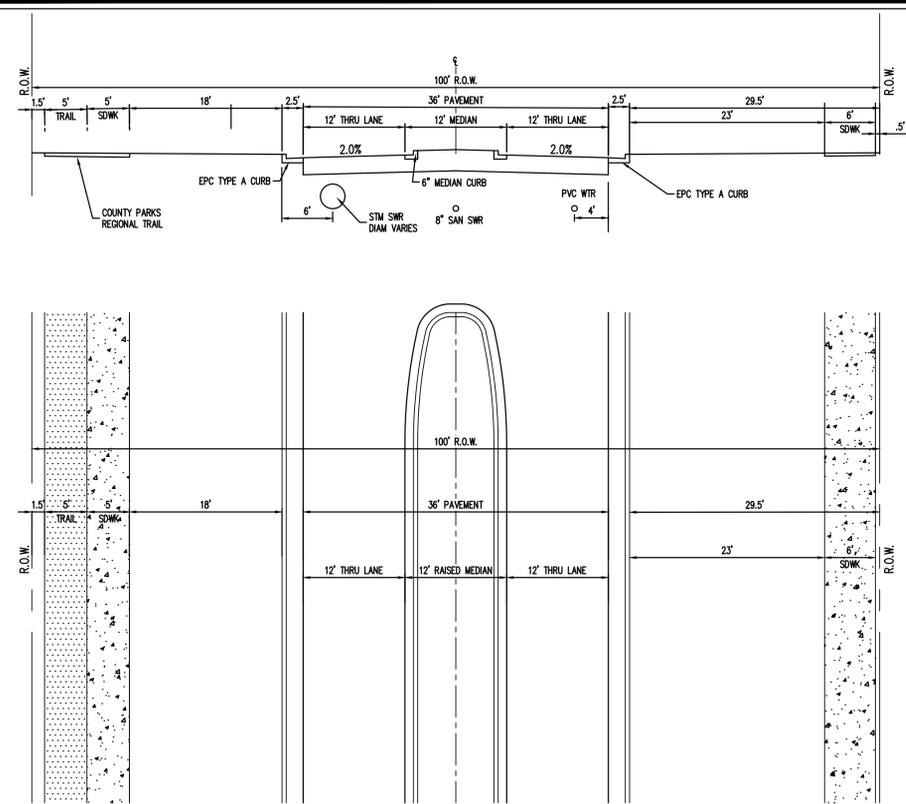
COVER AND TYPICAL SECTIONS
 COVER SHEET

SHEET **CV** 01

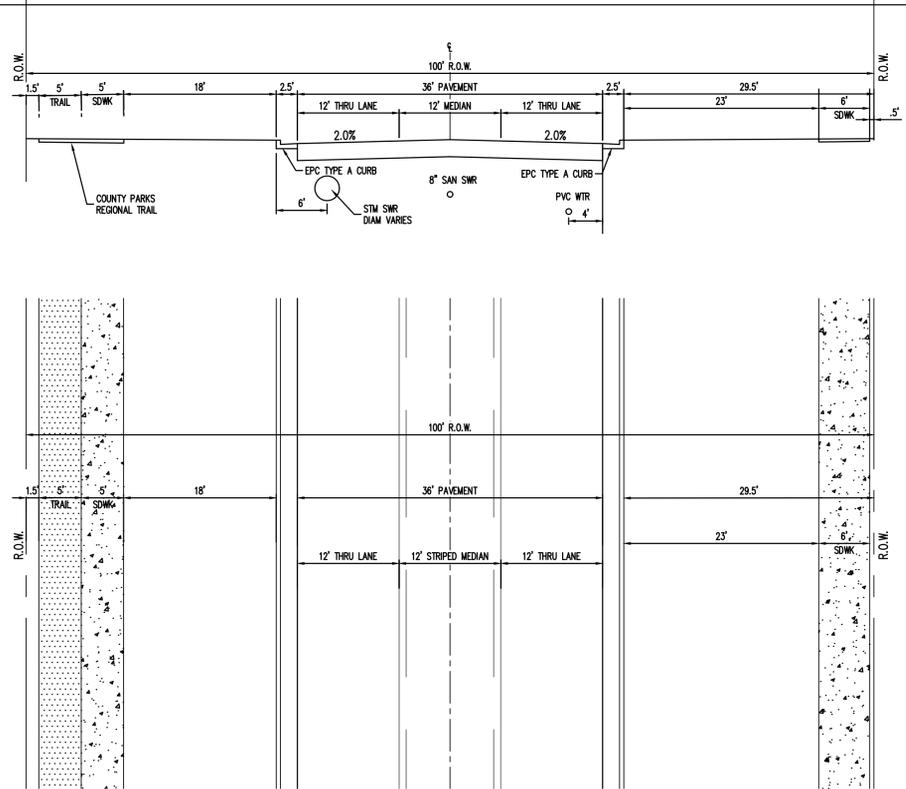
WALTON, CHRIS, 10/17/2024 12:39 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

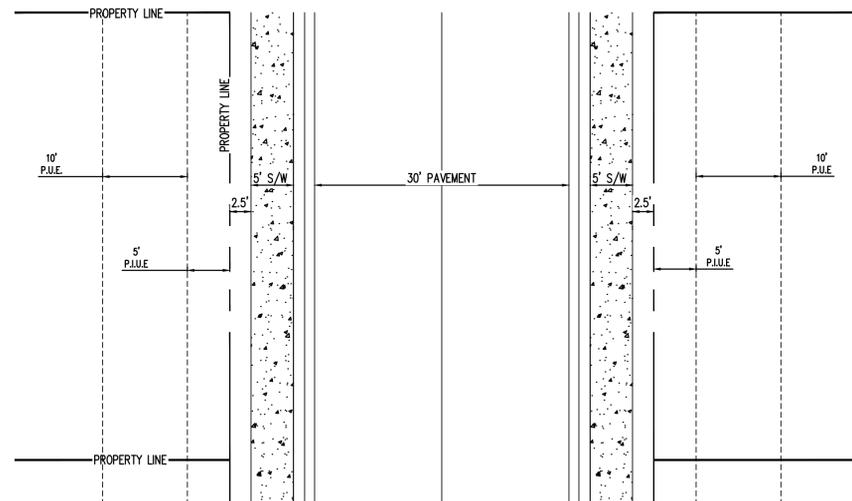
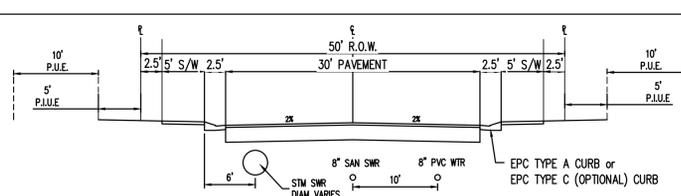
A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



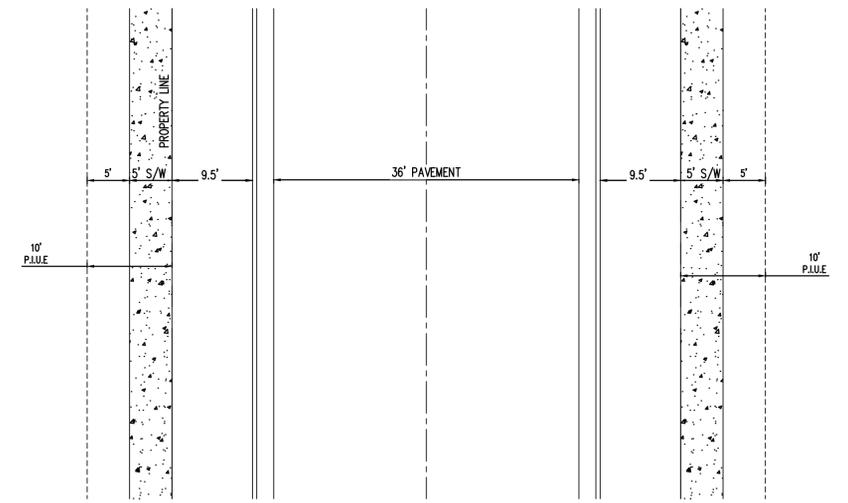
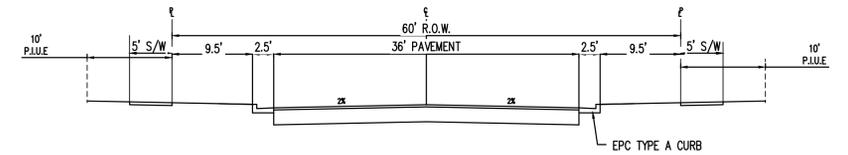
ARTERIAL: 100' R.O.W. STREET SECTION
(MINOR ARTERIAL)
N.T.S.
(ROADS USING THIS SECTION: REX RD STA 55+62 TO 58+50
VARIES THROUGH ROUNDABOUT)



ARTERIAL: 100' R.O.W. STREET SECTION
(MINOR ARTERIAL)
N.T.S.
(ROADS USING THIS SECTION: REX RD STA 45+00-55+62)



NEIGHBORHOOD STREET: 50' R.O.W. STREET SECTION
ATTACHED SIDEWALK (URBAN LOCAL)
N.T.S.
(ROADS USING THIS SECTION: SALTHILL CT, GLAMPTON DR, ROSCOMMON ST,
ABERDEEN DR, LISMORE LN, ALTHONE WY, BALLYCARE TERR, CLIFDEN LN,
DANKLISH DRIVE)
P.I.U.E. = PUBLIC IMPROVEMENTS/UTILITY EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT



COLLECTOR: 60' R.O.W. STREET SECTION
(URBAN COLLECTOR)
N.T.S.
(ROADS USING THIS SECTION:
WISHAW PLACE)
P.I.U.E. = PUBLIC IMPROVEMENTS/UTILITY EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT

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CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_3_662.203\IPUDTyp-Sections_PUD

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
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FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

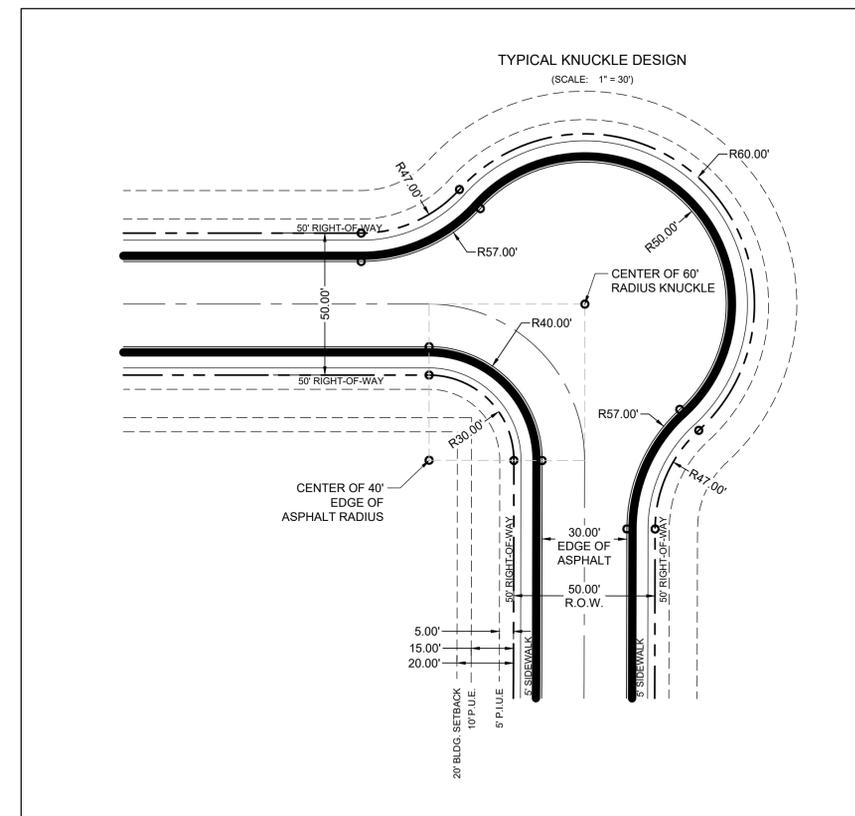
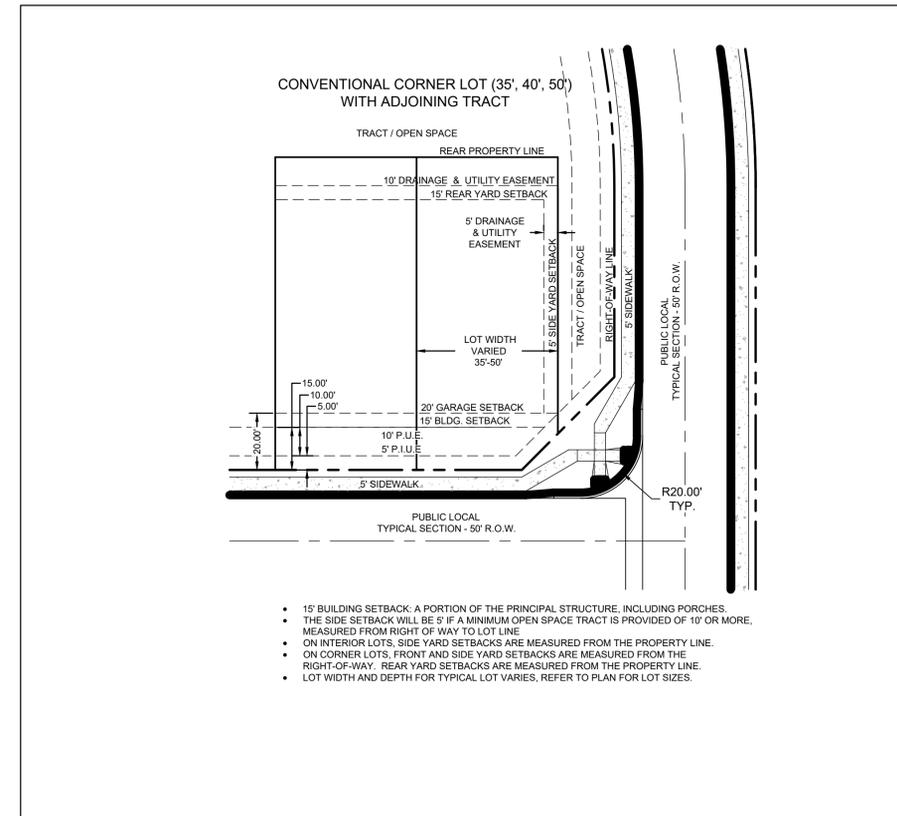
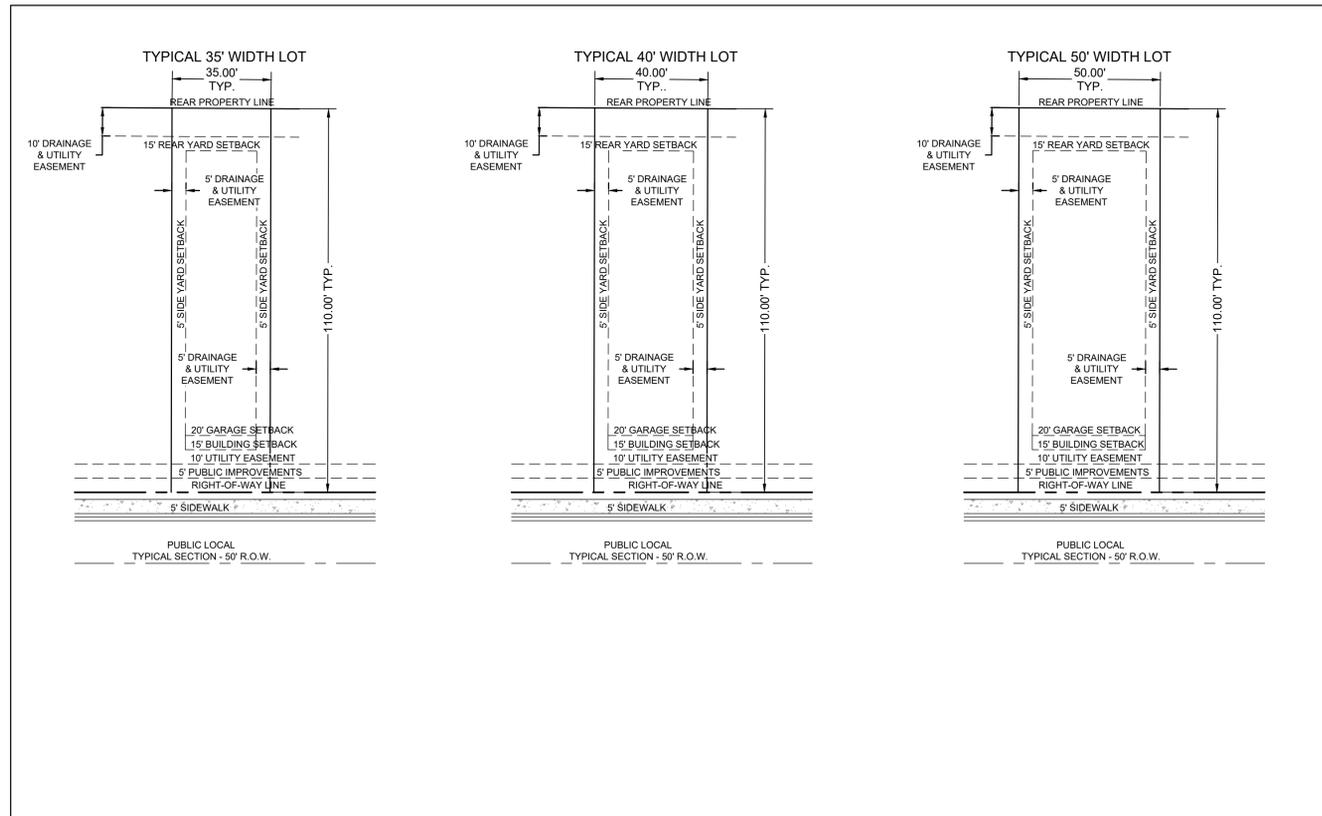


COVER AND TYPICAL SECTIONS
TYPICAL SECTIONS

SHEET TYP 02

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY: CVW JOB DATE: PUD DEVELOPMENT PLAN
APPROVED: KMH JOB NUMBER: 201662
CAD DATE: 10/17/2024
CAD FILE: J:\2020\201662\CAD\Drawings\CIPUD_Phase_3_662.203\IPUD\Typ-Sections_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO



COVER AND TYPICAL SECTIONS
TYPICAL SECTIONS

SHEET

03

WALTON, CHRIS: 10/17/2024 12:46 PM

HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230

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6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

SITE DATA

EXISTING LAND USE: RR 2.5
 EXISTING ZONING: PUD
 PROPOSED ZONING: 322
 SITE AREA: 192.82 AC
 PROPOSED NUMBER OF DWELLING UNITS: 322
 MAXIMUM GROSS DENSITY ALLOWED PER SKETCH PLAN: PARCEL 2 - 4 DU/AC; PARCEL 1 - 4 DU/AC
 PROPOSED GROSS DENSITY: SEE LAND USE TABLE BELOW
 TOTAL AREA (SEE LAND USE TABLE BELOW)

230 COLORADO SPRINGS, CO 80920
 ATTN: PHIL STUEPFERT
 CIVIL ENGINEER:
 HR GREEN DEVELOPMENT, LLC
 1975 RESEARCH PARKWAY SUITE
 230
 COLORADO SPRINGS, CO 80920
 ATTN: KEN HUNN

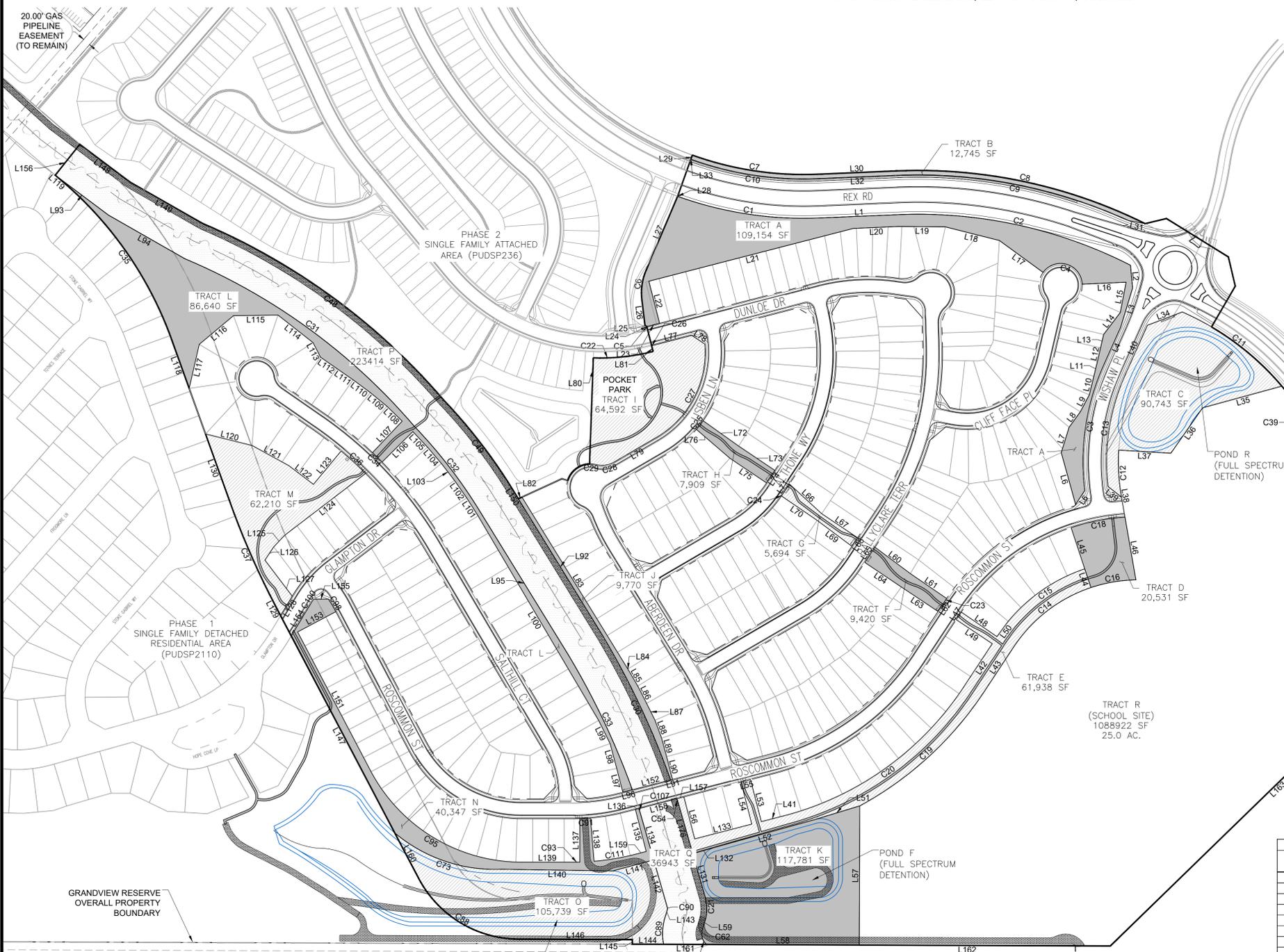
lot 323 (other things allowed beside schools, but could list as a school tract, as publicly owned recreational amenity tract so you dont pay fees...but that limits uses

LAND USE	AREA (ACRES)	DWELLING UNITS	GROSS DENSITY (DU/ACRE)	**ALLOWABLE DENSITY (DU/ACRE-PER (SEE BELOW))	% OF LAND
SINGLE FAMILY RESIDENTIAL	37.99	322	4.14	(see below)	37%
PORTION OF 77.83 WITHIN SKETCH PLAN AREA I	10.95	27	2.46	8.00	
PORTION OF 77.83 WITHIN SKETCH PLAN AREA I	66.87	295	4.41	4.00	
DETENTION TRACTS	13.19	N/A	N/A	N/A	13%
PARK TRACTS (USABLE RESIDENTIAL OPEN SPACE)	2.90	N/A	N/A	N/A	3%
OPEN SPACE TRACTS	2.43	N/A	N/A	N/A	2%
ROAD R.O.W.	21.31	N/A	N/A	N/A	21%
SCHOOL SITE	25.00	N/A	N/A	N/A	25%
TOTAL PHASE 3 LAND AREA	102.82	N/A	N/A	N/A	100%
TOTAL LAND AREA (Excluding School Site)	77.83				
OPEN SPACE REQUIREMENT (10%)*	7.78	N/A	N/A	N/A	10%
USABLE RESIDENTIAL OPEN SPACE REQUIRED (25% OF REQUIRED GROSS OPEN SPACE)	1.95	N/A	N/A	N/A	
USABLE RESIDENTIAL OPEN SPACE PROVIDED	2.90	N/A	N/A	N/A	37%

*School Site excluded from calculation, open space requirement to be met by school site independently
 **Phase 3 part of Parcels J (4 du/ac), I (8du/ac)

10.28 acres of OS is required this is a PUD requirement; of that 25% is designated usable not drainage- we can discuss this but if commercial uses (excludes schools) are in this area than it is to be included in the overall percentages.

ON: HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230
 GRANDVIEW RESERVE - PHASE 3



CONTAINING A CALCULATED AREA OF 4,478,988 SQUARE FEET OR 102.823 ACRES, MORE OR LESS.

REVIEW 1 comments not addressed

this is not correct please recalculate and verify openspace as a whole 10 % of 102.8 =10.28ac includes drainages and usable os is 25% of that for parks and trails- identify as categories acreages and percentages in table

	AREA (AC)
OPEN SPACE REQUIRED (10% OF SITE AREA)*	7.43
OPEN SPACE PROVIDED	8.80
USABLE RESIDENTIAL OPEN SPACE REQUIRED (25% OF REQUIRED GROSS OPEN SPACE)	1.86
USABLE RESIDENTIAL OPEN SPACE PROVIDED**	6.89

* EXCLUDES REX ROAD RIGHT-OF-WAY & SCHOOL SITE AREA (AC)
 ** TRACTS IDENTIFIED FOR PARK & USEABLE OPEN SPACE (REF. TRACT USE TABLE)

TRACT	AREA (SF)	ACREAGE (AC)	PUBLIC UTILITIES	PUBLIC DRAINAGE	PEDESTRIAN ACCESS	LANDSCAPING	USABLE OPEN SPACE	POCKET PARK	DETENTION & CHANNEL	SIGNAGE	FUTURE SCHOOL	OWNERSHIP AND MAINTENANCE
A	109,154	2.506	P	X		X	X					GVRMD
B	12,745	0.293				X						GVRMD
C	90,743	2.083		X		X		X	X			GVRMD
D	20,531	0.471	P	X	X	X						GVRMD
E	61,938	1.422	P	X	X	X	X					GVRMD
F	9,420	0.216	P	X	X	X	X					GVRMD
G	5,694	0.131	P		X	X	X					GVRMD
H	7,909	0.182	P		X	X	X					GVRMD
I	44,020	1.011	P		X	X	X	X				GVRMD
J	9,770	0.224				X						GVRMD
K	117,781	2.704	P	X		X			X			GVRMD
L	86,640	1.989				X						GVRMD
M	62,210	1.428	P		X	X	X					GVRMD
N	40,347	0.926	P	X	X	X						GVRMD
O	105,739	2.427	P	X		X			X			GVRMD
P	223,414	5.129	P	X		X			X			GVRMD
Q	36,943	0.848		X								GVRMD
R	1,088,922	24.988									X	SEE NOTE 1
TOTAL	2,133,927	48.988					6.89		13.19			

X= ALLOWED USE
 P = WHERE EASEMENTS DEDICATED
 GVRMD = GRANDVIEW RESERVE METROPOLITAN DISTRICT
 NOTE 1 - GVRMD RESPONSIBLE FOR MAINTENANCE & OWNERSHIP UNTIL SCHOOL DISTRICT ASSUMES OWNERSHIP.
 NOTES:
 1. SEE NEXT PAGE FOR LINE AND CURVE TABLES

DRAWN BY: EB JOB DATE: PUD DEVELOPMENT PLAN BAR IS ONE INCH ON OFFICIAL DRAWINGS.
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PKWY SUITE 230
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GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO

D-R-HORTON
 America's Builder

LAND USE REVIEW FILE NO: PUDSP-241

TRACT PLAN
 TRACT PLAN

SHEET TP 05

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

WALTON, CHRIS, 10/17/2024, 12:47 PM

Line Table		
Line #	Length	Direction
L1	202.47	N 87°36'38" E
L2	58.08	S 5°14'50" E
L3	104.27	S 16°57'43" W
L4	101.59	S 24°12'01" W
L5	42.20	S 33°32'34" W
L6	136.34	N 15°33'32" W
L7	67.31	N 17°20'16" E
L8	48.57	N 36°06'41" E
L9	48.57	N 27°55'10" E
L10	48.47	N 13°49'18" E
L11	39.03	N 13°33'35" E
L12	35.00	N 13°04'02" E
L13	35.00	N 13°04'02" E
L14	70.06	N 37°16'32" E
L15	77.93	N 10°56'07" E
L16	112.00	S 87°26'30" W
L17	137.63	N 54°00'30" W
L18	141.66	N 75°54'01" W
L19	117.87	N 89°29'22" W
L20	116.36	S 87°36'38" W
L21	537.50	S 75°34'07" W
L22	110.00	S 14°25'53" E
L23	32.19	S 75°34'07" W
L24	0.01	N 14°14'45" W
L25	5.87	N 54°32'52" W

Line Table		
Line #	Length	Direction
L26	66.21	N 6°45'50" W
L27	204.59	N 23°10'57" E
L28	0.66	S 70°18'27" E
L29	11.00	S 19°42'45" W
L30	202.47	S 87°36'38" W
L31	42.09	S 79°47'02" E
L32	202.47	N 87°36'38" E
L33	0.59	S 70°17'15" E
L34	94.81	S 69°12'01" W
L35	208.97	N 74°45'56" E
L36	140.61	N 35°03'41" E
L37	133.04	S 86°38'21" E
L38	2.48	N 9°55'07" W
L39	43.57	S 51°56'11" E
L40	134.69	S 24°12'01" W
L41	58.44	S 75°32'06" W
L42	132.38	S 33°32'58" W
L43	136.28	N 33°32'58" E
L44	50.00	N 18°24'23" W
L45	110.00	S 18°24'23" E
L46	161.42	N 9°55'07" W
L47	23.08	S 33°32'58" W
L48	110.01	N 55°35'16" W
L49	110.00	S 56°27'02" E
L50	48.14	S 36°32'28" W

Line Table		
Line #	Length	Direction
L51	122.35	S 73°08'10" W
L52	262.24	S 74°33'44" W
L53	110.00	N 14°27'54" W
L54	110.00	S 14°27'54" E
L55	25.00	S 75°32'06" W
L56	110.00	N 14°27'54" W
L57	352.64	N 0°12'52" E
L58	388.21	S 89°47'08" E
L59	24.17	S 15°57'12" W
L60	112.14	N 53°24'31" W
L61	112.00	N 55°39'27" W
L62	31.35	N 33°32'58" E
L63	112.00	S 56°27'02" E
L64	112.11	S 56°12'49" E
L65	46.55	S 33°47'11" W
L66	111.26	N 47°34'33" W
L67	110.00	N 56°12'49" W
L68	25.99	N 33°47'11" E
L69	110.28	S 53°23'24" E
L70	109.87	S 55°46'37" E
L71	33.95	S 33°47'11" W
L72	110.78	N 54°37'09" W
L73	111.00	N 56°12'49" W
L74	38.06	N 33°47'11" E
L75	112.29	S 56°12'49" E

Line Table		
Line #	Length	Direction
L76	112.31	S 49°19'49" E
L77	103.89	S 75°34'07" W
L78	40.05	N 56°18'17" W
L79	124.64	N 59°51'14" E
L80	268.80	S 2°02'03" W
L81	15.00	S 14°14'45" E
L82	10.00	N 58°15'32" E
L83	512.14	S 31°44'28" E
L84	0.16	S 31°44'11" E
L85	50.00	S 30°17'57" E
L86	49.24	S 26°58'27" E
L87	47.93	S 26°31'11" E
L88	47.96	S 20°32'44" E
L89	48.76	S 15°15'08" E
L90	59.98	S 14°27'54" E
L91	5.04	S 75°32'06" W
L92	403.68	N 31°44'28" W
L93	168.94	N 53°13'21" W
L94	223.72	N 60°22'39" W
L95	428.47	N 31°44'28" W
L96	25.04	N 75°32'06" E
L97	62.25	S 14°27'54" E
L98	65.59	S 14°59'14" E
L99	65.46	S 26°23'54" E
L100	602.22	S 30°37'31" E

Line Table		
Line #	Length	Direction
L101	54.31	S 32°22'56" E
L102	54.31	S 35°06'00" E
L103	54.31	S 37°50'30" E
L104	54.31	S 40°35'00" E
L105	54.31	S 43°19'30" E
L106	110.00	N 45°18'15" E
L107	110.00	S 43°23'54" W
L108	54.39	S 45°51'57" E
L109	54.40	S 50°42'51" E
L110	54.40	S 53°27'21" E
L111	50.89	S 55°19'18" E
L112	50.00	S 55°22'54" E
L113	41.58	S 27°19'07" E
L114	113.33	S 51°55'10" E
L115	113.33	N 89°08'18" E
L116	113.33	N 50°11'45" E
L117	114.56	N 12°55'13" E
L118	130.57	S 19°48'06" E
L119	29.46	S 49°18'05" E
L120	122.15	S 76°08'36" E
L121	106.55	S 61°23'04" E
L122	78.49	S 52°46'53" E
L123	110.00	N 39°49'08" E
L124	259.66	S 52°44'02" W
L125	39.80	S 43°10'53" W

Line Table		
Line #	Length	Direction
L126	40.25	S 33°53'31" W
L127	115.00	S 37°15'58" E
L128	57.35	S 31°14'26" W
L129	29.99	N 27°48'14" W
L130	177.71	N 19°48'06" W
L131	111.86	S 16°01'40" E
L132	57.23	S 73°58'20" W
L133	150.00	S 75°32'06" W
L134	124.54	N 16°01'40" W
L135	110.00	S 14°27'54" E
L136	9.03	S 75°32'06" W
L137	110.05	S 0°00'00" E
L138	110.00	N 4°47'12" W
L139	131.37	N 90°00'00" W
L140	281.84	N 89°06'25" W
L141	108.04	S 75°00'29" W
L142	124.54	N 16°01'40" W
L143	13.43	N 15°57'12" E
L144	79.51	S 89°47'08" E
L145	11.41	S 0°12'52" W
L146	289.10	S 89°44'32" E
L147	564.56	S 27°48'24" E
L148	159.27	N 53°13'21" W
L149	211.52	N 60°22'39" W
L150	25.23	N 31°44'28" W

Line Table		
Line #	Length	Direction
L151	397.41	N 27°48'24" W
L152	100.42	N 75°32'06" E
L153	109.98	N 62°11'36" E
L154	92.80	S 31°14'26" W
L155	37.06	S 89°57'16" W
L156	100.06	S 38°44'17" W
L157	18.24	S 75°32'06" W
L158	100.22	N 75°32'06" E
L159	27.96	S 75°32'06" W
L160	129.50	S 27°48'24" E
L161	109.77	N 89°47'08" W
L176	138.47	S 16°01'40" E

Curve Table			
Curve #	Length	Radius	Delta
C1	365.80	950.00	22°03'42"
C2	610.69	1195.00	29°16'49"
C3	328.90	595.00	31°40'19"
C4	135.78	55.00	141°27'00"
C5	1.54	475.00	0°11'08"
C6	74.48	142.50	29°56'47"
C7	323.64	839.00	22°06'06"
C8	652.98	1306.00	28°38'49"
C9	607.02	1295.00	26°51'24"
C10	327.29	850.00	22°03'42"
C11	318.25	700.00	26°02'56"
C12	117.04	505.00	13°16'46"
C13	292.99	535.00	31°22'38"
C23	8.17	590.00	0°47'36"
C24	2.48	325.00	0°28'12"
C25	27.77	300.00	5°18'11"

Curve Table			
Curve #	Length	Radius	Delta
C26	1.70	525.00	0°11'08"
C27	281.84	250.00	64°35'32"
C28	47.02	60.00	44°54'02"
C29	16.87	63.08	15°19'06"
C30	408.21	2040.27	11°27'48"
C31	730.90	1568.20	26°42'15"
C32	271.37	1263.49	12°18'22"
C33	378.63	1940.27	11°10'51"
C34	34.10	1025.00	1°54'21"
C35	489.12	950.00	29°29'59"
C36	84.34	975.00	4°57'22"
C37	291.22	2052.58	8°07'45"
C48	768.52	1668.20	26°23'43"
C49	289.82	1363.49	12°10'43"
C54	6.62	2040.27	0°11'09"
C57	21.07	27.79	43°25'39"

LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY: EB JOB DATE: PUD DEVELOPMENT PLAN BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 APPROVED: KMH JOB NUMBER: 201662 0" = 1"

CAD DATE: 10/17/2024 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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 1975 RESEARCH PKWY SUITE 230
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GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO



TRACT PLAN
 TRACT PLAN TABLES

SHEET TPT 06

WALTON, CHRIS, 10/17/2024, 12:49 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
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INTERSECTION SIGHT DISTANCE TABLE				
ROADWAY CLASSIFICATION				
LOCATION ID	STOPPED LOCATION	THRU STREET	SIGHT DISTANCE LEFT (FEET)(1)	SIGHT DISTANCE RIGHT (FEET) (1)
S1	LOCAL	LOCAL	280	280
S2	LOCAL	LOCAL	280	280
S3	LOCAL	LOCAL	280	280
S4	LOCAL	LOCAL	280	280
S5	LOCAL	LOCAL	280	280
S6	LOCAL	LOCAL	280	280
S7	LOCAL	LOCAL	280	280
S8	LOCAL	LOCAL	280	280
S9	LOCAL	LOCAL	280	280
S10	LOCAL	LOCAL	280	280
S11	LOCAL	LOCAL	280	280

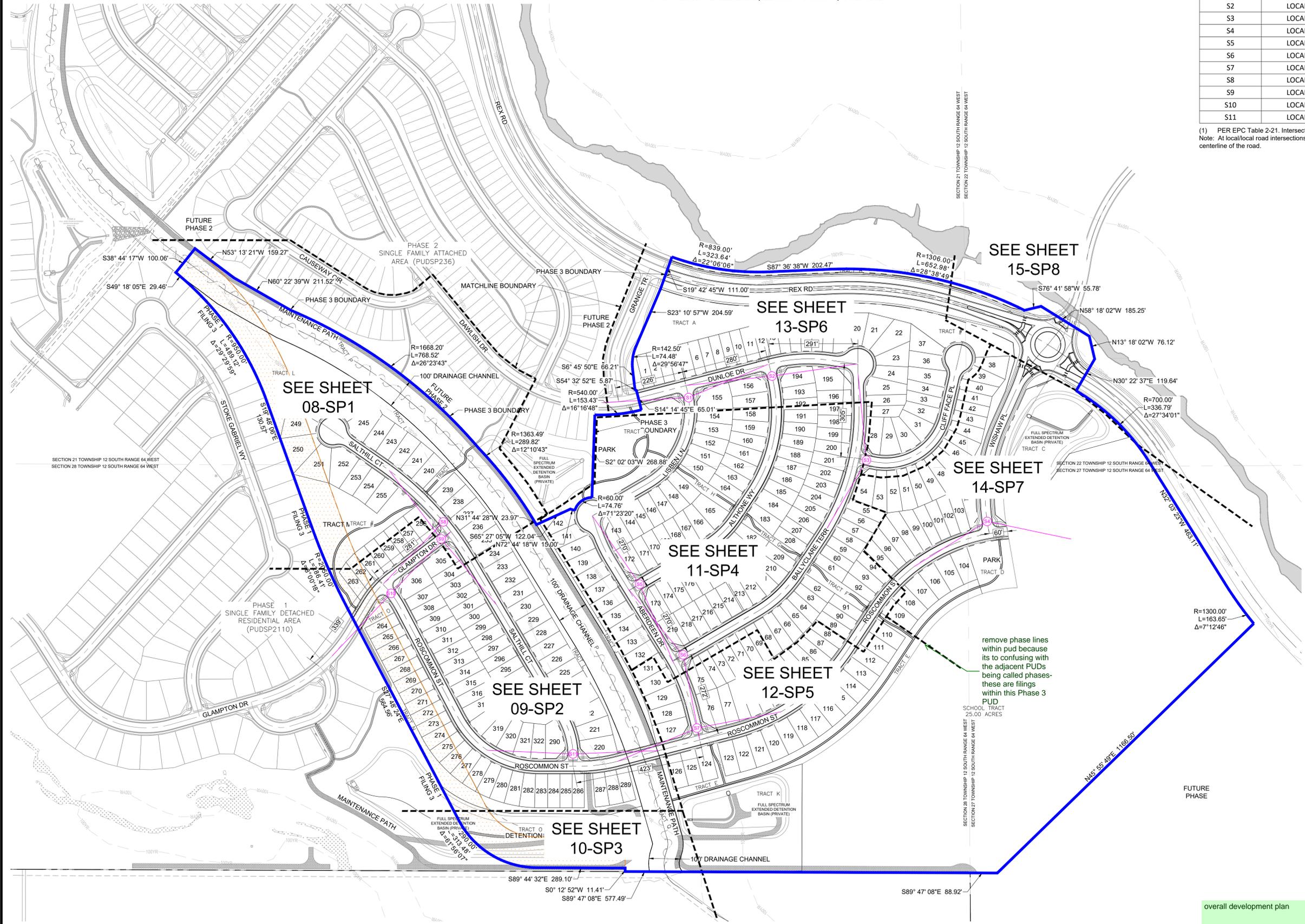
(1) PER EPC Table 2-21, Intersection Sight Distance
Note: At local/local road intersections only, "D" shall be 10 feet and the sight distance shall be measured to the centerline of the road.

LEGEND

AREA OF PHASE 1 (PUDSP2110) TO BE REVISED 

PHASE 3 BOUNDARY 

we discussed that MYLAR is recorded and colors dont show



remove phase lines within pud because its to confusing with the adjacent PUDs being called phases- these are filings within this Phase 3 PUD

SCHOOL TRACT 25.00 ACRES

overall development plan LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY: CVW JOB DATE: PUD DEVELOPMENT PLAN
 APPROVED: KMH JOB NUMBER: 201662
 CAD DATE: 10/17/2024
 CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_3_662.203\Overall_Site_Plan_PUD

NO.	DATE	BY	REVISION DESCRIPTION

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GRANDVIEW RESERVE - PHASE 3
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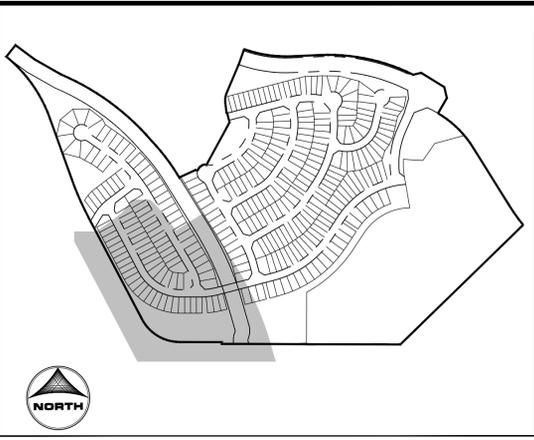


SITE PLAN
 OVERALL SITE PLAN

SHEET
 OSP
 07

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

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KEY MAP
SCALE:
1/500

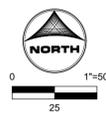
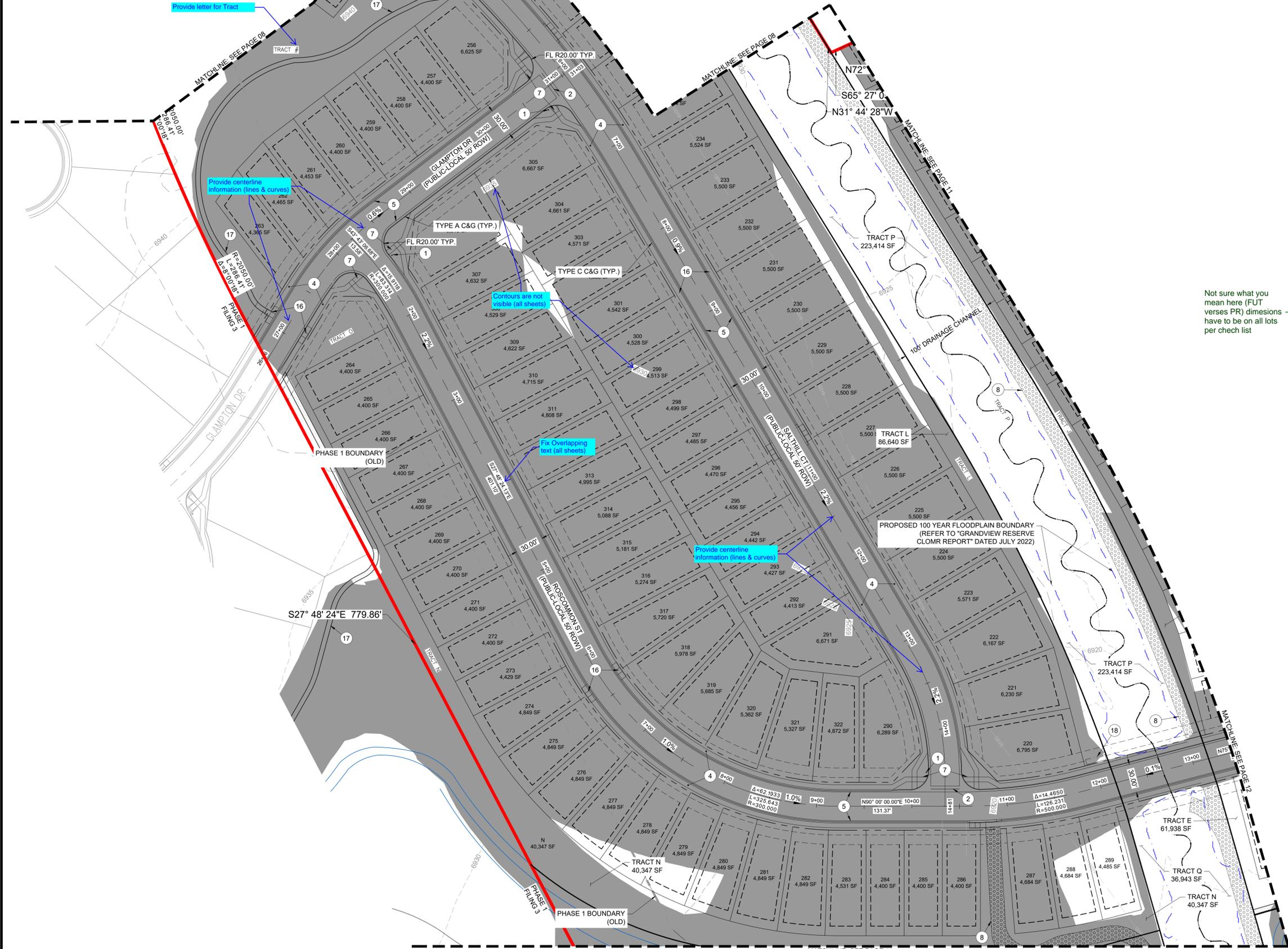
LINework LEGEND

MATCH LINE	---
PR Phase 3 Boundary	---
EX PROPERTY LINE	---
PR EASEMENT LINE	---
PR RIGHT OF WAY	---
EX RIGHT OF WAY	---
PR LOT LINE	---
FUT LOT LINE	---
EX SWALE	---
PR SWALE	---
PR TRAIL	---
PR MAINTENANCE ROAD (15' TYP.)	---
PR CURB & GUTTER	---
EX CURB & GUTTER	---
PR SIDEWALK	---
PR CONCRETE	---
PR RIP-RAP	---
PR POND RIM	---
PR INDEX CONTOUR	---
EX INDEX CONTOUR	---
PR INTER. CONTOUR	---
EX INTER. CONTOUR	---
EX 100 YR FLOODPLAIN	---
GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE (REFER TO GEOLOGICAL HAZARD REPORT)	---

Not sure what you mean here (FUT versus PR) dimensions have to be on all lots per check list

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD AND TRAIL
6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL (PRIVATE)
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL (NOT UTILIZED)
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR TRAIL (5' TYP.) 4" MIN. CRUSHED GRAVEL OR FINES
- 18 PR. MAIL KIOSK LOCATION



LAND USE REVIEW FILE NO: PUDSP-241

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APPROVED: KMH	JOB NUMBER: 201662	0
CAD DATE: 10/17/2024	ADJUST SCALE ACCORDINGLY.	IF NOT ONE INCH,
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1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

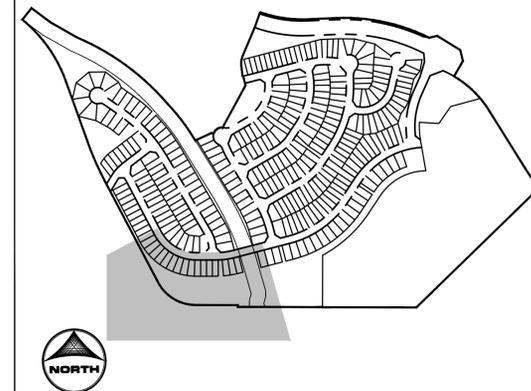
SITE PLAN
SITE PLAN - 2 OF 8

SHEET SP2 09

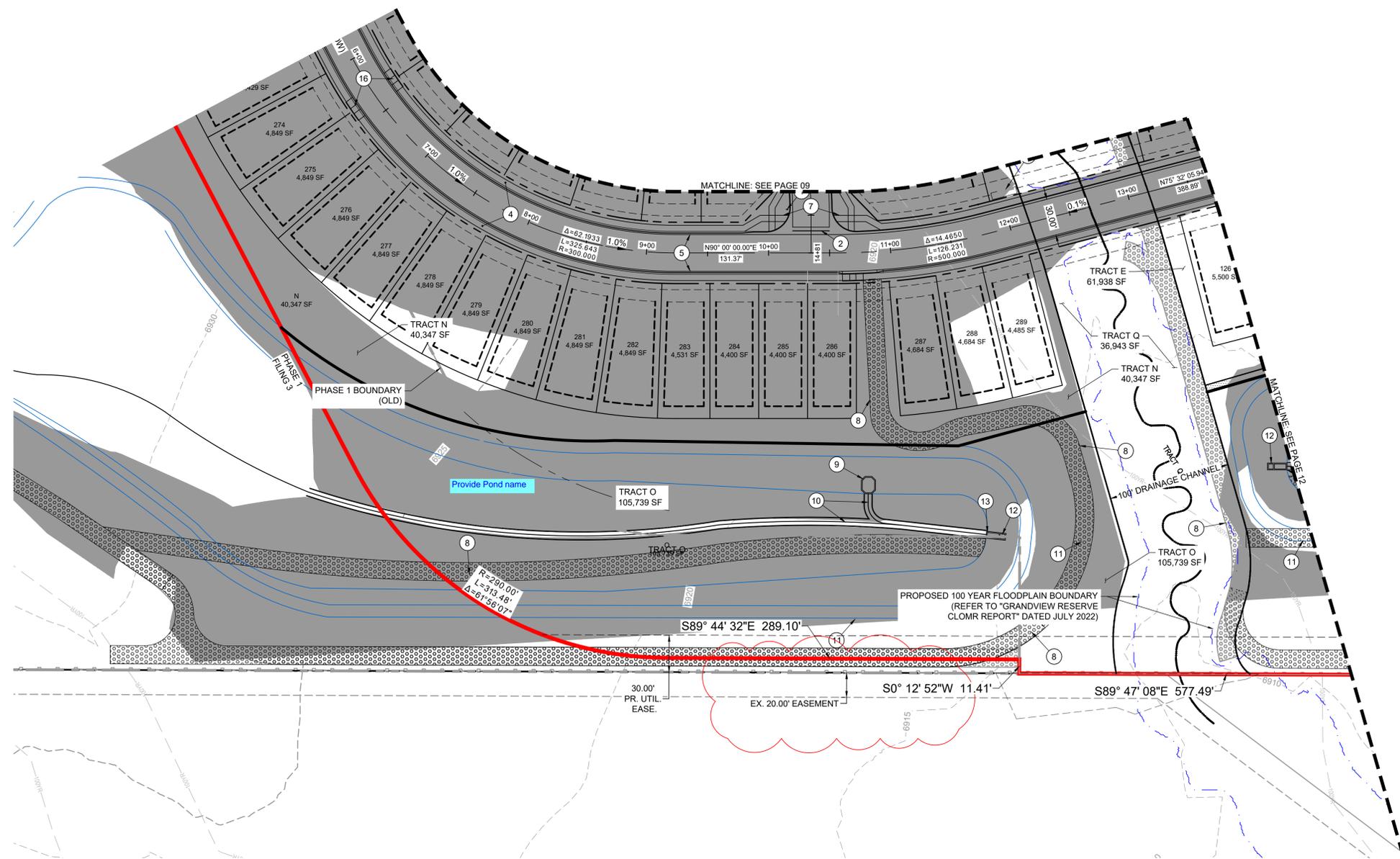
WALTON, CHRIS, 10/17/2024, 12:50 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500



LINEWORK LEGEND

MATCH LINE	---
PR Phase 3 Boundary	---
EX PROPERTY LINE	---
PR EASEMENT LINE	---
PR RIGHT OF WAY	---
EX RIGHT OF WAY	---
PR LOT LINE	---
FUT LOT LINE	---
EX SWALE	---
PR SWALE	---
PR TRAIL	---
PR MAINTENANCE ROAD (15' TYP.)	---
PR CURB & GUTTER	---
EX CURB & GUTTER	---
PR SIDEWALK	---
PR CONCRETE	---
PR RIP-RAP	---
PR POND RIM	---
PR INDEX CONTOUR	---
EX INDEX CONTOUR	---
PR INTER. CONTOUR	---
EX INTER. CONTOUR	---
EX 100 YR FLOODPLAIN	---
GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE (REFER TO GEOLOGICAL HAZARD REPORT)	---

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD AND TRAIL
6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL (PRIVATE)
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
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LAND USE REVIEW FILE NO: PUDSP-241

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GRANDVIEW RESERVE - PHASE 3
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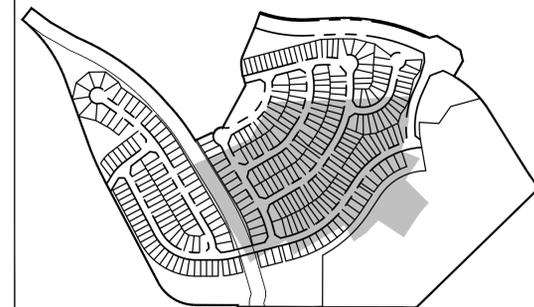
SITE PLAN
 SITE PLAN - 3 OF 8

SHEET
 SP3
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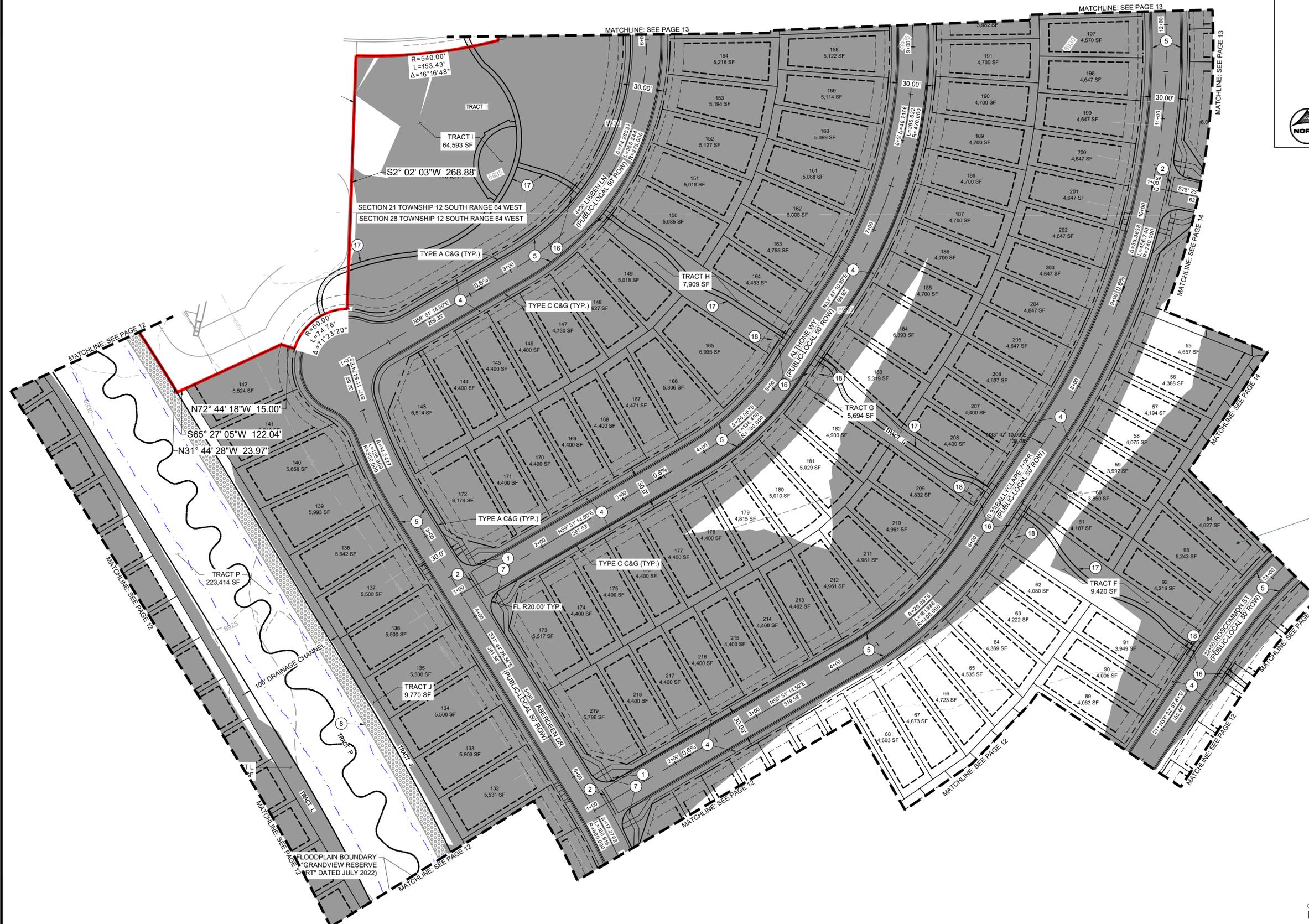
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GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500



LINWORK LEGEND

- MATCH LINE
- PR Phase 3 Boundary
- EX PROPERTY LINE
- PR EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- FUT LOT LINE
- EX SWALE
- PR SWALE
- PR TRAIL
- PR MAINTENANCE ROAD (15' TYP.)
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- EX 100 YR FLOODPLAIN
- GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE (REFER TO GEOLOGICAL HAZZARD REPORT)

this doesn't match...no basements here; add not back

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
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LAND USE REVIEW FILE NO: PUDSP-241

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GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO

D-R HORTON
America's Builder

SITE PLAN
 SITE PLAN - 4 OF 8

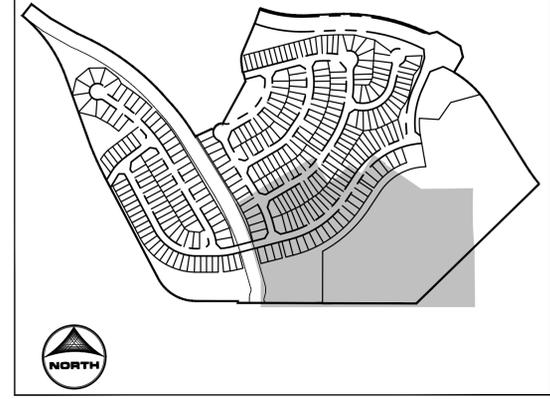
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GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

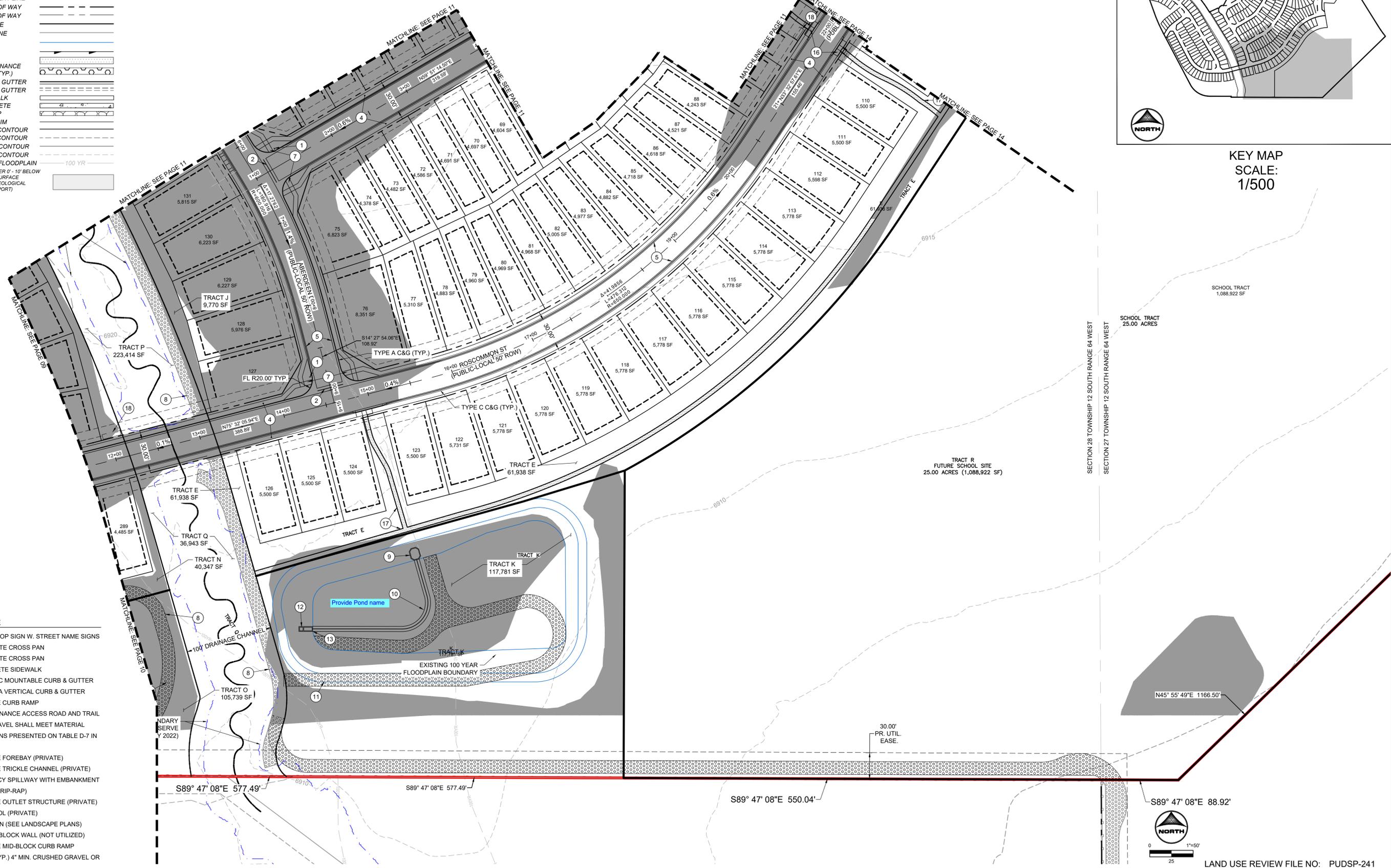
A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

WALTON, CHRIS, 10/17/2024, 12:51 PM



LINEWORK LEGEND

MATCH LINE	- - - - -
PR Phase 3 Boundary	- - - - -
EX PROPERTY LINE	- - - - -
PR EASEMENT LINE	- - - - -
PR RIGHT OF WAY	- - - - -
EX RIGHT OF WAY	- - - - -
PR LOT LINE	- - - - -
FUT LOT LINE	- - - - -
EX SWALE	- - - - -
PR SWALE	- - - - -
PR TRAIL	- - - - -
PR MAINTENANCE ROAD (15' TYP.)	- - - - -
PR CURB & GUTTER	- - - - -
EX CURB & GUTTER	- - - - -
PR SIDEWALK	- - - - -
PR CONCRETE	- - - - -
PR RIP-RAP	- - - - -
PR POND RIM	- - - - -
PR INDEX CONTOUR	- - - - -
EX INDEX CONTOUR	- - - - -
PR INTER. CONTOUR	- - - - -
EX INTER. CONTOUR	- - - - -
EX 100 YR FLOODPLAIN	- - - - -
GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE (REFER TO GEOLOGICAL HAZARD REPORT)	- - - - -



- ### SITE SCHEDULE
- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
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18 PR MAIL KIOSK LOCATION
DRAWN BY: CVW JOB DATE: PUD DEVELOPMENT PLAN
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GRANDVIEW RESERVE - PHASE 3
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EL PASO COUNTY, CO



SITE PLAN
SITE PLAN - 5 OF 8

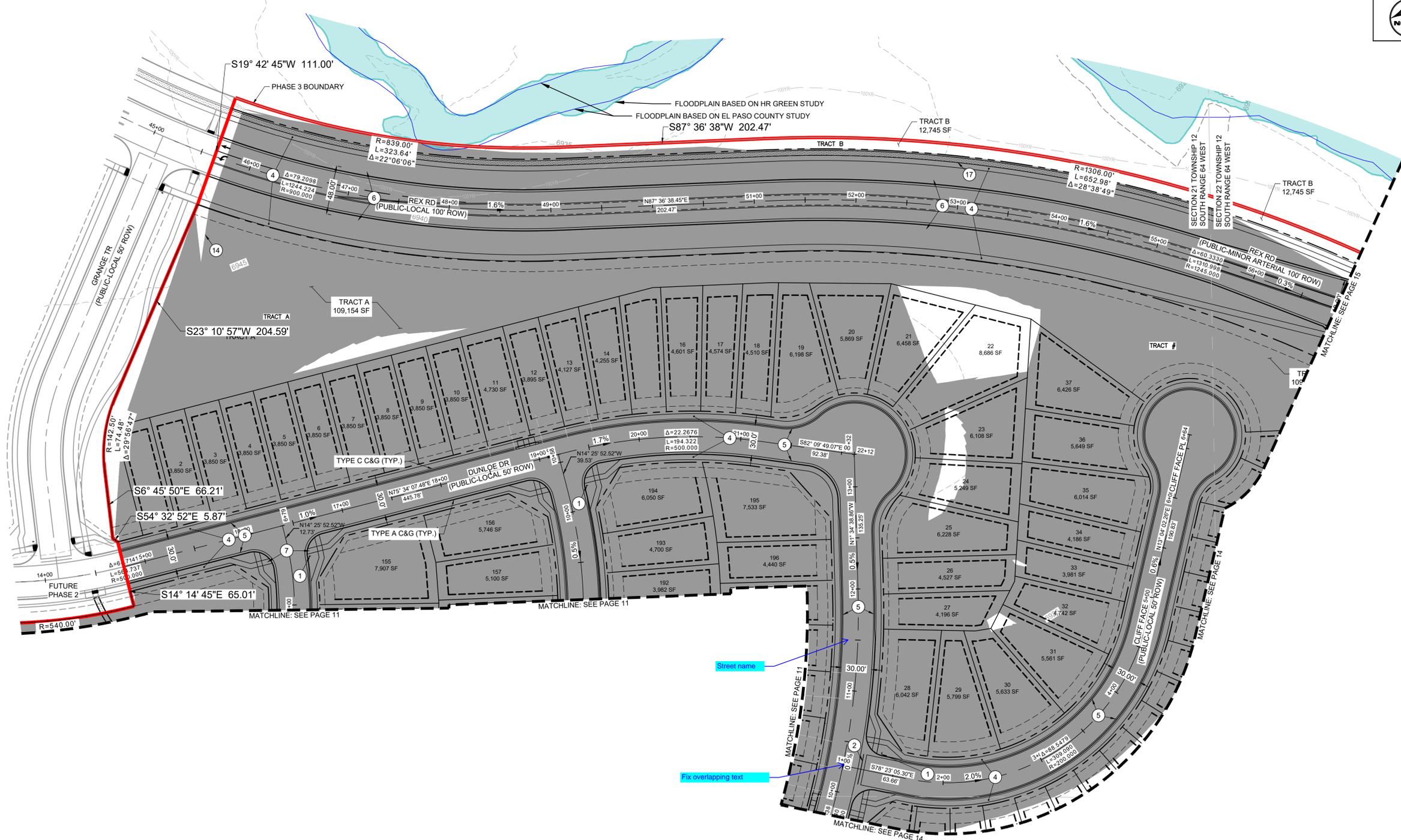
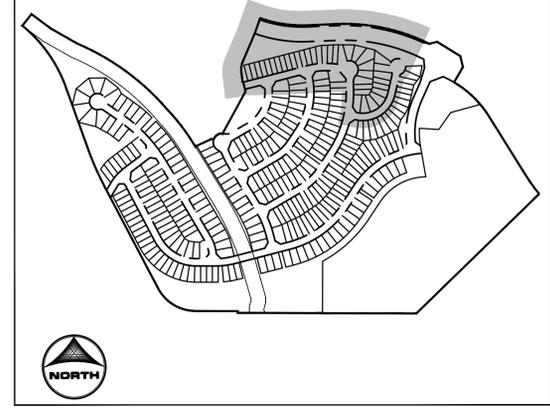
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LAND USE REVIEW FILE NO: PUDSP-241

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GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



**KEY MAP
SCALE:
1/500**

LINWORK LEGEND

- MATCH LINE
- PR Phase 3 Boundary
- EX PROPERTY LINE
- PR EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- FUT LOT LINE
- EX SWALE
- PR SWALE
- PR TRAIL
- PR MAINTENANCE ROAD (15' TYP.)
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
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LAND USE REVIEW FILE NO.: PUDSP-241

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HRGreen HR GREEN - COLORADO SPRINGS
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GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO

D-R HORTON
America's Builder

SITE PLAN
 SITE PLAN - 6 OF 8

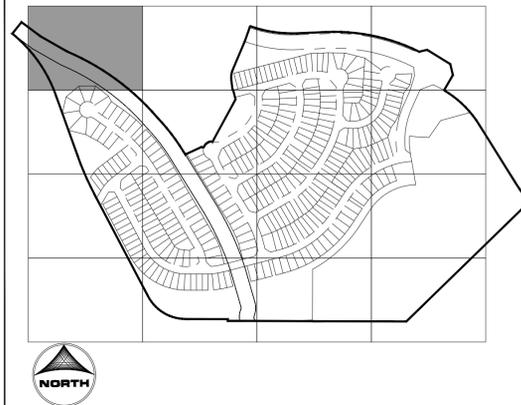
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WALTON, CHRIS, 10/17/2024 12:58 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500

GROUND COVER LEGEND	
SYMBOL	DESCRIPTION
	ENVIRO TURF SOD IRRIGATED HYBRID BLEND OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. IRRIGATED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.
	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	NATIVE LOW GROW SEED MIX PRE-BLENDED EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
	LOW MAINTAINED SEED MIX PRE-BLENDED BUFFALO/BLUE GRAMA SEED MIX. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER MONTH. MOWED TO 6" HEIGHT 3 TIMES PER YEAR.
	DETENTION SEED MIX PRE-BLENDED EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX. INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.



LAND USE REVIEW FILE NO: PUDSP-241

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GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO



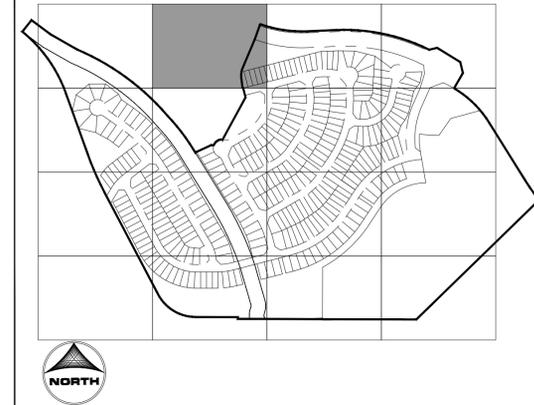
GRANDVIEW- PHASE 3- PUD PLAN
 LANDSCAPE PLAN

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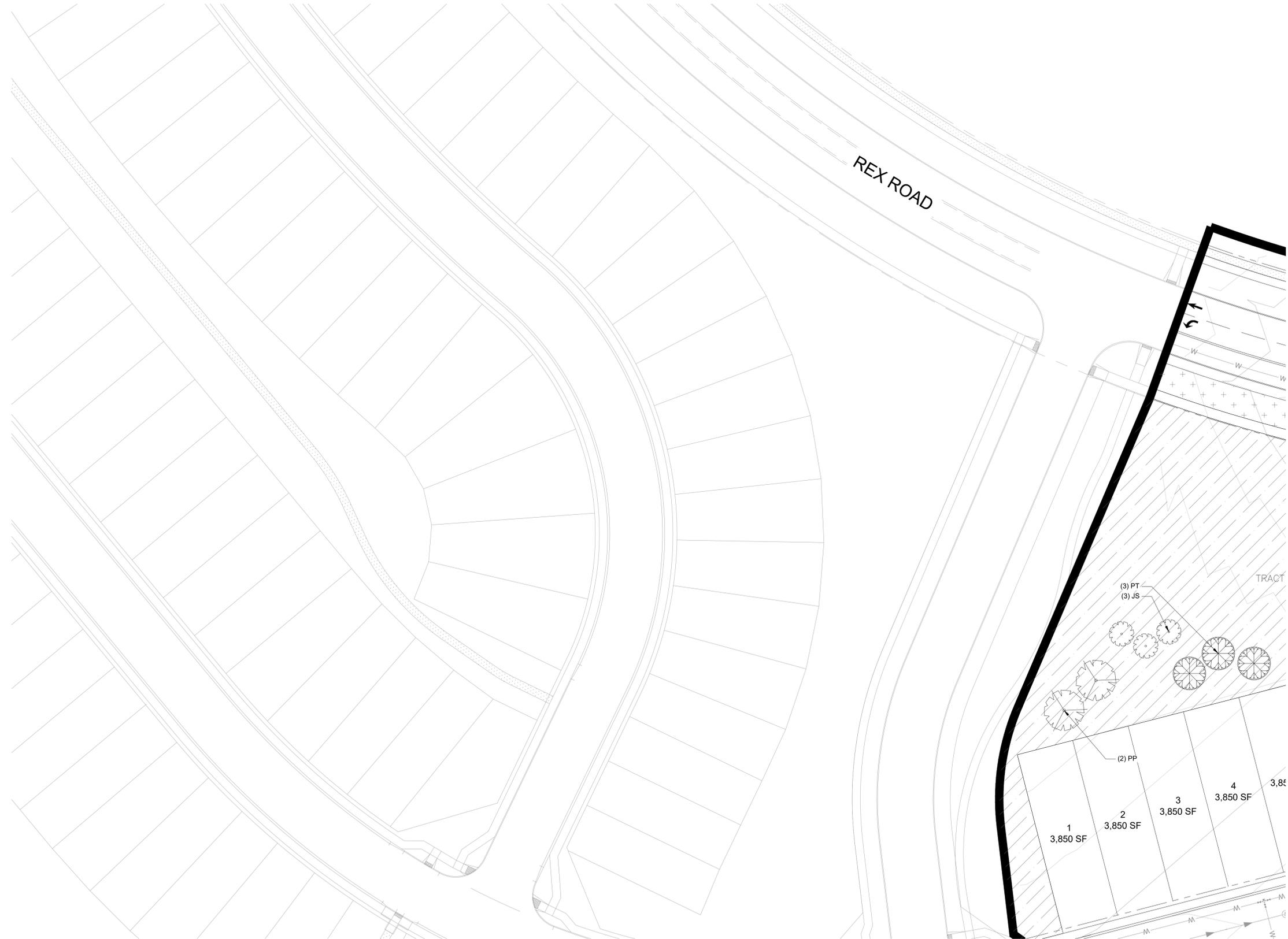
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GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

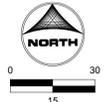
A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500



GROUND COVER LEGEND	
SYMBOL	DESCRIPTION
	ENVIRO TURF SOD IRRIGATED HYBRID BLEND OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.
	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	NATIVE LOW GROW SEED MIX PRE-BLENDED EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
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	DETENTION SEED MIX PRE-BLENDED EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX. INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.



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GRANDVIEW RESERVE - PHASE 3
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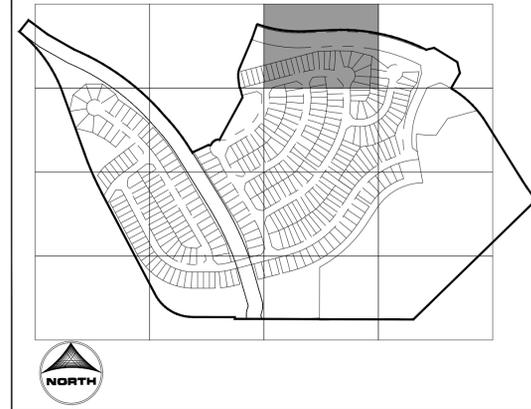
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 LANDSCAPE PLAN

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WALTON, CHRIS, 10/17/2024 12:58 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

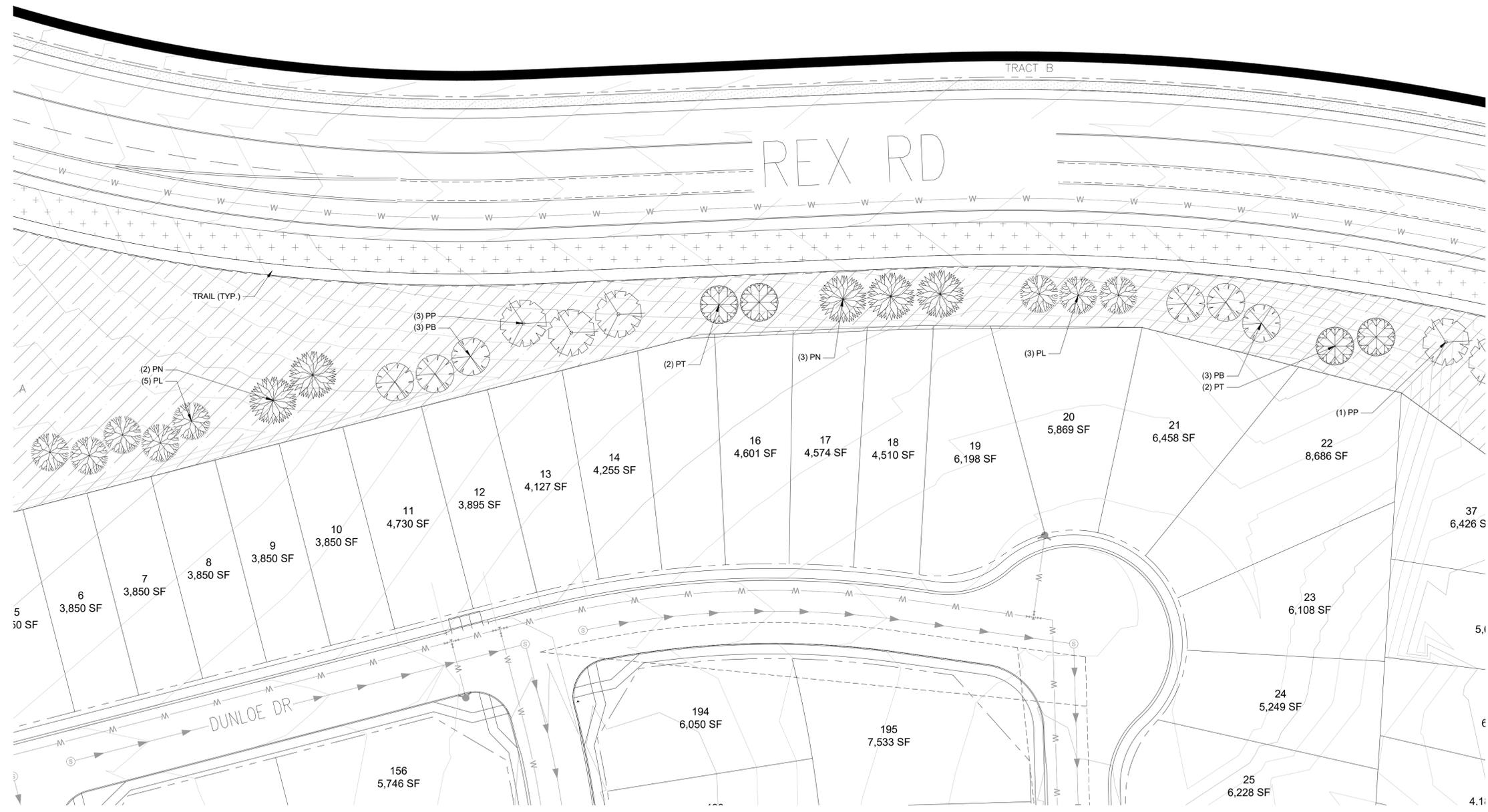
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KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

SYMBOL	DESCRIPTION
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	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
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 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
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GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO



GRANDVIEW- PHASE 3- PUD PLAN
 LANDSCAPE PLAN

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WALTON, CHRIS, 10/17/2024 12:58 PM

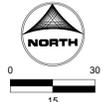
GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500

GROUND COVER LEGEND	
SYMBOL	DESCRIPTION
	ENVIRO TURF SOD IRRIGATED HYBRID BLENDED OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.
	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	NATIVE LOW GROW SEED MIX PRE-BLENDED EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
	LOW MAINTAINED SEED MIX PRE-BLENDED BUFFALO/BLUE GRAMA SEED MIX. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER MONTH. MOWED TO 6" HEIGHT 3 TIMES PER YEAR.
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	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.



LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY: JAG JOB DATE: 9/27/2024
 APPROVED: JFR JOB NUMBER: 201662
 CAD DATE: 10/17/2024
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BAR IS ONE INCH ON OFFICIAL DRAWINGS.
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
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 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO



GRANDVIEW- PHASE 3- PUD PLAN
 LANDSCAPE PLAN

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WALTON, CHRIS, 10/17/2024, 12:58 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

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GRANDVIEW RESERVE - PHASE 3
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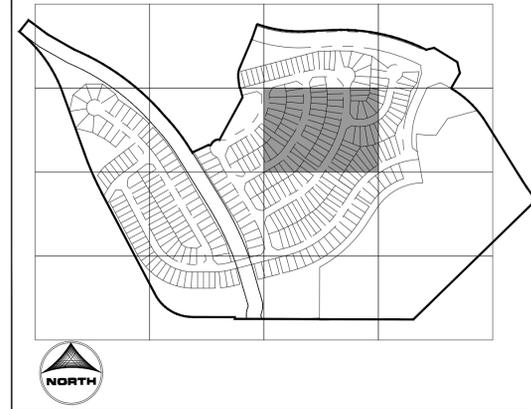
GRANDVIEW- PHASE 3- PUD PLAN
 LANDSCAPE PLAN

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WALTON, CHRIS, 10/17/2024 12:58 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

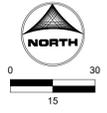


KEY MAP
SCALE:
1/500



GROUND COVER LEGEND

SYMBOL	DESCRIPTION
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GRANDVIEW RESERVE - PHASE 3
 D.R. HORTON
 EL PASO COUNTY, CO



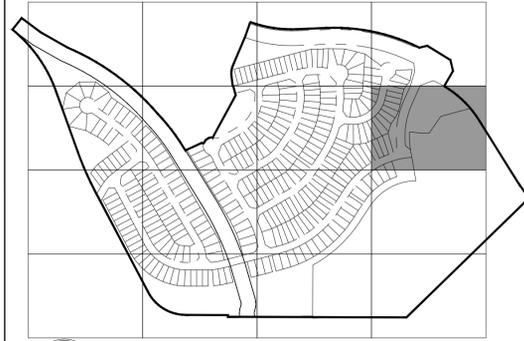
GRANDVIEW- PHASE 3- PUD PLAN
 LANDSCAPE PLAN

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WALTON, CHRIS, 10/17/2024, 12:58 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

SYMBOL	DESCRIPTION
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GRANDVIEW RESERVE - PHASE 3
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EL PASO COUNTY, CO

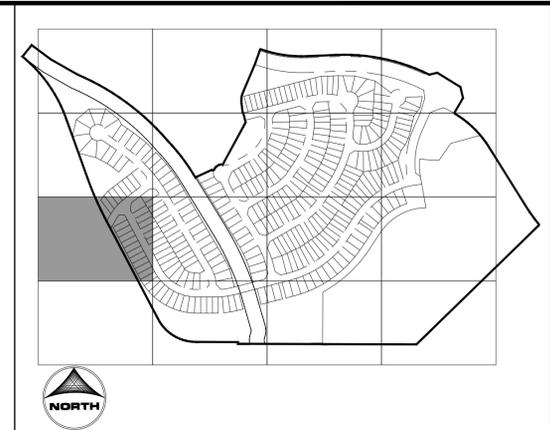


GRANDVIEW- PHASE 3- PUD PLAN
LANDSCAPE PLAN

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GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500

GROUND COVER LEGEND	
SYMBOL	DESCRIPTION
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GRANDVIEW RESERVE - PHASE 3
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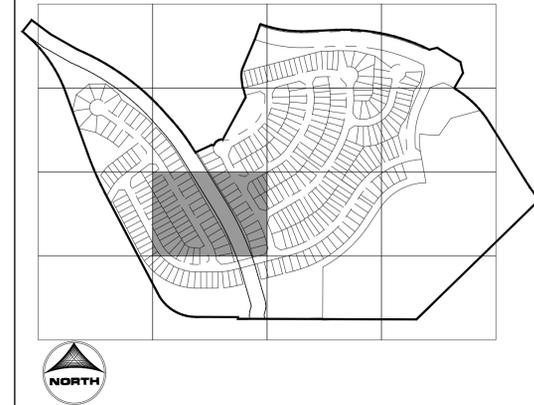


GRANDVIEW- PHASE 3- PUD PLAN
 LANDSCAPE PLAN

WALTON, CHRIS, 10/17/2024, 12:58 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

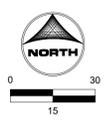
A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

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GRANDVIEW RESERVE - PHASE 3
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 EL PASO COUNTY, CO

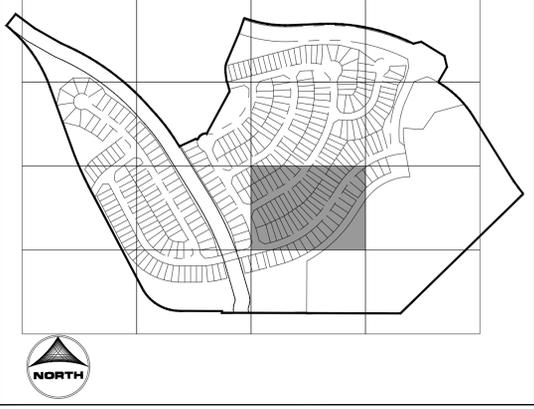
GRANDVIEW- PHASE 3- PUD PLAN
 LANDSCAPE PLAN

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WALTON, CHRIS, 10/17/2024, 12:59 PM

GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21, 22, 27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE
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KEY MAP
SCALE:
1/500

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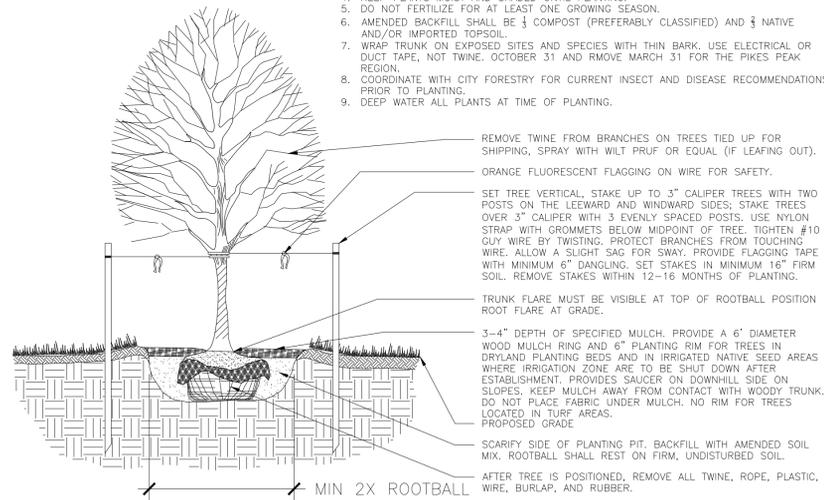
GRANDVIEW- PHASE 3- PUD PLAN
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GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

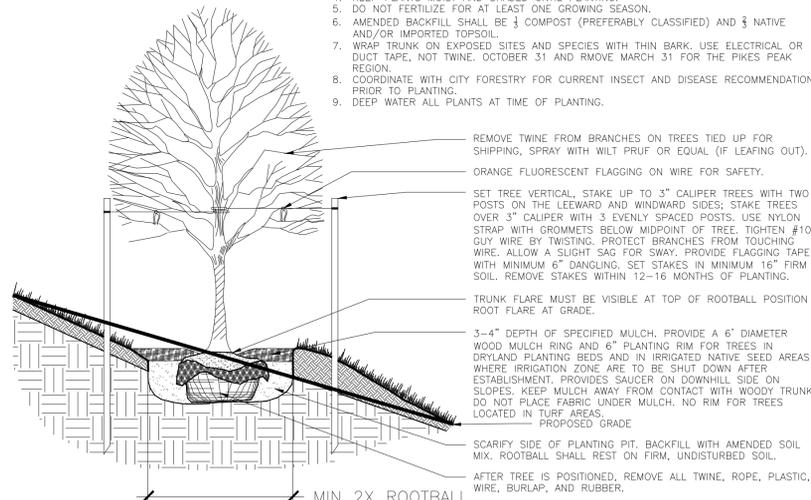
A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

- NOTES:
1. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER OR PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 6. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
 7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK, USE ELECTRICAL OR DUCT TAPE, NOT TWINE, OCTOBER 31 AND REMOVE MARCH 31 FOR THE PIKES PEAK REGION.
 8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



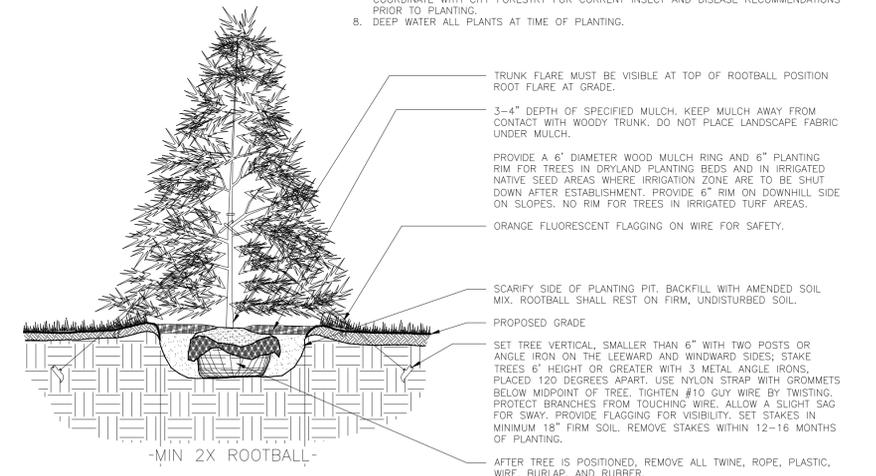
1 TYP. DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS

- NOTES:
1. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
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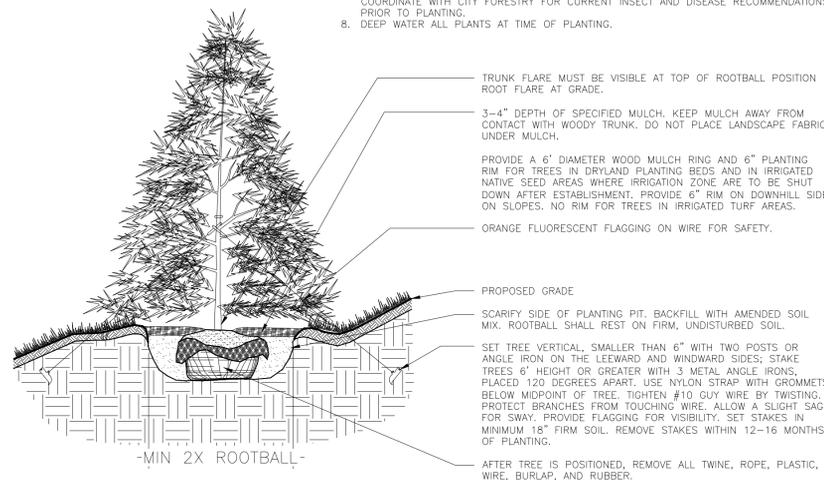
2 TYP. DECIDUOUS TREE PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS

- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
 6. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



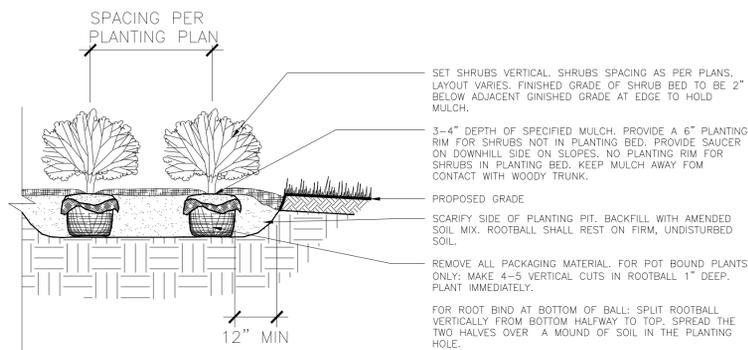
3 TYP. EVERGREEN TREE PLANTING DETAIL
SCALE: NTS

- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
 6. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



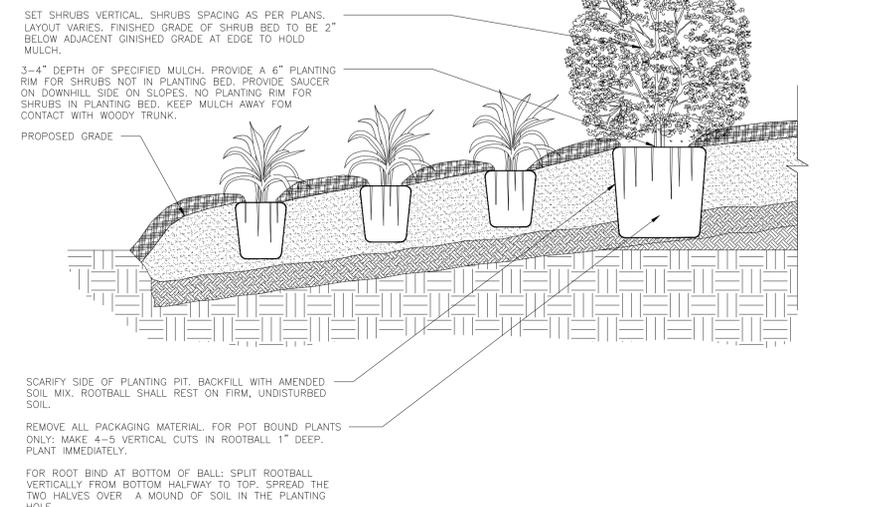
4 TYP. EVERGREEN TREE PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS

- NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 4. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



5 TYP. SHRUB PLANTING DETAIL
SCALE: NTS

- NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 4. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
 5. ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



6 TYP. SHRUB PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS

NO.	DATE	BY	REVISION DESCRIPTION

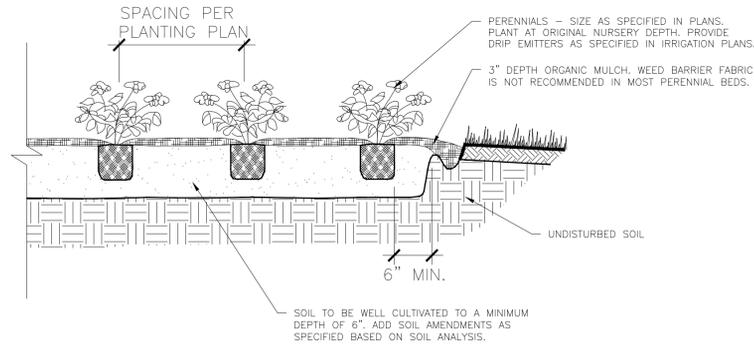
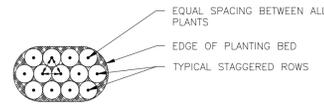


GRANDVIEW RESERVE PHASE 3 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

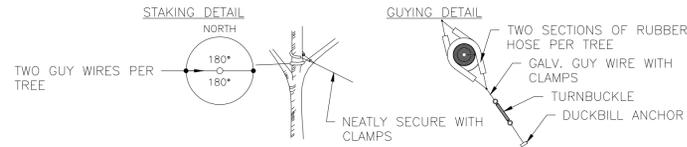
- NOTES:
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - PLANTING GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
 - PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 - ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.

*WHEN PLANTING MASSES OF SHRUBS, GROUNDCOVER, PERENNIALS, AND ANNUALS, THIS DIAGRAM SHALL BE FOLLOWED.



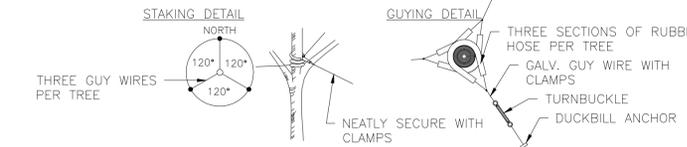
1 TYP. PERENNIAL PLANTING DETAIL
SCALE: NTS

- GUYING STANDARDS**
- TWO (2) MODEL 68 DUCKBILL ANCHORS (HOLDING CAPACITY 1100# PER ANCHOR IN NORMAL SOIL.
 - 13' OF 3/8" 7x7 GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.
 - 1/2" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH. ONE (1) REQUIRED/EACH GUY.
 - TWO (2) TURNBUCKLES, EYE AND EYE TYPE, 3/8" THREAD DIAMETER WITH 3" TAKE-UP
 - FOUR (4) 3/8" CABLE CLAMPS, ZINC PLATED (DR-2 STEEL DRIVE ROD 2' LONG WITH 1/4" ROUND DRIVING TIP NEEDED TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS)
 - TWO (2) RUBBER HOSE TREE COLLARS, 21" LONG, EA.



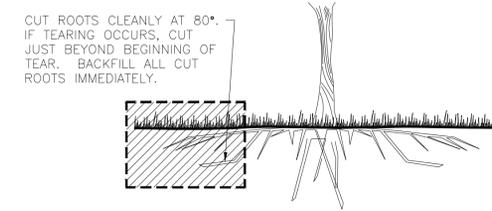
*APPLIES TO SINGLE TRUNK DECIDUOUS TREES 3" CAL. AND LESS & EVERGREEN TREES 8' HT. AND LESS

- GUYING STANDARDS**
- THREE (3) MODEL 68 DUCKBILL ANCHORS (HOLDING CAPACITY 1100# PER ANCHOR IN NORMAL SOIL.
 - 13' OF 3/8" 7x7 GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.
 - 1/2" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH. ONE (1) REQUIRED/EACH GUY.
 - THREE (3) TURNBUCKLES, EYE AND EYE TYPE, 3/8" THREAD DIAMETER WITH 3" TAKE-UP
 - SIX (6) 3/8" CABLE CLAMPS, ZINC PLATED (DR-2 STEEL DRIVE ROD 2' LONG WITH 1/4" ROUND DRIVING TIP NEEDED TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS)
 - THREE (3) RUBBER HOSE TREE COLLARS, 21" LONG, EA.



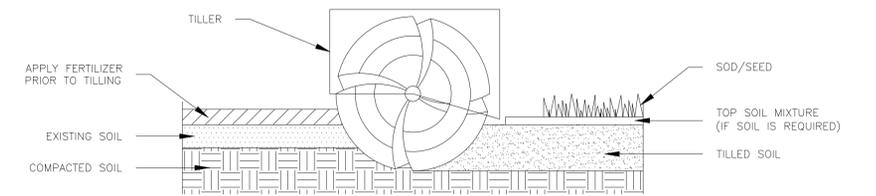
*APPLIES TO SINGLE TRUNK DECIDUOUS TREES GREATER THAN 3" CAL. & EVERGREEN TREES GREATER THAN 8' HT.

2 TYP. GUYING DETAIL
SCALE: NTS

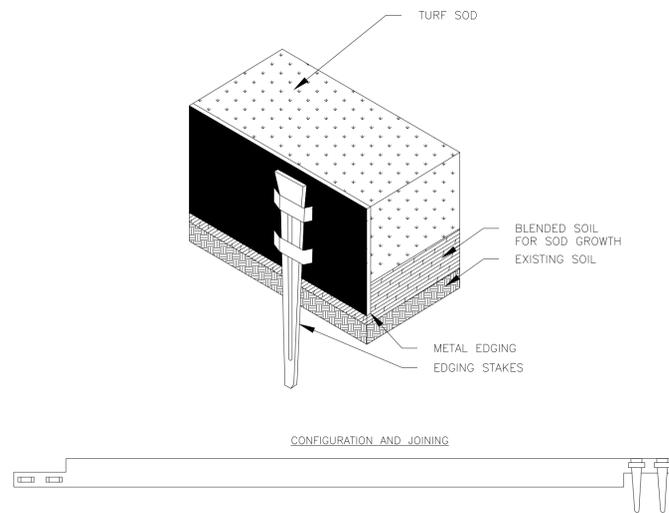


3 TYP. ROOT PRUNING DETAIL
SCALE: NTS

- NOTES:
- TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ALL IMPURITIES SUCH AS ROCKS, ROOTS AND OTHER FOREIGN MATERIALS.
 - APPLY FERTILIZER WITHIN 2-3 DAYS OF PLANTINGS.
 - COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
 - MATERIALS GREATER THAN 1" DIAMETER OR FROZEN SOIL SHALL BE REMOVED.
 - TILLED SOIL SHALL BE SMOOTHLY RAKED TO A FINISHED GRADE TO PROVIDE POSITIVE DRAINAGE.

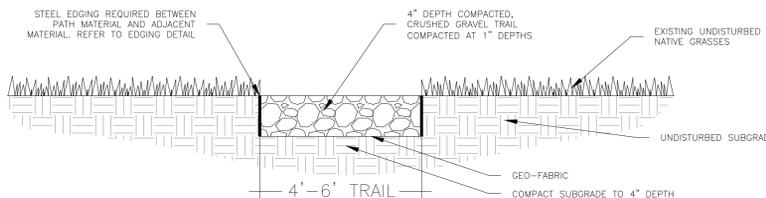


4 TYP. SOIL PREPARATION (ALL AREAS)
SCALE: NTS



- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - METAL EDGING IS TO BE POWDER COATED AND ROLLED TOP.
 - USE BROWN COLOR ONLY.
 - CUT/BEND WHERE NEEDED TO CONFORM TO LANDSCAPE PLAN LAYOUT.

5 TYP. METAL EDGING DETAIL
SCALE: NTS



6 TYP. CRUSHED GRAVEL TRAIL
SCALE: NTS

NO.	DATE	BY	REVISION DESCRIPTION

V2_PUD Development Plan - comments.pdf Markup Summary

CDurham (10)



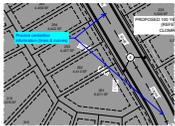
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Contours are not visible (all sheets)



Subject: Callout
Page Label: [9] 09 SITE PLAN - 2 OF 8
Author: CDurham
Date: 11/7/2024 11:03:15 AM
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Color: ■
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Fix Overlapping text (all sheets)



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Provide centerline information (lines & curves)



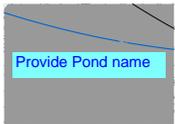
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Provide centerline information (lines & curves)



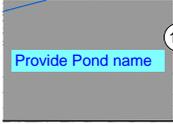
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Provide letter for Tract



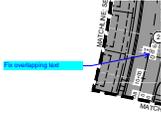
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Provide Pond name



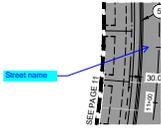
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Provide Pond name



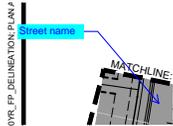
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Fix overlapping text



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Page Label: [13] 13 SITE PLAN - 6 OF 8
Author: CDurham
Date: 11/7/2024 10:59:07 AM
Status:
Color: ■
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Street name



Subject: Callout
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Author: CDurham
Date: 11/7/2024 10:59:47 AM
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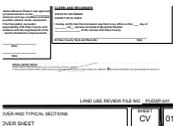
Street name

dsdparsons (19)



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Author: dsdparsons
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you removed the special District Disclosure note-please put it back this is with Grandview MD No



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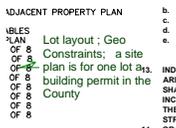
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Page Label: [1] 01 COVER SHEET
Author: dsdparsons
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review 1 comments not addressed. You added basements in where it clearly is show high water from review 1...



Subject: Planner
Page Label: [1] 01 COVER SHEET
Author: dsdparsons
Date: 11/7/2024 2:33:48 PM
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check math 25 acre school track plus this should add to legal



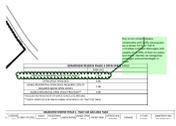
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Author: dsdparsons
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Lot layout ; Geo Constraints; a site plan is for one lot a building permit in the County



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Page Label: [5] 05 TRACT PLAN
Author: dsdparsons
Date: 11/12/2024 7:10:35 AM
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Space:

this is not correct please recalculate and verify openspace as a whole 10 % of 102.8 =10.28ac includes drainages and usable os is 25% of that for parks and trails- identify as categories acreages and percentages in table



Subject: Planner
Page Label: [5] 05 TRACT PLAN
Author: dsdparsons
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this is not correct please recalculate and verify openspace as a whole 10 % of 102.8 =10.28ac includes drainages and usable os is 25% of that for parks and trails- identify as categories acreages and percentages in table



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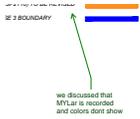
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REVIEW 1 comments not addressed



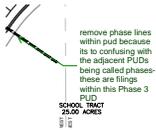
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Author: dsdparsons
Date: 11/12/2024 7:07:44 AM
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overall development plan



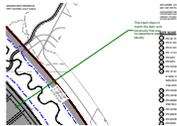
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Page Label: [7] 07 OVERALL SITE PLAN
Author: dsdparsons
Date: 11/12/2024 7:11:48 AM
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we discussed that MYLAR is recorded and colors dont show



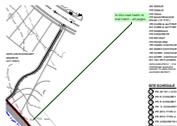
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Date: 11/12/2024 7:13:07 AM
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remove phase lines within pud because its to confusing with the adjacent PUDs being called phases- these are filings within this Phase 3 PUD



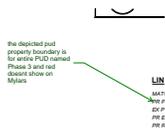
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Page Label: [8] 08 SITE PLAN - 1 OF 8
Author: dsdparsons
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This htach does nt match the dark; and previously that was no basements please identify



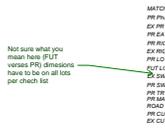
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Is this road hatch or trail hatch - all pages



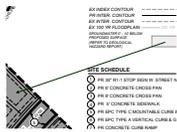
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the depicted pud property boundary is for entire PUD named Phase 3 and red doesnt show on Mylars

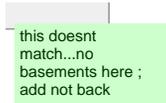


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Not sure what you mean here (FUT verses PR) dimesions have to be on all lots per check list

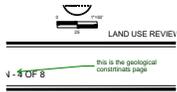


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Subject: Planner
Page Label: [11] 11 SITE PLAN - 4 OF 8
Author: dsdparsons
Date: 11/12/2024 7:04:26 AM
Status:
Color: ■
Layer:
Space:

this doesnt match...no basements here ; add not back



Subject: Callout
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Author: dsdparsons
Date: 11/12/2024 7:04:48 AM
Status:
Color: ■
Layer:
Space:

this is the geological consttrtinats page