THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS

AMENDED APPLICABILITY

THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS

THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR GRANDVIEW RESERVE PHASE 2 IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED. **RELATIONSHIP TO COUNTY REGULATIONS** 

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF GRANDVIEW RESERVE PHASE 2 PROVIDED. HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE. AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE **ENFORCEMENT** 

O FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

#### MAXIMUM LEVEL OF DEVELOPMENT

THE TOTAL NUMBER OF DWELLINGS OR THE TOTAL COMMERCIAL, BUSINESS, OR INDUSTRIAL INTENSITY SHOWN ON THE DEVELOPMENT PLAN FOR DEVELOPMENT WITHIN THE SPECIFIED PLANNING AREAS IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS ANY APPROVED DENSITY TRANSFERS). THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT MAY BE LESS DUE TO SUBDIVISION OR SITE DEVELOPMENT PLAN REQUIREMENTS, LAND CARRYING CAPACITY, OR OTHER REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS

PROJECT TRACKING AT THE TIME OF ANY FINAL PLAT APPLICATION, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT, TO DATE, TO PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT, IN ORDER TO ASSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED.

**OVERALL PROJECT STANDARDS** THE STANDARD ZONING REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE INCLUDING OFF-STREET PARKING, LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, BY SPECIAL REVIEW AND VARIANCE PROCESSES SHALL APPLY TO THIS PUD, EXCEPT AS MODIFIED BY THE PUD.

#### **NOTE REGARDING REPORTS ON FILE:**

THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; PRELIMINARY DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; NATURAL FEATURES WATER NOT

WATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT AND SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS. **WASTEWATER NOTE:** 

WASTEWATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY THE WOODMAN HILLS METROPOLITAN DISTRICT AND SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS

review 1 comments not addressed. You added basements in where it clearly is show high water from review 1..

SOIL AND GEOLOGY CONDITIONS

MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE REPORT ENTITLED: GEOLOGIC HAZARD EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION GRANDVIEW RESERVE, PHASE 3, COLORADO BY CTL THOMPSON INC. DATED OCTOBER 7, 2024 IN FILE GRANDVIEW RESERVE PUDSP FILE NUMBER: PUDSP-241. AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT. THE FOLLOWING GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED:

- 1. SHALLOW GROUNDWATER: REFER TO GROUNDWATER CONDITIONS MAP (FIGURE 3) IN REPORT FOR LOTS WHERE GROUNDWATER COULD POTENTIAL IMPACT CRAWL SPACE FOUNDATIONS. THE SITE PLAN ALSO GRAPHICALLY IDENTIFIES (HATCHED) WHERE GROUNDWATER IS KNOW TO BE WITHIN 10' OF FINISHED GRADE. WHERE GROUNDWATER CONDITIONS ARE ENCOUNTERED THAT IMPACT CRAWLS SPACE FOUNDATIONS, SLAB ON GRADE FOUNDATIONS SYSTEMS ARE RECOMMENDED. SUBSURFACE DRAIN-AGE CONCEPTS ARE BEING STUDIED BY A HYDROGEOLOGY CONSULTANT TO POTENTIALLY LOWER GROUNDWATER LEVELS THROUGHOUT THE SITE. BASEMENTS MAY BE ALLOWED IN THOSE AREAS
- WHERE GROUNDWATER HAS BEEN SUFFICIENTLY LOWERED. 2. HARD BEDROCK: THE SANDSTONE AND CLAYSTONE OF THE DAWSON FORMATION ARE HARD TO VERY HARD AND PRESENT AT SHALLOW DEPTHS WITHIN THE SITE. THE HARD TO VERY HARD BEDROCK WILL BE DIFFICULT TO EXCAVATE AND WILL REQUIRE HEAVY DUTY EXCAVATION EQUIPMENT. DEEP EXCAVA-TIONS INTO BEDROCK WILL REQUIRE AGGRESSIVE
- EXCAVATION TECHNIQUES. THE RATE OF EXCAVA-TION WILL BE SLOW WITHIN THE BEDROCK. 3. EXPANSIVE SOILS AND BEDROCK: EXPANSIVE BEDROCK IS PRESENT AT THIS SITE, WHICH CONSTITUTES A GEO-LOGIC HAZARD. THERE IS RISK THAT FOUNDATIONS AND SLAB-ON-GRADE FLOORS WILL EXPERIENCE HEAVE OR SETTLEMENT AND DAMAGE. IT IS CRITICAL THAT PRECAUTIONS ARE TAKEN TO INCREASE THE CHANCES THAT THE FOUNDATIONS AND SLABS-ON-GRADE WILL PERFORM SATISFACTORILY. IT IS NOTED THAT THE PRESENCE OF EXPANSIVE MATERIALS WITHIN THE DAWSON FORMATION IS HIGHLY VARIABLE AND WILL NEED TO BE FURTHER EVALUATED AT THE TIME OF LOT SPECIFIC SOILS AND FOUNDATION INVESTIGATIONS. ENGINEERED PLANNING, DESIGN AND CONSTRUCTION OF GRADING, PAVEMENTS, FOUNDATIONS, SLABS-ON-GRADE, AND DRAINAGE CAN MITIGATE, BUT NOT ELIMINATE, THE EFFECTS OF EXPANSIVE AND COMPRESSIBLE SOILS. SUB-EXCAVATION IS A GROUND IMPROVEMENT METHOD THAT CAN BE USED TO REDUCE THE IMPACTS OF SWELLING SOILS.
- 4. FLOODING: THE MAJORITY OF THE SITE LIES WITHIN ZONE D (UNDETERMINED FLOOD HAZARD), AS SHOWN ON FIRM COMMUNITY MAP NUMBER 08041C0556G, REVISED DECEMBER 7 2018. ZONE D INDICATES FLOODS ARE POSSIBLE, BUT NOT LIKELY. SOME PORTIONS OF THE SITE WITHIN DRAINAGE AREAS LIE WITHIN ZONE A. A LOMR IS CURRENTLY IN PROCEES WITH FEMA TO REALIGN THE FLOODPLAIN WITHIN AN NEW CHANNEL. ALL PROPOSED LOTS WILL BE REMOVED FROM FLOOPLAIN WITH THE CONSTRUCTION OF CHANNEL B AND THE CORRESPONDING LOMR.

NOTE: NO GEOLOGIC HAZARDS WERE IDENTIFIED THAT PRECLUDE THE PROPOSED DEVELOPMENT. POTENTIAL HAZARDS CAN BE MITIGATED WITH PROPER ENGINEERING, DESIGN, AND CONSTRUCTION PRACTICES

### LEGAL DESCRIPTION

A TRACT OF LAND BEING A PORTION THE SOUTHEAST QUARTER OF SECTION 21, A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, A PORTION OF THE NORTHWEST QUARTER OF SECTION 27 AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6<sup>TH</sup> PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, **BEING DESCRIBED AS FOLLOWS:** 

BASIS OF BEARINGS: THE EAST LINE OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6<sup>TH</sup> PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MONUMENTED AT THE SOUTHERLY END BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED ACCORDINGLY, "PLS 30087," AND BEING MONUMENTED AT THE NORTHERLY END BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED ACCORDINGLY, "PLS 30087," BEING ASSUMED TO BEAR N00°52'26"W, A DISTANCE OF 5,290.17

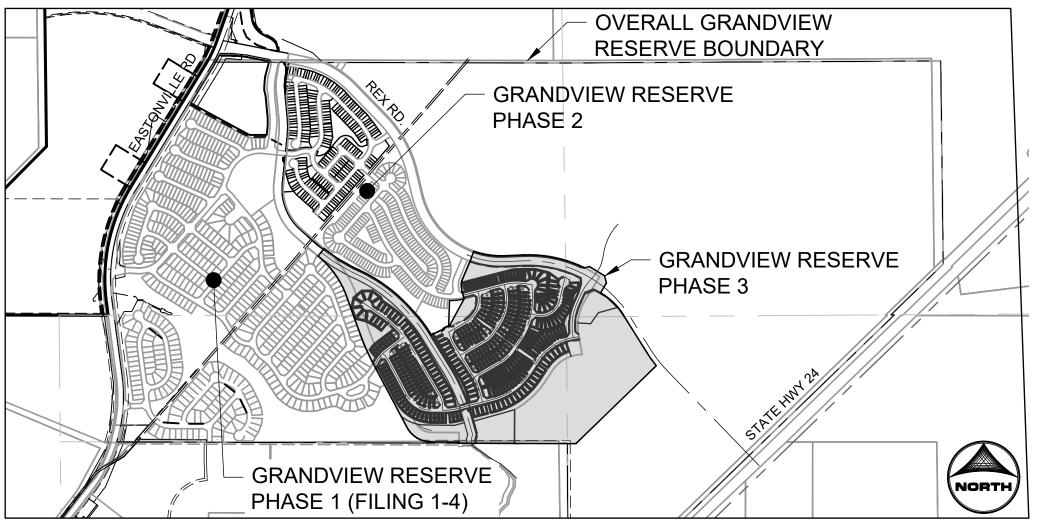
COMMENCING AT THE NORTHWEST CORNER OF SECTION 27, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6<sup>TH</sup> PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO; THENCE N89°38'06"E A DISTANCE OF 602.59 FEET TO THE POINT OF BEGINNING; THENCE S32°03'23"E A DISTANCE OF 447.39 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 07°12'46", A RADIUS OF 1,300.00 FEET A DISTANCE OF 163.65 FEET TO A POINT ON CURVE; THENCE S45°55'49"W A DISTANCE OF 1,166.50 FEET; THENCE N89°47'08"W A DISTANCE OF 88.92 FEET TO THE SOUTHEAST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28; THENCE N89°47'08"W, ON THE SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 28. A DISTANCE OF 1.127.53 FEFT: THENCE N00°12'52"F: A DISTANCE OF 1.1.41 FEFT: THENCE N89°44'32"W A DISTANCE OF 289.10 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 61°56'07", A RADIUS OF 290.00 FEET A DISTANCE OF 313.48 FEET TO A POINT OF TANGENT; THENCE N27°48'24"W A DISTANCE OF 779.86 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 08°00'18", A RADIUS OF 2,050.00 FEET A DISTANCE OF 286.41 FEET TO A POINT OF TANGENT; THENCE N19°48'06"W A DISTANCE OF 438.38 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 29°29'59", A RADIUS OF 950.00 FEET, A DISTANCE OF 489.12 FEET TO A POINT OF TANGENT; THENCE N49°18'05"W A DISTANCE OF 29.46 FEET; THENCE N38°44'17"E A DISTANCE OF 100.06 FEET; THENCE S53°13'21"E A DISTANCE OF 159.27 FEET; THENCE S60°22'39"E A DISTANCE OF 211.52 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS \$22°55'07"W HAVING A DELTA OF 26°23'43"E. A RADIUS OF 1.668.20 FEET A DISTANCE OF 768.52 FEET TO A POINT ON CURVE: THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS \$46°15'00"W HAVING A DELTA OF 12°10'43", A RADIUS OF 1,363.49 FEET A DISTANCE OF 289.82 FEET TO A POINT ON CURVE; THENCE S31°44'28"E A DISTANCE OF 23.97 FEET; THENCE N65°27'05"E A DISTANCE OF 122.04 FEET; THENCE S72°44'18"E A DISTANCE OF 15.00 FEET1

28.4 TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE OT THE RIGHT WHOSE CENTER BEARS \$72°44'18"E HAVING A DELTA OF 76°32'04", A RADIUS OF 60.00 FEET A; DISTANCE OF 80.15 FEET TO A POINT ON CURVE; THENCE N28°43'11"E A DISTANCE OF 325.08 FEET; THENCE N14°14'45"W A DISTANCE OF 65.01 FEET; THENCE N54°32'52"W A DISTANCE OF 5.87 FEET; THENCE N06°45'50"W A DISTANCE OF 66.21 FEET TO A POINT OF CURVE: THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 29°56'47". A RADIUS OF 142.50 FEET A DISTANCE OF 74.48 FEET TO A POINT OF TANGENT; THENCE N23°10'57"E A DISTANCE OF 204.59 FEET; THENCE N19°42'45"E A DISTANCE OF 111.00 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE WHOSE CENTER BEARS N19°42'45"E HAVING A DELTA OF 22°06'06", A RADIUS OF 839.00 FEET A DISTANCE OF 323.64 FEET TO A POINT OF ON CURVE; THENCE N87°36'38"E A DISTANCE OF 202.47 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 28°38"49", A RADIUS OF 1,306.00 FEET A DISTANCE OF 652.98 FEET TO A POINT ON CURVE; THENCE N76°41'58"E A DISTANCE OF 55.78 FEET; THENCE S58°18'02"E A DISTANCE OF 185.25 FEET; THENCE S13°18'02"E A DISTANCE OF 76.12 FEET; THENCE S30°22'37"W A DISTANCE OF 119.64 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S30°22'37"W A DELTA OF 27°34'01", A RADIUS OF 700.00 FEET A DISTANCE OF 336.79 FEET TO A POINT OF TANGENT; THENCE S32°03'23"E A DISTANCE OF 15.72 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 4,478,988 SQUARE FEET OR 102.823 ACRES, MORE OR LESS.

### **GRANDVIEW RESERVE PHASE 3** PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



VICINITY MAP

#### **DEVELOPMENT STANDARDS AND GUIDELINES (SINGLE FAMILY DETACHED LOTS):**

THERE SHALL BE ONLY ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE FAMILY RESIDENCE ON A LOT ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE APPROVED GRANDVIEW RESERVE SKETCH PLAN (SKP-20-001).

MINIMUM LOT AREA:THREE THREE THOUSAND THREE HUNDRED SQUARE FEET (3.800SF), (REFER TO TYPICAL LOT LAYOUTS MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM. MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40')

MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE:THIRTY FEET (25') MINIMUM DRIVEWAY LENGHT: 20' FROM FACE OF GARAGE TO BACK OF SIDEWALK

SETBACK REQUIREMENTS a. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE

FIFTEEN FEET (15') TO FACE OF HOUSE b. SIDE YARD: FIVE FEET (5')

c. REAR YARD TWENTY FEET (20') d. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')

e. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5') ACCESSORY USE STANDARDS

ACCESSORY STRUCTURE USE SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES SUCH AS SHEDS, DECKS, DETACHED DECKS, GAZEBOS, PATIOS, HOT TUBS AND POOLS. THERE SHALL BE NO ACCESSORY LIVING QUARTERS OR ADDITIONAL DWELLING UNITS ALLOWED

ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE DECKS ATTACHED TO HOMES OVER 18" TALL ARE PRINCIPAL STRUCTURES. STAND ALONE DECKS ARE ACCESSORY

MAXIMUM ACCESSORY STRUCTURE HEIGHT: FIFTEEN FEET (15')

a. FRONT YARD: FIFTEEN FEET (15') b. SIDE YARD: FIVE FEET (5')

c. REAR YARD: FIVE FEET (5')

d. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10') e. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

#### TRACT R (FUTURE SCHOOL TRACT) NON-RESIDENTIAL DEVELOPMENT STANDARDS: LOWED USES: RELIGIOUS INSTITUTION, (PLACE OF WORSHIP/CHURCH), PRIVATE / CHARTER SCHOOL, EDUCATIONAL (PRIVATE OR PUBLIC, PHILANTHROPIC, COMMUNITY BUILDING, BALL FIELDS, SPORTS COURTS, PASTORAL RESIDENCE, HEALTH CLUB OR RECREATION / AMENITY CENTER.

MINIMUM LOT AREA: FIVE ACRES (25 ACRES).

MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30%

MAXIMUM STRUCTURAL HEIGHT: FIFTY FEET (50'). BUILDING SETBACK REQUIREMENTS:

a. FRONT YARD: FIFTY FEET (50') b. SIDE YARD: FIFTY FEET (50')

c. REAR YARD FIFTY FEET (50') FINAL LAYOUT WILL BE PROVIDED AT SITE DEVELOPMENT PLAN. SITE DEVELOPMENT PLAN PLAN WILL BE REQUIRED PRIOR

#### SITE DATA **EXISTING LAND USE: EXISTING ZONING:**

PROPOSED ZONING: SITE AREA: PROPOSED NUMBER OF DWELLING UNITS: MAXIMUM GROSS DENSITY(ALLOWED PER SKETCH PLAN): PROPOSED GROSS DENSITY:

TOTAL AREAS (SEE LAND USE TABLE BELOW)

TOTAL LAND AREA (Excluding School Site)

TO ISSUANCE OF BUILDING PERMIT FOR LOTS 323

**GRAZING & AGRICULTURAL** RR-2.5 102.823 AC

SEE LAND USE TABLE BELOW

PARCEL J - 4 DU/AC, PARCEL I - 8 DU/AC

GRAN	IDVIEW RESERVE	PHASE 3 - LAND	USE TABLE		
LAND USE	AREA (ACRES)	DWELLING UNITS	GROSS DENSITY (DU/ACRE)	**ALLOWABLE DENSITY (DU/ACRE-PER	% OF LAND
SINGLE FAMILY RESIDENTIAL	38.00	322	4.11	(see below)	37%
PORTION OF 77.83 WITHIN SKETCH PLAN AREA I	10.95	27	2.46	8.00	
PORTION OF 77.83 WITHIN SKETCH PLAN AREA J	67.34	295	4.38	4.00	
DRAINAGE CHANNEL TRACTS	5.98	N/A	N/A	N/A	6%
DETENTION TRACTS	7.21	N/A	N/A	N/A	7%
PARK TRACT	1.48	N/A	N/A	N/A	1%
OPEN SPACE TRACTS	9.77	N/A	N/A	N/A	10%
ROAD R.O.W.	15.85	N/A	N/A	N/A	15%
SCHOOL SITE	25.00	N/A	N/A	N/A	24%
TOTAL PHASE 3 LAND AREA	102.82	N/A	N/A		100%

78.30

### PH3 - SHEET INDEX

01 - COVER SHEET 02 - TYPICAL SECTIONS 03 - TYPICAL SECTIONS

04 - OVERALL AND ADJACENT PROPERTY PLAN 05 - TRACT PLAN 06 - TRACT PLAN TABLES

07 - OVERALL SITE PLAN Lot layout; Geo 08 - SITE PLAN - 1 OF 8

Constraints; a site 09 - SITE PLAN - 2 OF 8 10 - SITE PLAN - 3 OF 8 plan is for one lot a13. 11 - SITE PLAN - 4 OF 8 building permit in the

12 - SITE PLAN - 5 OF 8 13 - SITE PLAN - 6 OF 8 County 14 - SITE PLAN - 7 OF 8

15 - SITE PLAN - 8 OF 8

16 - LANDSCAPE COVER 17 - LANDSCAPE PLAN (OVERALL) 18 - LANDSCAPE PLAN 19 - LANDSCAPE PLAN

20 - LANDSCAPE PLAN LANDSCAPE PLAN 22 - LANDSCAPE PLAN 23 - LANDSCAPE PLAN 24 – LANDSCAPE PLAN

25 - LANDSCAPE PLAN LANDSCAPE PLAN LANDSCAPE PLAN 28 - LANDSCAPE PLAN 29 - LANDSCAPE PLAN

30 - LANDSCAPE PLAN LANDSCAPE PLAN 32 - LANDSCAPE PLAN 33 - LANDSCAPE PLAN

34 - LANDSCAPE DETAILS 35 - LANDSCAPE DETAILS

MELODY HOMES, INC., A DELAWARE CORPORATION. 9555 S. KINGSTON COURT, SUITE 200, ENGLEWOOD, COLORADO 80112

DEVELOPER: D.R. HORTON 9555 S. KINGSTON COURT

ENGLEWOOD, CO 80112 PH. 303.503.4903

PLANNER/LANDSCAPE ARCHITECT: HRGREEN DEVELOPMENT, LLC 1975 RESEARCH PARKWAY SUITE 230

COLORADO SPRINGS, CO 80920 ATTN: BLAINE PERKINS

**CIVIL ENGINEER:** HR GREEN DEVELOPMENT, LLC 1975 RESEARCH PARKWAY SUITE 230 COLORADO SPRINGS, CO 80920 ATTN: KEN HUHN

ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS. DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY. SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS EXCEPT FOR LANDSCAPE AREAS WHICH SHALL BE MAINTAINED BY GRANDVIEW RESERVE METROPOLITAN

ALL LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT VIA DEVELOPMENT AGREEMENT, LICENSE AGREEMENT OR INTER-GOVERNMENT AGREEMENT

REX ROAD AS ILLUSTRATED ON THE DRAWINGS WILL BE A PUBLIC STREET DESIGNED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.

PUBLIC STREETS WITHIN THIS DEVELOPMENT PROVIDE LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY ON FILE FOR THIS PROJECT

TRAFFIC IMPACT FEES

THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO. AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

#### LANDSCAPE

1. COMMON OPEN SPACE AREAS SHALL BE XERISCAPED AS MUCH AS FEASIBLE BALANCING WITH AESTHETICALLY PLEASING LANDSCAPE DESIGN APPROACHES. URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARKS VIA PARK LAND AGREEMENTS.

NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.4.1.D. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER

4. TRAILS TO BE SOFT SURFACE (I.E. CRUSHED REFINES) AND FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE

FEATURES AT THE TIME OF THE FINAL PLAT. ANY FUTURE NON-REGIONAL TRAILS TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT

LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT

#### **GENERAL NOTES**

Check math 25 acre school track plus this should add to legal
THE GRANDVIEW RESERVE PHASE 3 OVERALL GROSS DENSITY IS 4.11 DU/ AC, ON 78.30 ACRES, FOR A TOTAL OF 322 UNITS. PER SKETCH PLAN APPROVAL DENSITY TRANSFERS MAY OCCUR IN WHICH SPECIFIC AREAS EXCEED 4.24 DU/ AC SO LONG AS THE OVERALL DENSITY OF THE PROJECT IS BELOW THE APPROVED MAXIMUM UNIT COUNT. ANY DENSITY BELOW THIS CAP MAY BE USED IN SUBSEQUENT PHASES AND TRANSFERRED TO OTHER PARCELS AS LONG AS THE TOTAL MAXIMUM UNIT COUNT ON THE APPROVED SKETCH PLAN IS NOT EXCEEDED.

DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THIS PUD DEVELOPMENT PLAN. MAJOR MODIFICATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE EI PASO COUNTY BOARD OF COUNTY COMMISSIONERS UNLESS OTHERWISE PROVIDED BY THE EPC LAND DEVELOPMENT CODE.

CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT TO PROVIDE WATER SERVICE TO THE PROJECT CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY WOODMAN HILLS METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE WOODMAN HILLS METROPOLITAN DISTRICT (WHMD) WASTEWATER SYSTEM

REFERENCE TRACT PLAN FOR TRACTS TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT. TRACTS INCLUDE LANDSCAPE EASEMENTS, DRAINAGE TRACTS, STORM WATER FACILITIES, OPEN SPACE TRACTS, STREETSCAPE PLANTINGS, DETENTION PONDS, UTILITIES, FENCES, PARKS AND RECREATIONAL FACILITIES, TRAILS. MAILBOX CLUSTERS, AND OTHER USES. FUTURE DEVELOPMENT TRACT FOR THE SCHOOL SITE WILL BE HELD BY THE COUNTY UNTIL THE APPROPRIATE SCHOOL DISTRICT REQUESTS THE SITE

ALL ELECTRICAL SERVICES SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MYEA UTILITIES WILL BE LOCATED WILL BE GIVEN EASEMENTS AS REQUIRED.

#### **BLACK HILLS ENERGY WILL PROVIDE NATURAL GAS.**

PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/ OR AS SHOWN WITHIN THE DETAILS. PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVED BY EL PASO COUNTY PARKS. PARK IMPROVEMENTS WILL BE SUBMITTED FOR REVIEW AND APPROVAL WITH THE FINAL PLAT.

FEES IN LIEU OF LAND WILL BE PROVIDED FOR SCHOOLS AND PARKS, IF REQUIREMENTS ARE NOT MET WITH LAND DEDICATION. ALL COMMON LANDSCAPE AREAS AND OPEN SPACE WITHIN THE DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT. PRELIMINARY MAILBOX KIOSK LOCATIONS SHOWN, FINAL LOCATIONS SUBJECT TO APPROVAL BY THE USPS . ADJUSTMENTS TO LOCATION MAY BE MADE WITH FINAL PLAT AND

CONSTRUCTION DRAWINGS. THIS PUD DEVELOPMENT PLAN & PRELIMINARY PLAN IS NOT FOR CONSTRUCTION.

13. PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLOWS:

WHICH WILL CONVEY THE WASTEWATER TO THE TREATMENT FACILITY WHERE CMD WILL BE RESPONSIBLE FOR TREATMENT.

FRONT: TEN FEET (10') b. SIDE: FIVE FEET (5')

REAR: TEN FEET (10')

ALL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.

MVEA: TWENTY FEET (20') MIN. WIDTH EASMENT WILL BE PROVIDED TO MVEA IN SELECT AREAS AROUND THE PERIMETER OF THE OVERALL SITE OR THROUGH OPEN SPACE TRACTS. THE EXACT LOCATIONS SHALL BE COORDINATED WITH MVEA WITH FINAL LOCATIONS TO BE INCLUDED ON THE FINAL PLAT. MVEA INFRASTRUCTURE DESIGN WAS IN PROGRESS AT THE TIME OF THIS PUD PRELIMINARY PLAN APPROVAL.

INDIVIDUAL LOT SIDE YARD SWALES SHALL BE CONSTRUCTED DURING INDIVIDUAL LOT CONSTRUCTION / LANDSCAPING TO PROVIDE ADEQUATE DRAINAGE. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES. INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.

GRASS BUFFER BMPS WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT 15. STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS AND EL PASO COUNTY DETAILS AND SPECIFICATIONS. SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS

CONDITIONS AND RESTRICTIONS FOR GRANDVIEW RESERVE AND THE GRANDVIEW RESERVE DESIGN GUIDELINES. 17. FENCING: • ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND ANY FUTURE DESIGN GUIDELINES FOR GRANDVIEW

RESERVE NO FENCES SHALL IMPEDE DRAINAGE IN ANY WAY. 18. NEW SIDEWALKS ADJACENT TO RESIDENTIAL LOTS ARE TO BE 5" THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID SIDEWALKS. THE FUTURE LOT

OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION. ENVIRONMENTAL NOTE: DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S.

ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE). 20. ADA NOTE: THE SUBDIVIDER / DEVELOPER HAS FAMILIARIZED ITSELF WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS AID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO

ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS. ALL TRAILS ARE TO BE NON-MOTORIZED TRAILS.

THERE SHALL BE NO DIRECT LOT ACCESS TO REX ROAD AND WISHAW PL 23. THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND

ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471). OR ANY AMENDMENTS THERETO. AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY. MINOR CHANGES SUCH AS MINOR LOT OR TRACT LINE ADJUSTMENTS UPON FINAL ENGINEERING WILL NOT REQUIRE A PUD OR PRELIMINARY PLAN AMENDMENT. **FLOODPLAIN NOTES** 

THIS PROPERTY IS LOCATED WITHIN A DESIGNED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBERS '08041C0556G' AND '08041C0552G EFFECTIVE DATE 7, 2018. THE EXISTING FLOODPLAIN BOUNDARIES WILL BE REVISED VIA A LOMR MODELING THE PROPOSED IMPROVEMENTS TO ESTABLISH FLOOD ELEVATIONS AND THEN PROCESSED THROUGH TO FEMA TO ESTABLISH ZONE AE FLOODPLAIN LIMITS, NO GRADING WILL TAKE PLACE WITHIN THE EXISTING FLOODPLAIN LIMITS UNTIL THE CLOMR HAS BEEN APPROVED.

THOSE LOTS EITHER PARTIALLY OR ENTIRELY LOCATED WITHIN THE CURRENT FLOODPLAIN SHALL NOT BE PLATTED UNTIL THE FLOODPLAIN BOUNDARY REVISION PROCESS IS COMPLETED EFFECTIVELY REMOVING THE FLOODPLAIN LIMITS FROM THESE LOTS. THE SUBMITTAL AND REVIEW OF THE FLOODPLAIN REVISION OCCUR INDEPENDENTLY OF THIS PRELIMINARY PLAN AND SHALL BE APPROVED PRIOR TO THE PLATTING OF ANY LOTS **CURRENTLY LOCATED WITHIN FLOODPLAIN BOUNDARIES.** 

NO STRUCTURES OR SOLID FENCES ARE PERMITTED WITHIN THE DESIGNATED FLOODPLAIN AREA.

**UPPER BLACK SQUIRREL CREEK GROUNDWATER MANAGEMENT DISTRICT NOTE:** THE UPPER BLACK SQUIRREL CREEK (UBSC) GROUNDWATER MANAGEMENT DISTRICT REQUIRES THAT ANY GROUNDWATER DISCHARGED TO THE SURFACE OR INTO AN UNDERDRAIN SYSTEM MUST BE INFILTRATED BACK INTO THE GROUND. IT IS THE DEVELOPER'S RESPONSIBILITY TO COMPLY WITH THE UBSC DISTRICT REQUIREMENTS.

EL PASO COUNTY DOES NOT OWN AND IS NOT RESPONSIBLE FOR THE UNDERDRAINS OR GROUNDWATER DISCHARGE SYSTEMS SHOWN ON THESE PLANS AND ASSUMES NO LIABILITY FOR WATER RIGHTS ADMINISTRATION BY APPROVING THESE PLANS. MAINTENANCE AND WATER RIGHTS ARE THE RESPONSIBILITY OF THE DEVELOPER AND GRANDVIEW RESERVE METROPOLITAN DISTRICT.

LAND OWNER CERTIFICATION LAND OWNER CERTIFICATION In Witness Whereof HAS EXECUTED THESE PRESENTS THIS HAS EXECUTED THESE PRESENTS THIS DAY OF DAY OF 20\_\_\_A.D., A DELAWARE CORPORATION 20\_\_\_A.D., A DELAWARE CORPORATION PAUL HOWARD WILLIAM CARLISLE, VICE PRESIDENT OF LAND MELODY HOMES, INC. **4 SITE INVESTMENTS LLC COUNTY CERTIFICATION CLERK AND RECORDER** 

This PUD Development Plan and Preliminary Plan for Grandview Reserve Phase 3 was approve for filing by the El Paso County, Colorado Board of County Commissioners on the \_\_\_ \_\_\_, 20\_\_\_, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) will be accepted upon recordation of the final plat(s), but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement. **Chair, Board of County Commissioners** 

COUNTY OF EL PASO

hereby certify that this instrument was filed in my office on this \_\_\_\_ day of \_\_\_\_, 20\_\_, and was recorded at Reception Number \_ of the records of El Paso County.

El Paso County Clerk and Recorder Date

SPECIAL DISTRICT NOTES:
SPECIAL DISTRICT DISCLOSURE (WHEN THE PLAT IS LOCATED IN A SPECIAL DISTRICE)
A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE POBLIANTIFFACTORY TO THE PLANNING AND COMMUNITY REPORTMENT SHALL BE RECORDED WITH EACH PLAT

you removed the special District Disclosure note- please put it back this is with Grandview MD No \_

**Director, Planning and Community Development** 

LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY: <u>CVW</u> JOB DATE: PUD DEVELOPMENT PLAN OFFICIAL DRAWINGS APPROVED: KVH JOB NUMBER: <u>201662</u> IF NOT ONE INCH. CAD DATE: <u>10/17/2024</u> ADJUST SCALE ACCORDINGLY CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Cover\_PUD

NO. DATE BY REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920 PHONE: 719.300.4140 HRGreen FAX: 713.965.0044

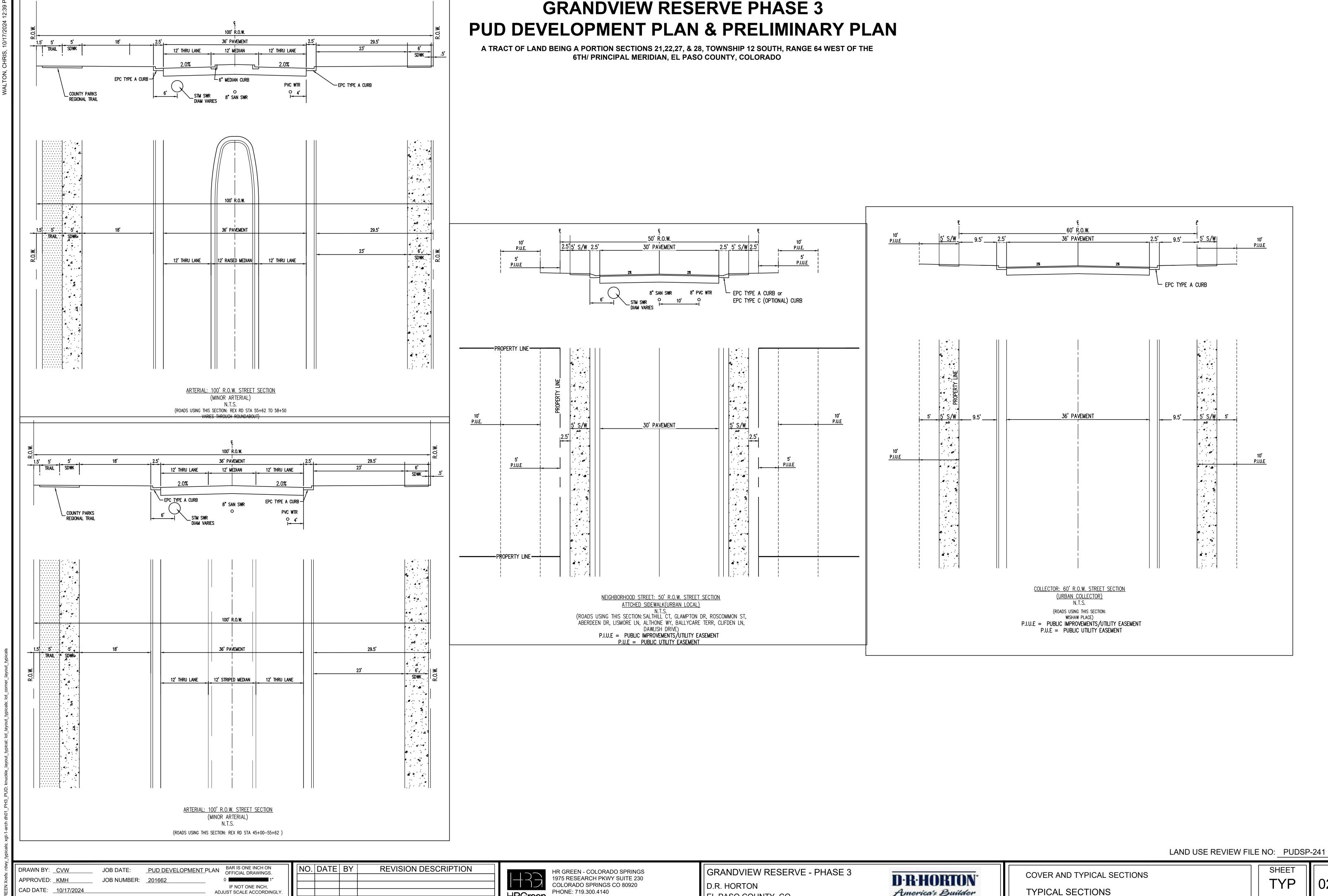
GRANDVIEW RESERVE - PHASE 3 D.R. HORTON

EL PASO COUNTY, CO

**D**·R·HORTON America's Builder

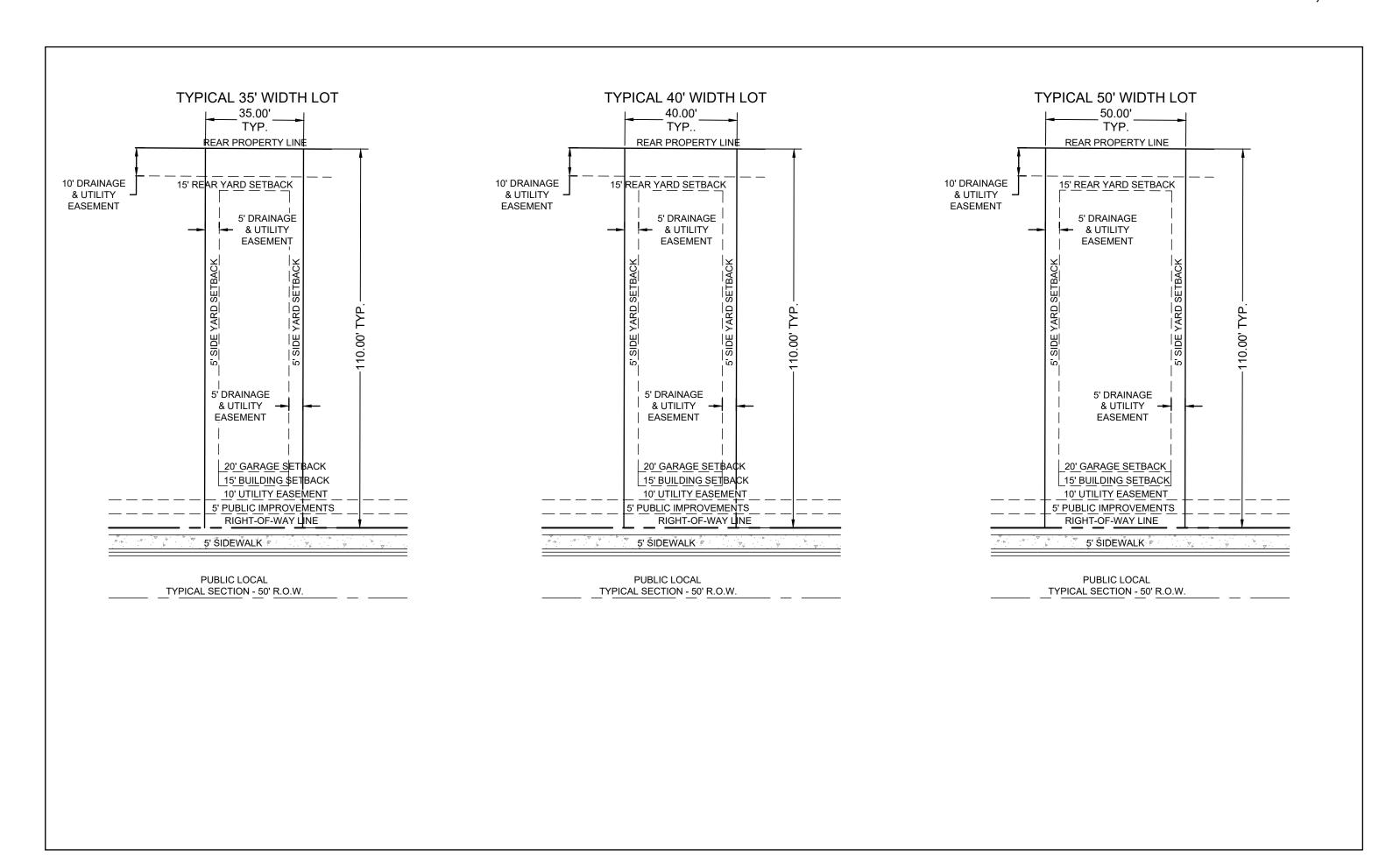
**COVER AND TYPICAL SECTIONS** 

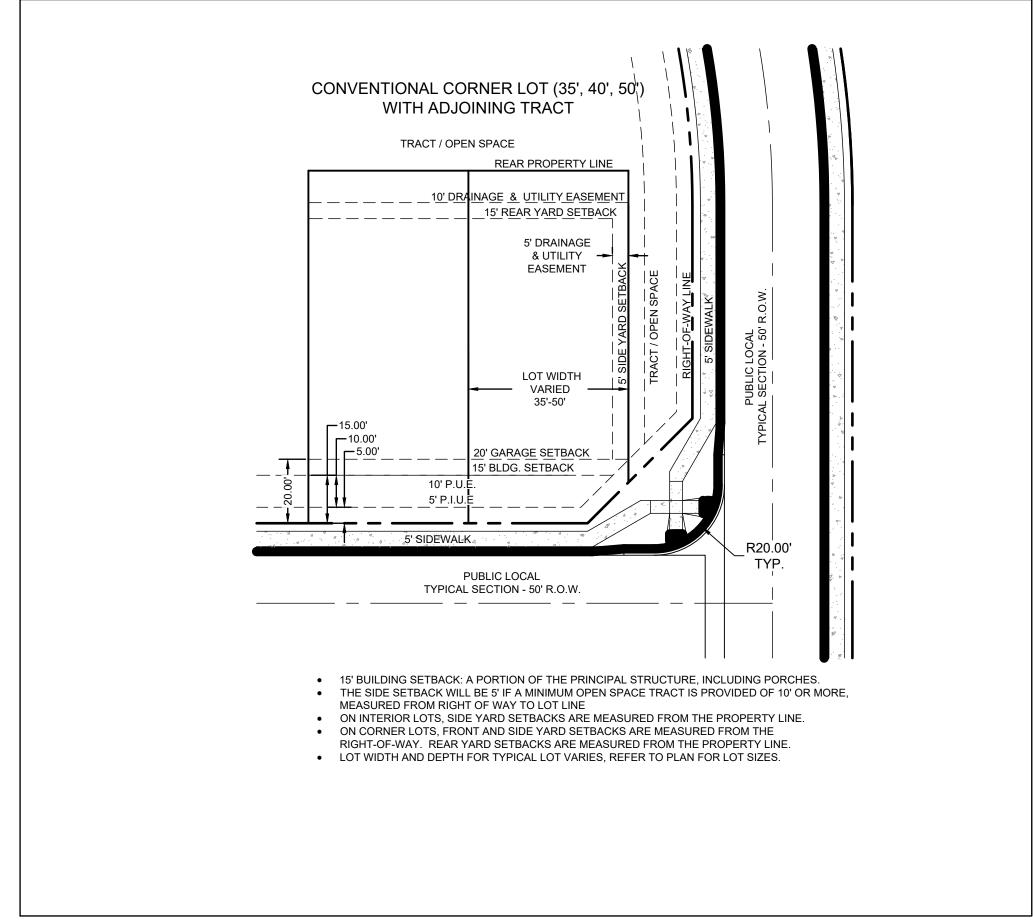
COVER SHEET

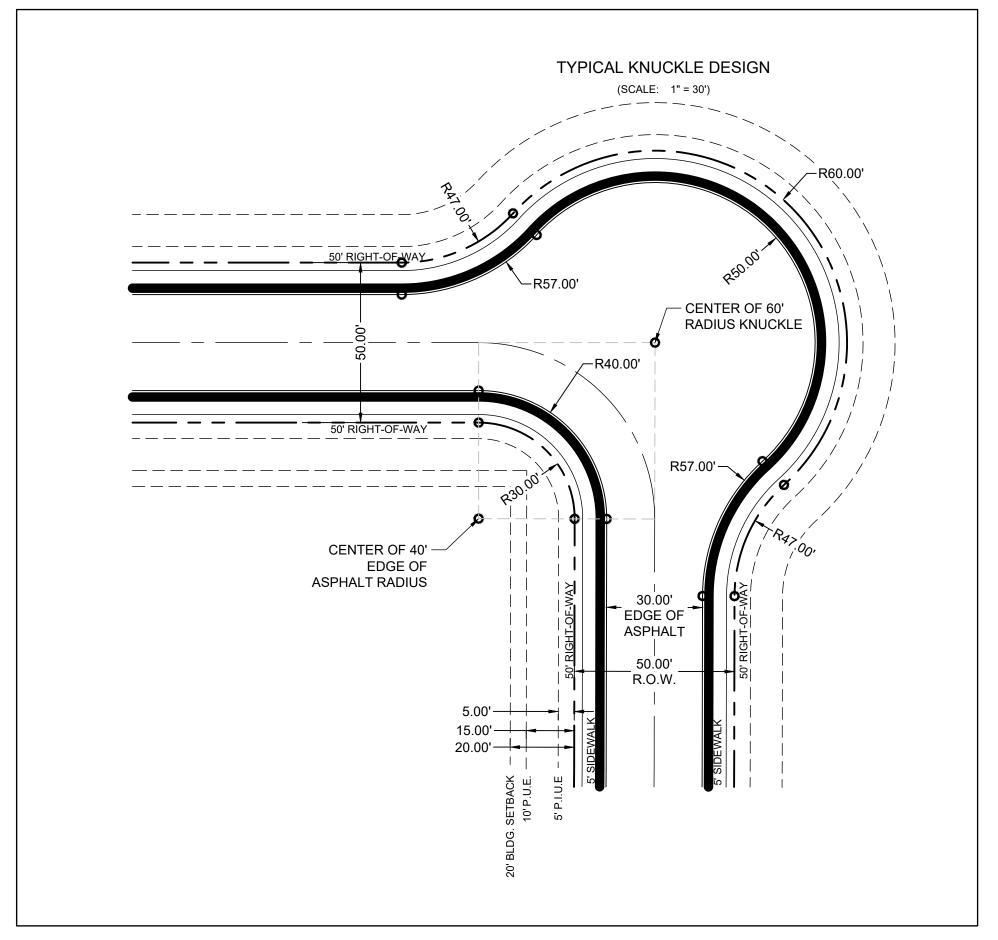


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A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO







LAND USE REVIEW FILE NO: PUDSP-241

JOB DATE: PUD DEVELOPMENT PLAN BAR IS ONE INCH ON OFFICIAL DRAWINGS. DRAWN BY: <u>CVW</u> JOB NUMBER: <u>201662</u> APPROVED: KMH IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. CAD DATE: <u>10/17/2024</u> CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Typ-Sections\_PUD

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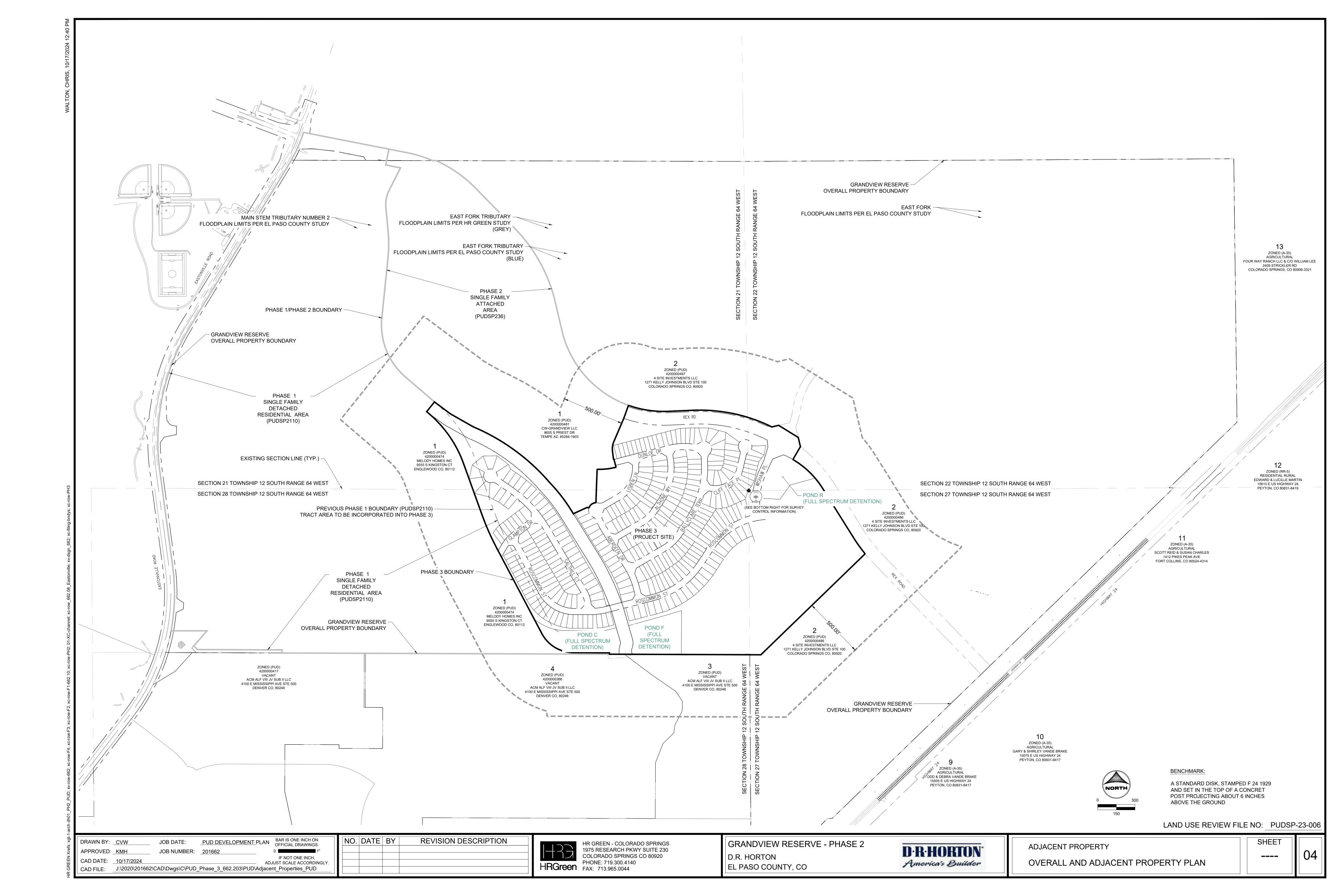
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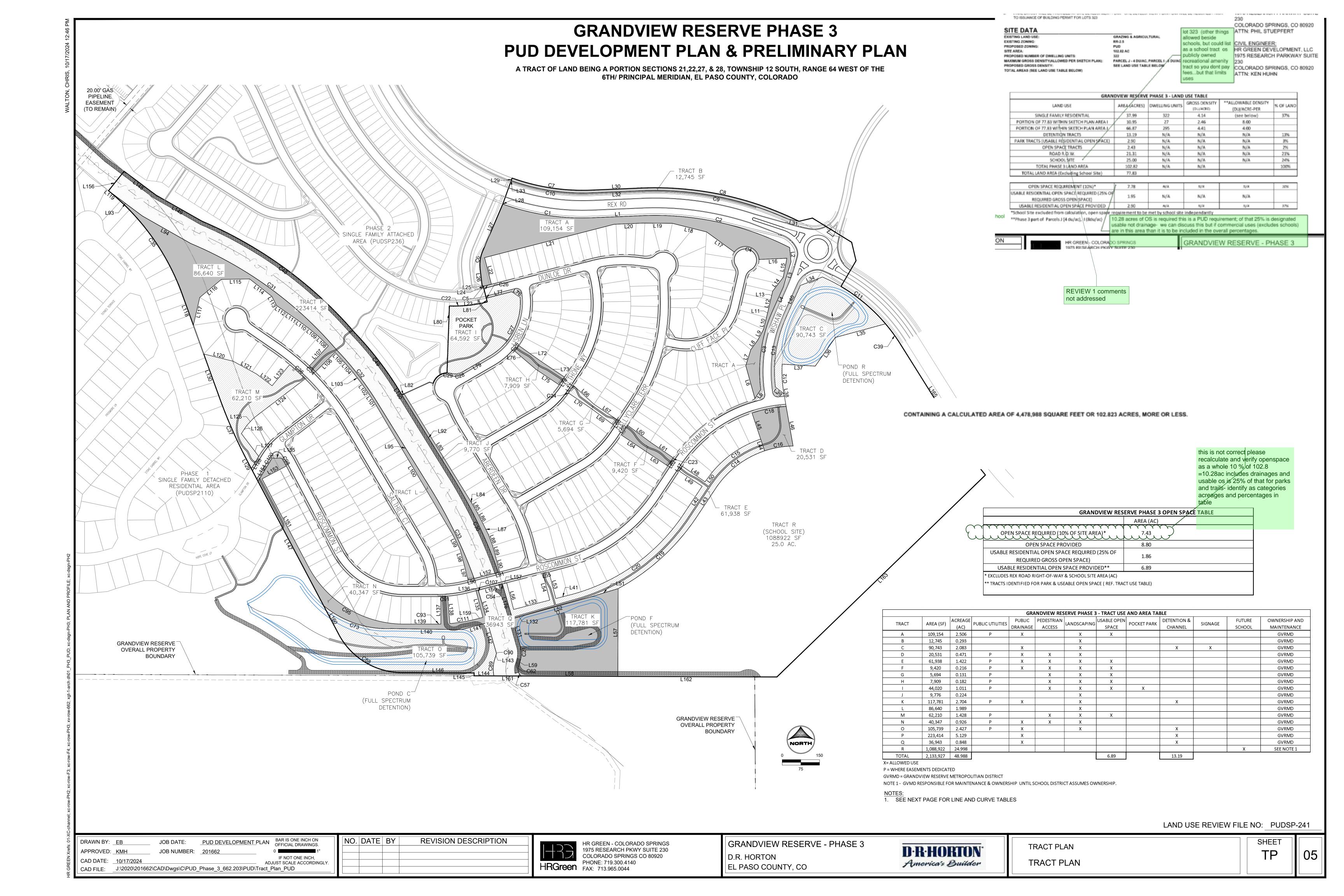
GRANDVIEW RESERVE - PHASE 3 D·R·HORTON D.R. HORTON EL PASO COUNTY, CO

America's Builder

COVER AND TYPICAL SECTIONS TYPICAL SECTIONS

SHEET \_\_\_\_





A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

	Line Table			
Line #	Length	Direction		
L1	202.47	N 87°36'38" E		
L2	58.08	S 5°14'50" E		
L3	104.27	S 16°57'43" W		
L4	101.59	S 24°12'01" W		
L5	42.20	S 33°32'34" W		
L6	136.34	N 15°33'32" W		
L7	67.31	N 17°20'16" E		
L8	48.57	N 36°06'41" E		
L9	48.57	N 27°55'10" E		
L10	48.47	N 13°49'18" E		
L11	39.03	N 13°33'35" E		
L12	35.00	N 13°04'02" E		
L13	35.00	N 13°04'02" E		
L14	70.06	N 37°16'32" E		
L15	77.93	N 10°56'07" E		
L16	112.00	S 87°26'30" W		
L17	137.63	N 54°00'30" W		
L18	141.66	N 75°54'01" W		
L19	117.87	N 89°29'22" W		
L20	116.36	S 87°36'38" W		
L21	537.50	S 75°34'07" W		
L22	110.00	S 14°25'53" E		
L23	32.19	S 75°34'07" W		
L24	0.01	N 14°14'45" W		
L25	5.87	N 54°32'52" W		

	Line Table			
Line #	Length	Direction		
L26	66.21	N 6°45'50" W		
L27	204.59	N 23°10'57" E		
L28	0.66	S 70°18'27" E		
L29	11.00	S 19°42'45" W		
L30	202.47	S 87°36'38" W		
L31	42.09	S 79°47'02" E		
L32	202.47	N 87°36'38" E		
L33	0.59	S 70°17'15" E		
L34	94.81	S 69°12'01" W		
L35	208.97	N 74°45'56" E		
L36	140.61	N 35°03'41" E		
L37	133.04	S 86°38'21" E		
L38	2.48	N 9°55'07" W		
L39	43.57	S 51°56'11" E		
L40	134.69	S 24°12'01" W		
L41	58.44	S 75°32'06" W		
L42	132.38	S 33°32'58" W		
L43	136.28	N 33°32'58" E		
L44	50.00	N 18°24'23" W		
L45	110.00	S 18°24'23" E		
L46	161.42	N 9°55'07" W		
L47	23.08	S 33°32'58" W		
L48	110.01	N 55°35'16" W		
L49	110.00	S 56°27'02" E		
L50	48.14	S 36°32'28" W		

	Line 1	able
Line #	Length	Direction
L51	122.35	S 73°08'10" W
L52	262.24	S 74°33'44" W
L53	110.00	N 14°27'54" W
L54	110.00	S 14°27'54" E
L55	25.00	S 75°32'06" W
L56	110.00	N 14°27'54" W
L57	352.64	N 0°12'52" E
L58	388.21	S 89°47'08" E
L59	24.17	S 15°57'12" W
L60	112.14	N 53°24'31" W
L61	112.00	N 55°39'27" W
L62	31.35	N 33°32'58" E
L63	112.00	S 56°27'02" E
L64	112.11	S 56°12'49" E
L65	46.55	S 33°47'11" W
L66	111.26	N 47°34'33" W
L67	110.00	N 56°12'49" W
L68	25.99	N 33°47'11" E
L69	110.28	S 53°23'24" E
L70	109.87	S 55°46'37" E
L71	33.95	S 33°47'11" W
L72	110.78	N 54°37'09" W
L73	111.00	N 56°12'49" W
L74	38.06	N 33°47'11" E
L75	112.29	S 56°12'49" E

Line #	Length	Direction
L101	54.31	S 32°22'56" E
L102	54.31	S 35°06'00" E
L103	54.31	S 37°50'30" E
L104	54.31	S 40°35'00" E
L105	54.31	S 43°19'30" E
L106	110.00	N 45°18'15" E
L107	110.00	S 43°23'54" W
L108	54.39	S 45°51'57" E
L109	54.40	S 50°42'51" E
L110	54.40	S 53°27'21" E
L111	50.89	S 55°19'18" E
L112	50.00	S 55°22'54" E
L113	41.58	S 27°19'07" E
L114	113.33	S 51°55'10" E
L115	113.33	N 89°08'18" E
L116	113.33	N 50°11'45" E
L117	114.56	N 12°55'13" E
L118	130.57	S 19°48'06" E
L119	29.46	S 49°18'05" E
L120	122.15	S 76°08'36" E
L121	106.55	S 61°23'04" E
L122	78.49	S 52°46'53" E
L123	110.00	N 39°49'08" E
L124	259.66	S 52°44'02" W
L125	39.80	S 43°10'53" W

Line Table			
ne#	Length	Direction	
126	40.25	S 33°53'31" W	
127	115.00	S 37°15'58" E	
128	57.35	S 31°14'26" W	
129	29.99	N 27°48'14" W	
130	177.71	N 19°48'06" W	
131	111.86	S 16°01'40" E	
132	57.23	S 73°58'20" W	
133	150.00	S 75°32'06" W	
134	124.54	N 16°01'40" W	
135	110.00	S 14°27'54" E	
136	9.03	S 75°32'06" W	
137	110.05	S 0°00'00" E	
138	110.00	N 4°47'12" W	
139	131.37	N 90°00'00" W	
140	281.84	N 89°06'25" W	
141	108.04	S 75°00'29" W	
142	124.54	N 16°01'40" W	
143	13.43	N 15°57'12" E	
144	79.51	S 89°47'08" E	
145	11.41	S 0°12'52" W	
146	289.10	S 89°44'32" E	
147	564.56	S 27°48'24" E	
148	159.27	N 53°13'21" W	
149	211.52	N 60°22'39" W	

L150 | 25.23 | N 31°44'28" W

Line Table			
Line #	Length	Direction	
L151	397.41	N 27°48'24" W	
L152	100.42	N 75°32'06" E	
L153	109.98	N 62°11'36" E	
L154	92.80	S 31°14'26" W	
L155	37.06	S 89°57'16" W	
L156	100.06	S 38°44'17" W	
L157	18.24	S 75°32'06" W	
L158	100.22	N 75°32'06" E	
L159	27.96	S 75°32'06" W	
L160	129.50	S 27°48'24" E	
L161	109.77	N 89°47'08" W	
L176	138.47	S 16°01'40" E	

	Curve Table			
Curve #	Length	Radius	Delta	
C1	365.80	950.00	22°03'42"	
C2	610.69	1195.00	29°16'49"	
С3	328.90	595.00	31°40'19"	
C4	135.78	55.00	141°27'00"	
C5	1.54	475.00	0°11'08"	
C6	74.48	142.50	29°56'47"	
C7	323.64	839.00	22°06'06"	
C8	652.98	1306.00	28°38'49"	
C9	607.02	1295.00	26°51'24"	
C10	327.29	850.00	22°03'42"	
C11	318.25	700.00	26°02'56"	
C12	117.04	505.00	13°16'46"	
C13	292.99	535.00	31°22'38"	
C23	8.17	590.00	0°47'36"	
C24	2.48	325.00	0°26'12"	
C25	27.77	300.00	5°18'11"	

Curve Table				
Curve #	Length	Radius	Delta	
C26	1.70	525.00	0°11'08"	
C27	281.84	250.00	64°35'32"	
C28	47.02	60.00	44°54'02"	
C29	16.87	63.08	15°19'06"	
C30	408.21	2040.27	11°27'48"	
C31	730.90	1568.20	26°42'15"	
C32	271.37	1263.49	12°18'22"	
C33	378.63	1940.27	11°10'51"	
C34	34.10	1025.00	1°54'21"	
C35	489.12	950.00	29°29'59"	
C36	84.34	975.00	4°57'22"	
C37	291.22	2052.58	8°07'45"	
C48	768.52	1668.20	26°23'43"	
C49	289.82	1363.49	12°10'43"	
C54	6.62	2040.27	0°11'09"	
C57	21.07	27.79	43°25'39"	

LAND USE REVIEW FILE NO: PUDSP-241

JOB DATE: PUD DEVELOPMENT PLAN BAR IS ONE INCH ON OFFICIAL DRAWINGS.

JOB NUMBER: 201662 0 1" DRAWN BY: <u>EB</u> APPROVED: <u>KMH</u> JOB NUMBER: <u>201662</u> IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY. CAD DATE: <u>10/17/2024</u> CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Tract\_Plan\_PUD

NO. DATE BY REVISION DESCRIPTION

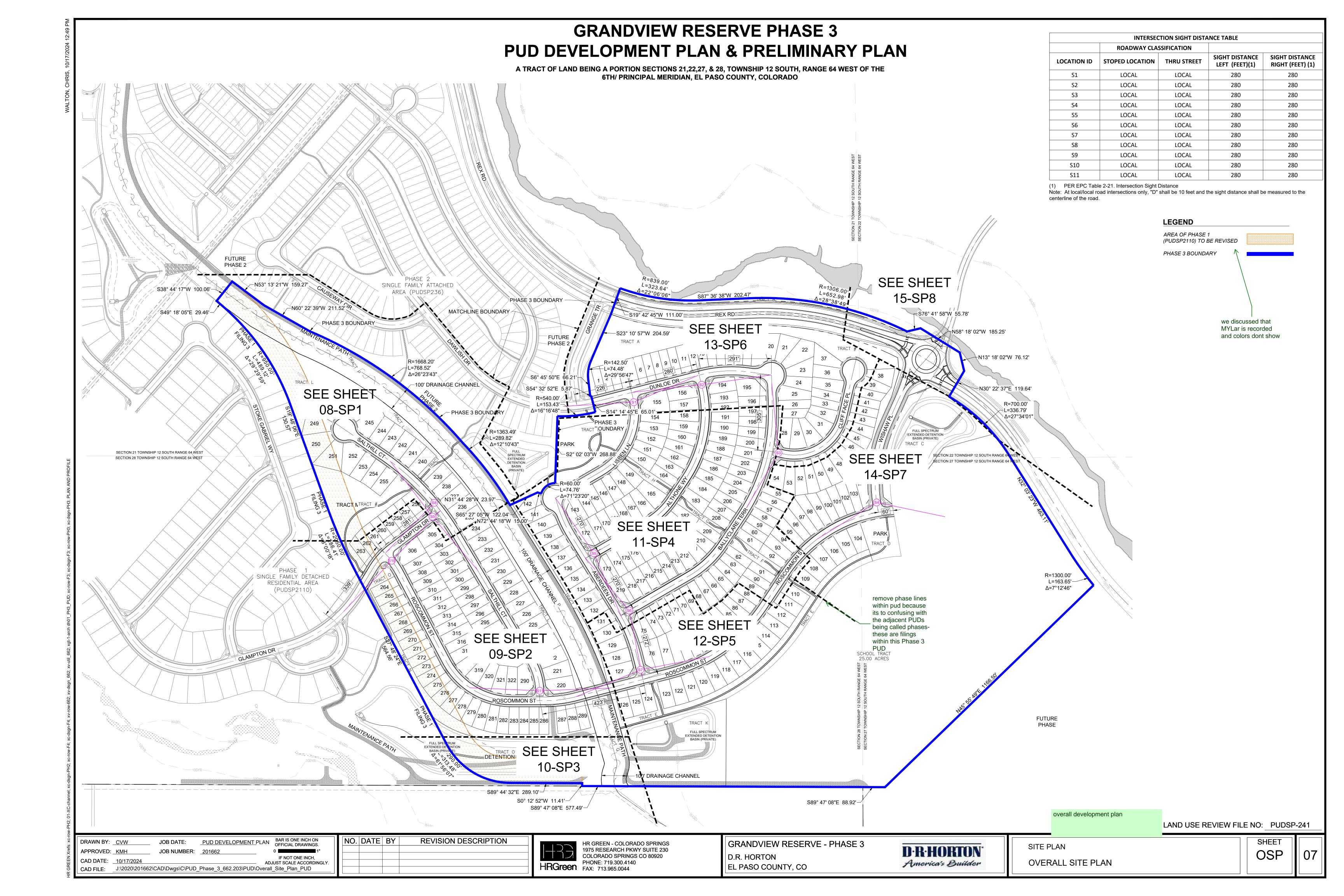


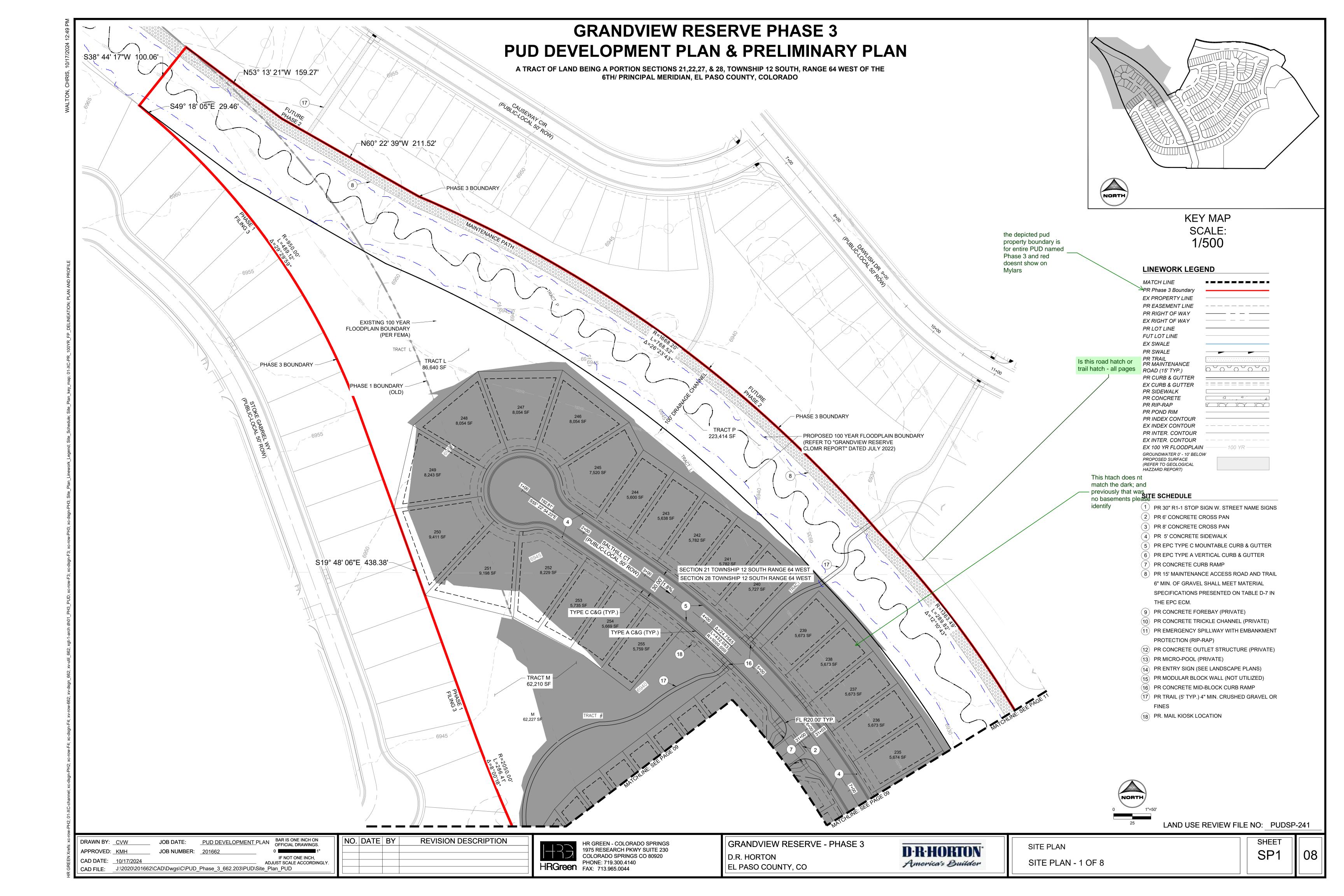
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

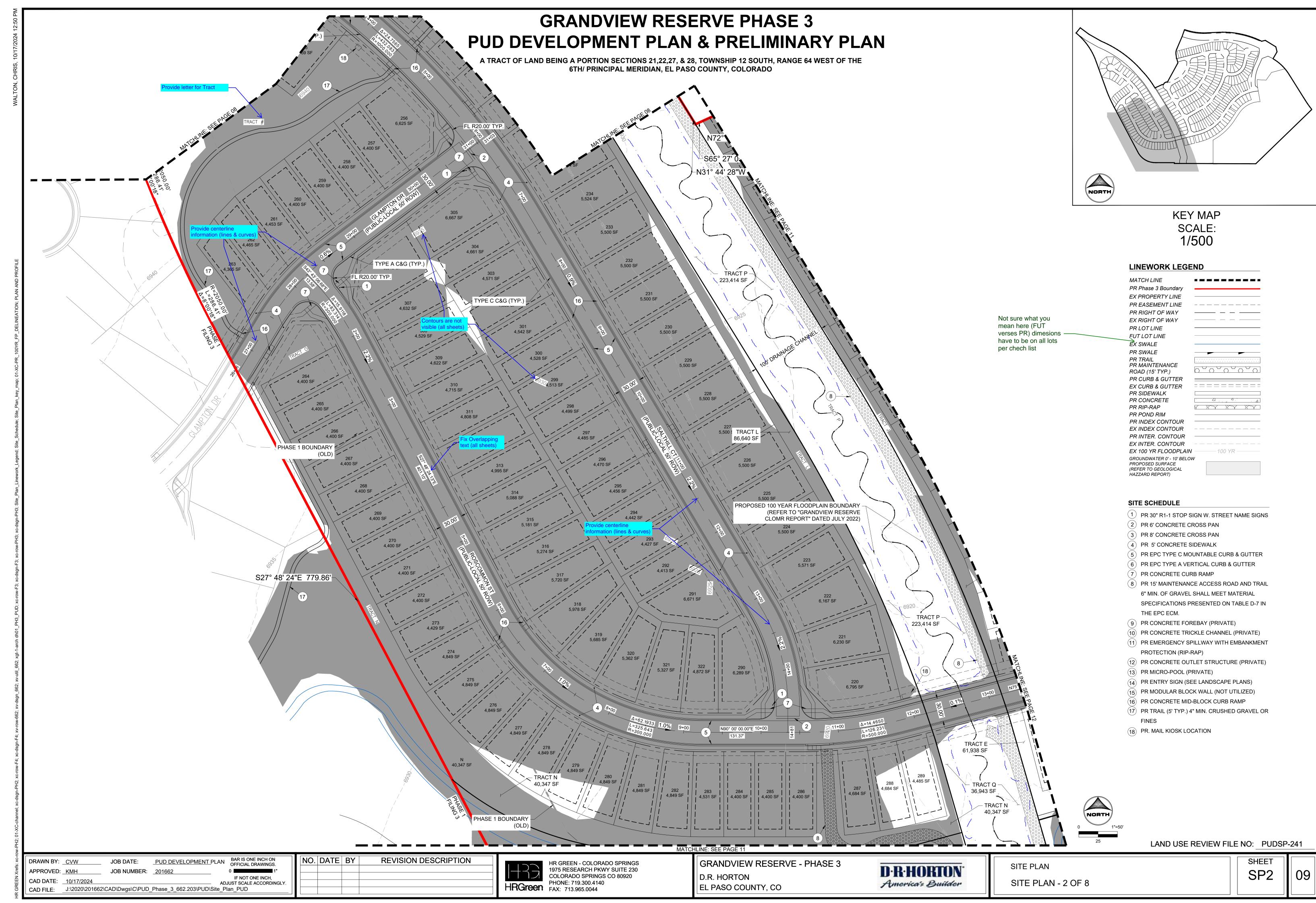
GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO



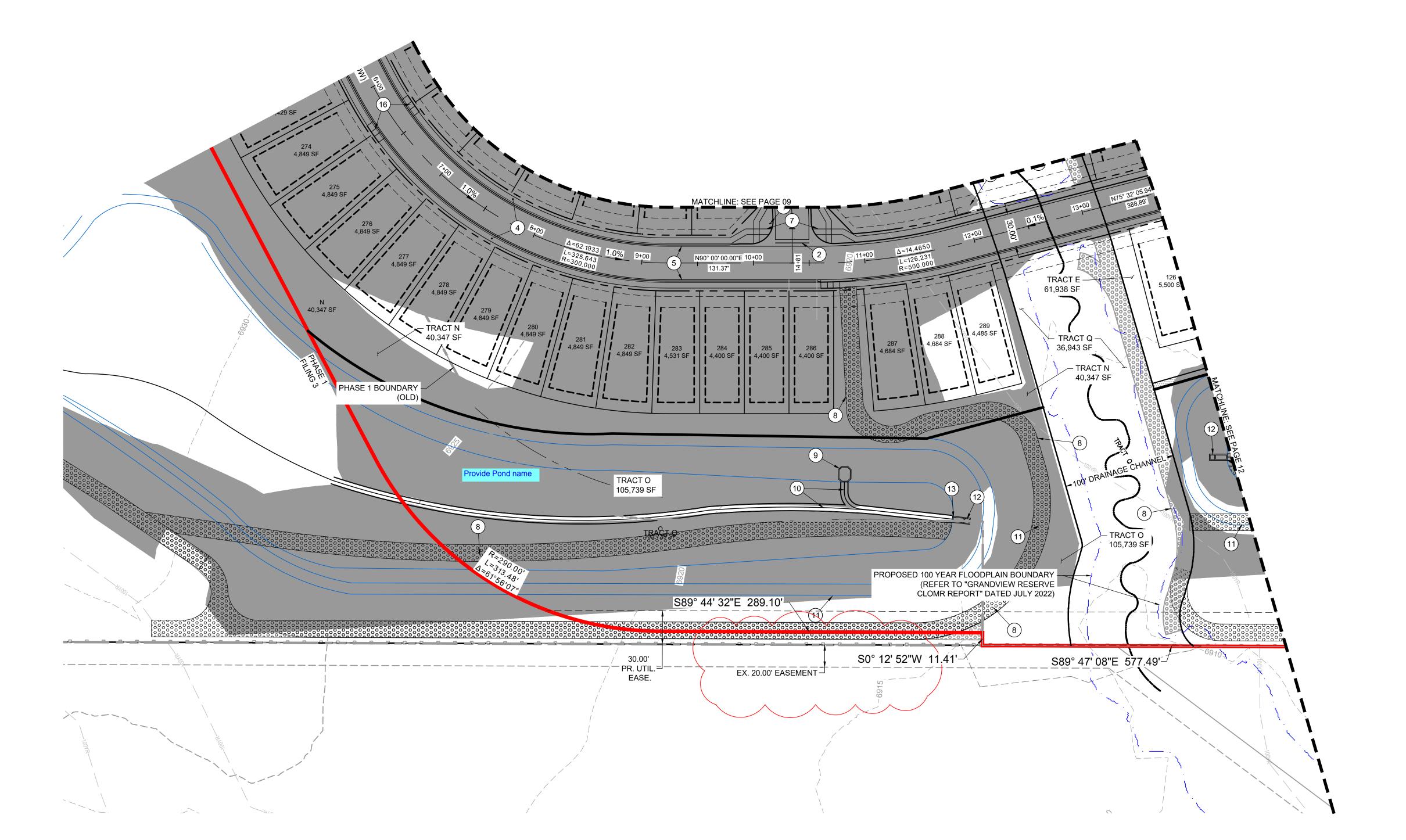
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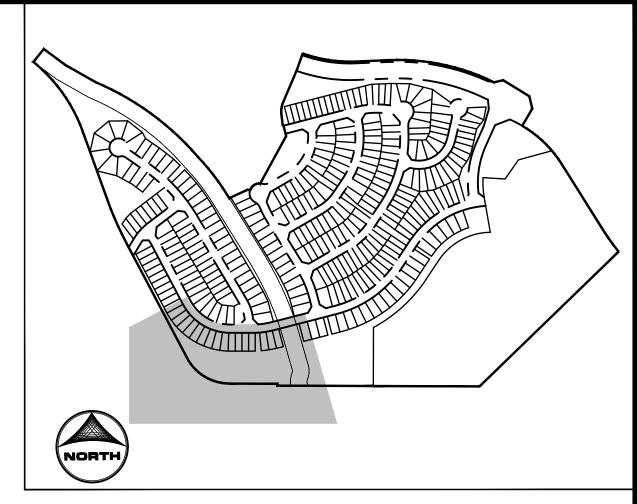






A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP SCALE: 1/500

#### LINEWORK LEGEND

MATCH LINE	
PR Phase 3 Boundary	
EX PROPERTY LINE	
PR EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
FUT LOT LINE	
EX SWALE	
PR SWALE	
PR TRAIL	
PR MAINTENANCE	
ROAD (15' TYP.)	6-6-6-6
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	Δ Δ. Δ.
PR RIP-RAP	Y XY XY XY
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	100 VD
EX 100 YR FLOODPLAIN GROUNDWATER 0' - 10' BELOV	100 YR
PROPOSED SURFACE	V
(REFER TO GEOLOGICAL	
HAZZARD REPORT)	

### SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- (2) PR 6' CONCRETE CROSS PAN
- (3) PR 8' CONCRETE CROSS PAN
- (4) PR 5' CONCRETE SIDEWALK
- (5) PR EPC TYPE C MOUNTABLE CURB & GUTTER
- (6) PR EPC TYPE A VERTICAL CURB & GUTTER
- (7) PR CONCRETE CURB RAMP
- (8) PR 15' MAINTENANCE ACCESS ROAD AND TRAIL 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9) PR CONCRETE FOREBAY (PRIVATE)
- (10) PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- (11) PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- (12) PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- (13) PR MICRO-POOL (PRIVATE)
- (14) PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- (15) PR MODULAR BLOCK WALL (NOT UTILIZED)
- (16) PR CONCRETE MID-BLOCK CURB RAMP
- (17) PR TRAIL (5' TYP.) 4" MIN. CRUSHED GRAVEL OR
- 18) PR. MAIL KIOSK LOCATION



LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY: <u>CVW</u> APPROVED: KMH CAD DATE: <u>10/17/2024</u>

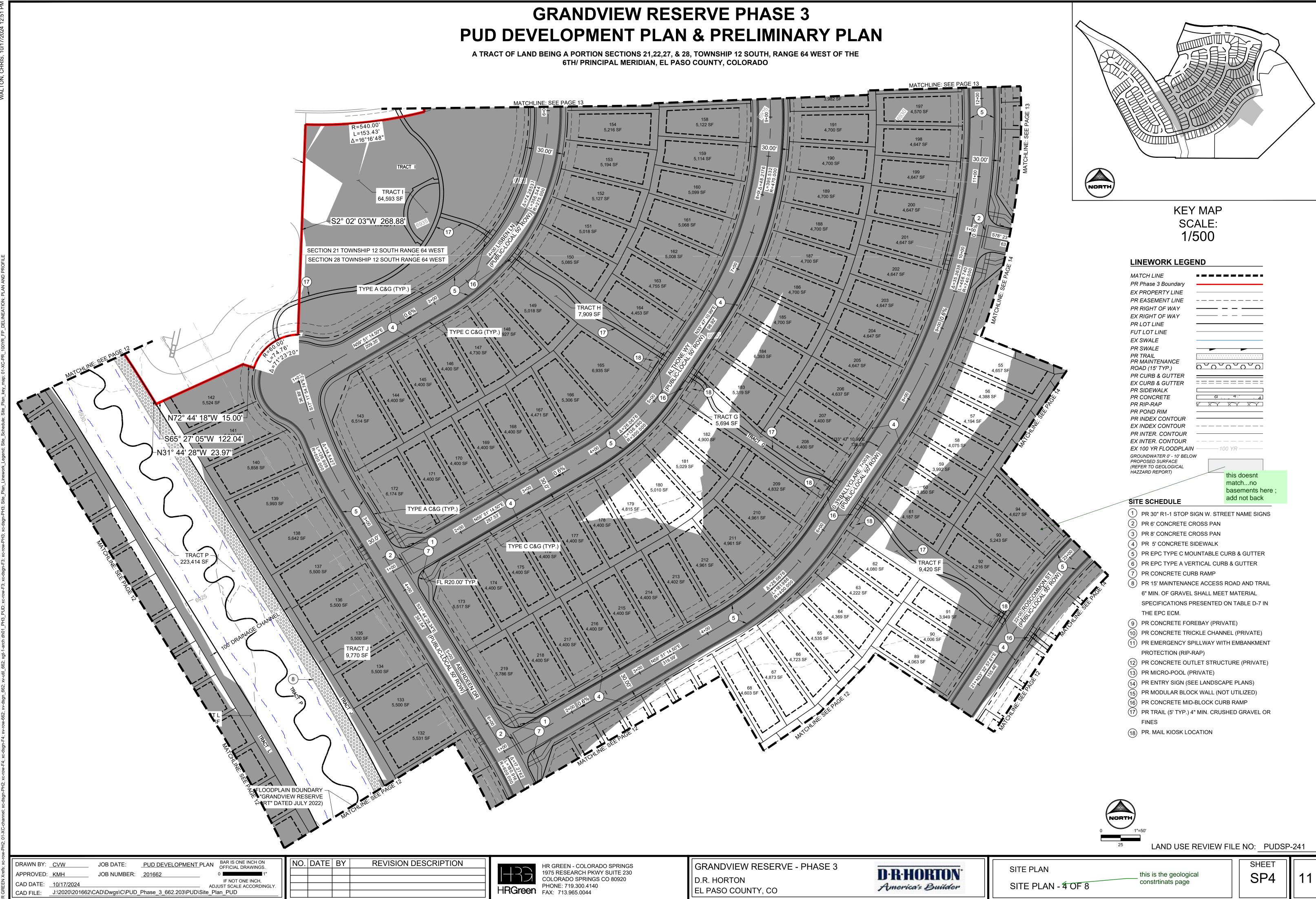
PUD DEVELOPMENT PLAN BAR IS ONE INCH ON OFFICIAL DRAWINGS. NO. DATE BY REVISION DESCRIPTION JOB DATE: JOB NUMBER: <u>201662</u> IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Site\_Plan\_PUD

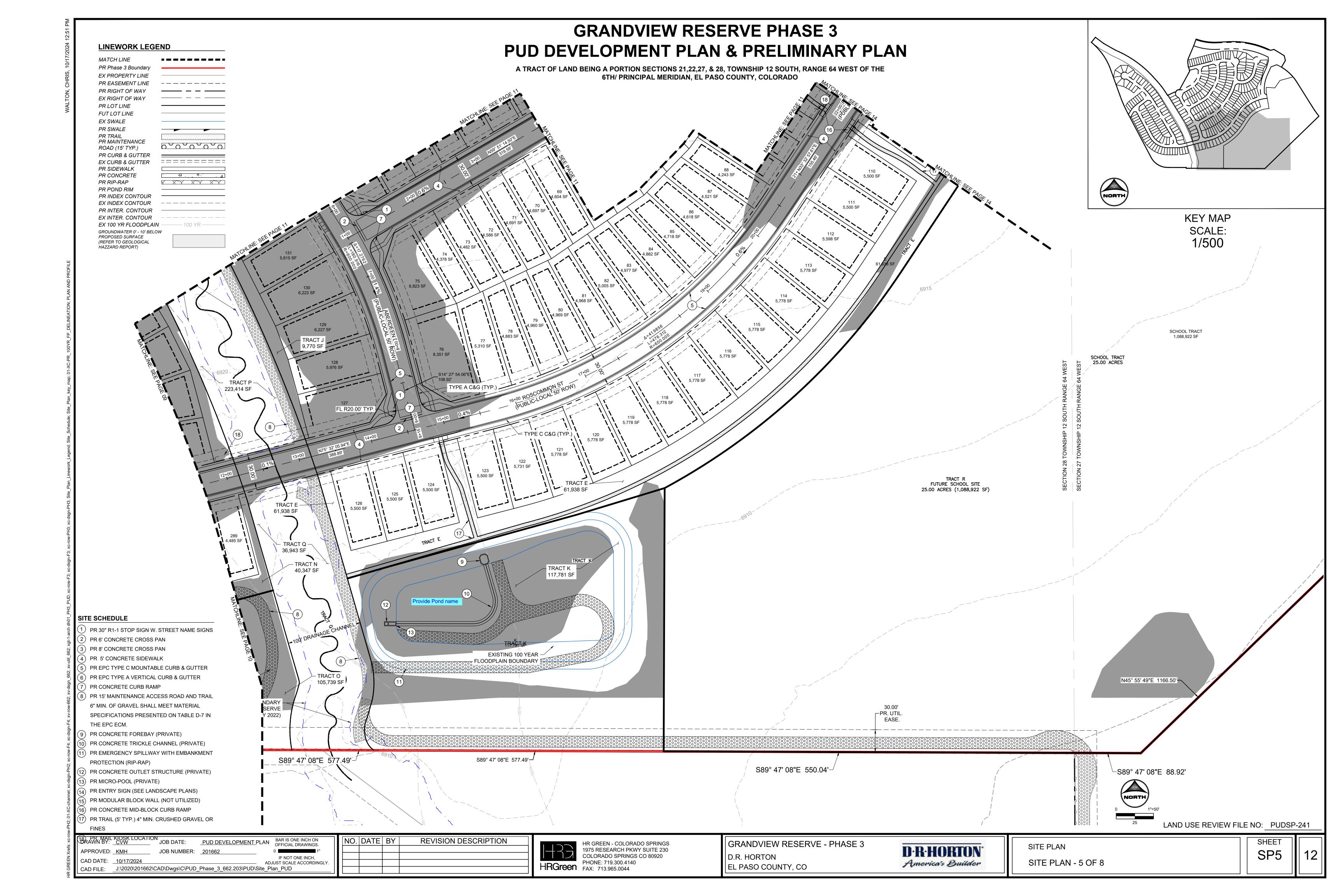
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

D·R·HORTON America's Builder

SITE PLAN SITE PLAN - 3 OF 8





A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

TRACT B

– TRACT B 12,745 SF

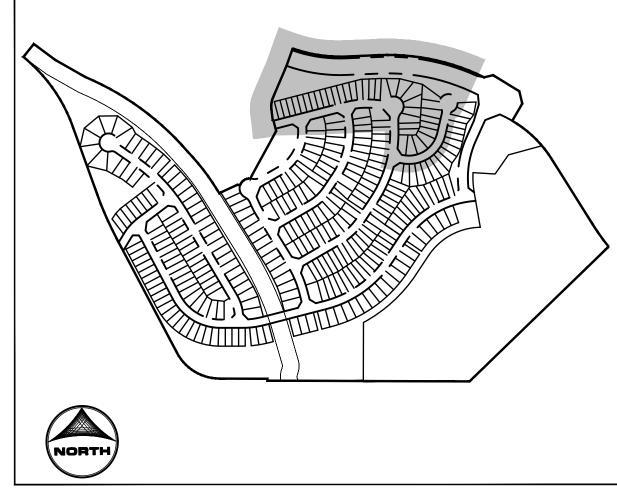
4,527 SF

- FLOODPLAIN BASED ON HR GREEN STUDY

195 7,533 SF

FLOODPLAIN BASED ON EL PASO COUNTY STUDY

S87° 36' 38"W 202.47'



KEY MAP SCALE: 1/500

### LINEWORK LEGEND

MATCH LINE PR Phase 3 Boundary EX PROPERTY LINE PR EASEMENT LINE PR RIGHT OF WA EX RIGHT OF WA PR LOT LINE **FUT LOT LINE** EX SWALE PR SWALE PR TRAIL PR MAINTENANCE ROAD (15' TYP.) PR CURB & GUTTER EX CURB & GUTTER PR SIDEWALK PR CONCRETE PR POND RIM PR INDEX CONTOUR EX INDEX CONTOUR PR INTER. CONTOUR EX INTER. CONTOUR

### SITE SCHEDULE

HAZZARD REPORT)

GROUNDWATER 0' - 10' BELOW

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2) PR 6' CONCRETE CROSS PAN
- 3 PR 8' CONCRETE CROSS PAN
- (4) PR 5' CONCRETE SIDEWALK
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- PR CONCRETE MID-BLOCK CURB RAMP
- (17) PR TRAIL (5' TYP.) 4" MIN. CRUSHED GRAVEL OR FINES
- 18) PR. MAIL KIOSK LOCATION



LAND USE REVIEW FILE NO: PUDSP-241

SHEET

TION

HRGre

6,050 SF

156 5,746 SF

5,100 SF

TYPE A C&G (TYP.

7,907 SF

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3

D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

TRACT #

6,014 SF

SITE PLAN
SITE PLAN - 6 OF 8

- TRACT B 12,745 SF

SP6

┌S19° 42' 45"W 111.00'

TRACT A

-S23° 10' 57"W\_204.59'

S6° 45' 50"E 66.21'

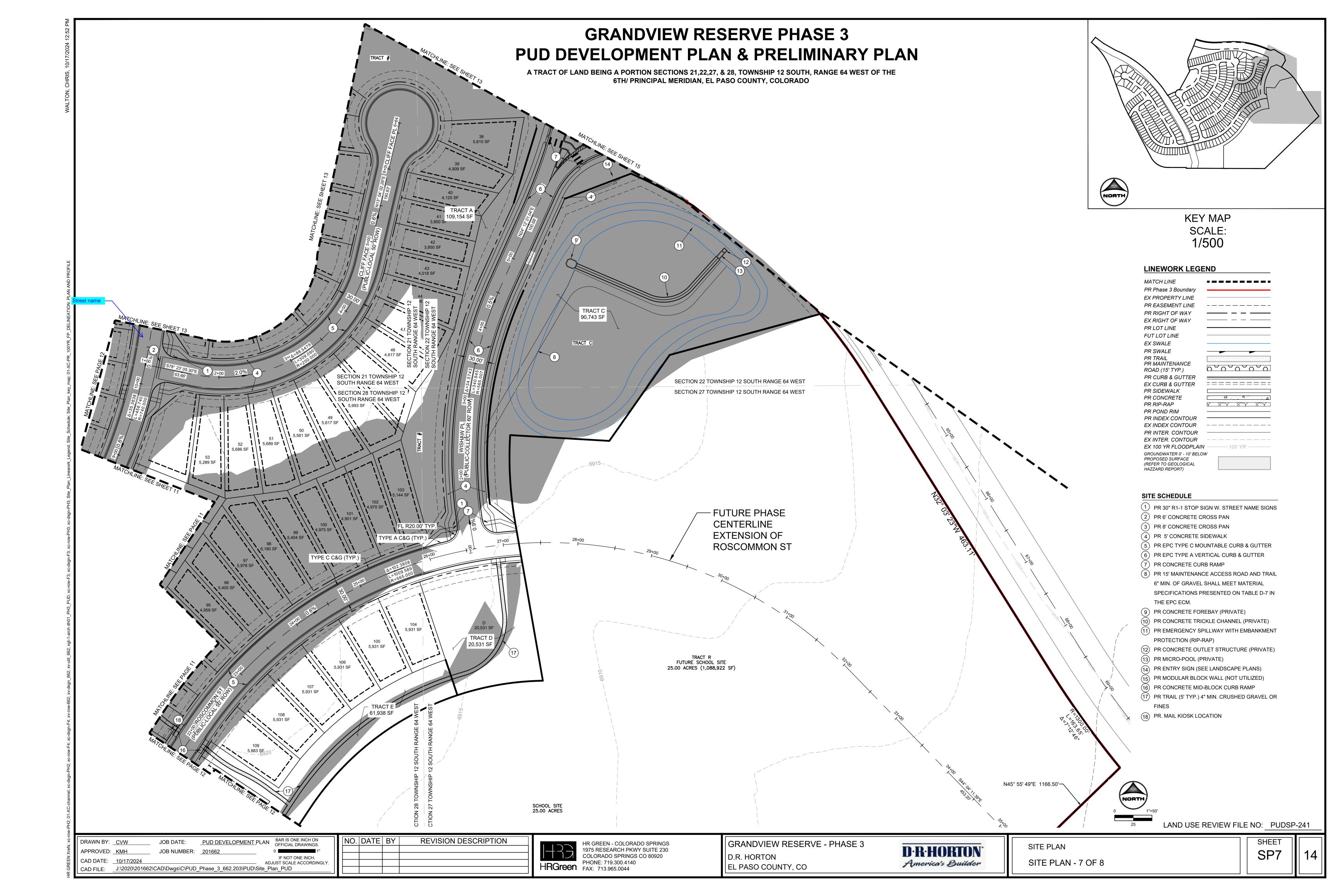
S54° 32' 52"E 5.87'

S14° 14' 45"E 65.01'

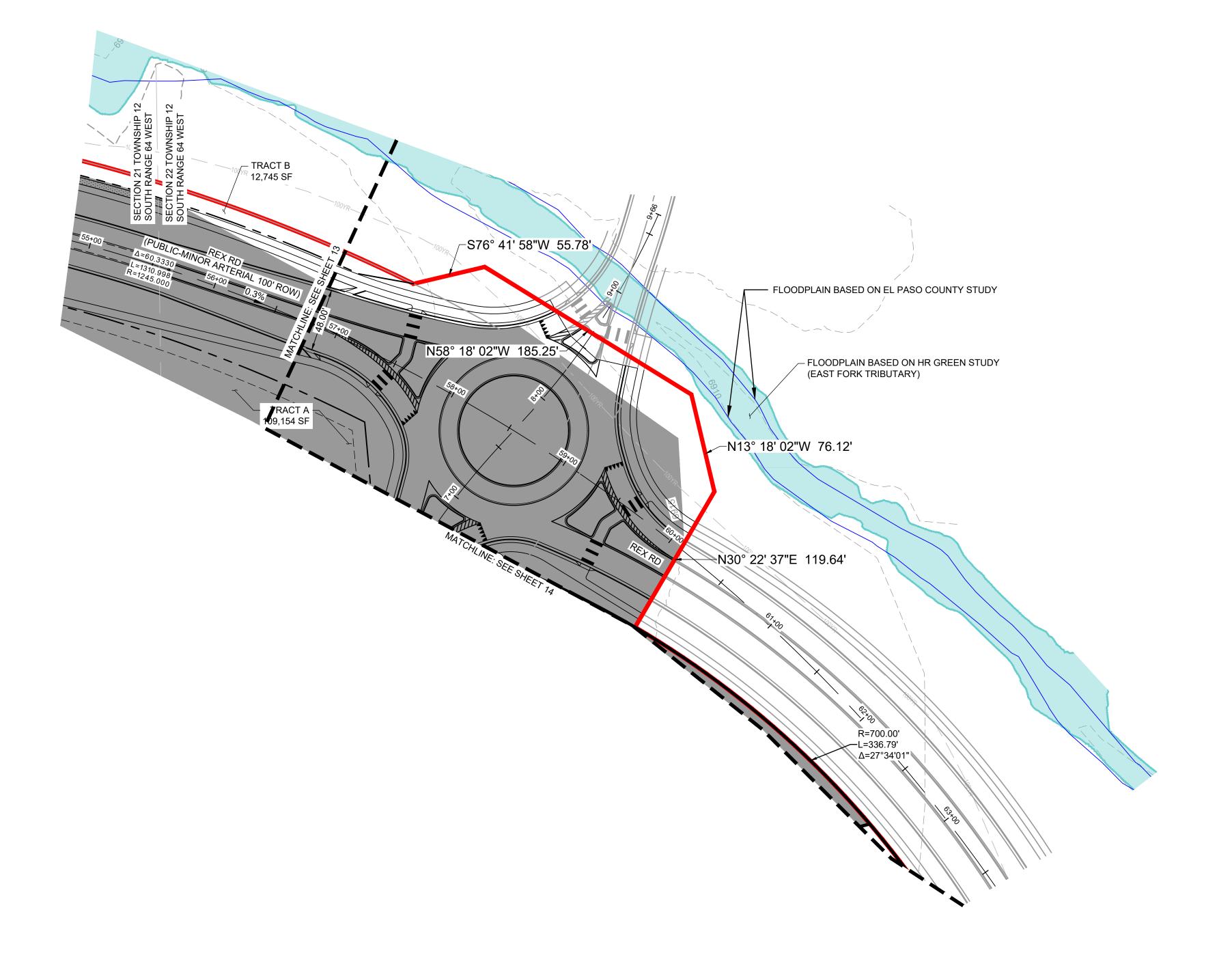
PHASE 2

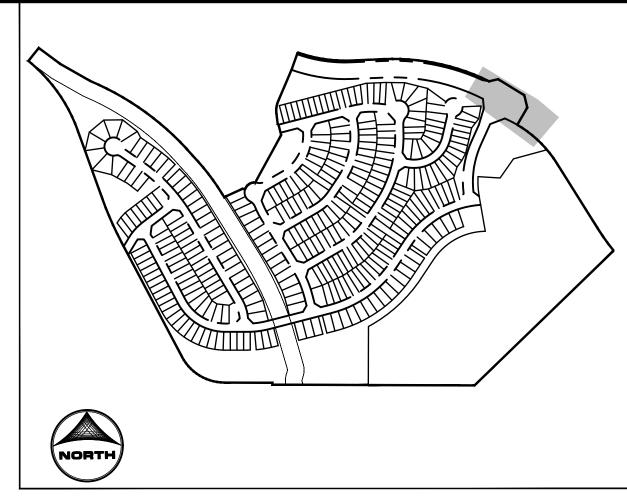
PHASE 3 BOUNDARY

TRACT A -109,154 SF



A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





**KEY MAP** SCALE: 1/500

#### LINEWORK LEGEND

LINEWORK LEGE	ND
MATCH LINE	
PR Phase 3 Boundary	
EX PROPERTY LINE	
PR EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
FUT LOT LINE	
EX SWALE	
PR SWALE	
PR TRAIL PR MAINTENANCE ROAD (15' TYP.)	$\begin{bmatrix} & & & & & & & & & & & & & & & & & & &$
PR CURB & GUTTER	
EX CURB & GUTTER	========
PR SIDEWALK	
PR CONCRETE	Δ Δ
PR RIP-RAP	Y XY XY
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
EX 100 YR FLOODPLAIN	100 YR
GROUNDWATER 0' - 10' BELOV PROPOSED SURFACE	V
(REFER TO GEOLOGICAL HAZZARD REPORT)	

### SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
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LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY:	CVW	JOB DATE:	PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED:	KMH	JOB NUMBER:	201662	0 1"
CAD DATE:	10/17/2024		AI	IF NOT ONE INCH, DJUST SCALE ACCORDINGLY.
CAD FILE:	J:\2020\201662\C	AD\Dwgs\C\PUD_	Phase_3_662.203\PUD\Site_F	Plan_PUD

	NO.	DATE	BY	REVISION DESCRIPTION
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HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
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GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

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SITE PLAN SITE PLAN - 8 OF 8

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

#### SHEET INDEX:

SHEET 16 - LANDSCAPE COVER SHEET 17 - LANDSCAPE PLAN (OVERALL) SHEET 18-33 - LANDSCAPE PLAN SHEET 34-35 - LANDSCAPE DETAILS

### GENERAL LANDSCAPE PLAN NOTES:

- 1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE METRO DISTRICT OR HOA (HOME OWNERS ASSOCIATION). ALL INTERNAL LANDSCAPE AND OPEN SPACE SHALL BE OWNED AND MAINTAINED BY THE METRO DISTRICT OR HOA (HOME OWNERS ASSOCIATION) AFTER INSTALLATION.
- 2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- 3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- 4. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
- 5. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- 6. REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
- 7. STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE
- 8. STREET TREES, STREETSCAPE IMPROVEMENTS, AND VEGETATION WITHIN THE COUNTY ROW SHALL BE OWNED BY THE COUNTY AND MAINTAINED BY THE CURRENT PROPERTY OWNER.

#### **IRRIGATION:**

1. ALL SHRUBS AND TREES SHALL BE DRIP IRRIGATED. ALL TREES LOCATED WITHIN SEEDING AREAS SHALL BE WATERED BY A DRIP VALVE

#### SHRUB/TREE PLANTING NOTES:

- 1. OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
- 2. ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES AND PERENNIALS AS SPECIFIED. OBTAIN OWNERS REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- 3. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE FREE, AND BE TYPICAL OF THE SPECIES.
- 4. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
- 5. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNERS'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
- 6. PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE.
- 7. PLANTS BED RECEIVING 3" DEPTH MIN. ROCK WOOD ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND ROCK MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
- 8. POROUS WEED BARRIER FABRIC SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
- 9. USE TRIANGULAR SPACING IN ALL GROUNDCOVER AND PERENNIAL BEDS
- 10. THE CONTRACTOR SHALL PROVIDE WATER, WATERING DEVICES, AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.

### SODDING & SEEDING:

- 1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
- 2. ALL PROPOSED TURF AND PLANTING AREAS ARE TO BE ROTO-TILLED TO A DEPTH OF 8". FINE GRADE, AND REMOVE ALL CONSTRUCTION DEBRIS AND ROCKS OVER 1" IN DIAMETER FROM THE SITE 3. AFTER TILLING APPLY SOIL AMENDMENTS & FERTILIZERS TO ALL TURF AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY
- 4. FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- 5. ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1" DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- 6. ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEE VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE, CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS. 7. SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULED DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEING DATE.
- 9. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER. SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED FOR REVEGETATION. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE DISTURBED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. WHERE FEASIBLE, RANGELAND DRILL SEEDING COMBINED WITH A COVER OF CRIMPED HAY MULCH OR HYDRO-MULCH IS THE REQUIRED METHOD.
  - 9.1 SLOPES LESS THAN 3:1 SEED SHALL BE PLANTED USING A RANGELAND DRILL WITH A SMALL SEED/LEGUME BOX AND AN AGITATOR BOX FOR FLUFFY OR BULKY SEED. SEED ROWS SHALL BE SPACED 7-10 INCHES APART, AND PLANTED TO 0.5 TO 0.75 INCHES DEEP. THE DRILL SHALL HAVE DOUBLE-DISL FURROW OPENERS WITH DEPTH BANDS AND PACKER WHEELS. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
  - 9.2 SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE SEED SHALL BE BROADCAST BY HAND, MECHANICAL SPREADER, OR HYDRO-SEEDING EQUIPMENT. BROADCAST SEEDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES. SLOPES GREATER THAN 3:1 SHALL HAVE EROSION CONTROL BLANKET AFTER SEEDING. REFER TO ENGINEERING SHEETS FOR EROSION CONTROL APPLICATIONS.
- 9.2.1. FOR AREAS LARGER THAN 0.1 ACRE-HYDRO-SEEDING SHALL BE USED. THE SEED SHALL NOT BE TANK MIXED WITH THE HYDRO-MULCH AND BROADCAST.
- 9.2.2. BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
- 10. MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEE GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED AT 2,000 POUNDS/ACRE ON SLOPES LESS THAN 3:1. ON STEEPER SLOPES, A MULCHING RATE OF 2,500 POUNDS/ACRE
- 11. NATIVE HAY OR STRAW SHALL BE CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES. AN ORGANIC TACKIFIER SHALL BE USED TO HOLD THE HAY OR STRAW IN PLACE IF THE CRIMPING RESULTS ARE INSUFFICIENT. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED
- 12. FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER. MULCH SEEDED AREAS WITH WOOD CELLULOSE FIBER MULCH WITHIN 24 HOURS OF SEEDING. APPLY MULCH TACKIFIER AT RATE RECOMMENDED BY MANUFACTURER'S RECOMMENDATIONS.
- 13. SUPPLEMENTAL IRRIGATION SHALL NORMALLY NOT BE NECESSARY OR REQUIRED IF THE SEEDING IS ACCOMPLISHED DURING THE PREFERRED PLANTING PERIODS. HOWEVER, IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE A RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
- 14. APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PROCEDURES GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDED DURING THE SAME SEASON.

SYMBOL	CODE	OTY	POTANICAL / COMMACNI NIAME	DI ANITINO OLZE	MATURE LICIOUT	MATI IDE MUSTI
LCIDITO''	CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	MATURE HEIGHT	MATURE WIDTH
ECIDUOUS	S TREES					
{ }	со	13	CELTIS OCCIDENTALIS / COMMON HACKBERRY	2.5" CAL.	40 - 65ft. ht.	40 - 65ft. w.
4						
	GI	11	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' / SKYLINE® HONEY LOCUST	2.5" CAL.	40 - 65ft. ht.	25 - 40ft. w.
A Service of the serv		' '	GEEDITON TIME ON THE CONTROL OF THE	2.0 0/12.	40 COIL HL	20 +oit. w.
00000000						
	GD	9	GYMNOCLADUS DIOICUS 'ESPRESSO' / KENTUCKY COFFEETREE	2.5" CAL.	40 - 65ft. ht.	25 - 40ft. w.
775						
74	KP	6	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	2.5" CAL.	25 - 40ft. ht.	25 - 40ft. w.
7						
	QA	8	QUERCUS ACUMINATA / CHINKAPIN OAK	2.5" CAL.	25 - 40ft. ht.	25 - 40ft. w.
	QA.		QUEITOGG ACCIVITATA / CITIIVITAL IIV CAIT	Z.5 OAL.	20 - 40it. Iit.	25 - 40it. w.
	TC	9	TILIA CORDATA / LITTLELEAF LINDEN	2.5" CAL.	40 - 65ft. ht.	25 - 40ft. w.
EVERGREEN	N TREES					
5.3	JS	15	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	6` HT.	25 - 40ft. ht.	10 - 15ft. w.
Tun?						
	PB	17	PICEA PUNGENS GLAUCA / COLORADO BLUE SPRUCE	6` HT.	40 - 65ft. ht.	25 - 40ft. w.
AND YELL						
	PL	15	PINUS FLEXILIS / LIMBER PINE	6` HT.	40 - 65ft. ht.	25 - 40ft. w.
THE STATE OF THE S						
	PN	17	PINUS NIGRA / AUSTRIAN PINE	6` HT.	40 - 65ft. ht.	25 - 40ft. w.
	FIN	17	FINOS NIGRA / AUSTRIAN FINE	О ПТ.	40 - 6511. 111.	25 - 40II. W.
W.						
5	PP	23	PINUS PONDEROSA / PONDEROSA PINE	6` HT.	> 65ft. ht.	25 - 40ft. w.
<u> </u>						
	PT	15	PINUS STROBIFORMIS / SOUTHWESTERN WHITE PINE	6` HT.	40 - fft. ht.	25 - 40ft. w.
ORNAMENT	AL TREES	3				
	AT	6	ACER TATARICUM / TATARIAN MAPLE	1.5" CAL.	15 - 25ft. ht.	15 - 25ft. w.
<del>\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\</del>						
	MS	6	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	1.5" CAL.	15 - 25ft. ht.	15 - 25ft. w.
	PC	6	PRUNUS CERASIFERA 'NEWPORT' / NEWPORT FLOWERING PLUM	1.5" CAL.	25 - 40ft. ht.	15 - 25ft. w.
	PC	0	PRONUS CERASIFERA NEWFORT / NEWFORT FLOWERING FLOW	1.5 CAL.	25 - 4011. 111.	15 - 25it. w.
0	PA	6	PRUNUS MAACKII CANADA RED / CANADA RED CHOKECHERRY	1.5" CAL.	15 - 25ft. ht.	15 - 25ft. w.
0	PA	6	PRUNUS MAACKII CANADA RED / CANADA RED CHOKECHERRY	1.5" CAL.	15 - 25ft. ht.	15 - 25ft. w.
	PA CODE		PRUNUS MAACKII CANADA RED / CANADA RED CHOKECHERRY  BOTANICAL / COMMON NAME	1.5" CAL.	15 - 25ft. ht.  MATURE HEIGHT	15 - 25ft. w. MATURE WIDTH
SYMBOL	CODE	QTY				
SYMBOL	CODE	QTY				
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT	MATURE WIDTH
SYMBOL	CODE S SHRUBS AL DF	QTY 3 11 16	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL	#5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.
SYMBOL DECIDUOUS	CODE S SHRUBS AL	QTY	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT	SIZE #5	MATURE HEIGHT  18 - 36in. ht.	MATURE WIDTH
SYMBOL	CODE S SHRUBS AL DF	QTY 3 11 16	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL	#5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.
SYMBOL  DECIDUOUS  THE PROPERTY OF THE PROPERT	CODE S SHRUBS AL DF RA RG	QTY 3 11 16 10 6	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL  RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5 #5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.  3 - 6ft. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.  3 - 6ft. w.
SYMBOL	CODE S SHRUBS AL DF RA RG	QTY 3 11 16 10 6	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL  RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5 #5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.  3 - 6ft. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.  3 - 6ft. w.
SYMBOL  DECIDUOUS  THE PROPERTY OF THE PROPERT	CODE S SHRUBS AL DF RA RG N SHRUB AR	QTY 3 11 16 10 6 5 5	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL  RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC  RIBES AUREUM / GOLDEN CURRANT  ARTEMISIA CANA / SILVER SAGEBRUSH	#5 #5 #5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.  3 - 6ft. ht.  3 - 6ft. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.  3 - 6ft. w.  1 - 3ft. w.
SYMBOL  DECIDUOUS  THE PROPERTY OF THE PROPERT	CODE S SHRUBS AL DF RA RG	QTY 3 11 16 10 6	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL  RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC  RIBES AUREUM / GOLDEN CURRANT	#5 #5 #5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.  3 - 6ft. ht.  3 - 6ft. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.  3 - 6ft. w.  3 - 6ft. w.
SYMBOL  DECIDUOUS  WARRING TO THE TOTAL THE TO	CODE S SHRUBS AL DF RA RG N SHRUB AR	QTY 3 11 16 10 6 5 5	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL  RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC  RIBES AUREUM / GOLDEN CURRANT  ARTEMISIA CANA / SILVER SAGEBRUSH	#5 #5 #5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.  3 - 6ft. ht.  3 - 6ft. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.  3 - 6ft. w.  1 - 3ft. w.
SYMBOL  DECIDUOUS  EVERGREEN  GRASSES	CODE S SHRUBS AL DF RA RG N SHRUB AR	QTY 3 11 16 10 6 5 5	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL  RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC  RIBES AUREUM / GOLDEN CURRANT  ARTEMISIA CANA / SILVER SAGEBRUSH	#5 #5 #5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.  3 - 6ft. ht.  3 - 6ft. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.  3 - 6ft. w.  1 - 3ft. w.
SYMBOL  DECIDUOUS  WARREN  EVERGREEN	CODE S SHRUBS AL DF RA RG N SHRUB AR MR	QTY 3 11 16 10 6 5 8	BOTANICAL / COMMON NAME  AMORPHA CANESCENS / LEADPLANT  DASIPHORA FRUTICOSA / BUSH CINQUEFOIL  RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC  RIBES AUREUM / GOLDEN CURRANT  ARTEMISIA CANA / SILVER SAGEBRUSH  MAHONIA REPENS / CREEPING MAHONIA	#5 #5 #5 #5 #5	MATURE HEIGHT  18 - 36in. ht.  18 - tft. ht.  3 - 6ft. ht.  3 - 6ft. ht.  18 - 36in. ht.  6 - 18in. ht.	MATURE WIDTH  1 - 3ft. w.  1 - tft. w.  3 - 6ft. w.  1 - 3ft. w.  1 - 3ft. w.

		1			
EVELOPMENT PLAN DATA					
TREET NAME OR ZONE BOUNDARY	REX ROAD	WISHAW PLACE			
ANDSCAPE SETBACK LOCATION	NORTH EAST	EAST			
ONE DISTRICT BOUNDARY	NO	NO			
TREET CLASSIFICATION	MINOR ARTERIAL	COLLECTOR			
ETBACK DEPTH REQUIRED/PROVIDED	20' / 20'	10' / 10'			
INEAR FOOTAGE	1,223'	1,015'			
REE/FEET REQUIRED	1 TREE / 25'	1 TREE / 30'			
UMBER OF TREES REQUIRED/PROVIDED	49 / 49	34 / 34			
HRUB SUBSTITUTION REQUIRED/PROVIDED	0 / 0	0 / 0			
RNAMENTAL GRASS SUBSTITUTION REQ./PROV.	0 / 0	0 / 0			
LANT ABBREVIATION DENOTED ON PLAN *	RR	WP			
GROUND PLANE VEG. REQUIRED/PROVIDED	75% / 75%	75% / 75%			

YMBOL	DESCRIPTION	QUANTITY	UNITS
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	ENVIRO TURF SOD IRRIGATED. HYBRID BLEND OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.	4449	SQ. FT.
	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.	1883	SQ. FT.
	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.	1134	SQ. FT.
	NATIVE LOW GROW SEED MIX PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.	548727	SQ. FT.
+ + + + - + + + + + + + + + + + + + + +	LOW MAINTAINED SEED MIX PRE-BLENDED. BUFFALO/BLUE GRAMA SEED MIX. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER MONTH. MOWED TO 6" HEIGHT 3 TIMES PER YEAR.	31258	SQ. FT.
	DETENTION SEED MIX PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.	252111	SQ. FT.
	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.	2080	SQ. FT.

2. PROPOSED SCHOOL TRACT (NOT PART OF THIS SUBMITTAL) SHALL MEET ALL LANDSCAPE REQUIREMENTS. SEPARATE PLAN TO BE SUBMITTED FOR SCHOOL TRACT BY OTHERS.

### SEEDING SPECIFICATIONS

NATIVE SEEDING

EL PASO COUNTY ALL PURPOSE LOW GROW MIX

BUFFALOGRASS 25% GRAMA, BLUE 20%

29% GRAMA, SIDEOATS 5% GREEN NEEDLEGRASS 20% WHEATGRASS, WESTERN

DROPSEED, SAND

### SEEDING RATE: 42 LBS PLS/ACRE

LOW MAINTAINED SEED MIX

BUFFALOGRASS AND BLUE GRAMA GRASS MIX BUFFALOGRASS GRAMA, BLUE

### DETENTION SEEDING

EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX

20% BLUESTEM, BIG 10% GRAMA, BLUE

SEEDING RATE: 3 LBS. PER 1,000 SF

10% **GREEN NEEDLEGRASS** 20% WHEATGRASS, WESTERN

GRAMA, SIDEOATS 10%

10% SWITCHGRASS

10% PRAIRIE SANDREED YELLOW INDIANGRASS

SEEDING RATE: 19.3 LBS PLS/ACRE

LAND USE REVIEW FILE NO: PUDSP-241

BAR IS ONE INCH ON NO. DATE BY DRAWN BY: JAG JOB DATE: 9/27/2024 OFFICIAL DRAWINGS. JOB NUMBER: <u>201662</u> APPROVED: JFR IF NOT ONE INCH. CAD DATE: 10/17/2024 ADJUST SCALE ACCORDINGLY CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Landscape-Plan\_PUD

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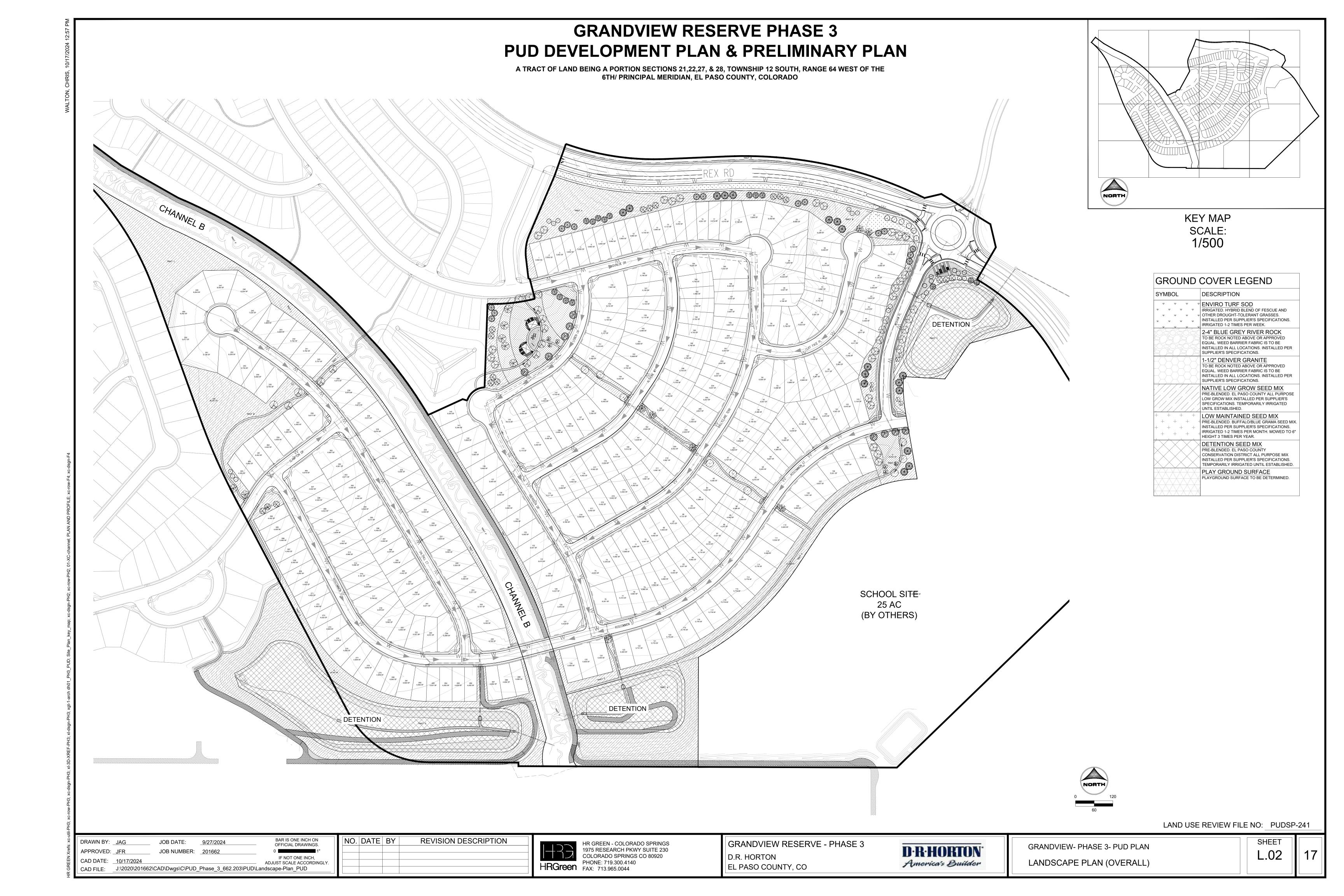
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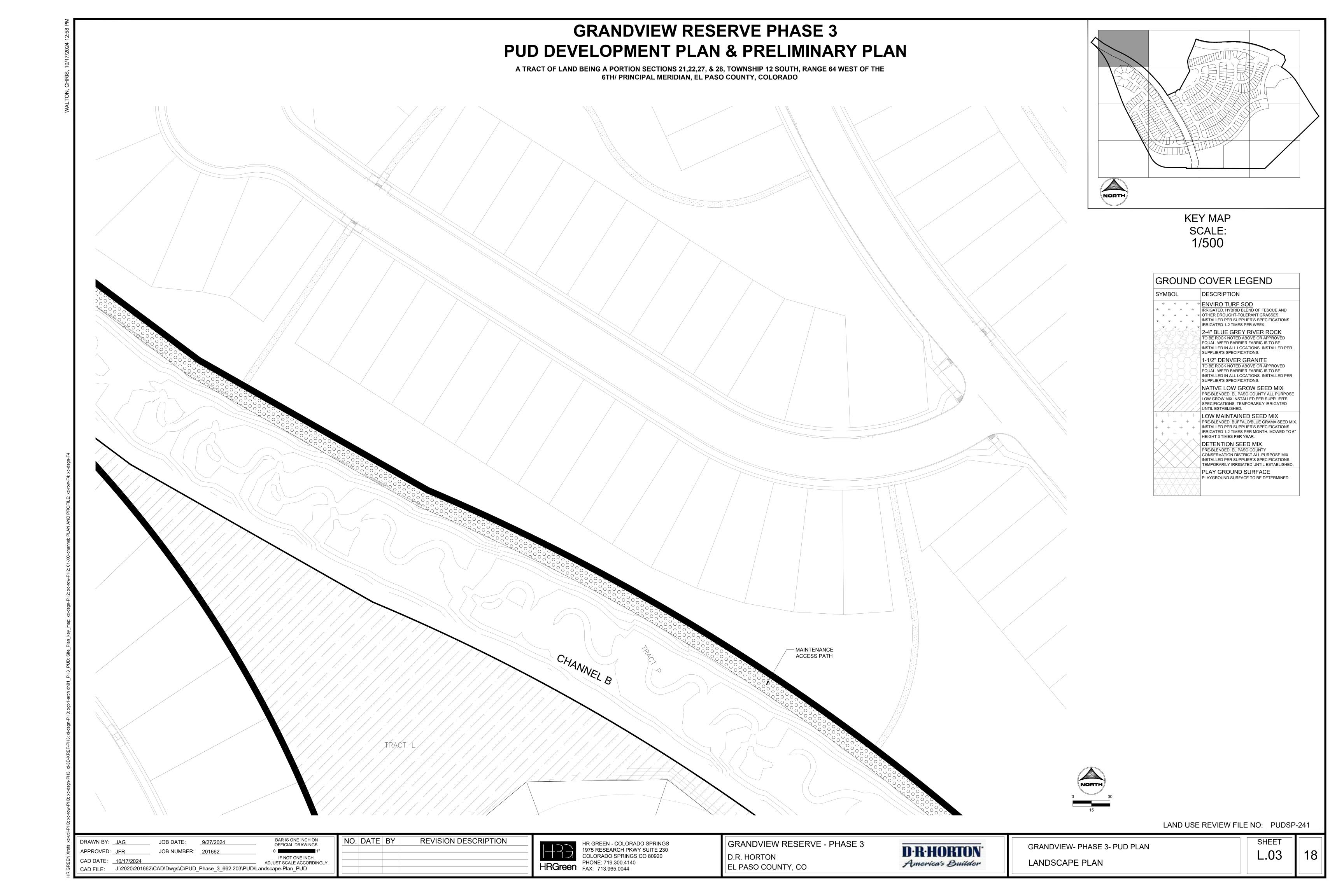
HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920 PHONE: 719.300.4140 **RGreen** FAX: 713.965.0044

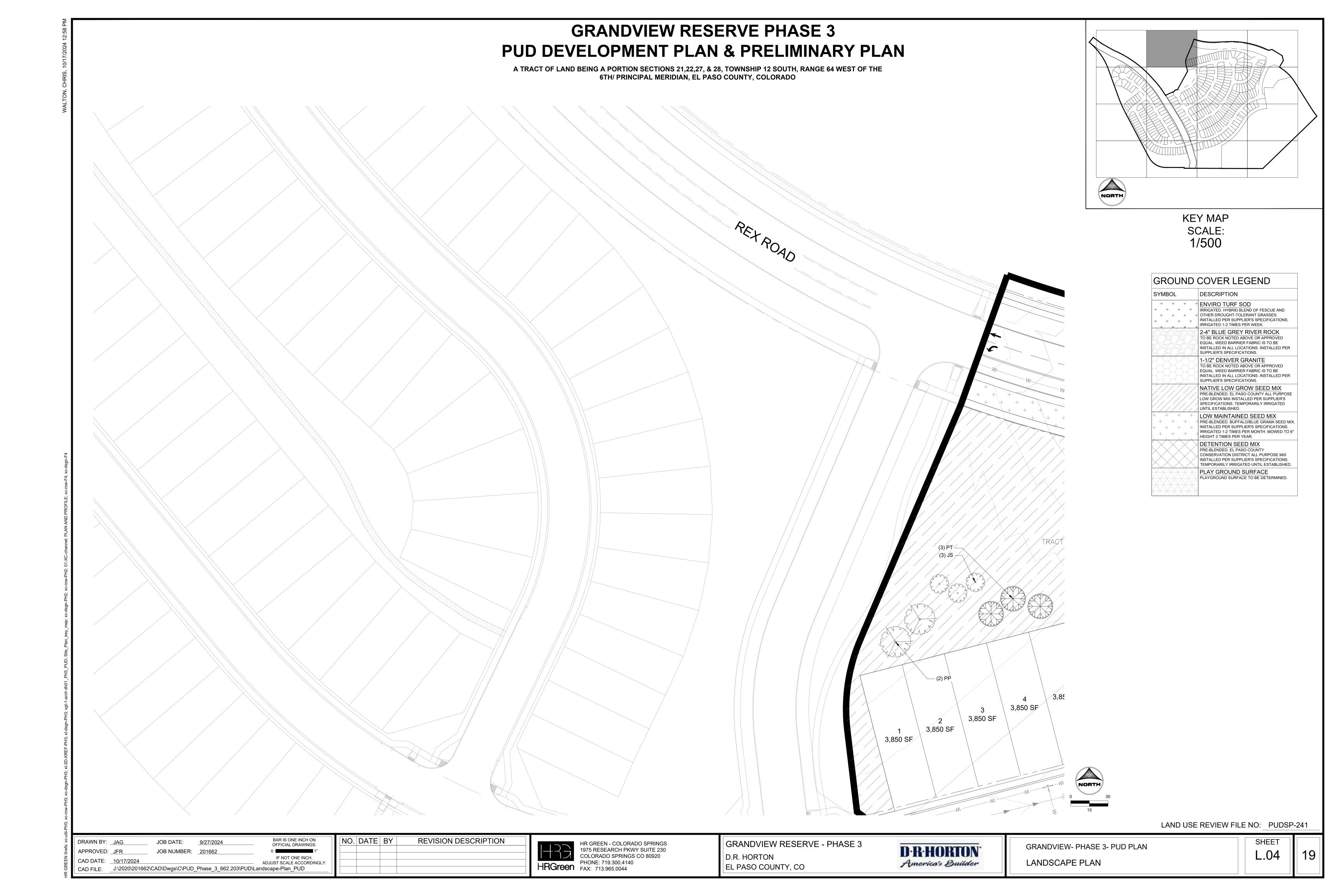
GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

D·R·HORTON America's Builder

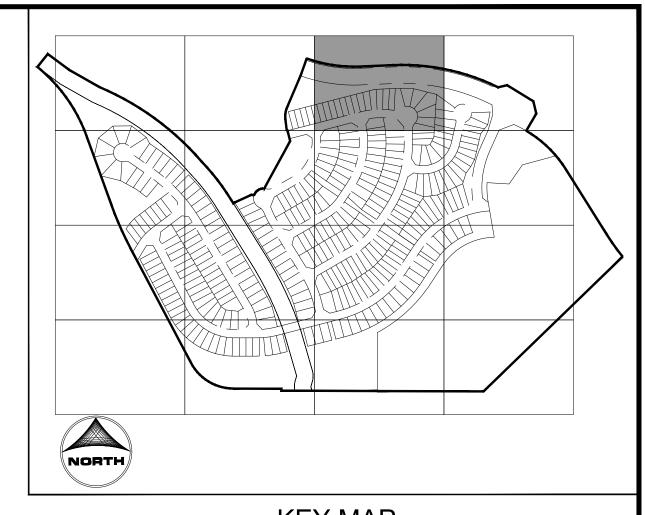
GRANDVIEW- PHASE 3- PUD PLAN LANDSCAPE COVER







A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



### **KEY MAP** SCALE: 1/500

SYMBOL	DESCRIPTION
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	ENVIRO TURF SOD  IRRIGATED. HYBRID BLEND OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATION IRRIGATED 1-2 TIMES PER WEEK.
	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED IS SUPPLIER'S SPECIFICATIONS.
	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED FOUNDAMENTS SPECIFICATIONS.
	NATIVE LOW GROW SEED MIX PRE-BLENDED. EL PASO COUNTY ALL PURP LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
+ + + + + + + + + + + + + + + + + + + +	LOW MAINTAINED SEED MIX PRE-BLENDED. BUFFALO/BLUE GRAMA SEE INSTALLED PER SUPPLIER'S SPECIFICATION IRRIGATED 1-2 TIMES PER MONTH. MOWED HEIGHT 3 TIMES PER YEAR.
	DETENTION SEED MIX PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MI INSTALLED PER SUPPLIER'S SPECIFICATION TEMPORARILY IRRIGATED UNTIL ESTABLISH
XXXXX	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINE

	TRACT B
(2) PN (5) PL (6) PL (7) 3,850 SF (8) 3,850 SF (9) 3,850 SF (9) 3,850 SF (9) 3,850 SF	(3) PL (3) PB (2) PT (1) PP (1) PP (1) PP (2) PT (1) PP (3) PB (2) PT (2) PT (1) PP (4) PP (4

LAND USE REVIEW FILE NO: PUDSP-241

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0 1" DRAWN BY: <u>JAG</u> JOB DATE: <u>9/27/2024</u> APPROVED: <u>JFR</u> JOB NUMBER: <u>201662</u> IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. CAD FILE: \_\_J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Landscape-Plan\_PUD

NO. DATE BY REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

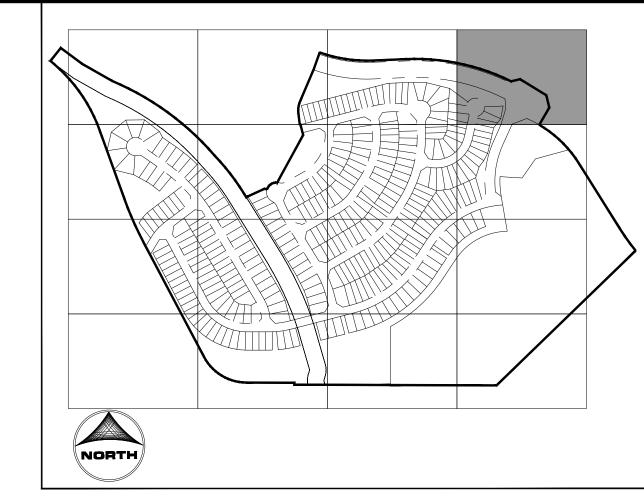
GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

D·R·HORTON America's Builder

GRANDVIEW- PHASE 3- PUD PLAN LANDSCAPE PLAN

L.05

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



**KEY MAP** SCALE: 1/500

SYMBOL	DESCRIPTION
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	ENVIRO TURF SOD  IRRIGATED. HYBRID BLEND OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.
	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	NATIVE LOW GROW SEED MIX PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
+ + + + + + + + + + + +	PRE-BLENDED. BUFFALO/BLUE GRAMA SEED MI
	DETENTION SEED MIX PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.



LAND USE REVIEW FILE NO: PUDSP-241

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0 1" DRAWN BY: <u>JAG</u> JOB DATE: 9/27/2024 APPROVED: JFR JOB NUMBER: <u>201662</u> CAD DATE: 10/17/2024 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

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REVISION DESCRIPTION NO. DATE BY

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39 4,909 SF

40 4,125 SF

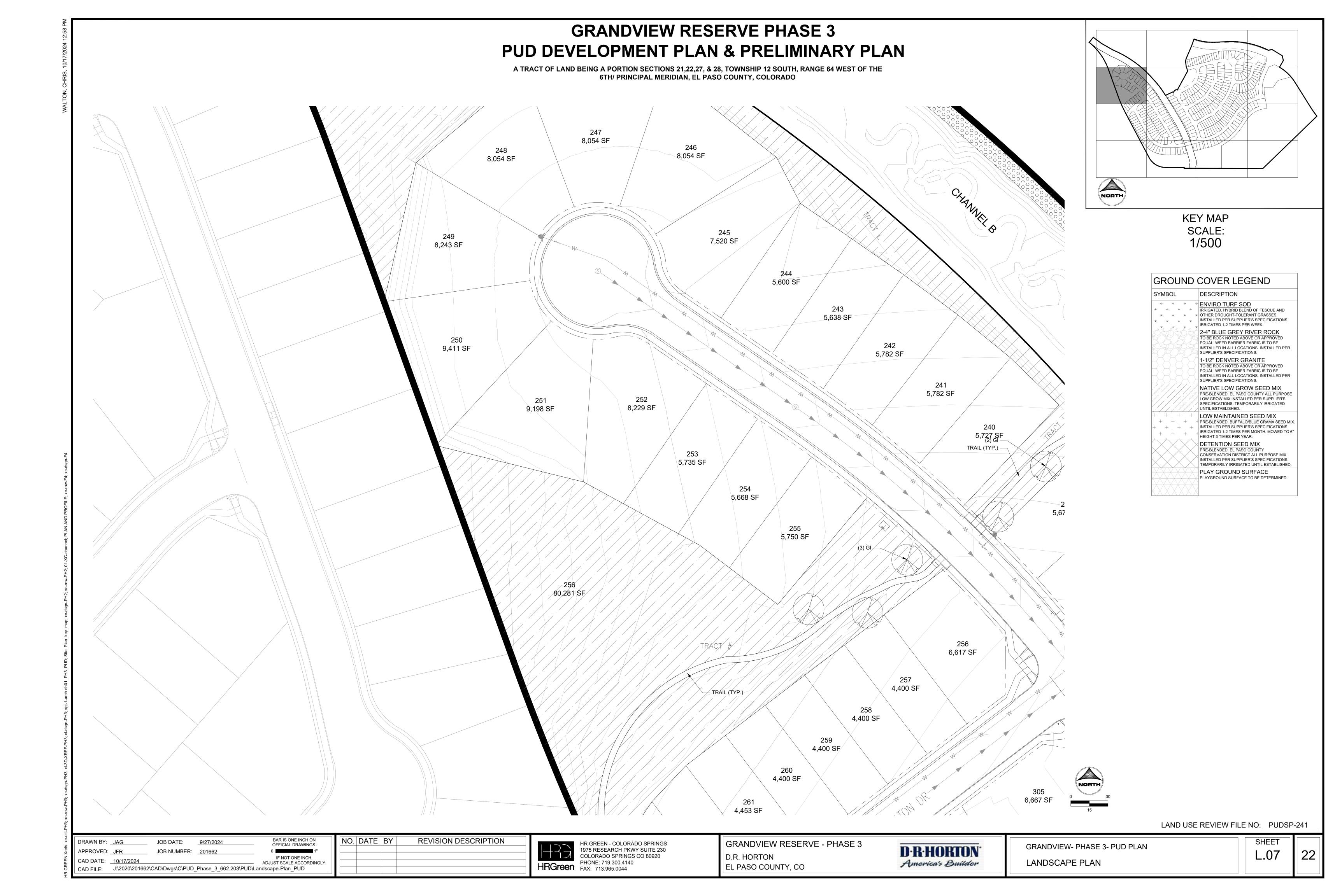
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

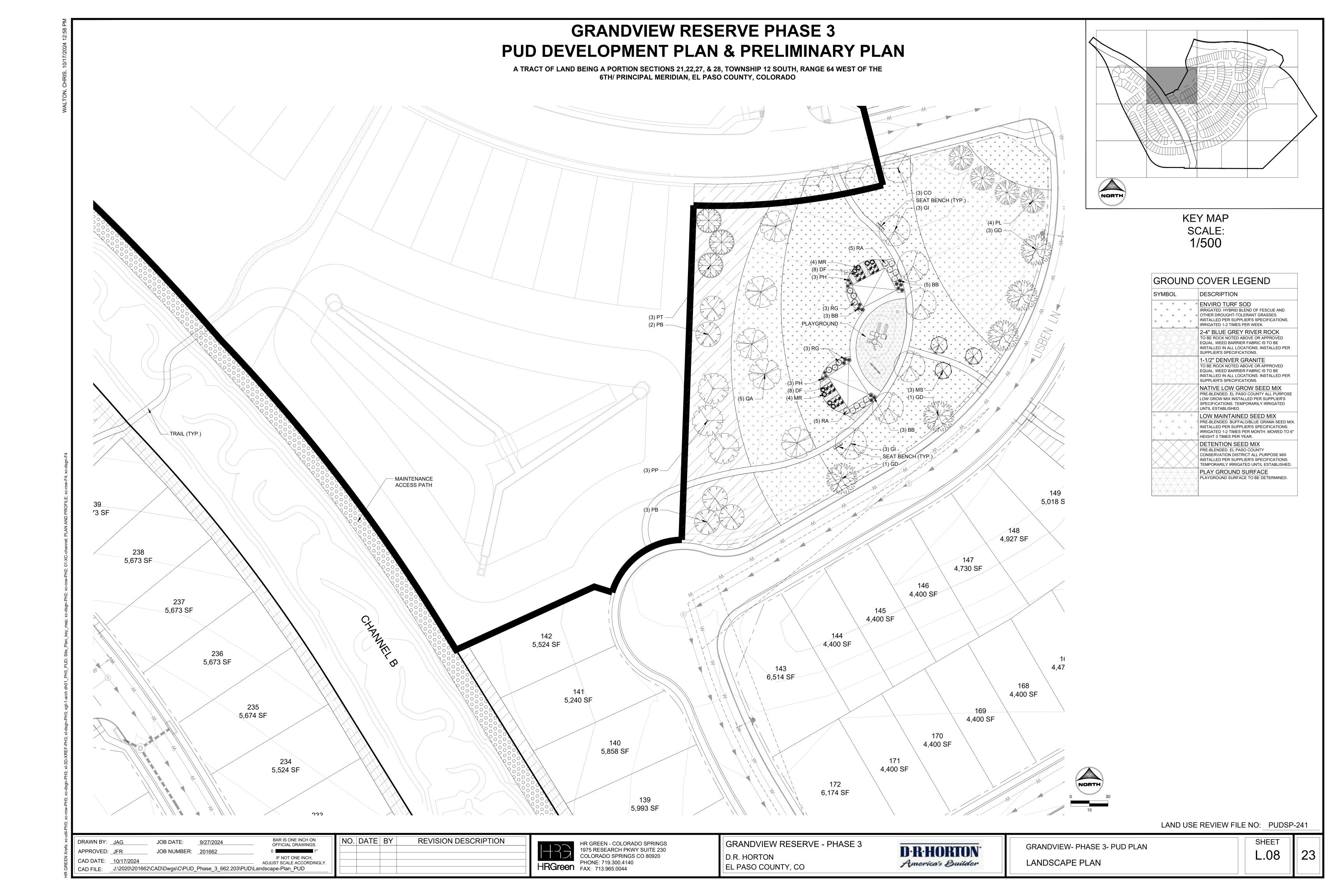
GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

D·R·HORTON America's Builder

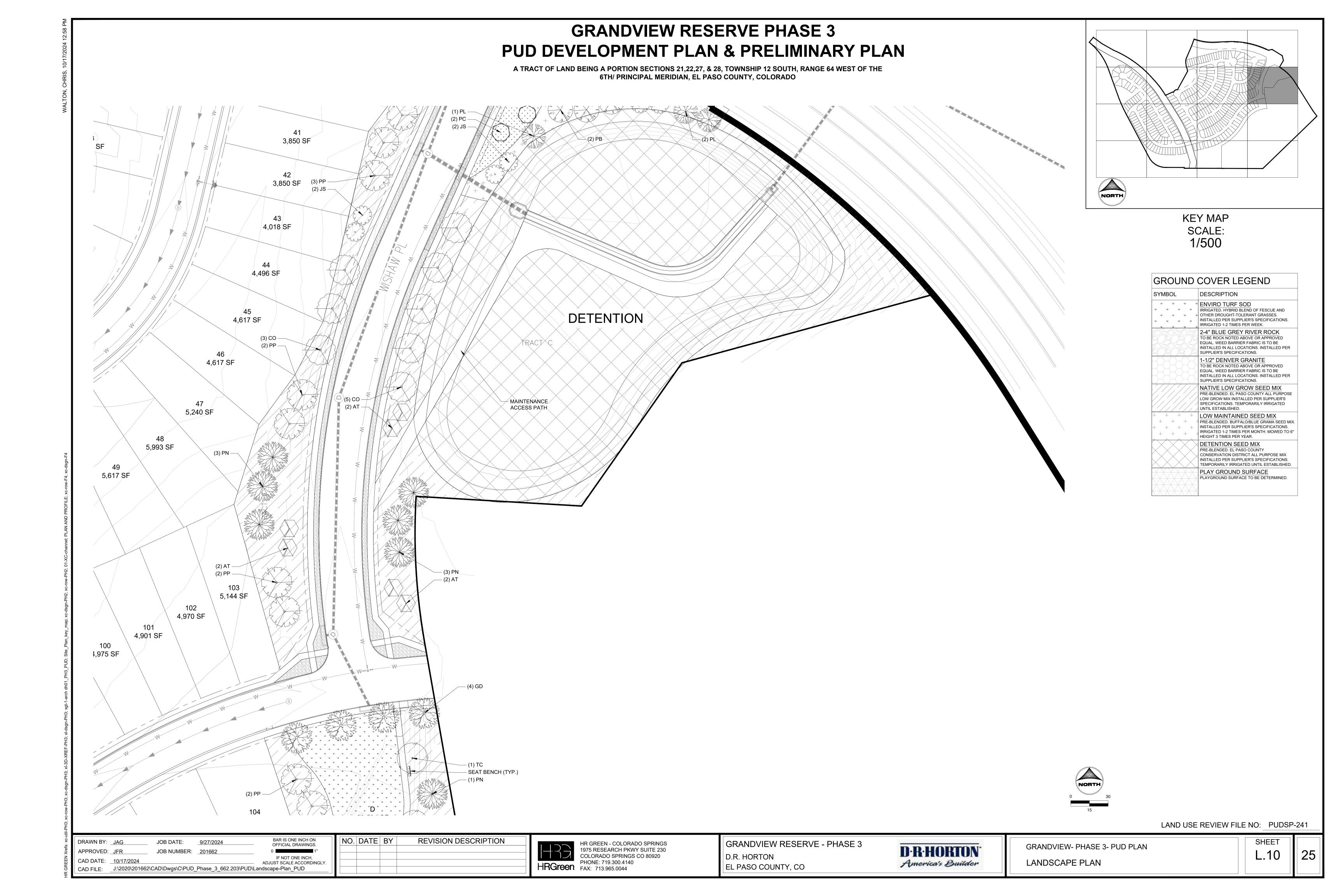
GRANDVIEW- PHASE 3- PUD PLAN LANDSCAPE PLAN

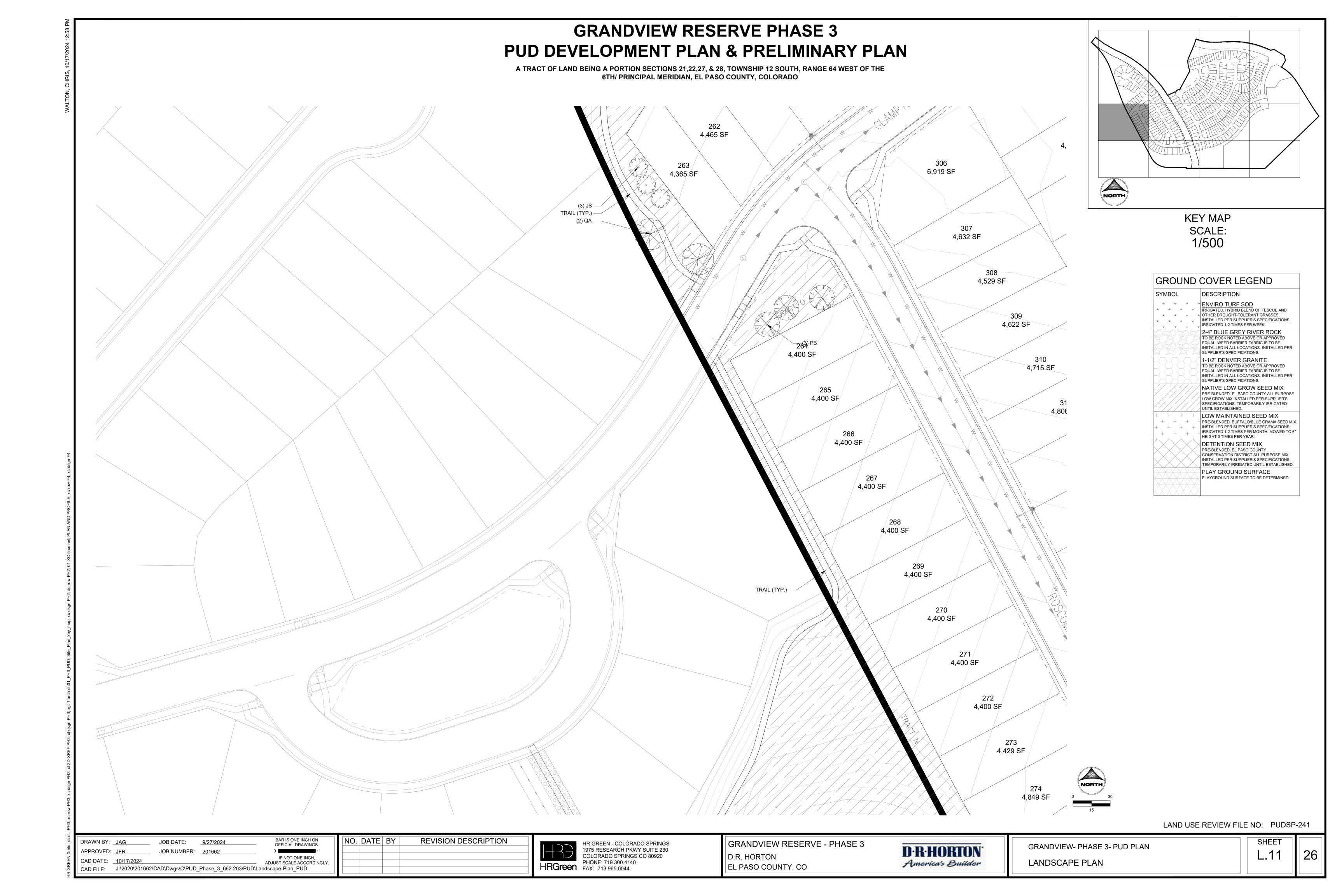
SHEET L.06



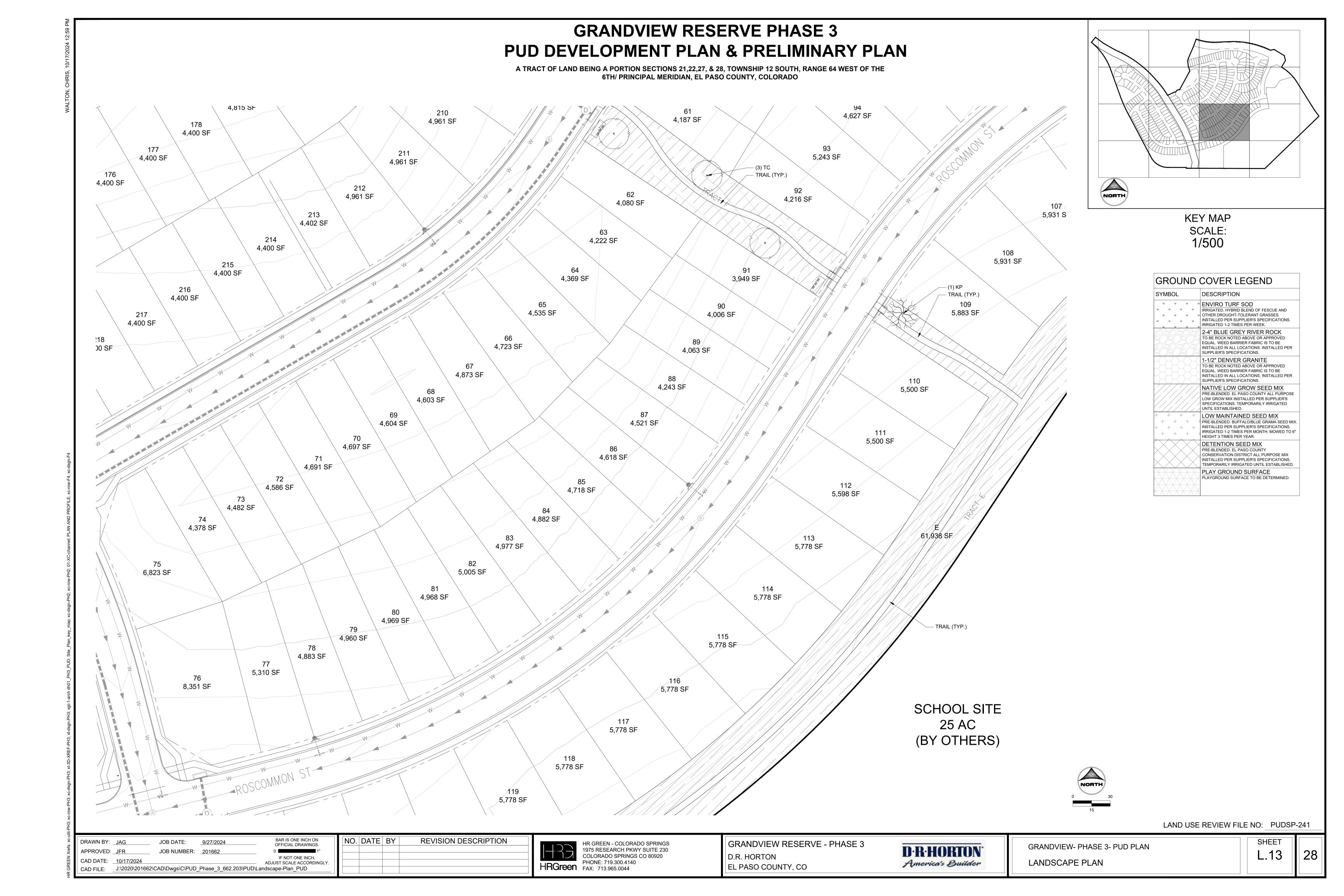


#### **GRANDVIEW RESERVE PHASE 3** PUD DEVELOPMENT PLAN & PRELIMINARY PLAN A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO 4,700 SF 4,440 SF 7,907 SF 26 3,981 4,527 SF 5,100 SF 3,982 SF 4,570 SF 27 4,742 SF 4,196 SF 5,122 SF 5,216 SF 4,700 SF **KEY MAP** SCALE: 4,647 SF 1/500 31/ 5,561 SF 5,114 SF 153 4,700 SF 5,194 SF **GROUND COVER LEGEND** 29 4,647 SF 5,633 SF 6,042 SF 5,799 SF DESCRIPTION ✓ ENVIRO TURF SOD IRRIGATED. HYBRID BLEND OF FESCUE AND 5,099 SF UTHER DROUGHT-TOLERANT GRASSES. 4,700 SF INSTALLED PER SUPPLIER'S SPECIFICATIONS. 5,127 SF IRRIGATED 1-2 TIMES PER WEEK. 2-4" BLUE GREY RIVER ROCK 200 TO BE ROCK NOTED ABOVE OR APPROVED 4,647 SF EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS. 161 1-1/2" DENVER GRANITE 5,068 SF 151 TO BE ROCK NOTED ABOVE OR APPROVED 4,700 SF EQUAL. WEED BARRIER FABRIC IS TO BE 5,018 SF/ INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS. 201/ NATIVE LOW GROW SEED MIX 4,647/SF PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED. 5,008 SF LOW MAINTAINED SEED MIX 4,700 SF PRE-BLENDED. BUFFALO/BLUE GRAMA SEED MIX. 5,085 SF INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER MONTH. MOWED TO 6" HEIGHT 3 TIMES PER YEAR. 4,647 SF DETENTION SEED MIX PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. 4,755 SF TEMPORARILY IRRIGATED UNTIL ESTABLISHED 4,700 SF PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED. TRAIL (TYP.) 4,647 SF 5,561 SF 4,453 SF 6,595 SF 5,689 SF /4,700 SF 5,686 SF 4,647 SF 5,289 SF 6,393/SF 4,647/SF 6,935 SF 4,657 SF 183 5,319 SF 4,637 SF 4,388 SF 5,306 SF '1 SF 5,404 SF 4,400 SF 4,194 SF 6,180 SF 4,900 SF 5,978 SF 4,075 ŞF 4,400 SF 5,029 SF 5,405 SF 3,992 SF 209 4,832 SF 5,010 SF 4,959 SF 3,850 SF 179 LAND USE REVIEW FILE NO: PUDSP-241 BAR IS ONE INCH ON OFFICIAL DRAWINGS. NO. DATE BY **REVISION DESCRIPTION** DRAWN BY: <u>JAG</u> HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920 JOB DATE: 9/27/2024 GRANDVIEW RESERVE - PHASE 3 GRANDVIEW- PHASE 3- PUD PLAN D·R·HORTON JOB NUMBER: <u>201662</u> L.09 D.R. HORTON IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. HRGreen PHONE: 719.300.4140 FAX: 713.965.0044 America's Builder LANDSCAPE PLAN EL PASO COUNTY, CO CAD FILE: \_\_J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Landscape-Plan\_PUD

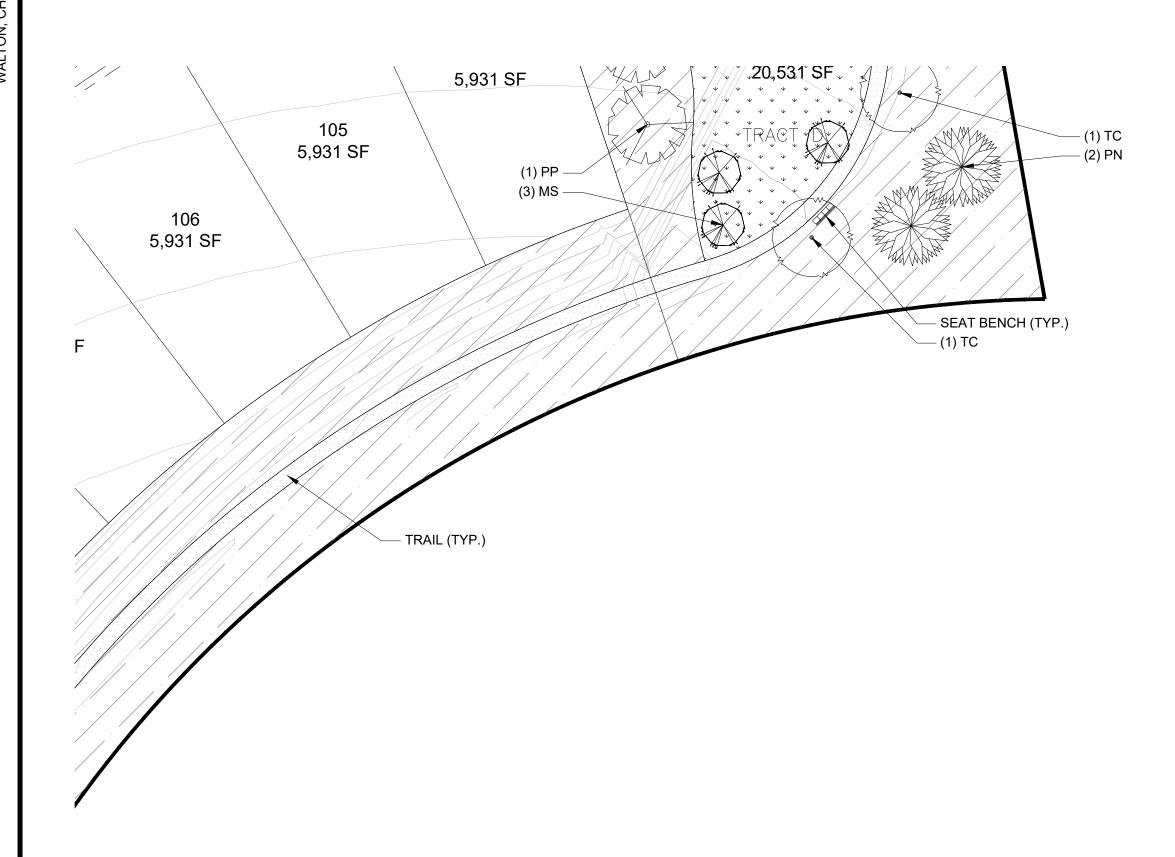




#### **GRANDVIEW RESERVE PHASE 3** PUD DEVELOPMENT PLAN & PRELIMINARY PLAN A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO 5,500 SF 661 SF 5,642 SF 5,500 SF 4,571 SF 5,500 SF 4,400 SF KEY MAP 5,500 SF 174 SCALE: 4,556 SF 4,400 SF 1/500 173 5,500 SF 5,517 SF 4,542 SF 5,500 SF **GROUND COVER LEGEND** MAINTENANCE = ACCESS PATH-DESCRIPTION ↓ ENVIRO TURF SOD V V V IRRIGATED. HYBRID BLEND OF FESCUE AND 5,500 SF OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK. 5,500 SF 2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS. 4,513 SF 219 1-1/2" DENVER GRANITE 5,500 SF TO BE ROCK NOTED ABOVE OR APPROVED 5,786 SF EQUAL. WEED BARRIER FABRIC IS TO BE 228 INSTALLED IN ALL LOCATIONS. INSTALLED PER 5,500 SF SUPPLIER'S SPECIFICATIONS. NATIVE LOW GROW SEED MIX LOW GROW MIX INSTALLED PER SUPPLIER'S 4,499 SF SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED. LOW MAINTAINED SEED MIX 5,500 SF PRE-BLENDED. BUFFALO/BLUE GRAMA SEED MIX. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER MONTH. MOWED TO 6" 5,500 SF HEIGHT 3 TIMES PER YEAR. 4,485 SF DETENTION SEED MIX PRE-BLENDED. EL PASO COUNTY 4,902 SF CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED 5,531 SF PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED. 296 4,470 SF 5,500 SF 4,995 SF 295 5,815 SF 4,456 SF 225 5,500 SF 5,088 SF 4,442 SF 6,223 SF 5,500 SF 293 4,427 SF 5,274 SF 223 5,571 SF 6,227 SF 292 4,413 SF 317 5,720 SF 291 6,671 SF 222 6,167 SF 5,976 SF 5,978 SF 319 5,685 SF 221 6,230 SF 5,362 SF LAND USE REVIEW FILE NO: PUDSP-241 BAR IS ONE INCH ON OFFICIAL DRAWINGS. **REVISION DESCRIPTION** NO. DATE BY HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920 PHONE: 719.300.4140 FAX: 713.965.0044 DRAWN BY: <u>JAG</u> GRANDVIEW RESERVE - PHASE 3 JOB DATE: 9/27/2024 GRANDVIEW- PHASE 3- PUD PLAN D·R·HORTON APPROVED: JFR JOB NUMBER: <u>201662</u> D.R. HORTON IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. LANDSCAPE PLAN America's Builder EL PASO COUNTY, CO CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Landscape-Plan\_PUD



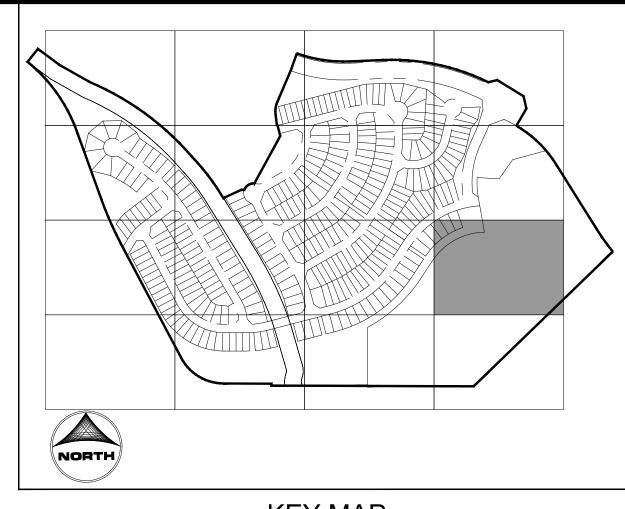
A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



SCHOOL SITE 25 AC (BY OTHERS)

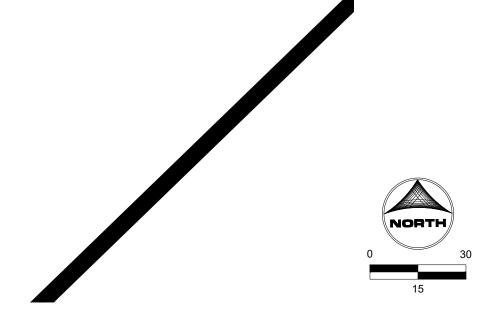
1,088,922 SF

SCHOOL TRACT 25.00 ACRES



**KEY MAP** SCALE: 1/500

SYMBOL	DESCRIPTION
V V V V	ENVIRO TURF SOD  IRRIGATED. HYBRID BLEND OF FESCUE AND  OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.
	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	NATIVE LOW GROW SEED MIX PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
+ + + + + + + + + + + + + + + + + + + +	LOW MAINTAINED SEED MIX PRE-BLENDED. BUFFALO/BLUE GRAMA SEED MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER MONTH. MOWED TO 6 HEIGHT 3 TIMES PER YEAR.
	DETENTION SEED MIX PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.



LAND USE REVIEW FILE NO: PUDSP-241

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0 1" 1" JOB DATE: <u>9/27/2024</u> DRAWN BY: <u>JAG</u> APPROVED: <u>JFR</u> JOB NUMBER: <u>201662</u> IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY. CAD DATE: <u>10/17/2024</u> CAD FILE: \_\_\_J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Landscape-Plan\_PUD

NO. DATE BY REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

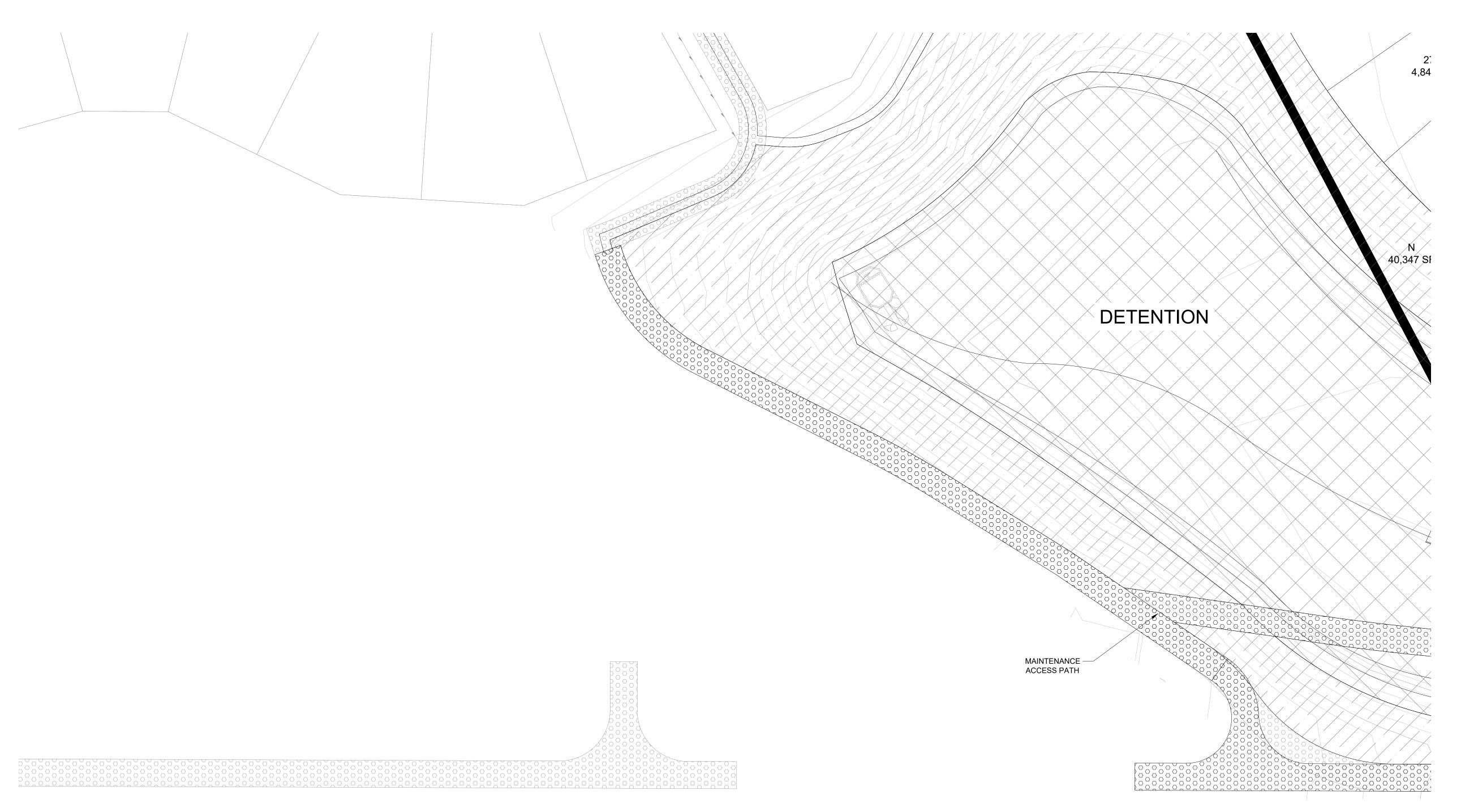
GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

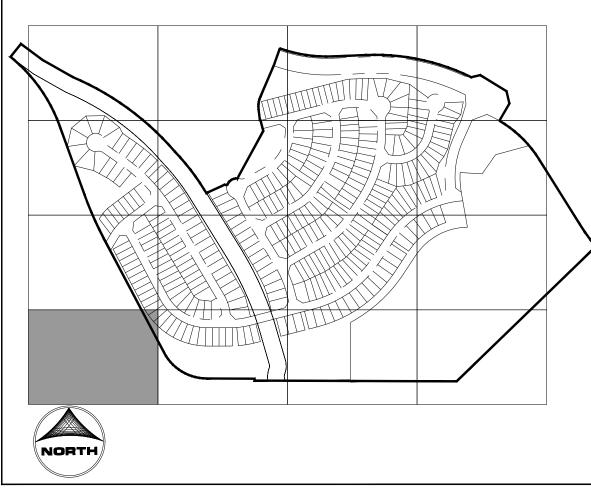
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GRANDVIEW- PHASE 3- PUD PLAN LANDSCAPE PLAN

L.14

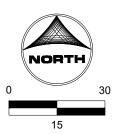
A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





**KEY MAP** SCALE: 1/500

GROUND	COVER LEGEND
SYMBOL	DESCRIPTION
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	ENVIRO TURF SOD IRRIGATED. HYBRID BLEND OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.
	2-4" BLUE GREY RIVER ROCK TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	NATIVE LOW GROW SEED MIX PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
+ + + + + + + + + + + + + + + + + + + +	LOW MAINTAINED SEED MIX PRE-BLENDED. BUFFALO/BLUE GRAMA SEED MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER MONTH. MOWED TO 6" HEIGHT 3 TIMES PER YEAR.
	DETENTION SEED MIX PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.
	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.



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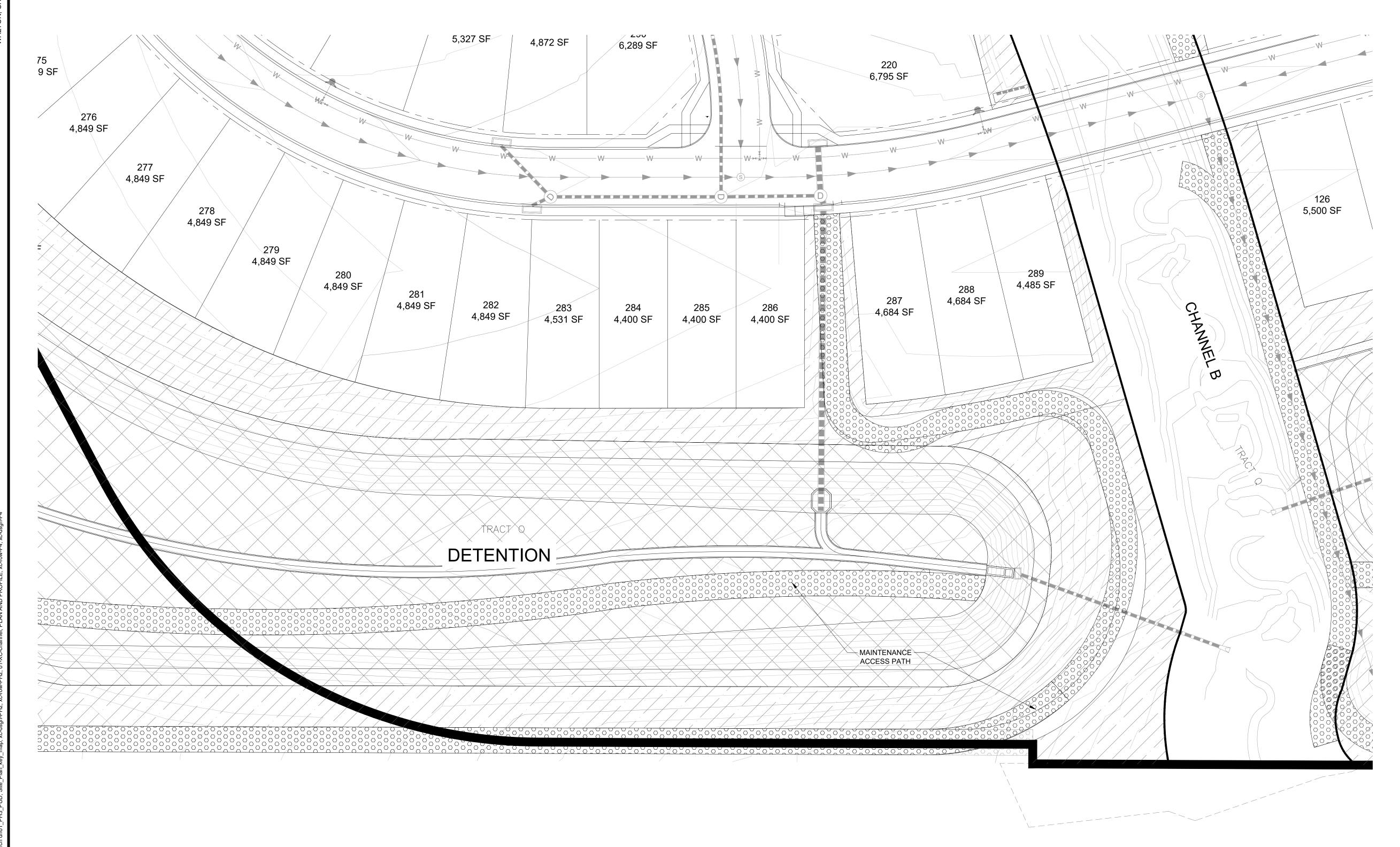
GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

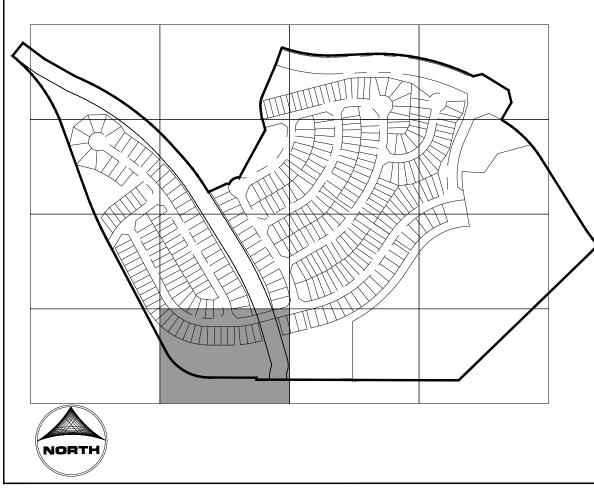
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GRANDVIEW- PHASE 3- PUD PLAN LANDSCAPE PLAN

L.15

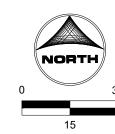
A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





**KEY MAP** SCALE: 1/500

GROUND	COVER LEGEND	
SYMBOL	DESCRIPTION	
\(\frac{1}{4}\) \(\frac{1}{4}\	ENVIRO TURF SOD IRRIGATED. HYBRID BLEND OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.	
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	1-1/2" DENVER GRANITE TO BE ROCK NOTED ABOVE OR APPROVED EQUAL. WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL LOCATIONS. INSTALLED PER SUPPLIER'S SPECIFICATIONS.	
	NATIVE LOW GROW SEED MIX PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.	
+ + + + + + + + + + + + + + + + + + + +	LOW MAINTAINED SEED MIX PRE-BLENDED. BUFFALO/BLUE GRAMA SEED MIX. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER MONTH. MOWED TO 6" HEIGHT 3 TIMES PER YEAR.	
	DETENTION SEED MIX PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. TEMPORARILY IRRIGATED UNTIL ESTABLISHED.	
	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.	



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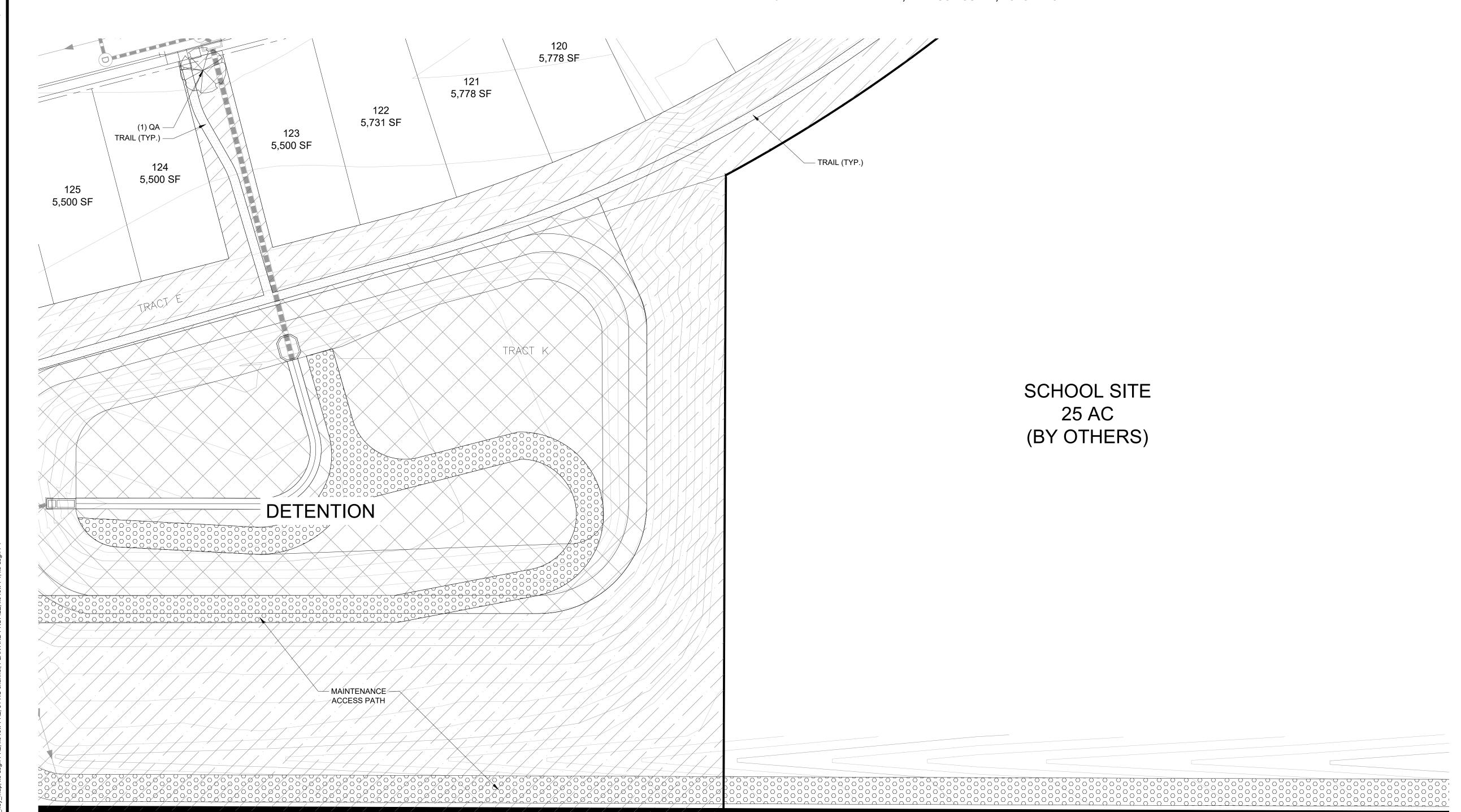
GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

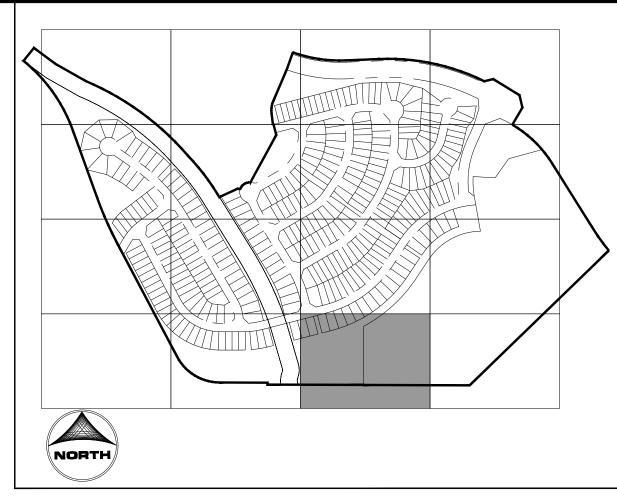
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GRANDVIEW- PHASE 3- PUD PLAN LANDSCAPE PLAN

SHEET L.16

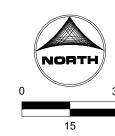
A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





**KEY MAP** SCALE: 1/500

GROUND (	COVER LEGEND
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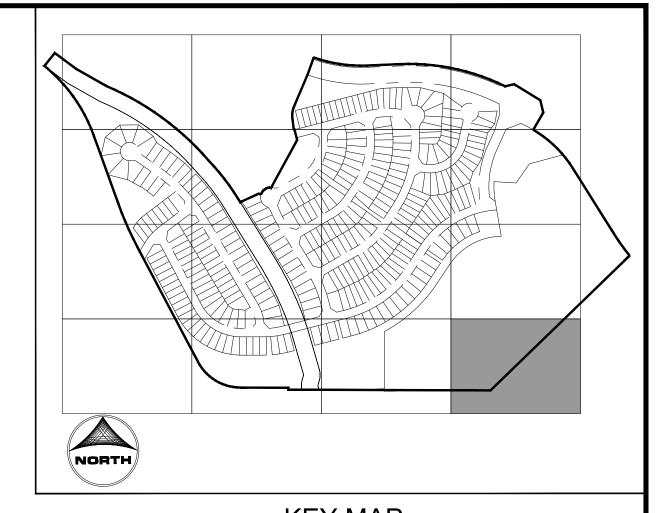
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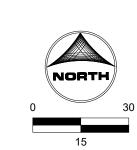
GRANDVIEW- PHASE 3- PUD PLAN LANDSCAPE PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



**KEY MAP** SCALE: 1/500

GROUND COVER LEGEND	
SYMBOL	DESCRIPTION
ψ ψ ψ ψ	ENVIRO TURF SOD IRRIGATED. HYBRID BLEND OF FESCUE AND OTHER DROUGHT-TOLERANT GRASSES. INSTALLED PER SUPPLIER'S SPECIFICATIONS. IRRIGATED 1-2 TIMES PER WEEK.
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	PLAY GROUND SURFACE PLAYGROUND SURFACE TO BE DETERMINED.



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GRANDVIEW RESERVE - PHASE 3 D.R. HORTON EL PASO COUNTY, CO

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GRANDVIEW- PHASE 3- PUD PLAN LANDSCAPE PLAN

L.18

- 1. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE. 2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEEK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE
- THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN. 3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
- 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- 5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON. 6. AMENDED BACKFILL SHALL BE \$ COMPOST (PREFERABLY CLASSIFIED) AND \$ NATIVE
- AND/OR IMPORTED TOPSOIL. 7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE. OCTOBER 31 AND RMOVE MARCH 31 FOR THE PIKES PEAK
- 8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS
- PRIOR TO PLANTING 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

REMOVE TWINE FROM BRANCHES ON TREES TIED UP FOR SHIPPING, SPRAY WITH WILT PRUF OR EQUAL (IF LEAFING OUT). ORANGE FLUORESCENT FLAGGING ON WIRE FOR SAFETY.

SET TREE VERTICAL, STAKE UP TO 3" CALIPER TREES WITH TWO POSTS ON THE LEEWARD AND WINDWARD SIDES; STAKE TREES OVER 3" CALIPER WITH 3 EVENLY SPACED POSTS. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 6" DANGLING. SET STAKES IN MINIMUM 16" FIRM SOIL. REMOVE STAKES WITHIN 12-16 MONTHS OF PLANTING.

TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL POSITION ROOT FLARE AT GRADE.

3-4" DEPTH OF SPECIFIED MULCH. PROVIDE A 6' DIAMETER WOOD MULCH RING AND 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONE ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDES SAUCER ON DOWNHILL SIDE ON SLOPES. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK. DO NOT PLACE FABRIC UNDER MULCH. NO RIM FOR TREES LOCATED IN TURF AREAS.

SCARIFY SIDE OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL. - AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC,

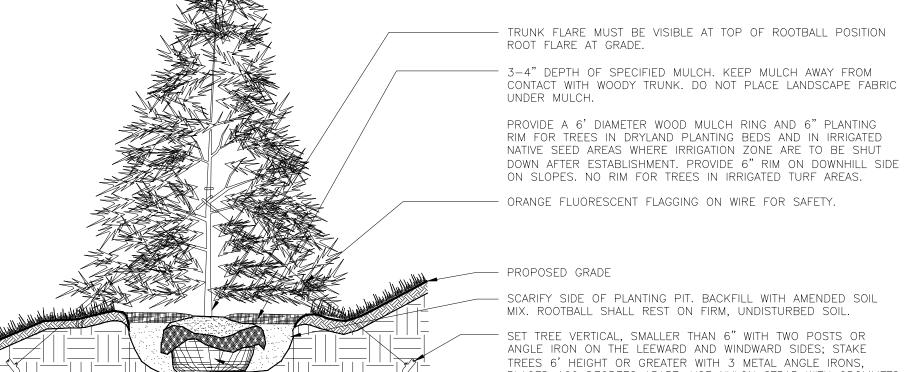
TYP. DECIDUOUS TREE PLANTING DETAIL

SCALE: NTS

- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING. 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS
- REPRESENTATIVE 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- 5. AMENDED BACKFILL SHALL BE  $\frac{1}{3}$  COMPOST (PREFERABLY CLASSIFIED) AND  $\frac{2}{3}$  NATIVE AND/OR IMPORTED TOPSOIL.
- 6. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE 7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING.
- COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS



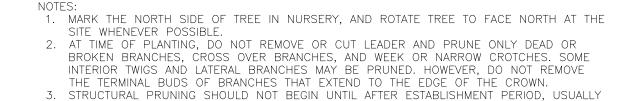
MIN 2X ROOTBALL WIRE, BURLAP, AND RUBBER.



PLACED 120 DEGREES APART. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING FOR VISIBILITY. SET STAKES IN MINIMUM 18" FIRM SOIL. REMOVE STAKES WITHIN 12-16 MONTHS

AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, WIRE, BURLAP, AND RUBBER.

TYP. EVERGREEN TREE PLANTING DETAIL (SLOPE CONDITION) SCALE: NTS



TWO GROWING SEASONS. 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON. 6. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 1/3 NATIVE

AND/OR IMPORTED TOPSOIL. 7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE. OCTOBER 31 AND RMOVE MARCH 31 FOR THE PIKES PEAK

8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING. 9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

> - REMOVE TWINE FROM BRANCHES ON TREES TIED UP FOR SHIPPING, SPRAY WITH WILT PRUF OR EQUAL (IF LEAFING OUT). ORANGE FLUORESCENT FLAGGING ON WIRE FOR SAFETY.

SET TREE VERTICAL, STAKE UP TO 3" CALIPER TREES WITH TWO POSTS ON THE LEEWARD AND WINDWARD SIDES; STAKE TREES OVER 3" CALIPER WITH 3 EVENLY SPACED POSTS. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 6" DANGLING. SET STAKES IN MINIMUM 16" FIRM SOIL. REMOVE STAKES WITHIN 12-16 MONTHS OF PLANTING.

TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL POSITION ROOT FLARE AT GRADE.

3-4" DEPTH OF SPECIFIED MULCH. PROVIDE A 6' DIAMETER WOOD MULCH RING AND 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONE ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDES SAUCER ON DOWNHILL SIDE ON SLOPES. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK. DO NOT PLACE FABRIC UNDER MULCH. NO RIM FOR TREES LOCATED IN TURF AREAS.

- SCARIFY SIDE OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL. - AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, WIRE, BURLAP, AND RUBBER.

- MIN 2X ROOTBALI

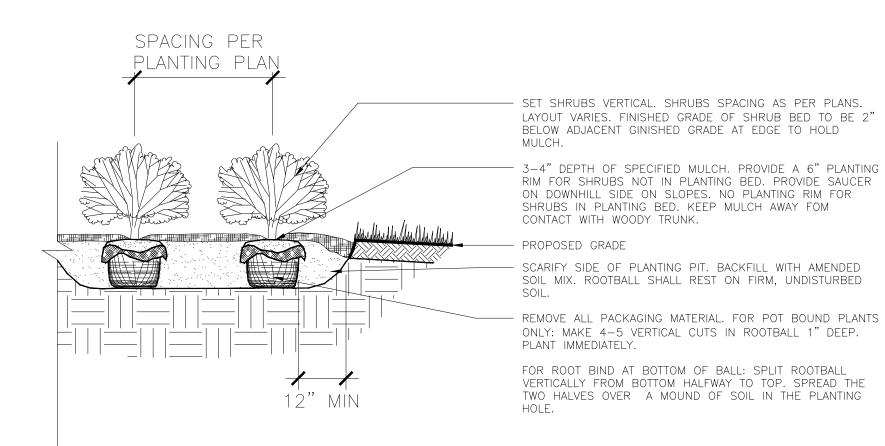
DECIDUOUS TREE PLANTING DETAIL (SLOPE CONDITION)

PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.

KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON. 4. AMENDED BACKFILL SHALL BE  $\frac{1}{3}$  COMPOST (PREFERABLY CLASSIFIED) AND  $\frac{2}{3}$  NATIVE

AND/OR IMPORTED TOPSOIL. 5. ALL SHRUBS IN ROCK AREAS TO RECIEVE SHREDDED MULCH RINGS. 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



TYP. SHRUB PLANTING DETAIL SCALE: NTS

1. DO NOT REMOVE OR CUT LEADER. 2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING. 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. 5. AMENDED BACKFILL SHALL BE 1 COMPOST (PREFERABLY CLASSIFIED) AND 3 NATIVE

AND/OR IMPORTED TOPSOIL. 6. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE

7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS

8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

PRIOR TO PLANTING -MIN 2X ROOTBALL

TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL POSITION ROOT FLARE AT GRADE. 3-4" DEPTH OF SPECIFIED MULCH. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK. DO NOT PLACE LANDSCAPE FABRIC

PROVIDE A 6' DIAMETER WOOD MULCH RING AND 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONE ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDE 6" RIM ON DOWNHILL SIDE ON SLOPES. NO RIM FOR TREES IN IRRIGATED TURF AREAS.

ORANGE FLUORESCENT FLAGGING ON WIRE FOR SAFETY.

SCARIFY SIDE OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

SET TREE VERTICAL, SMALLER THAN 6" WITH TWO POSTS OR ANGLE IRON ON THE LEEWARD AND WINDWARD SIDES; STAKE TREES 6' HEIGHT OR GREATER WITH 3 METAL ANGLE IRONS, PLACED 120 DEGREES APART. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING FOR VISIBILITY. SET STAKES IN MINIMUM 18" FIRM SOIL. REMOVE STAKES WITHIN 12-16 MONTHS OF PLANTING.

AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, WIRE, BURLAP, AND RUBBER.

PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.

. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON. 4. AMENDED BACKFILL SHALL BE  $\frac{1}{3}$  COMPOST (PREFERABLY CLASSIFIED) AND  $\frac{2}{3}$  NATIVE

AND/OR IMPORTED TOPSOIL. 5. ALL SHRUBS IN ROCK AREAS TO RECIEVE SHREDDED MULCH RINGS. 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

SET SHRUBS VERTICAL. SHRUBS SPACING AS PER PLANS. LAYOUT VARIES. FINISHED GRADE OF SHRUB BED TO BE 2" BELOW ADJACENT GINISHED GRADE AT EDGE TO HOLD

3-4" DEPTH OF SPECIFIED MULCH. PROVIDE A 6" PLANTING -RIM FOR SHRUBS NOT IN PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR SHRUBS IN PLANTING BED. KEEP MULCH AWAY FOM CONTACT WITH WOODY TRUNK. PROPOSED GRADE

SCARIFY SIDE OF PLANTING PIT. BACKFILL WITH AMENDED -SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED

REMOVE ALL PACKAGING MATERIAL. FOR POT BOUND PLANTS -ONLY: MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT IMMEDIATELY.

FOR ROOT BIND AT BOTTOM OF BALL: SPLIT ROOTBALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING

TYP. SHRUB PLANTING DETAIL (SLOPE CONDITION) SCALE: NTS

LAND USE REVIEW FILE NO: PUDSP-241

DRAWN BY: <u>JAG</u> JOB DATE: 9/27/2024 OFFICIAL DRAWINGS. APPROVED: JFR JOB NUMBER: <u>201662</u> IF NOT ONE INCH. CAD DATE: <u>10/17/2024</u> ADJUST SCALE ACCORDINGLY CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Landscape-Plan\_PUD

-MIN 2X ROOTBALL

NO. DATE BY **REVISION DESCRIPTION** 



HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920 PHONE: 719.300.4140 HRGreen FAX: 713.965.0044

**GRANDVIEW RESERVE - PHASE 3** D.R. HORTON EL PASO COUNTY, CO

**D**·R·HORTON America's Builder

**GRANDVIEW- PHASE 3- PUD PLAN** LANDSCAPE DETAILS

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

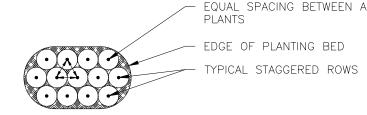


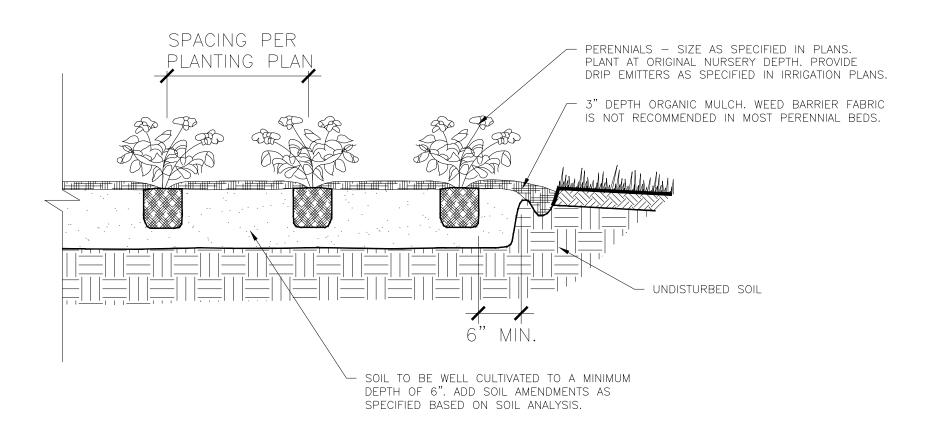
- 3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING. 4. AMENDED BACKFILL SHALL BE 1 COMPOST (PREFERABLY CLASSIFIED) AND 3 NATIVE
- 5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.

PERENNIALS, AND ANNUALS, THIS DIAGRAM SHALL BE FOLLOWED. EQUAL SPACING BETWEEN ALL

\*WHEN PLANTING MASSES OF

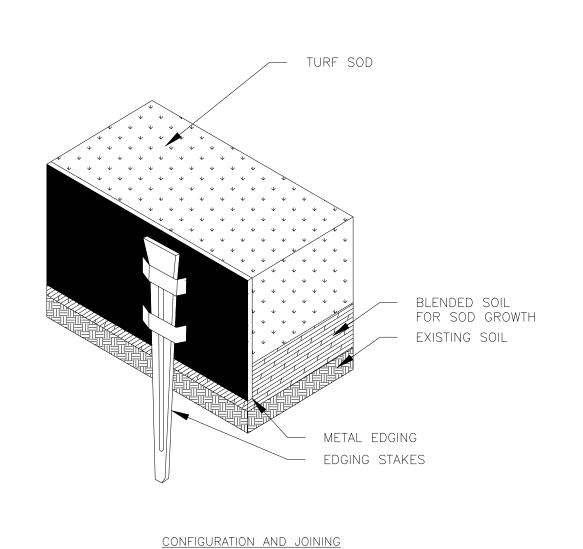
SHRUBS, GROUNDCOVER,





### TYP. PERENNIAL PLANTING DETAIL

SCALE: NTS



1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 2. METAL EDGING IS TO BE POWDER COATED AND ROLLED TOP. 3. USE BROWN COLOR ONLY.

4. CUT/BEND WHERE NEEDED TO CONFORM TO LANDSCAPE PLAN LAYOUT.

TYP. METAL EDING DETAIL

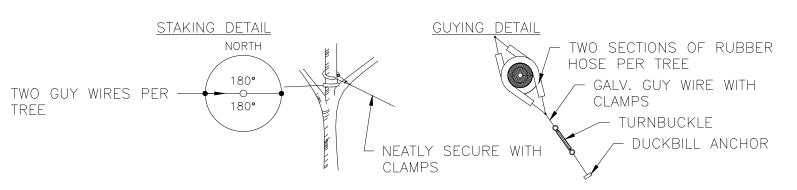
SCALE: NTS

• TWO (2) MODEL 68 DUCKBILL ANCHORS (HOLDING CAPACITY 1100# PER ANCHOR IN NORMAL SOIL. ● 13' OF 1/8" 7x7 GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.

| \\ \mathcal{2}" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH. ONE (1) REQUIRED/EACH GUY.

TWO (2) TURNBUCKLES, EYE AND EYE TYPE, 3" THREAD DIAMETER WITH 3" TAKE-UP • FOUR (4) %" CABLE CLAMPS. ZINC PLATED (DR-2 STEEL DRIVE ROD 2' LONG WITH 1/4" ROUND DRIVING TIP NEEDED

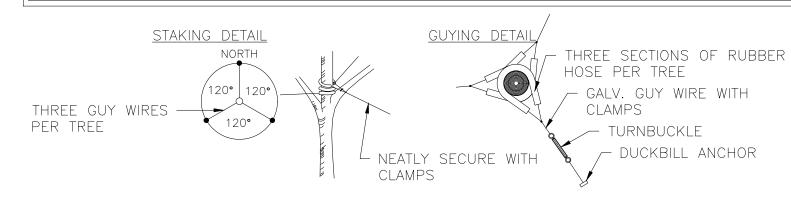
TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS) TWO (2) RUBBER HOSE TREE COLLARS, 21" LONG, EA.



\*APPLIES TO SINGLE TRUNK DECIDUOUS TREES 3" CAL. AND LESS & EVERGREEN TREES 8' HT. AND LESS

#### GUYING STANDARDS

- THREE (3) MODEL 68 DUCKBILL ANCHORS (HOLDING CAPACITY 1100# PER ANCHOR IN NORMAL SOIL. 13' OF 18" 7x7 GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.
- ½" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH. ONE (1) REQUIRED/EACH GUY.
- THREE (3) TURNBUCKLES, EYE AND EYE TYPE, 36" THREAD DIAMETER WITH 3" TAKE-UP
- SIX (6) 1/8" CABLE CLAMPS, ZINC PLATED (DR-2 STEEL DRIVE ROD 2' LONG WITH 1/4" ROUND DRIVING TIP NEEDED TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS) • THREE (3) RUBBER HOSE TREE COLLARS, 21" LONG, EA.



\*APPLIES TO SINGLE TRUNK DECIDUOUS TREES GREATER THAN 3" CAL. & EVERGREEN TREES GREATER THAN 8' HT.

STEEL EDGING REQUIRED BETWEEN
PATH MATERIAL AND ADJACENT CRUSHED GRAVEL TRAIL EXISTING UNDISTURBED MATERIAL. REFER TO EDGING DETAIL COMPACTED AT 1" DEPTHS --- UNDISTURBED SUBGRADE COMPACT SUBGRADE TO 4" DEPTH

TYP. CRUSHED GRAVEL TRAIL

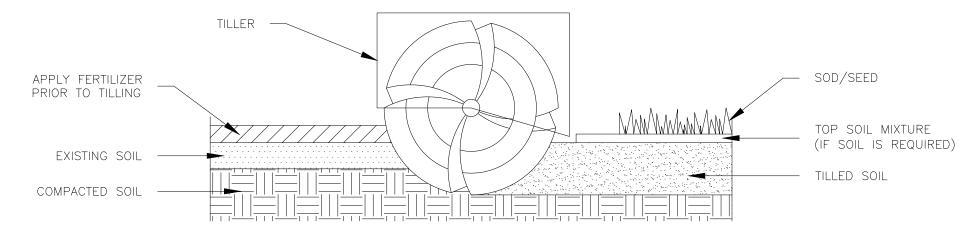
CUT ROOTS CLEANLY AT 80°. IF TEARING OCCURS, CUT JUST BEYOND BEGINNING OF TEAR. BACKFILL ALL CUT ROOTS IMMEDIATELY.

NOTES:

1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ALL IMPURITIES SUCH AS ROCKS, ROOTS AND OTHER FOREIGN MATERIALS.

2. APPLY FERTILIZER WITHIN 2-3 DAYS OF PLANTINGS. 3. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.

4. MATERIALS GREATER THAN 1" DIAMETER OR FROZEN SOIL SHALL BE REMOVED. 5. TILLED SOIL SHALL BE SMOOTHLY RAKED TO A FINISHED GRADE TO PROVIDE POSITIVE DRAINAGE.



LAND USE REVIEW FILE NO: PUDSP-241

BAR IS ONE INCH ON DRAWN BY: <u>JAG</u> JOB DATE: <u>9/27/2024</u> OFFICIAL DRAWINGS. APPROVED: <u>JFR</u> JOB NUMBER: <u>201662</u> IF NOT ONE INCH, CAD DATE: \_\_10/17/2024 ADJUST SCALE ACCORDINGLY. CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD\_Phase\_3\_662.203\PUD\Landscape-Plan\_PUD

NO. DATE BY **REVISION DESCRIPTION** 



SCALE: NTS

HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920 PHONE: 719.300.4140

GRANDVIEW RESERVE - PHASE 3 D.R. HORTON

EL PASO COUNTY, CO

D·R·HORTON America's Builder

**GRANDVIEW- PHASE 3- PUD PLAN** LANDSCAPE DETAILS

### V2\_PUD Development Plan - comments.pdf Markup Summary

CDurham (10)



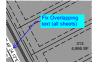
Subject: Callout

Page Label: [9] 09 SITE PLAN - 2 OF 8

Author: CDurham

Date: 11/7/2024 11:02:45 AM

Status: Color: Layer: Space: Contours are not visible (all sheets)



Subject: Callout

Page Label: [9] 09 SITE PLAN - 2 OF 8

Author: CDurham

Date: 11/7/2024 11:03:15 AM

Status: Color: Layer: Space: Fix Overlapping text (all sheets)



Subject: Callout

Page Label: [9] 09 SITE PLAN - 2 OF 8

Author: CDurham

Date: 11/7/2024 11:01:35 AM

Status: Color: Layer: Space: Provide centerline information (lines & curves)



Subject: Callout

Page Label: [9] 09 SITE PLAN - 2 OF 8

Author: CDurham

Date: 11/7/2024 11:01:58 AM

Status: Color: Layer: Space: Provide centerline information (lines & curves)



Subject: Callout

Page Label: [9] 09 SITE PLAN - 2 OF 8

Author: CDurham

Date: 11/7/2024 11:02:23 AM

Status:
Color: Layer:
Space:

Provide letter for Tract



Subject: Text Box

Page Label: [10] 10 SITE PLAN - 3 OF 8

Author: CDurham

Date: 11/7/2024 11:04:18 AM

Status: Color: Layer: Space: Provide Pond name



Subject: Text Box

Page Label: [12] 12 SITE PLAN - 5 OF 8

Author: CDurham

Date: 11/7/2024 11:04:58 AM

Status: Color: Layer: Space: Provide Pond name



Subject: Callout

Page Label: [13] 13 SITE PLAN - 6 OF 8

Author: CDurham

Date: 11/7/2024 10:58:41 AM

Status: Color: Layer: Space: Fix overlapping text



Subject: Callout

Page Label: [13] 13 SITE PLAN - 6 OF 8

Author: CDurham

Date: 11/7/2024 10:59:07 AM

Status: Color: Layer: Space: Street name



Subject: Callout

Page Label: [14] 14 SITE PLAN - 7 OF 8

Author: CDurham

Date: 11/7/2024 10:59:47 AM

Status: Color: Layer: Space: Street name

#### dsdparsons (19)



Subject: Planner

Page Label: [1] 01 COVER SHEET

Author: dsdparsons
Date: 11/7/2024 2:23:45 PM

Status: Color: ■ Layer: Space: you removed the special District Disclosure note-please put it back this is with Grandview MD No



Subject: Image

Page Label: [1] 01 COVER SHEET

Author: dsdparsons Date: 11/7/2024 2:24:10 PM

Status: Color: Layer: Space: THE COLOR OF THE C

Subject: Planner

Page Label: [1] 01 COVER SHEET

**Author:** dsdparsons **Date:** 11/7/2024 2:25:44 PM

Status: Color: ■ Layer: Space: review 1 comments not addressed. You added basements in where it clearly is show high water from review 1...

Subject: Planner

Page Label: [1] 01 COVER SHEET

Author: dsdparsons
Date: 11/7/2024 2:33:48 PM

Status: Color: ■ Layer: Space: check math 25 acre school track plus this should add to legal

UNLES Lot layout; Geo e. OF 8 Constraints; a site of 8 building permit in the ARI SHIP

Subject: Callout

Page Label: [1] 01 COVER SHEET

Author: dsdparsons

Date: 11/12/2024 7:06:19 AM

Status: Color: ■ Layer: Space: Lot layout; Geo Constraints; a site plan is for one lot a building permit in the County



Subject: Image

Page Label: [5] 05 TRACT PLAN

Author: dsdparsons

Date: 11/12/2024 7:10:35 AM

Status: Color: E Layer: Space:



Subject: Planner

Page Label: [5] 05 TRACT PLAN

**Author:** dsdparsons **Date:** 11/7/2024 2:31:25 PM

Status: Color: Layer: Space: this is not correct please recalculate and verify openspace as a whole 10 % of 102.8 =10.28ac includes drainages and usable os is 25% of that for parks and trails- identify as categories acreages

and percentages in table



Subject: Image

Page Label: [5] 05 TRACT PLAN

Author: dsdparsons
Date: 11/7/2024 2:31:30 PM

Status: Color: Layer: Space:



Subject: Planner

Page Label: [5] 05 TRACT PLAN

Author: dsdparsons

Date: 11/7/2024 2:31:47 PM

Status: Color: ■ Layer: Space:

Subject: Planner

Page Label: [7] 07 OVERALL SITE PLAN

Author: dsdparsons

Date: 11/12/2024 7:07:44 AM

Status: Color: ■ Layer: Space: overall development plan

REVIEW 1 comments not addressed



RALL SITE PLAN

Subject: Callout

Page Label: [7] 07 OVERALL SITE PLAN

Author: dsdparsons

Date: 11/12/2024 7:11:48 AM

Status: Color: ■ Layer: Space: we discussed that MYLar is recorded and colors

dont show



Subject: Callout

Page Label: [7] 07 OVERALL SITE PLAN

Author: dsdparsons

Date: 11/12/2024 7:13:07 AM

Status: Color: Layer: Space: remove phase lines within pud because its to confusing with the adjacent PUDs being called phases- these are filings within this Phase 3 PUD



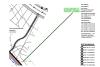
Subject: Callout

Page Label: [8] 08 SITE PLAN - 1 OF 8

Author: dsdparsons

Date: 11/12/2024 7:08:31 AM

Status: Color: ■ Layer: Space: This htach does nt match the dark; and previously that was no basements please identify



Subject: Planner

Page Label: [8] 08 SITE PLAN - 1 OF 8

Author: dsdparsons

Date: 11/12/2024 7:09:12 AM

Status: Color: ■ Layer: Space: Is this road hatch or trail hatch - all pages

Not ourse what you reached to the second and the se

Subject: Callout

Page Label: [8] 08 SITE PLAN - 1 OF 8

Author: dsdparsons

Date: 11/12/2024 7:14:30 AM

Status: Color: Layer: Space: the depicted pud property boundary is for entire PUD named Phase 3 and red doesnt show on

Mylars

Subject: Callout

Page Label: [9] 09 SITE PLAN - 2 OF 8

Author: dsdparsons

Date: 11/12/2024 7:15:58 AM

Status: Color: ■ Layer: Space: Not sure what you mean here (FUT verses PR) dimesions have to be on all lots per chech list

Subject: Arrow

Page Label: [11] 11 SITE PLAN - 4 OF 8

**Author:** dsdparsons **Date:** 11/7/2024 2:36:10 PM

Status: Color: ■ Layer: Space:

Subject: Planner

Page Label: [11] 11 SITE PLAN - 4 OF 8

Author: dsdparsons

Date: 11/12/2024 7:04:26 AM

Status: Color: ■ Layer: Space: this doesnt match...no basements here ; add not

back

Su LAND USE REVIEW Pa

match...no basements here ;

add not back

Subject: Callout

Page Label: [11] 11 SITE PLAN - 4 OF 8

Author: dsdparsons

Date: 11/12/2024 7:04:48 AM

Status: Color: ■ Layer: Space: this is the geological constrtinats page