HUHN, KEN, 3/21/2024 1:07 PM

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

PURPOSE AND INTENT:
TO CREATE A COHESIVE AND WELL PLANNED COMMUNITY TO ALLOW A MAXIMUM 418 DWELLING UNITS (224 TOWNHOMES & 194 DUPLEXES) - THAT GENERALLY CONFORMS TO THE SKETCH PLAN APPROVED BY THE EL PASO BOARD OF COUNTY COMMISSIONERS. ON SEPTEMBER 22, 2020. THE DEVELOPMENT WILL BE IN HARMONY WITH THE CHARACTER OF THE SURROUNDING AREA AND IS SUITABLE FOR THE INTENDED USE. THAT INCLUDES RESIDENTIAL, PARKS, AND OPEN SPACE.

AUTHORITY
THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

APPLICABILITY
THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

ADOPTION
THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR GRANDVIEW RESERVE PHASE 2 IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS
THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF GRANDVIEW RESERVE PHASE 2, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

ENFORCEMENT
TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT
WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

MAXIMUM LEVEL OF DEVELOPMENT
THE TOTAL NUMBER OF DWELLINGS OR THE TOTAL COMMERCIAL, BUSINESS, OR INDUSTRIAL INTENSITY SHOWN ON THE DEVELOPMENT PLAN FOR DEVELOPMENT WITHIN THE SPECIFIED PLANNING AREAS IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS ANY APPROVED DENSITY TRANSFERS). THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT MAY BE LESS DUE TO SUBDIVISION OR SITE DEVELOPMENT PLAN REQUIREMENTS, LAND CARRYING CAPACITY, OR OTHER REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS

PROJECT TRACKING
AT THE TIME OF ANY FINAL PLAT APPLICATION, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT, TO DATE, TO PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT, IN ORDER TO ASSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED.

OVERALL PROJECT STANDARDS
THE STANDARD ZONING REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE INCLUDING OFF-STREET PARKING, LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, BY SPECIAL REVIEW AND VARIANCE PROCESSES SHALL APPLY TO THIS PUD, EXCEPT AS MODIFIED BY THE PUD.

NOTE REGARDING REPORTS ON FILE:
THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY; PRELIMINARY DRAINAGE REPORT; WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT; NATURAL FEATURES REPORT;

WATER NOTE:
WATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT AND SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS.

WASTEWATER NOTE:
WASTEWATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY THE WOODMAN HILLS METROPOLITAN DISTRICT AND SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS.

SPECIAL DISTRICT NOTES:
SPECIAL DISTRICT DISCLOSURE (WHEN THE PLAT IS LOCATED IN A SPECIAL DISTRICT):
A TITLE 32 SPECIAL DISTRICT ANNUAL REPORT AND DISCLOSURE FORM SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT

SOIL AND GEOLOGY CONDITIONS:

MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE REPORT ENTITLED: GEOLOGIC HAZARD EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION GRANDVIEW RESERVE, PHASE 3 , COLORADO BY CTL THOMPSON INC. DATED MARCH 12, 2024 IN FILE GRANDVIEW RESERVE PUDSP FILE NUMBER: PUDSP-________ AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT. THE FOLLOWING GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED:

1. **SHALLOW GROUNDWATER: REFER TO GROUNDWATER CONDITIONS MAP (FIGURE 3) IN REPORT FOR LOTS WHERE GROUNDWATER COULD POTENTIAL IMPACT CRAWL SPACE FOUNDATIONS. PROPOSED GRADES HAVE BEEN ESTABLISHED SUCH THAT BOTTOM OF FOOTING ELEVATIONS WILL BE ABOVE THE KNOWN PEAK GROUNDWATER ELEVATIONS. WHERE GROUNDWATER CONDITIONS ARE ENCOUNTERED THAT IMPACT CRAWLS SPACE FOUNDATIONS, SLAB ON GRADE FOUNDATIONS SYSTEMS ARE RECOMMENDED. IT SHALL BE NOTED THAT FUTURE LOT SPECIFIC STUDIES MAY ALTER THESE RECOMMENDATIONS. NO BASEMENTS ARE PROPOSED WITHIN THE LIMITS OF OF THIS DEVELOPMENT PLAN.**
2. **HARD BEDROCK: THE SANDSTONE AND CLAYSTONE OF THE DAWSON FORMATION ARE HARD TO VERY HARD AND PRESENT AT SHALLOW DEPTHS WITHIN THE SITE. THE HARD TO VERY HARD BEDROCK WILL BE DIFFICULT TO EXCAVATE AND WILL REQUIRE HEAVY DUTY EXCAVATION EQUIPMENT. DEEP EXCAVA-TIONS INTO BEDROCK WILL REQUIRE AGGRESSIVE EXCAVATION TECHNIQUES. THE RATE OF EXCAVA-TION WILL BE SLOW WITHIN THE BEDROCK.**
3. **EXPANSIVE SOILS AND BEDROCK: EXPANSIVE BEDROCK IS PRESENT AT THIS SITE, WHICH CONSTITUTES A GEO-LOGIC HAZARD. THERE IS RISK THAT FOUNDATIONS AND SLAB-ON-GRADE FLOORS WILL EXPERIENCE HEAVE OR SETTLEMENT AND DAMAGE. IT IS CRITICAL THAT PRECAUTIONS ARE TAKEN TO INCREASE THE CHANCES THAT THE FOUNDATIONS AND SLABS-ON-GRADE WILL PERFORM SATISFACTORILY. IT IS NOTED THAT THE PRESENCE OF EXPANSIVE MATERIALS WITHIN THE DAWSON FORMATION IS HIGHLY VARIABLE AND WILL NEED TO BE FURTHER EVALUATED AT THE TIME OF LOT SPECIFIC SOILS AND FOUNDATION INVESTIGATIONS. ENGINEERED PLANNING, DESIGN AND CONSTRUCTION OF GRADING, PAVEMENTS, FOUNDATIONS, SLABS-ON-GRADE, AND DRAINAGE CAN MITIGATE, BUT NOT ELIMINATE, THE EFFECTS OF EXPANSIVE AND COMPRESSIBLE SOILS. SUB-EXCAVATION IS A GROUND IMPROVEMENT METHOD THAT CAN BE USED TO REDUCE THE IMPACTS OF SWELLING SOILS.**
4. **FLOODING: THE MAJORITY OF THE SITE LIES WITHIN ZONE D (UNDETERMINED FLOOD HAZARD), AS SHOWN ON FIRM COMMUNITY MAP NUMBER 08041C0556G, REVISED DECEMBER 7, 2018. ZONE D INDICATES FLOODS ARE POSSIBLE, BUT NOT LIKELY. SOME PORTIONS OF THE SITE WITHIN DRAINAGE AREAS LIE WITHIN ZONE A. A LOMR IS CURRENTLY IN PROCEES WITH FEMA TO REALIGN THE FLOODPLAIN WITHIN AN NEW CHANNEL. ALL PROPOSED LOTS WILL BE REMOVED FROM FLOOPLAIN WITH THE CONSTRUCTION OF CHANNEL B AND THE CORRESPONDING LOMR.**

NOTE: NO GEOLOGIC HAZARDS WERE IDENTIFIED THAT PRECLUDE THE PROPOSED DEVELOPMENT. POTENTIAL HAZARDS CAN BE MITIGATED WITH PROPER ENGINEERING, DESIGN, AND CONSTRUCTION PRACTICES.

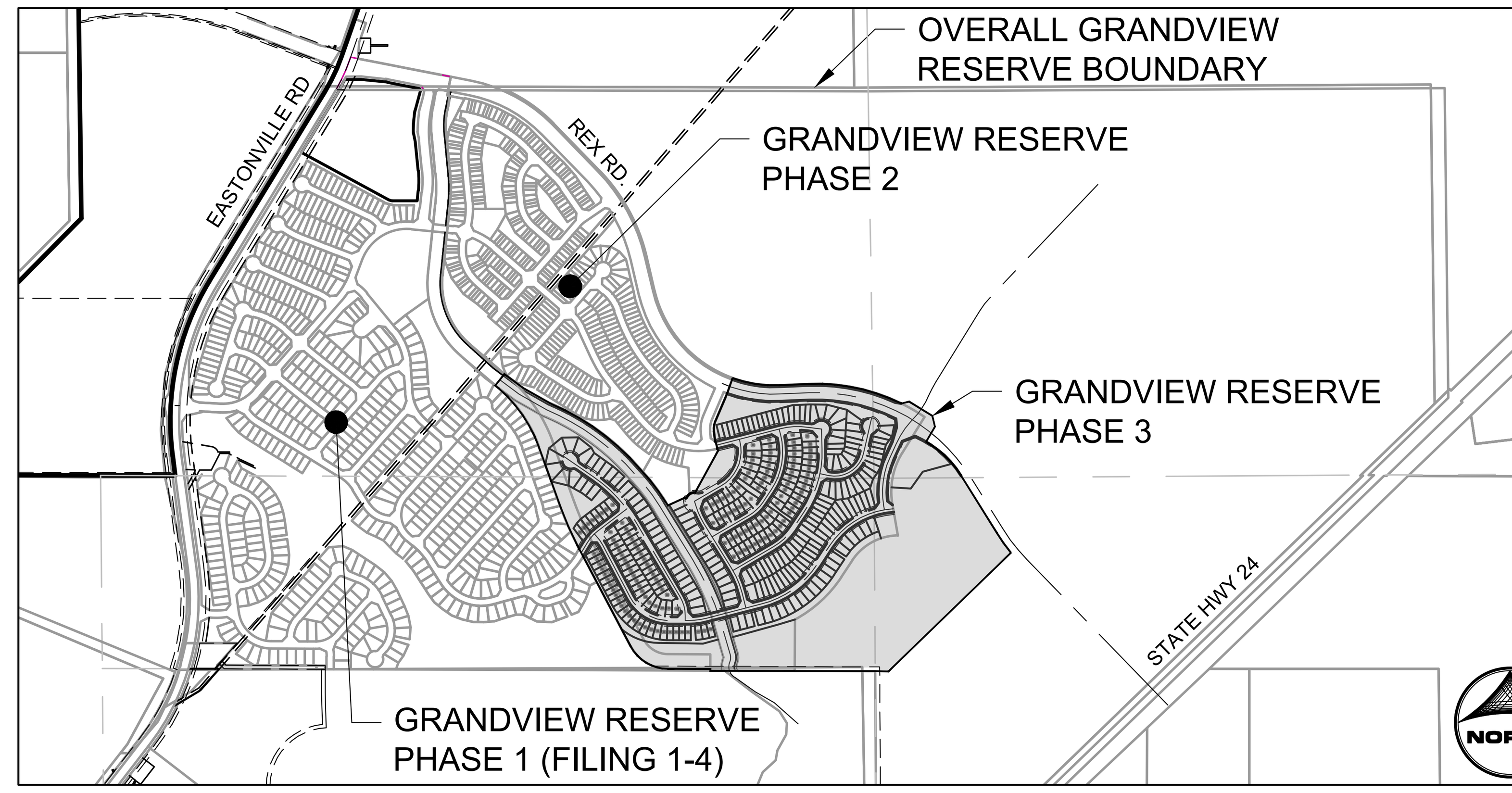
LEGAL DESCRIPTION:

A TRACT OF LAND BEING A PORTION THE SOUTHEAST QUARTER OF SECTION 21, A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, A PORTION OF THE NORTHWEST QUARTER OF SECTION 27 AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EAST LINE OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MONUMENTED AT THE SOUTHERLY END BY A 3–1/4" ALUMINUM SURVEYOR'S CAP STAMPED ACCORDINGLY, "PLS 30087," AND BEING MONUMENTED AT THE NORTHERLY END BY A 3–1/4" ALUMINUM SURVEYOR'S CAP STAMPED ACCORDINGLY, "PLS 30087," BEING ASSUMED TO BEAR N00°52'26"W, A DISTANCE OF 5,290.17 FEET.

COMMENCING AT THE NORTHWEST CORNER OF SECTION 27, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO; THENCE N89°38'06"E A DISTANCE OF 602.59 FEET TO THE POINT OF BEGINNING; THENCE S32°03'23"E A DISTANCE OF 447.39 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 07°12'46", A RADIUS OF 1,300.00 FEET A DISTANCE OF 163.65 FEET TO A POINT ON CURVE; THENCE S45°55'49"W A DISTANCE OF 1,166.50 FEET; THENCE N89°47'08"W A DISTANCE OF 88.92 FEET TO THE SOUTHEAST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28; THENCE N89°47'08"W, ON THE SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, A DISTANCE OF 1,127.53 FEET; THENCE N00°12'52"E; A DISTANCE OF 11.41 FEET; THENCE N89°44'32"W A DISTANCE OF 289.10 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 61°56'07", A RADIUS OF 290.00 FEET A DISTANCE OF 313.48 FEET TO A POINT OF TANGENT; THENCE N27°48'24"W A DISTANCE OF 779.86 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 08°00'18", A RADIUS OF 2,050.00 FEET A DISTANCE OF 286.41 FEET TO A POINT OF TANGENT; THENCE N19°48'06"W A DISTANCE OF 438.38 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 29°29'59", A RADIUS OF 950.00 FEET, A DISTANCE OF 489.12 FEET TO A POINT OF TANGENT; THENCE N49°18'05"W A DISTANCE OF 29.46 FEET; THENCE N38°44'17"E A DISTANCE OF 100.06 FEET; THENCE S53°13'21"E A DISTANCE OF 159.27 FEET; THENCE S60°22'39"E A DISTANCE OF 211.52 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S22°55'07"W HAVING A DELTA OF 26°23'43"E, A RADIUS OF 1,668.20 FEET A DISTANCE OF 768.52 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S46°15'00"W HAVING A DELTA OF 12°10'43", A RADIUS OF 1,363.49 FEET A DISTANCE OF 289.82 FEET TO A POINT ON CURVE; THENCE S31°44'28"E A DISTANCE OF 23.97 FEET; THENCE N65°27'05"E A DISTANCE OF 122.04 FEET; THENCE S72°44'18"E A DISTANCE OF 15.00 FEET1
28.4 TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE OT THE RIGHT WHOSE CENTER BEARS S72°44'18"E HAVING A DELTA OF 76°32'04", A RADIUS OF 60.00 FEET A ; DISTANCE OF 80.15 FEET TO A POINT ON CURVE; THENCE N28°43'11"E A DISTANCE OF 325.08 FEET; THENCE N14°14'45"W A DISTANCE OF 65.01 FEET; THENCE N54°32'52"W A DISTANCE OF 5.87 FEET; THENCE N06°45'50"W A DISTANCE OF 66.21 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 29°56'47", A RADIUS OF 142.50 FEET A DISTANCE OF 74.48 FEET TO A POINT OF TANGENT; THENCE N23°10'57"E A DISTANCE OF 204.59 FEET; THENCE N19°42'45"E A DISTANCE OF 111.00 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE WHOSE CENTER BEARS N19°42'45"E HAVING A DELTA OF 22°06'06", A RADIUS OF 839.00 FEET A DISTANCE OF 323.64 FEET TO A POINT OF ON CURVE; THENCE N87°36'38"E A DISTANCE OF 202.47 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 28°38''49", A RADIUS OF 1,306.00 FEET A DISTANCE OF 652.98 FEET TO A POINT ON CURVE; THENCE N76°41'58"E A DISTANCE OF 55.78 FEET; THENCE S58°18'02"E A DISTANCE OF 185.25 FEET; THENCE S13°18'02"E A DISTANCE OF 76.12 FEET; THENCE S30°22'37"W A DISTANCE OF 119.64 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S30°22'37"W A DELTA OF 27°34'01", A RADIUS OF 700.00 FEET A DISTANCE OF 336.79 FEET TO A POINT OF TANGENT; THENCE S32°03'23"E A DISTANCE OF 15.72 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 4,478,988 SQUARE FEET OR 102.823 ACRES, MORE OR LESS.



VICINITY MAP
NOT TO SCALE

DEVELOPMENT STANDARDS AND GUIDELINES (SINGLE FAMILY DETACHED LOTS):
1. THERE SHALL BE ONLY ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE FAMILY RESIDENCE ON A LOT.
2. ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRANDVIEW RESERVE PHASE 3, AND THE GRANDVIEW RESERVE DESIGN GUIDELINES.
3. MINIMUM LOT AREA:THREE THREE THOUSAND THREE HUNDRED SQUARE FEET (3,800SF). (REFER TO TYPICAL LOT LAYOUTS)
4. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM.
5. MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40').
6. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE:THIRTY FEET (28')
7. MINIMUM DRIVEWAY LENGHT: 20' FROM FACE OF GARAGE TO BACK OF SIDEWALK
8. SETBACK REQUIREMENTS:
   a. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
      FIFTEEN FEET (15') TO FACE OF HOUSE
   b. SIDE YARD: FIVE FEET (5')
   c. REAR YARD TWENTY FEET (20')
   d. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
   e. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

ACCESSORY USE STANDARDS:
9. ACCESSORY STRUCTURE USE SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES SUCH AS SHEDS, DECKS, DETACHED DECKS, GAZEBOS, PATIOS, HOT TUBS AND POOLS. THERE SHALL BE NO GUEST HOUSES ALLOWED.
10. ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY USES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE. DECKS ATTACHED TO HOMES OVER 18" TALL ARE PRINCIPAL STRUCTURES. STAND ALONE DECKS ARE ACCESSORY
11. MAXIMUM ACCESSORY STRUCTURE HEIGHT: FIFTEEN FEET (15')
12. SETBACK REQUIREMENTS:
   a. FRONT YARD: FIFTY FEET (50')
   b. SIDE YARD: FIVE FEET (5')
   c. REAR YARD: FIVE FEET (5')
   d. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
   e. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

LOT 323 (SCHOOL SITE) NON-RESIDENTIAL DEVELOPMENT STANDARDS:
ALLOWED USES: RELIGIOUS INSTITUTION, (PLACE OF WORSHIP/CHURCH), PRIVATE / CHARTER SCHOOL, EDUCATIONAL (PRIVATE OR PUBLIC, PHILANTHROPIC, COMMUNITY BUILDING, BALL FIELDS, SPORTS COURTS, PASTORAL RESIDENCE, HEALTH CLUB OR RECREATION / AMENITY CENTER.

1. MINIMUM LOT AREA:FIVE ACRES (25 ACRES).
2. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: 30%
3. MAXIMUM STRUCTURAL HEIGHT: FIFTY FEET (50').
4. BUILDING SETBACK REQUIREMENTS:
   a. FRONT YARD: FIFTY FEET (50')
   b. SIDE YARD: FIFTY FEET (50')
   c. REAR YARD FIFTY FEET (50')
6. FINAL LAYOUT WILL BE PROVIDED AT SITE DEVELOPMENT PLAN. SITE DEVELOPMENT PLAN PLAN WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR LOTS 323

SITE DATA

EXISTING LAND USE:	**GRAZING & AGRICULTURAL**
EXISTING ZONING:	**RR-2.5**
PROPOSED ZONING:	**PUD**
SITE AREA:	**102.82 AC**
PROPOSED NUMBER OF DWELLING UNITS:	**322**
MAXIMUM GROSS DENSITY(ALLOWED PER SKETCH PLAN):	**PARCEL J - 4 DU/AC, PARCEL I - 8 DU/AC**
PROPOSED GROSS DENSITY:	**SEE LAND USE TABLE BELOW**
TOTAL AREAS (SEE LAND USE TABLE BELOW)	

GRANDVIEW RESERVE PHASE 3 - LAND USE TABLE

LAND USE	AREA (ACRES)	DWELLING UNITS	GROSS DENSITY (DU/ACRE)	**ALLOWABLE DENSITY (DU/ACRE-PER	% OF LAND
SINGLE FAMILY RESIDENTIAL	37.99	322	4.14	(see below)	37%
PORTION OF 77.83 WITHIN SKETCH PLAN AREA I	10.95	27	2.46	8.00	
PORTION OF 77.83 WITHIN SKETCH PLAN AREA J	66.87	295	4.41	4.00	
DETENTION TRACTS	13.19	N/A	N/A	N/A	13%
PARK TRACTS (USABLE RESIDENTIAL OPEN SPACE)	2.90	N/A	N/A	N/A	3%
OPEN SPACE TRACTS	2.43	N/A	N/A	N/A	2%
ROAD R.O.W.	21.31	N/A	N/A	N/A	21%
SCHOOL SITE	25.00	N/A	N/A	N/A	24%
TOTAL PHASE 3 LAND AREA	102.82	N/A	N/A		100%
TOTAL LAND AREA (Excluding School Site)	77.83				

OPEN SPACE REQUIREMENT (10%)*	7.78	N/A	N/A	N/A	10%
USABLE RESIDENTIAL OPEN SPACE REQUIRED (25% OF REQUIRED GROSS OPEN SPACE)	1.95	N/A	N/A	N/A	
USABLE RESIDENTIAL OPEN SPACE PROVIDED	2.90	N/A	N/A	N/A	37%

*School Site excluded from calculation, open space requirement to be met by school site independantly
**Phase 3 part of Parcels J (4 du/ac), I (8du/ac)

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OWNER:
MELODY HOMES, INC., A DELAWARE CORPORATION. 9555 S. KINGSTON COURT, SUITE 200, ENGLEWOOD, COLORADO 80112

DEVELOPER:
D.R. HORTON
9555 S. KINGSTON COURT
ENGLEWOOD, CO 80112
PH. 303.503.4903

PLANNER/LANDSCAPE ARCHITECT:
HRGREEN DEVELOPMENT, LLC
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
ATTN: PHIL STUEPFERT

CIVIL ENGINEER:
HR GREEN DEVELOPMENT, LLC
1975 RESEARCH PARKWAY SUITE 230
COLORADO SPRINGS, CO 80920
ATTN: KEN HUHN

PUBLIC STREETS
1. ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS EXCEPT FOR LANDSCAPE AREAS WHICH SHALL BE MAINTAINED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT OR HOME OWNERS ASSOCIATION.
2. ALL LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT VIA DEVELOPMENT AGREEMENT, LICENSE AGREEMENT OR INTER-GOVERNMENT AGREEMENT.
3. REX ROAD AS ILLUSTRATED ON THE DRAWINGS WILL BE A PUBLIC STREET DESIGNED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.
4. PUBLIC STREETS WITHIN THIS DEVELOPMENT PROVIDE LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY ON FILE FOR THIS PROJECT.

TRAFFIC IMPACT FEES:
1. THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

LANDSCAPE
1. COMMON OPEN SPACE AREAS SHALL BE XERISCAPED AS MUCH AS FEASIBLE BALANCING WITH AESTHETICALLY PLEASING LANDSCAPE DESIGN APPROACHES. URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARKS VIA PARK LAND AGREEMENTS.
2. LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT
3. NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.4.1.D. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
4. TRAILS TO BE SOFT SURFACE (I.E. CRUSHED REFINES) AND FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES AT THE TIME OF THE FINAL PLAT.
5. ANY FUTURE NON-REGIONAL TRAILS TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT.

GENERAL NOTES
1. **THE GRANDVIEW RESERVE PHASE 2 OVERALL GROSS DENSITY IS 6.08 DU/ AC, ON 68.72 ACRES, FOR A TOTAL OF 418 UNITS. PER SKETCH PLAN APPROVAL DENSITY TRANSFERS MAY OCCUR IN WHICH SPECIFIC AREAS EXCEED 4.24 DU/ AC SO LONG AS THE OVERALL DENSITY OF THE PROJECT IS BELOW THE APPROVED MAXIMUM UNIT COUNT. ANY DENSITY BELOW THIS CAP MAY BE USED IN SUBSEQUENT PHASES AND TRANSFERRED TO OTHER PARCELS AS LONG AS THE TOTAL MAXIMUM UNIT COUNT ON THE APPROVED SKETCH PLAN IS NOT EXCEEDED.**
2. **DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THIS PUD DEVELOPMENT PLAN. MAJOR MODIFICATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS UNLESS OTHERWISE PROVIDED BY THE EPC LAND DEVELOPMENT CODE.**
3. **CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT TO PROVIDE WATER SERVICE TO THE PROJECT. CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY WOODMAN HILLS METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE WOODMAN HILLS METROPOLITAN DISTRICT (WHMD) WASTEWATER SYSTEM WHICH WILL CONVEY THE WASTEWATER TO THE TREATMENT FACILITY WHERE CMD WILL BE RESPONSIBLE FOR TREATMENT.**
4. **ALL TRACTS ARE TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT. TRACTS INCLUDE LANDSCAPE EASEMENTS, DRAINAGE TRACTS, STORM WATER FACILITIES, OPEN SPACE TRACTS, STREETSCAPE PLANTINGS, DETENTION PONDS, UTILITIES, FENCES, PARKS AND RECREATIONAL FACILITIES, TRAILS, MAILBOX CLUSTERS, AND OTHER USES.**
5. **ALL ELECTRICAL SERVICES SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED WILL BE GIVEN EASEMENTS AS REQUIRED.**
6. **BLACK HILLS ENERGY WILL PROVIDE NATURAL GAS.**
7. **PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/ OR AS SHOWN WITHIN THE DETAILS.**
8. **PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVED BY EL PASO COUNTY PARKS. PARK IMPROVEMENTS WILL BE SUBMITTED FOR REVIEW AND APPROVAL WITH THE FINAL PLAT.**
9. **FEES IN LIEU OF LAND WILL BE PROVIDED FOR SCHOOLS AND PARKS, IF REQUIREMENTS ARE NOT MET WITH LAND DEDICATION.**
10. **ALL COMMON LANDSCAPE AREAS AND OPEN SPACE WITHIN THE DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT.**
11. **PRELIMINARY MAILBOX KIOSK LOCATIONS SHOWN, FINAL LOCATIONS SUBJECT TO APPROVAL BY THE USPS . ADJUSTMENTS TO LOCATION MAY BE MADE WITH FINAL PLAT AND CONSTRUCTION DRAWINGS.**
12. **PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLOWS:**
    a. **FRONT: TEN FEET (10')**
    b. **SIDE: FIVE FEET (5')**
    c. **REAR: TEN FEET (10')**
    d. **ALL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.**
    e. **MVEA: TWENTY FEET (20') MIN. WIDTH EASMENT WILL BE PROVIDED TO MVEA IN SELECT AREAS AROUND THE PERIMETER OF THE OVERALL SITE OR THROUGH OPEN SPACE TRACTS. THE EXACT LOCATIONS SHALL BE COORDINATED WITH MVEA WITH FINAL LOCATIONS TO BE INCLUDED ON THE FINAL PLAT. MVEA INFRASTRUCTURE DESIGN WAS IN PROGRESS AT THE TIME OF THIS PUD PRELIMINARY PLAN APPROVAL.**
13. **INDIVIDUAL LOT SIDE YARD SWALES SHALL BE CONSTRUCTED DURING INDIVIDUAL LOT CONSTRUCTION / LANDSCAPING TO PROVIDE ADEQUATE DRAINAGE. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEBUILDERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.**
14. **GRASS BUFFER BMPS WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.**
15. **STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS AND EL PASO COUNTY DETAILS AND SPECIFICATIONS.**
16. **SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRANDVIEW RESERVE AND THE GRANDVIEW RESERVE DESIGN GUIDELINES.**
17. **FENCING:**
    • ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND ANY FUTURE DESIGN GUIDELINES FOR GRANDVIEW RESERVE.
    • NO FENCES SHALL IMPEDE DRAINAGE IN ANY WAY.
18. **NEW SIDEWALKS ADJACENT TO RESIDENTIAL LOTS ARE TO BE 5" THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID SIDEWALKS. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION.**
19. **ENVIRONMENTAL NOTE: DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE).**
20. **ADA NOTE: THE SUBDIVIDER / DEVELOPER HAS FAMILIARIZED ITSELF WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.**
21. **ALL TRAILS ARE TO BE NON-MOTORIZED TRAILS.**
22. **THERE SHALL BE NO DIRECT LOT ACCESS TO REX ROAD AND WISHAW PL.**

FLOODPLAIN NOTES:
1. THIS PROPERTY IS LOCATED WITHIN A DESIGNED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBERS '08041C0556G' AND '08041C0552G' EFFECTIVE DATE 7, 2018.
2. THE EXISTING FLOODPLAIN BOUNDARIES WILL BE REVISED VIA A LOMR MODELING THE PROPOSED IMPROVEMENTS TO ESTABLISH FLOOD ELEVATIONS AND THEN PROCESSED THROUGH TO FEMA TO ESTABLISH ZONE AE FLOODPLAIN LIMITS. NO GRADING WILL TAKE PLACE WITHIN THE EXISTING FLOODPLAIN LIMITS UNTIL THE CLOMR HAS BEEN APPROVED.
3. THOSE LOTS EITHER PARTIALLY OR ENTIRELY LOCATED WITHIN THE CURRENT FLOODPLAIN SHALL NOT BE PLATTED UNTIL THE FLOODPLAIN BOUNDARY REVISION PROCESS IS COMPLETED EFFECTIVELY REMOVING THE FLOODPLAIN LIMITS FROM THESE LOTS.
4. THE SUBMITTAL AND REVIEW OF THE FLOODPLAIN REVISION OCCUR INDEPENDENTLY OF THIS PRELIMINARY PLAN AND SHALL BE APPROVED PRIOR TO THE PLATTING OF ANY LOTS CURRENTLY LOCATED WITHIN FLOODPLAIN BOUNDARIES.
5. NO STRUCTURES OR SOLID FENCES ARE PERMITTED WITHIN THE DESIGNATED FLOODPLAIN AREA.

CERTIFICATE OF OWNERSHIP

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of ____________________. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

____
Owners/Mortgagee (Signature)

By:
Title:

ATTEST: (if corporation)

Secretary/Treasurer

STATE OF COLORADO)
) ss.
COUNTY OF _________)

Acknowledged before me this _____ day of ______________, 200__ by ____________________________ as ______________________.

My commission expires ______________________

Witness my hand and official seal______________________
Notary Public
Signatures of officers signing for a corporation shall be acknowledged as follows:
(print name) as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state corporation.

Signatures of managers/members for a LLC shall be acknowledged as follows:
(print name) as Manager/Member of company, a state limited liability company.
(Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)

CLERK AND RECORDER

STATE OF COLORADO
COUNTY OF EL PASO
I hereby certify that this instrument was filed in my office on this ____ day of ________, 20__, and was recorded at Reception Number _________________ of the records of El Paso County

BOARD OF COUNTY COMMISSIONER'S CERTIFICATE

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _________ day of ______, 20___, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements: list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

______________________________ ______________________________
Chair, Board of County Commissioners Date

______________________________ ______________________________
Director, Planning and Community Development Date

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: SPC	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1"	
APPROVED: KVH	JOB NUMBER: 201662	IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD DATE: 3/21/2024			
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Cover_PUD			

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

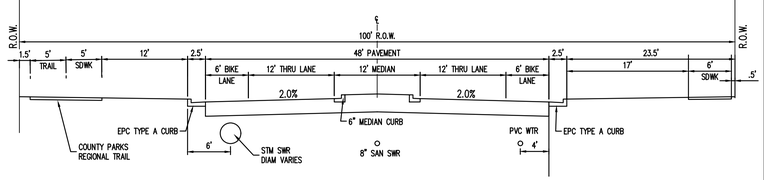
COVER AND TYPICAL SECTIONS
COVER SHEET

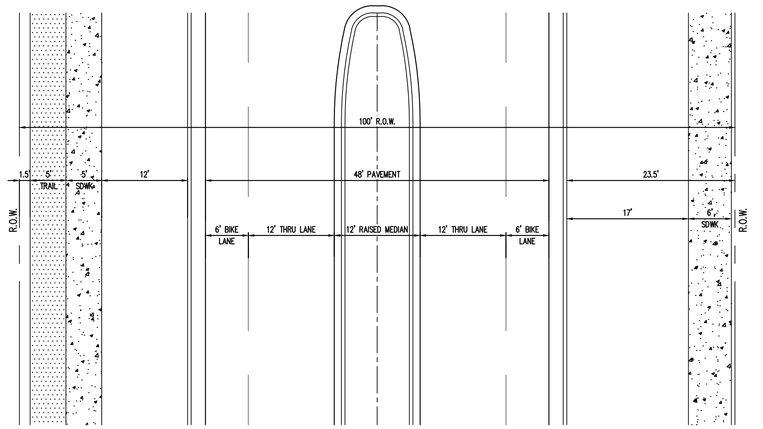
SHEET CV 01

HR GREEN Xrefs: xc-row-662.202; vicinity_map; xc-row-F1-662.10; xc-row-F2; xc-row-F3; xc-row-F4; xc-row_662.08_Eastonville; xv-row-662; xv-dsgn_662; xc-row-PH2; 01-XC-channel; xc-row-PH3; xgt-1-arch dh01_PH3_PUD

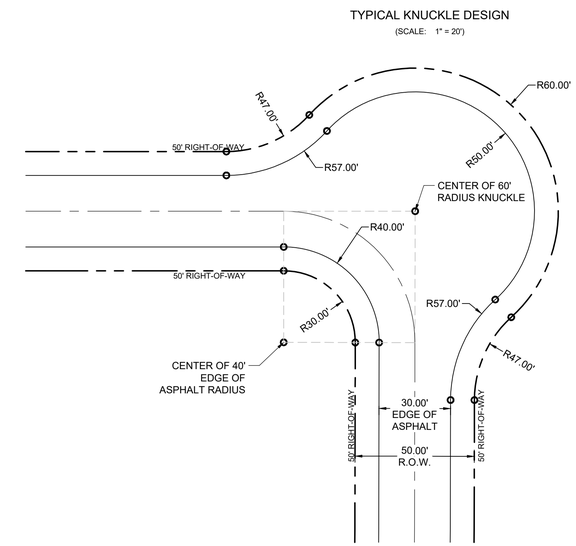
GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

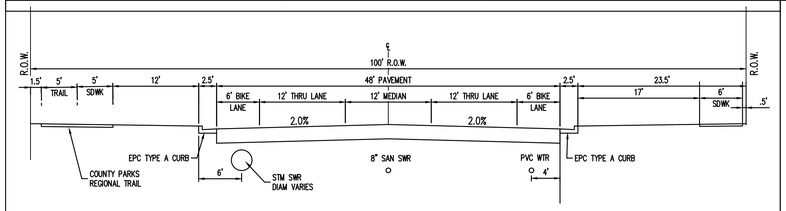
A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

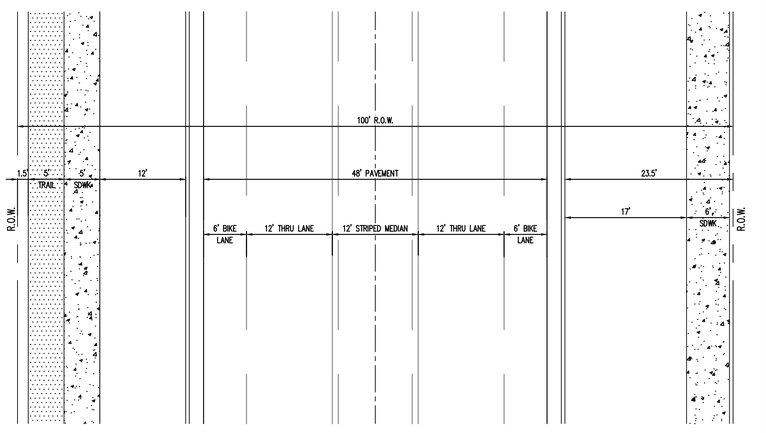




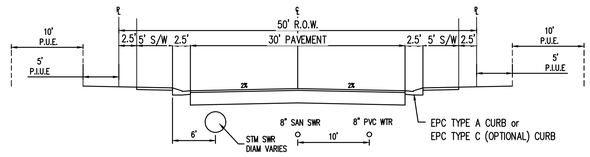
ARTERIAL: 100' R.O.W. STREET SECTION
(MINOR ARTERIAL)
N.T.S.
(ROADS USING THIS SECTION: REX RD STA 48+50 TO 57+00)

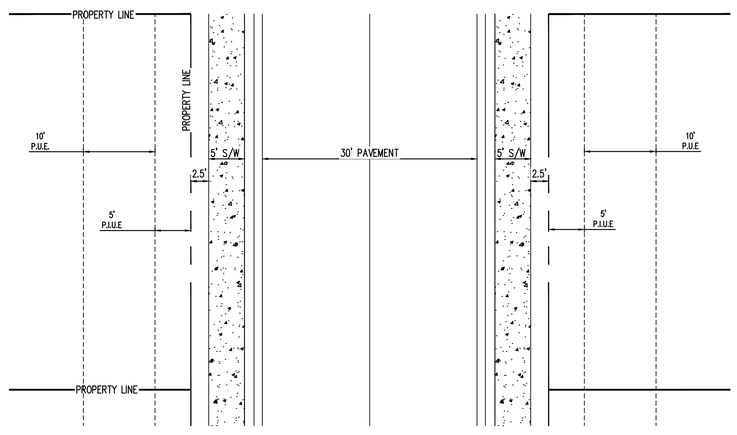




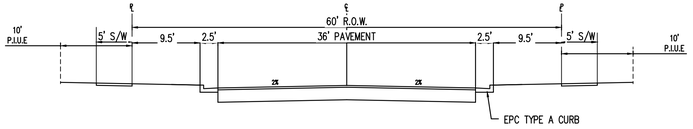


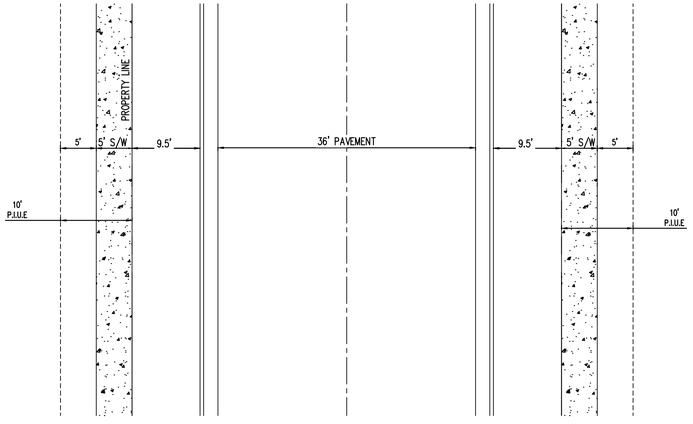
ARTERIAL: 100' R.O.W. STREET SECTION
(MINOR ARTERIAL)
N.T.S.
(ROADS USING THIS SECTION: REX RD STA 45+00–48+50)





NEIGHBORHOOD STREET: 50' R.O.W. STREET SECTION
ATTCHED SIDEWALK(URBAN LOCAL)
N.T.S.
(ROADS USING THIS SECTION: SALTHILL CT, GLAMPTON DR, ROSCOMMON ST, ABERDEEN DR, LISMORE LN, ALTHONE WY, BALLYCARE TERR, CLIFDEN LN, DAWLISH DRIVE)
P.I.U.E = PUBLIC IMPROVEMENTS/UTILITY EASEMENT
P.U.E = PUBLIC UTILITY EASEMENT





COLLECTOR: 60' R.O.W. STREET SECTION
(URBAN COLLECTOR)
N.T.S.
(ROADS USING THIS SECTION: MISHAW PLACE)
P.I.U.E = PUBLIC IMPROVEMENTS/UTILITY EASEMENT
P.U.E = PUBLIC UTILITY EASEMENT

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: YOU	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS.	
APPROVED: KEN	JOB NUMBER: 201662	0 1"	
CAD DATE: 3/21/2024		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Typ-Sections_PUD			

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

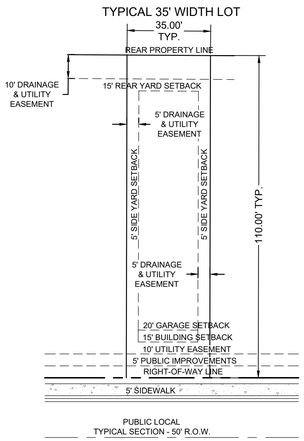
COVER AND TYPICAL SECTIONS
TYPICAL SECTIONS

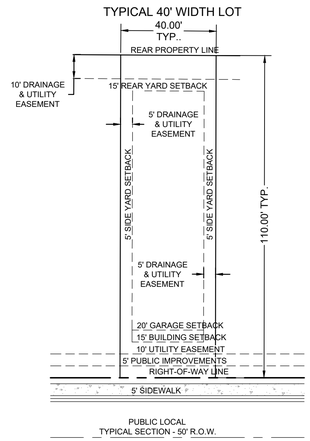
SHEET TYP 02

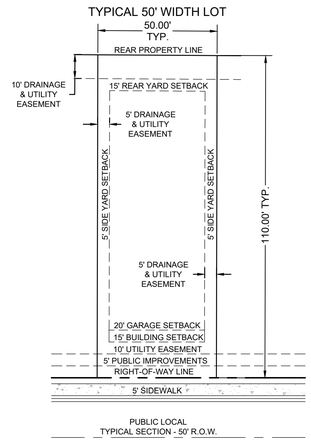
HUHN, KEN, 3/21/2024 1:07 PM
HR GREEN Xrefs: rdwy_typicals; xgf-1-arch dfr01_PH3_PUD; knuckle_layout_typicals; lot_layout_typicals; lot_corner_layout_typicals

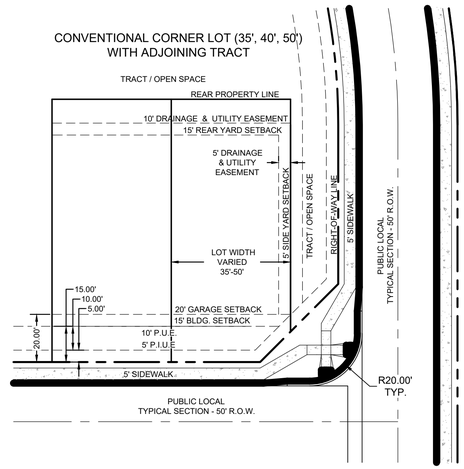
GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO









- 15' BUILDING SETBACK: A PORTION OF THE PRINCIPAL STRUCTURE, INCLUDING PORCHES.
- THE SIDE SETBACK WILL BE 5' IF A MINIMUM OPEN SPACE TRACT IS PROVIDED OF 10' OR MORE, MEASURED FROM RIGHT OF WAY TO LOT LINE
- ON INTERIOR LOTS, SIDE YARD SETBACKS ARE MEASURED FROM THE PROPERTY LINE.
- ON CORNER LOTS, FRONT AND SIDE YARD SETBACKS ARE MEASURED FROM THE RIGHT-OF-WAY. REAR YARD SETBACKS ARE MEASURED FROM THE PROPERTY LINE.
- LOT WIDTH AND DEPTH FOR TYPICAL LOT VARIES, REFER TO PLAN FOR LOT SIZES.

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: YOU JOB DATE: PUD DEVELOPMENT PLAN
APPROVED: KEN JOB NUMBER: 201662
CAD DATE: 3/21/2024
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Typ-Sections_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0 1"
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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

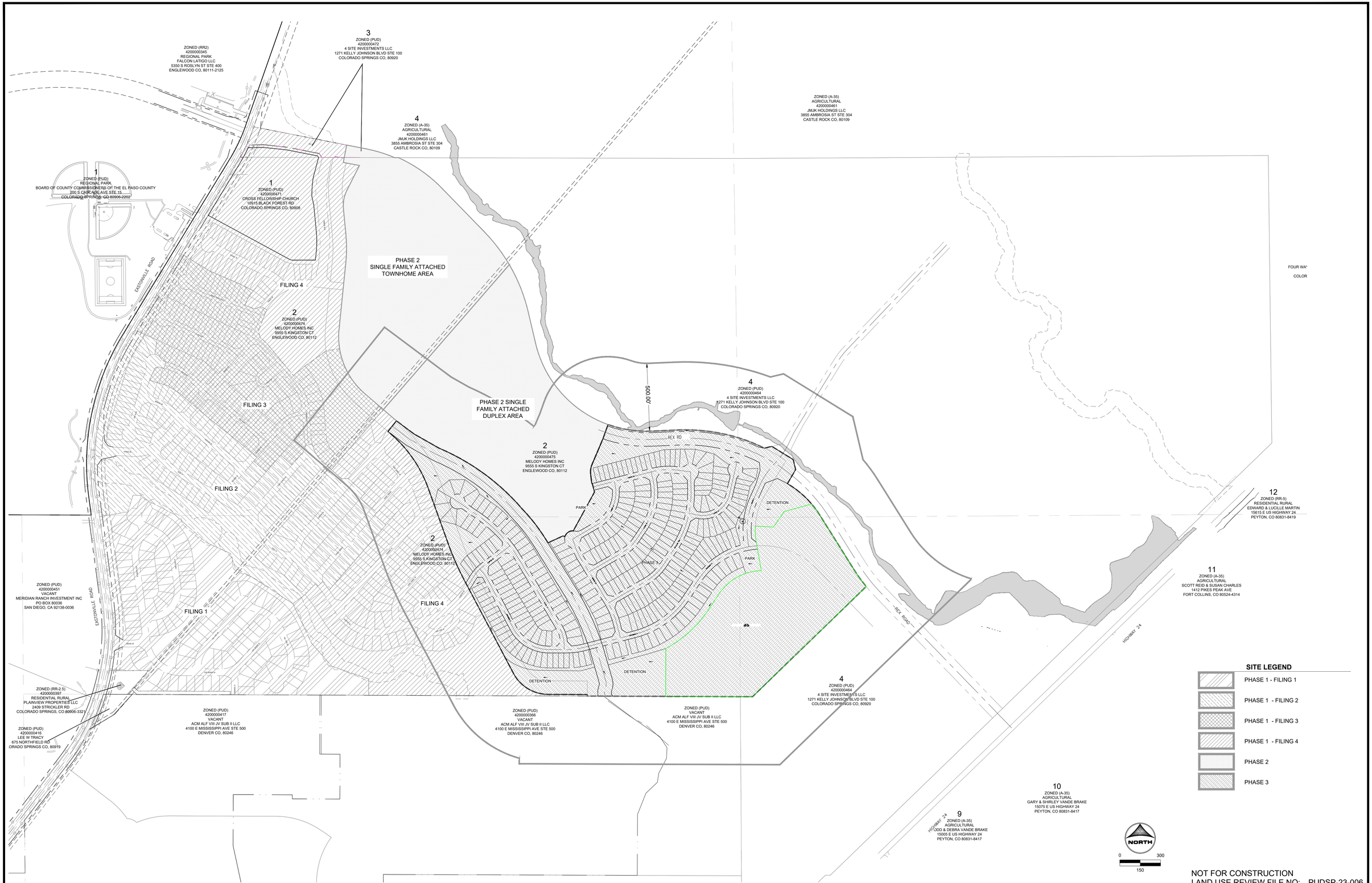
COVER AND TYPICAL SECTIONS
TYPICAL SECTIONS

SHEET ----

03

HUHN, KEN, 3/21/2024 1:07 PM
HR GREEN X:\xfs; rdwy_typicals; xgt-1-arch dh01_PH3_PUD; knuckle_layout_typical; lot_layout_typicals; lot_corner_layout_typicals

HUHN, KEN, 3/21/2024 1:09 PM



NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-23-006

DRAWN BY: YOU	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1"	
APPROVED: KEN	JOB NUMBER: 201662	IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD DATE: 3/21/2024			
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Adjacent_Properties_PUD			

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

ADJACENT PROPERTY
OVERALL AND ADJACENT PROPERTY PLAN

SHEET ---- 04

HR GREEN Xrefs: xgl-1-arch dho1_PH2_PUD; xv-row-662; xc-row-F4; xc-row-F3; xc-row-F2; xc-row-F1-662.10; xc-row-PH2; 01-XC-channel; xc-row_662.09_Eastonville; xv-dsgn_662; xc-filing-bndys; xc-row-PH3

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

GRANDVIEW RESERVE PHASE 3 - TRACT USE AND AREA TABLE											
TRACT	AREA (SF)	ACREAGE (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PUBLIC DRAINAGE	PEDESTRIAN ACCESS	LANDSCAPING	PARK	DETENTION & CHANNEL	SIGNAGE	OWNERSHIP AND MAINTENANCE
A	109,154	2.506	X	P	X	X	X				GVRMD
B	12,745	0.293	X	P		X	X				GVRMD
C	90,743	2.083	X	P	X		X		X	X	GVRMD
D	20,531	0.471	X	P	X	X	X	X			GVRMD
E	61,938	1.422	X	P	X	X	X	X			GVRMD
F	9,420	0.216	X	P	X	X	X				GVRMD
G	5,694	0.131	X	P		X	X				GVRMD
H	7,909	0.182	X	P		X	X				GVRMD
I	44,020	1.011	X	P		X	X	X			GVRMD
J	9,776	0.224	X	P			X				GVRMD
K	117,781	2.704	X	P	X	X	X		X		GVRMD
L	86,640	1.989	X	P		X	X				GVRMD
M	62,210	1.428	X	P		X	X				GVRMD
N	40,347	0.926	X	P	X	X	X				GVRMD
O	105,739	2.427	X	P	X		X		X		GVRMD
P	223,414	5.129			X				X		GVRMD
Q	36,943	0.848			X				X		GVRMD
TOTAL	1,045,005	23.990						2.90	13.19		

P = WHERE EASEMENTS DEDICATED
GVRMD = GRANDVIEW RESERVE METROPOLITIAN DISTRICT

NOTES:
1. SEE NEXT PAGE FOR LINE AND CURVE TABLES

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: EB
JOB DATE: PUD DEVELOPMENT PLAN
APPROVED: KMH
JOB NUMBER: 201662
CAD DATE: 3/21/2024
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Tract_Plan_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

TRACT PLAN
TRACT PLAN

SHEET TP 05

HUHN, KEN, 3/21/2024 1:11 PM
HR GREEN Xrefs: 01-XC-channel; xc-row-PH2; xc-row-F3; xc-row-F4; xc-row-PH3; xv-row-662; xgf-1-arch.dfx1_PH3_PUD; xc-dsgn-PH3

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

Line Table

Line #	Length	Direction
L1	202.47	N 87°36'38" E
L2	58.08	S 5°14'50" E
L3	104.27	S 16°57'43" W
L4	101.59	S 24°12'01" W
L5	42.20	S 33°32'34" W
L6	136.34	N 15°33'32" W
L7	67.31	N 17°20'16" E
L8	48.57	N 36°06'41" E
L9	48.57	N 27°55'10" E
L10	48.47	N 13°49'18" E
L11	39.03	N 13°33'35" E
L12	35.00	N 13°04'02" E
L13	35.00	N 13°04'02" E
L14	70.06	N 37°16'32" E
L15	77.93	N 10°56'07" E
L16	112.00	S 87°26'30" W
L17	137.63	N 54°00'30" W
L18	141.66	N 75°54'01" W
L19	117.87	N 89°29'22" W
L20	116.36	S 87°36'38" W
L21	537.50	S 75°34'07" W
L22	110.00	S 14°25'53" E
L23	32.19	S 75°34'07" W
L24	0.01	N 14°14'45" W
L25	5.87	N 54°32'52" W

Line Table

Line #	Length	Direction
L26	66.21	N 6°45'50" W
L27	204.59	N 23°10'57" E
L28	0.66	S 70°18'27" E
L29	11.00	S 19°42'45" W
L30	202.47	S 87°36'38" W
L31	42.09	S 79°47'02" E
L32	202.47	N 87°36'38" E
L33	0.59	S 70°17'15" E
L34	94.81	S 69°12'01" W
L35	208.97	N 74°45'56" E
L36	140.61	N 35°03'41" E
L37	133.04	S 86°38'21" E
L38	2.48	N 9°55'07" W
L39	43.57	S 51°56'11" E
L40	134.69	S 24°12'01" W
L41	58.44	S 75°32'06" W
L42	132.38	S 33°32'58" W
L43	136.28	N 33°32'58" E
L44	50.00	N 18°24'23" W
L45	110.00	S 18°24'23" E
L46	161.42	N 9°55'07" W
L47	23.08	S 33°32'58" W
L48	110.01	N 55°35'16" W
L49	110.00	S 56°27'02" E
L50	48.14	S 36°32'28" W

Line Table

Line #	Length	Direction
L51	122.35	S 73°08'10" W
L52	262.24	S 74°33'44" W
L53	110.00	N 14°27'54" W
L54	110.00	S 14°27'54" E
L55	25.00	S 75°32'06" W
L56	110.00	N 14°27'54" W
L57	352.64	N 0°12'52" E
L58	388.21	S 89°47'08" E
L59	24.17	S 15°57'12" W
L60	112.14	N 53°24'31" W
L61	112.00	N 55°39'27" W
L62	31.35	N 33°32'58" E
L63	112.00	S 56°27'02" E
L64	112.11	S 56°12'49" E
L65	46.55	S 33°47'11" W
L66	111.26	N 47°34'33" W
L67	110.00	N 56°12'49" W
L68	25.99	N 33°47'11" E
L69	110.28	S 53°23'24" E
L70	109.87	S 55°46'37" E
L71	33.95	S 33°47'11" W
L72	110.78	N 54°37'09" W
L73	111.00	N 56°12'49" W
L74	38.06	N 33°47'11" E
L75	112.29	S 56°12'49" E

Line Table

Line #	Length	Direction
L76	112.31	S 49°19'49" E
L77	103.89	S 75°34'07" W
L78	40.05	N 56°18'17" W
L79	124.64	N 59°51'14" E
L80	325.08	S 28°43'11" W
L81	15.00	S 14°14'45" E
L82	10.00	N 58°15'32" E
L83	512.14	S 31°44'28" E
L84	0.16	S 31°44'11" E
L85	50.00	S 30°17'57" E
L86	49.24	S 26°58'27" E
L87	47.93	S 26°31'11" E
L88	47.96	S 20°32'44" E
L89	48.76	S 15°15'08" E
L90	59.98	S 14°27'54" E
L91	5.04	S 75°32'06" W
L92	403.68	N 31°44'28" W
L93	168.94	N 53°13'21" W
L94	223.72	N 60°22'39" W
L95	428.47	N 31°44'28" W
L96	25.04	N 75°32'06" E
L97	62.25	S 14°27'54" E
L98	65.59	S 14°59'14" E
L99	65.46	S 26°23'54" E
L100	602.22	S 30°37'31" E

Line Table

Line #	Length	Direction
L101	54.31	S 32°22'56" E
L102	54.31	S 35°06'00" E
L103	54.31	S 37°50'30" E
L104	54.31	S 40°35'00" E
L105	54.31	S 43°19'30" E
L106	110.00	N 45°18'15" E
L107	110.00	S 43°23'54" W
L108	54.39	S 45°51'57" E
L109	54.40	S 50°42'51" E
L110	54.40	S 53°27'21" E
L111	50.89	S 55°19'18" E
L112	50.00	S 55°22'54" E
L113	41.58	S 27°19'07" E
L114	113.33	S 51°55'10" E
L115	113.33	N 89°08'18" E
L116	113.33	N 50°11'45" E
L117	114.56	N 12°55'13" E
L118	130.57	S 19°48'06" E
L119	29.46	S 49°18'05" E
L120	122.15	S 76°08'36" E
L121	106.55	S 61°23'04" E
L122	78.49	S 52°46'53" E
L123	110.00	N 39°49'08" E
L124	259.66	S 52°44'02" W
L125	39.80	S 43°10'53" W

Line Table

Line #	Length	Direction
L126	40.25	S 33°53'31" W
L127	115.00	S 37°15'58" E
L128	57.35	S 31°14'26" W
L129	29.99	N 27°48'14" W
L130	177.71	N 19°48'06" W
L131	111.86	S 16°01'40" E
L132	57.23	S 73°58'20" W
L133	150.00	S 75°32'06" W
L134	124.54	N 16°01'40" W
L135	110.00	S 14°27'54" E
L136	9.03	S 75°32'06" W
L137	110.05	S 0°00'00" E
L138	110.00	N 4°47'12" W
L139	131.37	N 90°00'00" W
L140	281.84	N 89°06'25" W
L141	108.04	S 75°00'29" W
L142	124.54	N 16°01'40" W
L143	13.43	N 15°57'12" E
L144	79.51	S 89°47'08" E
L145	11.41	S 0°12'52" W
L146	289.10	S 89°44'32" E
L147	564.56	S 27°48'24" E
L148	159.27	N 53°13'21" W
L149	211.52	N 60°22'39" W
L150	25.23	N 31°44'28" W

Line Table

Line #	Length	Direction
L151	397.41	N 27°48'24" W
L152	100.42	N 75°32'06" E
L153	109.98	N 62°11'36" E
L154	92.80	S 31°14'26" W
L155	37.06	S 89°57'16" W
L156	100.06	S 38°44'17" W
L157	18.24	S 75°32'06" W
L158	100.22	N 75°32'06" E
L159	27.96	S 75°32'06" W
L160	129.50	S 27°48'24" E
L161	109.77	N 89°47'08" W
L176	138.47	S 16°01'40" E

Curve Table

Curve #	Length	Radius	Delta
C1	365.80	950.00	22°03'42"
C2	610.69	1195.00	29°16'49"
C3	328.90	595.00	31°40'19"
C4	135.78	55.00	141°27'00"
C5	1.54	475.00	0°11'08"
C6	74.48	142.50	29°56'47"
C7	323.64	839.00	22°06'06"
C8	652.98	1306.00	28°38'49"
C9	607.02	1295.00	26°51'24"
C10	327.29	850.00	22°03'42"
C11	318.25	700.00	26°02'56"
C12	117.04	505.00	13°16'46"
C13	292.99	535.00	31°22'38"
C23	8.17	590.00	0°47'36"
C24	2.48	325.00	0°26'12"
C25	27.77	300.00	5°18'11"

Curve Table

Curve #	Length	Radius	Delta
C26	1.70	525.00	0°11'08"
C27	281.84	250.00	64°35'32"
C28	47.02	60.00	44°54'02"
C29	11.48	60.00	10°57'30"
C30	408.21	2040.27	11°27'48"
C31	730.90	1568.20	26°42'15"
C32	271.37	1263.49	12°18'22"
C33	378.63	1940.27	11°10'51"
C34	34.10	1025.00	1°54'21"
C35	489.12	950.00	29°29'59"
C36	84.34	975.00	4°57'22"
C37	291.22	2052.58	8°07'45"
C48	768.52	1668.20	26°23'43"
C49	289.82	1363.49	12°10'43"
C54	6.62	2040.27	0°11'09"
C57	21.07	27.79	43°25'39"

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: EB JOB DATE: PUD DEVELOPMENT PLAN
APPROVED: KMH JOB NUMBER: 201662
CAD DATE: 3/21/2024
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Tract_Plan_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0 1"
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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
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FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

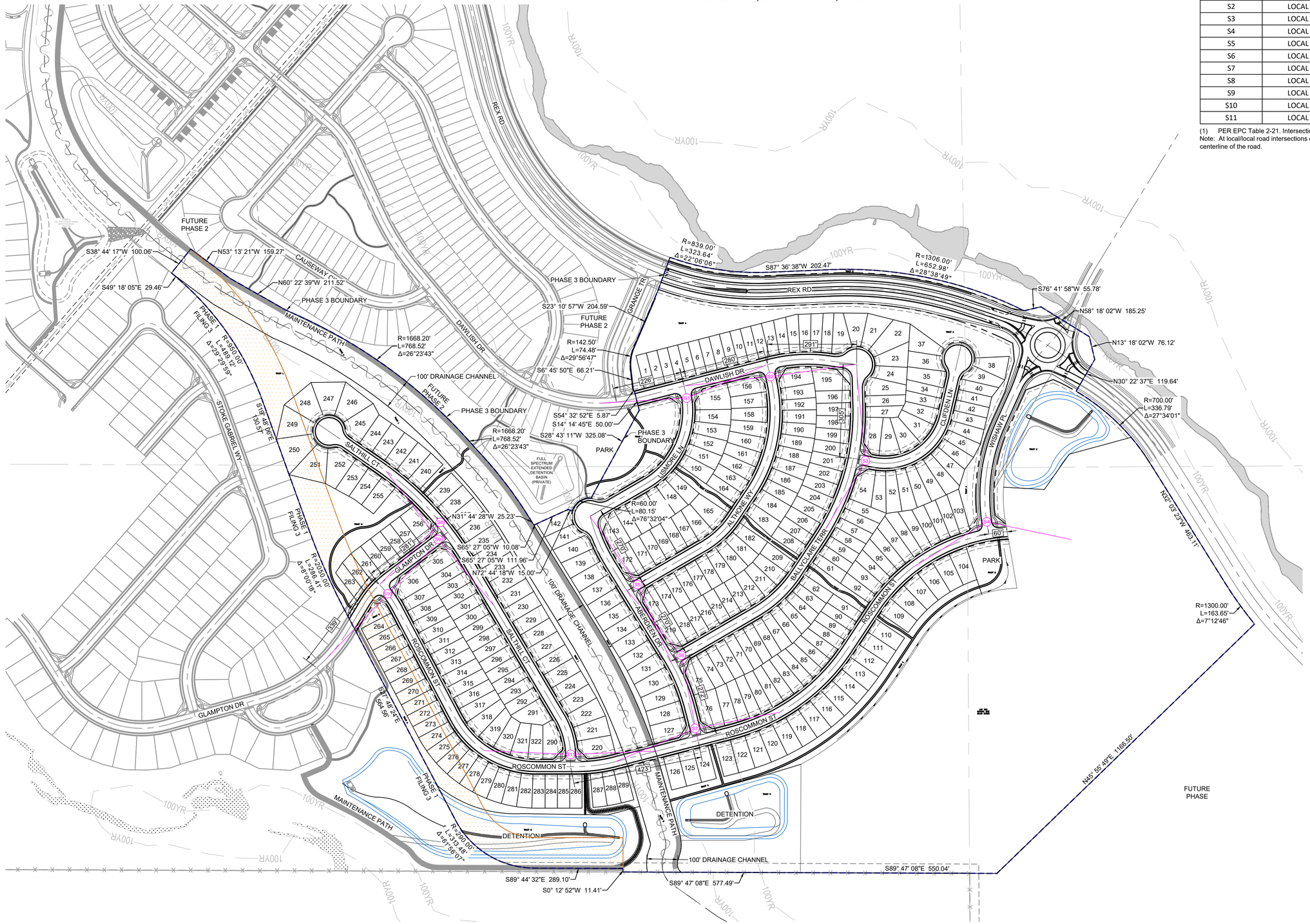
TRACT PLAN
TRACT PLAN TABLES

SHEET TPT 06

HUHN, KEN, 3/21/2024 1:11 PM
HR GREEN Xrefs: 01-XC-channel; xc-row-PH2; xc-row-F3; xc-row-F4; xc-row-PH3; xv-row-662; xgl-1-arch dh01_PH3_PUD; xc-dsgn-PH3

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



INTERSECTION SIGHT DISTANCE TABLE				
	ROADWAY CLASSIFICATION			
LOCATION ID	STOPED LOCATION	THRU STREET	SIGHT DISTANCE LEFT (FEET)(1)	SIGHT DISTANCE RIGHT (FEET) (1)
S1	LOCAL	LOCAL	280	280
S2	LOCAL	LOCAL	280	280
S3	LOCAL	LOCAL	280	280
S4	LOCAL	LOCAL	280	280
S5	LOCAL	LOCAL	280	280
S6	LOCAL	LOCAL	280	280
S7	LOCAL	LOCAL	280	280
S8	LOCAL	LOCAL	280	280
S9	LOCAL	LOCAL	280	280
S10	LOCAL	LOCAL	280	280
S11	LOCAL	LOCAL	280	280

(1) PER EPC Table 2-21. Intersection Sight Distance
Note: At local/local road intersections only, "D" shall be 10 feet and the sight distance shall be measured to the centerline of the road.

LEGEND

AREA OF PHASE 1 (PUDSP2110) TO BE REVISED

PHASE 3

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: YOU	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1"	
APPROVED: KEN	JOB NUMBER: 201662	IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD DATE: 3/21/2024			
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Overall_Site_Plan_PUD			

NO.	DATE	BY	REVISION DESCRIPTION

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GRANDVIEW RESERVE - PHASE 3
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EL PASO COUNTY, CO

D·R·HORTON America's Builder

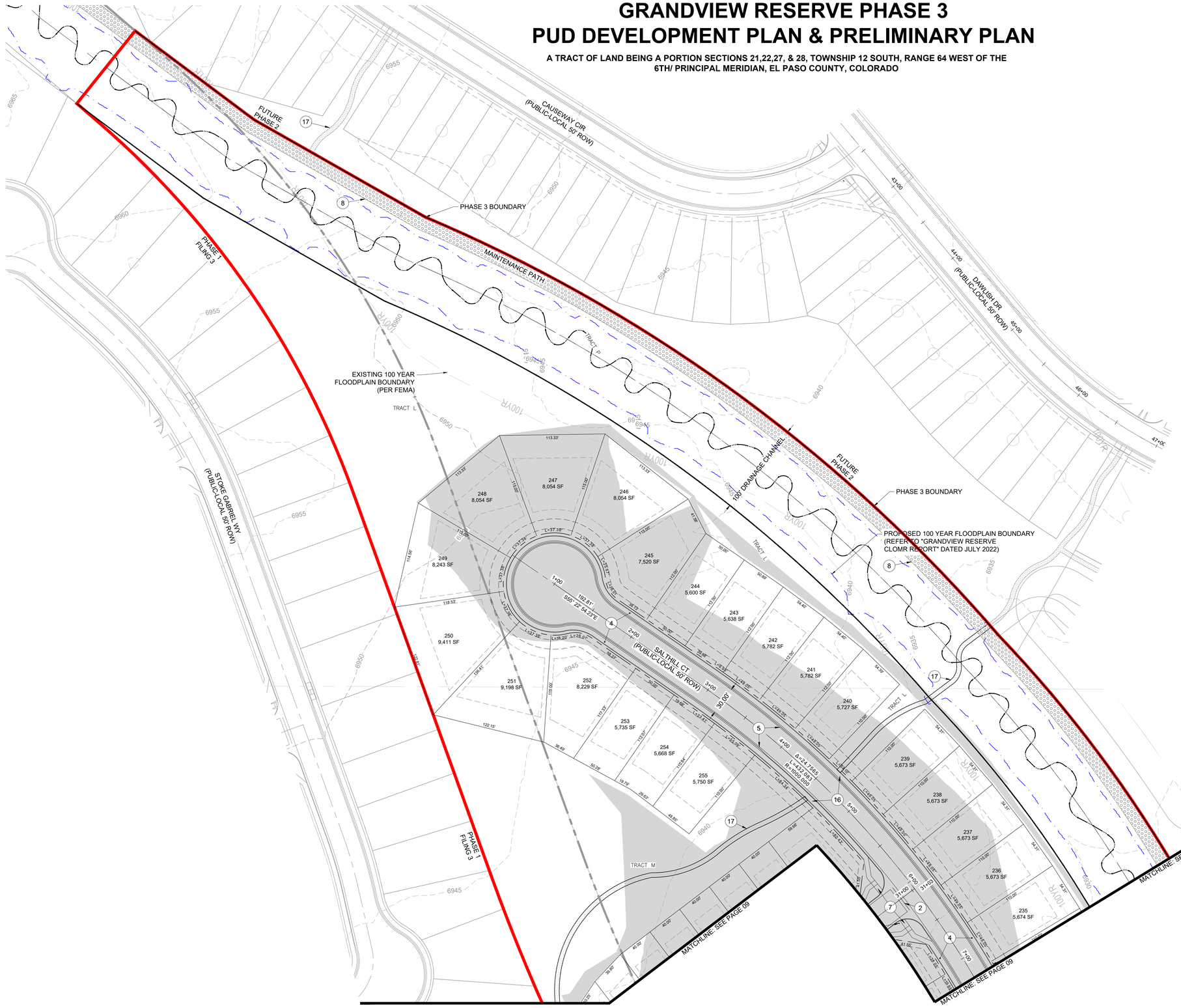
SITE PLAN
OVERALL SITE PLAN

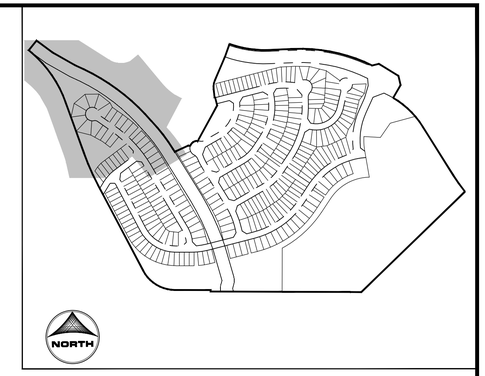
SHEET OSP 07

HUHN, KEN, 3/21/2024 1:14 PM
HR GREEN Xrefs: xc-row-PH2; 01-XC-channel; xc-dsgn-PH2; xc-row-F4; xc-dsgn-F4; xv-row-662; xv-dsgn_662; xv-utl_662; xgt-1-arch dh01_PH3_PUD; xc-row-F3; xc-dsgn-F3; xc-row-PH3; xc-dsgn-PH3

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
SCALE:
1/500

LINEWORK LEGEND

- MATCH LINE
- PR Phase 3 Boundary
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- EX LOT LINE
- EX SWALE
- PR SWALE
- PR TRAIL
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- PR PHASE LINE
- EX 100 YR FLOODPLAIN (100 YR)
- GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE

SITE SCHEDULE

1. PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
2. PR 6' CONCRETE CROSS PAN
3. PR 8' CONCRETE CROSS PAN
4. PR 5' CONCRETE SIDEWALK
5. PR EPC TYPE C MOUNTABLE CURB & GUTTER
6. PR EPC TYPE A VERTICAL CURB & GUTTER
7. PR CONCRETE CURB RAMP
8. PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
9. PR CONCRETE FOREBAY (PRIVATE)
10. PR CONCRETE TRICKLE CHANNEL (PRIVATE)
11. PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
12. PR CONCRETE OUTLET STRUCTURE (PRIVATE)
13. PR MICRO-POOL (PRIVATE)
14. PR ENTRY SIGN (SEE LANDSCAPE PLANS)
15. PR MODULAR BLOCK WALL
16. PR CONCRETE MID-BLOCK CURB RAMP
17. PR TRAIL (WIDTH VARIES)

NORTH
0 1"=50' 25

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: EMB	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1"	
APPROVED: KEN	JOB NUMBER: 201662	IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD DATE: 3/21/2024			
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Site_Plan_PUD			

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
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FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

SITE PLAN
SITE PLAN - 1 OF 7

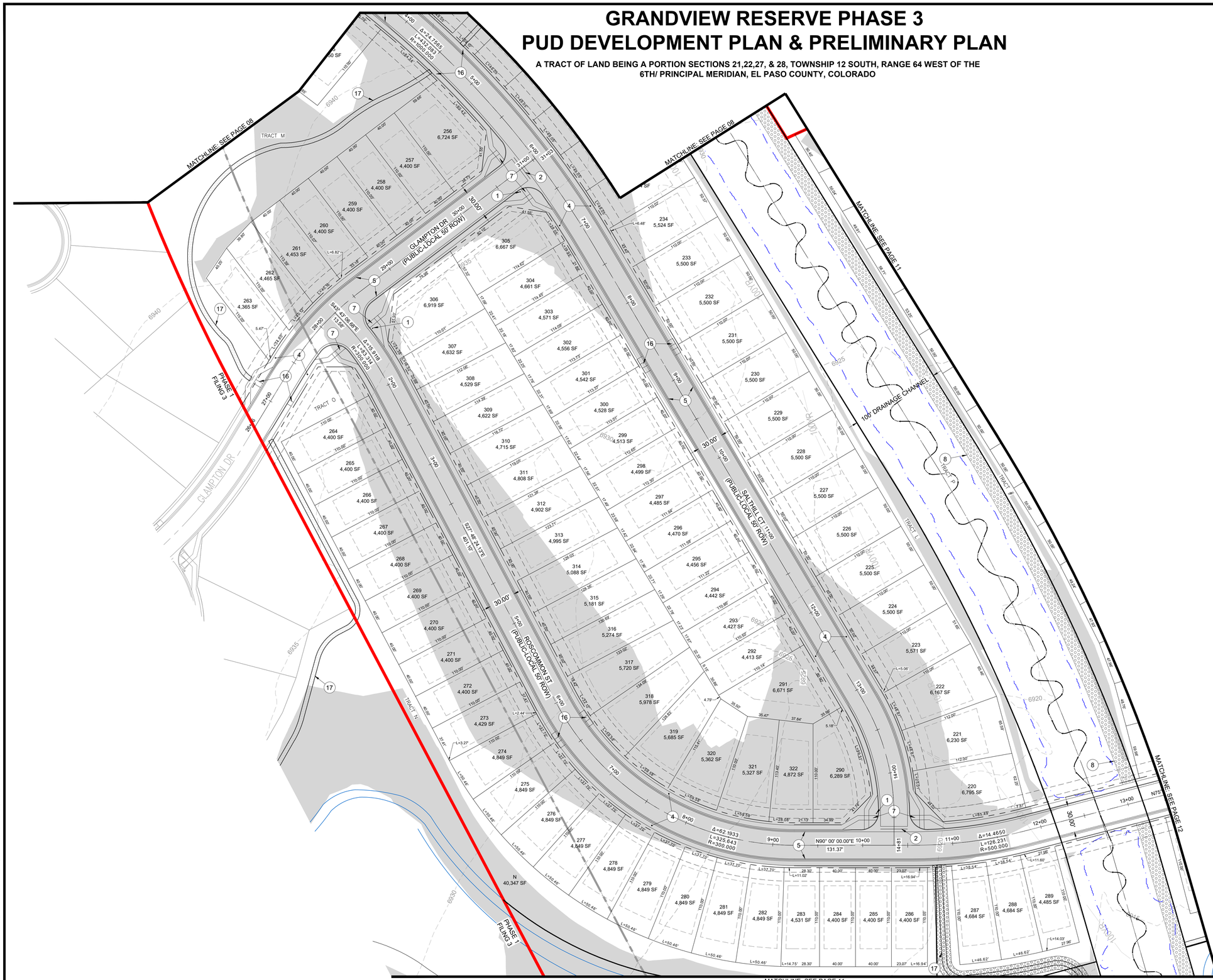
SHEET SP1

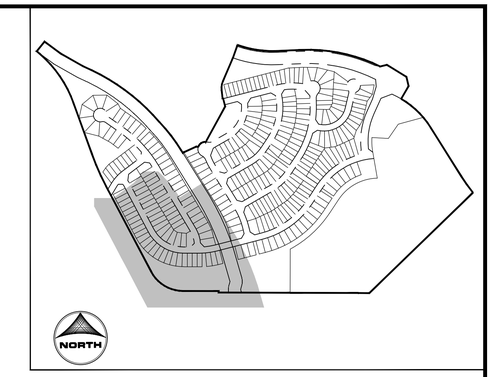
08

HUHN, KEN, 3/21/2024 1:18 PM
HR GREEN Xrefs: xc-row-PH2; 01-XC-channel; xc-dsgn-PH2; xc-row-F4; xc-dsgn-F4; xc-row-662; xv-dsgn_662; xv-util_662; xgt-1-arch dh01_PH3_PUD; xc-row-F3; xc-dsgn-F3; xc-row-PH3; xc-dsgn-PH3; Site_Plan_Linework_Legend; Site_Schedule; Site_Plan_key_map; 01-XC-PR_100YR_FP_DELINEATION

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
SCALE:
1/500

LINEWORK LEGEND

- MATCH LINE
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- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- PR PHASE LINE
- EX 100 YR FLOODPLAIN (100 YR)
- GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE

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14. PR ENTRY SIGN (SEE LANDSCAPE PLANS)
15. PR MODULAR BLOCK WALL
16. PR CONCRETE MID-BLOCK CURB RAMP
17. PR TRAIL (WIDTH VARIES)

NORTH
0 1"=50' 25

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

MATCHLINE: SEE PAGE 11

DRAWN BY: YOU	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1"	
APPROVED: KEN	JOB NUMBER: 201662		
CAD DATE: 3/21/2024		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Site_Plan_PUD			

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

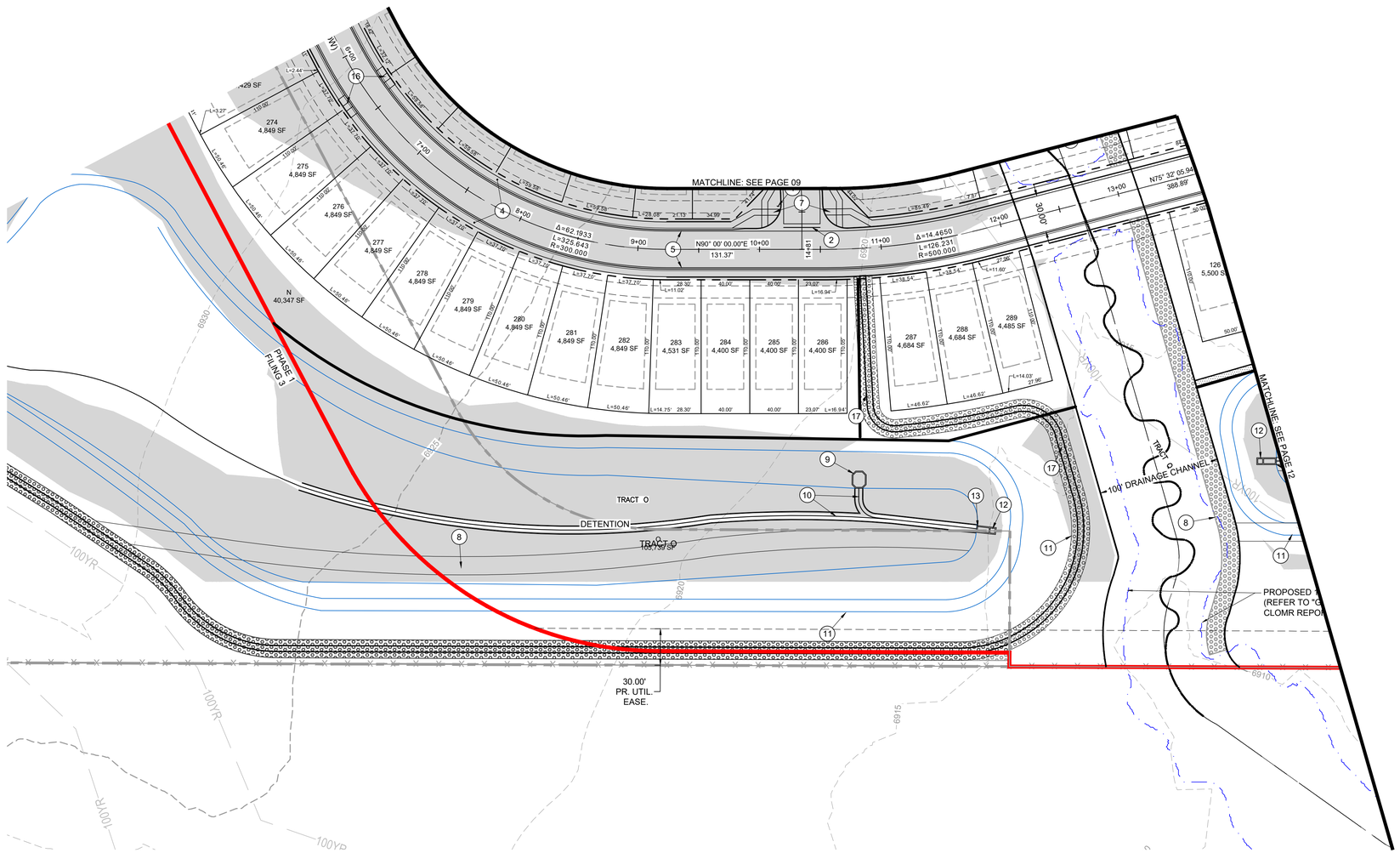
SITE PLAN
SITE PLAN - 2 OF 7

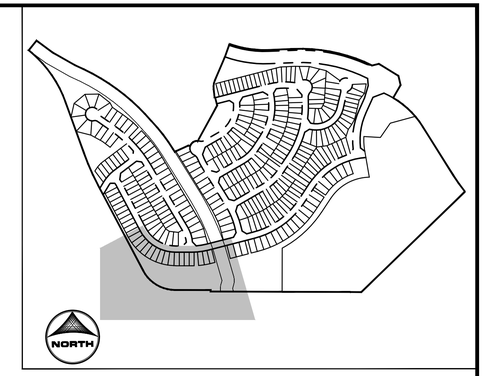
SHEET SP2 | 09

HUHN, KEN, 3/21/2024 1:18 PM
HR GREEN Xrefs: xc-row-PH2; 01-XC-channel; xc-dsgn-PH2; xc-row-F4; xc-dsgn-F4; xc-row-662; xv-dsgn_662; xv-util_662; xgt-1-arch dh01_PH3_PUD; xc-row-F3; xc-dsgn-F3; xc-row-PH3; xc-dsgn-PH3; Site_Plan_Linework_Legend; Site_Schedule; Site_Plan_key_map; 01-XC-PR_100YR_FP_DELINEATION

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
SCALE:
1/500

LINEWORK LEGEND

- MATCH LINE
- PR Phase 3 Boundary
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- EX LOT LINE
- EX SWALE
- PR SWALE
- PR TRAIL
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- PR PHASE LINE
- EX 100 YR FLOODPLAIN — 100 YR
- GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE

SITE SCHEDULE

1. PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
2. PR 6' CONCRETE CROSS PAN
3. PR 8' CONCRETE CROSS PAN
4. PR 5' CONCRETE SIDEWALK
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11. PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
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13. PR MICRO-POOL (PRIVATE)
14. PR ENTRY SIGN (SEE LANDSCAPE PLANS)
15. PR MODULAR BLOCK WALL
16. PR CONCRETE MID-BLOCK CURB RAMP
17. PR TRAIL (WIDTH VARIES)

NORTH

0 25 1"=50'

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: YOU	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS.	
APPROVED: KEN	JOB NUMBER: 201662	0 1"	
CAD DATE: 3/21/2024		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Site_Plan_PUD			

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

SITE PLAN
SITE PLAN - 3 OF 7

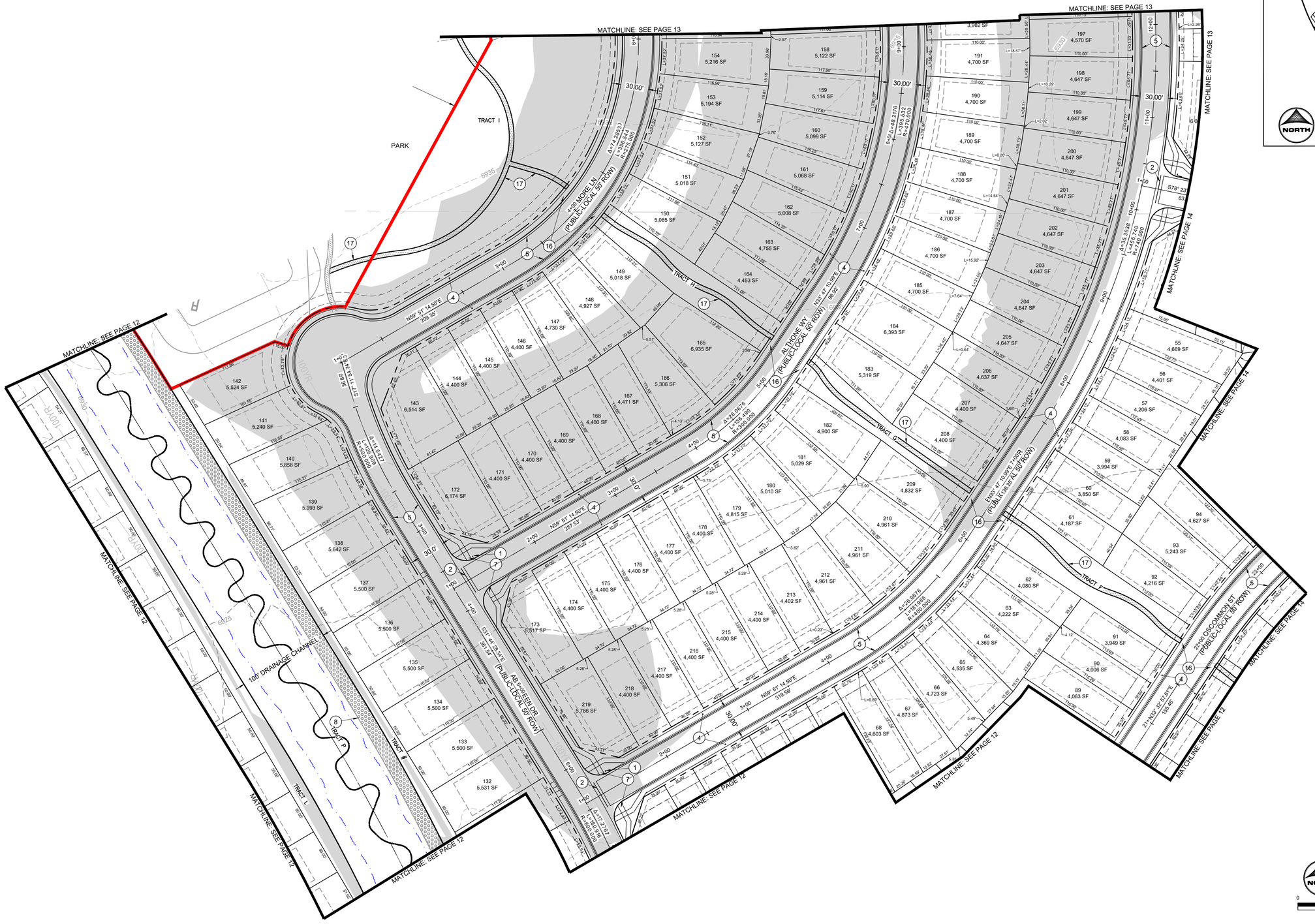
SHEET SP3

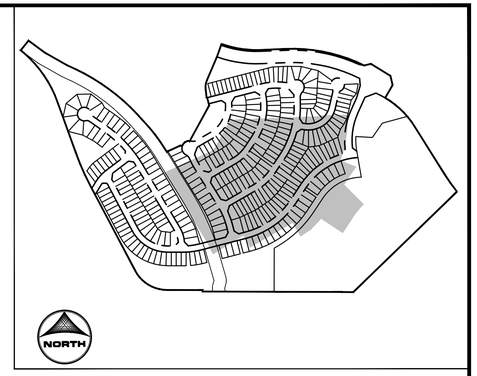
10

HUHN, KEN, 3/21/2024 1:18 PM
HR GREEN Xrefs: xc-row-PH2; 01-XC-channel; xc-dsgn-PH2; xc-row-F4; xv-row-662; xv-dsgn_662; xv-util_662; xgt-1-arch dft01_PH3_PUD; xc-row-F3; xc-dsgn-F3; xc-row-PH3; xc-dsgn-PH3; Site_Plan_Linework; Legend; Site_Schedule; Site_Plan_key_map; 01-XC-PR_100YR_FP_DELINEATION

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
SCALE:
1/500

LINEWORK LEGEND

- MATCH LINE
- PR Phase 3 Boundary
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- EX LOT LINE
- EX SWALE
- PR SWALE
- PR TRAIL
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
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- PR INDEX CONTOUR
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- PR PHASE LINE
- EX 100 YR FLOODPLAIN — 100 YR —
- GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE

SITE SCHEDULE

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16. PR CONCRETE MID-BLOCK CURB RAMP
17. PR TRAIL (WIDTH VARIES)

NORTH
0 1"=50' 25

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APPROVED: KEN	JOB NUMBER: 201662	0 1"	
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COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

SITE PLAN
SITE PLAN - 4 OF 7

SHEET SP4

11

HUHN, KEN, 3/21/2024 1:19 PM
HR GREEN Xrefs: xc-row-PH2; 01-XC-channel; xc-dsgn-PH2; xc-row-F4; xc-dsgn-F4; xv-row-662; xv-dsgn_662; xv-util_662; xgt-l-arch dh01_PH3_PUD; xc-row-F3; xc-dsgn-F3; xc-row-PH3; xc-dsgn-PH3; Site_Plan_Linework_Legend; Site_Schedule; Site_Plan_key_map; 01-XC-PR_100YR_FP_DELINEATION

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

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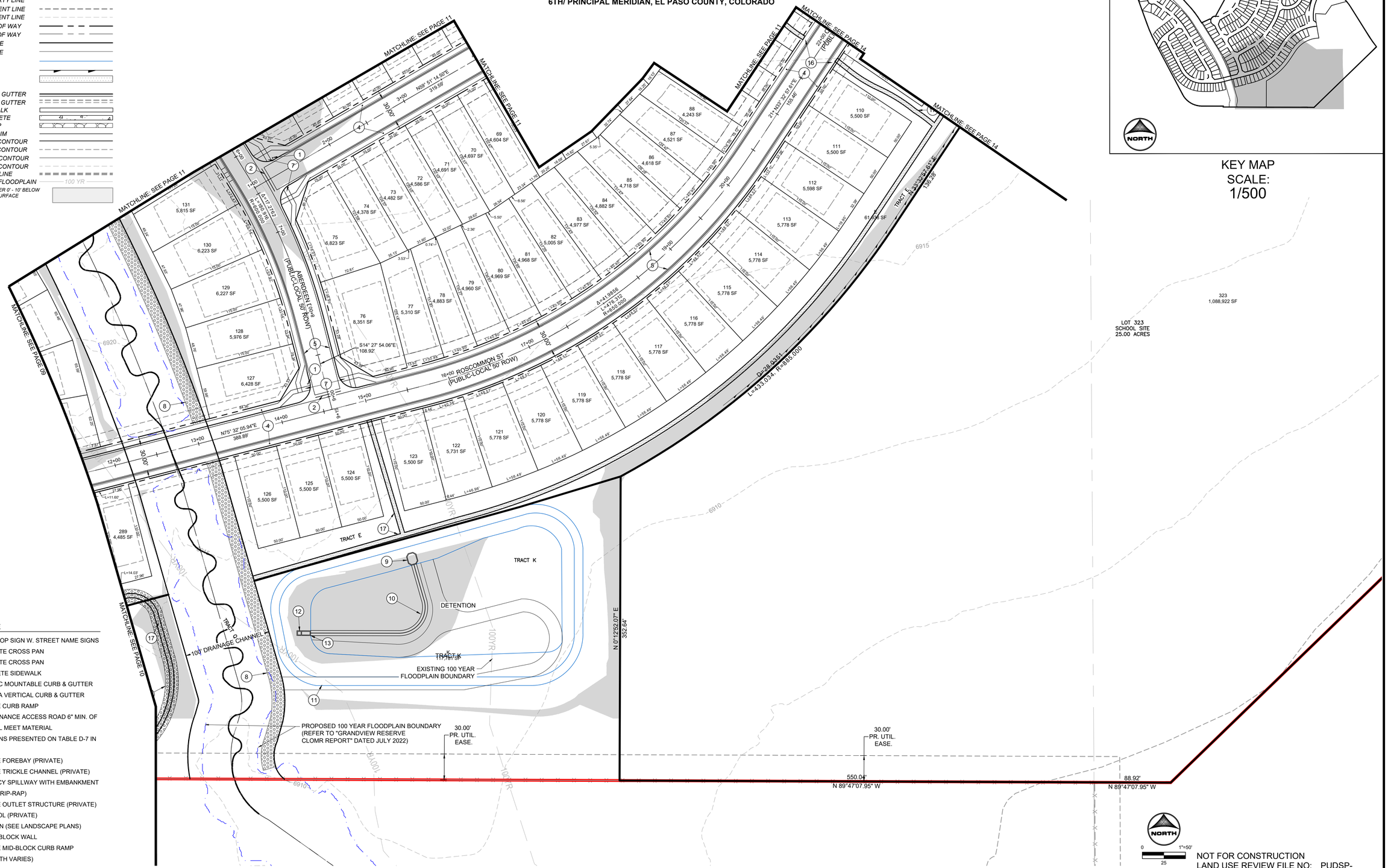

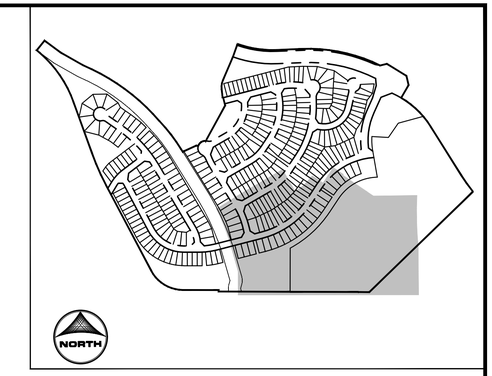

KEY MAP
SCALE:
1/500

SITE SCHEDULE

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

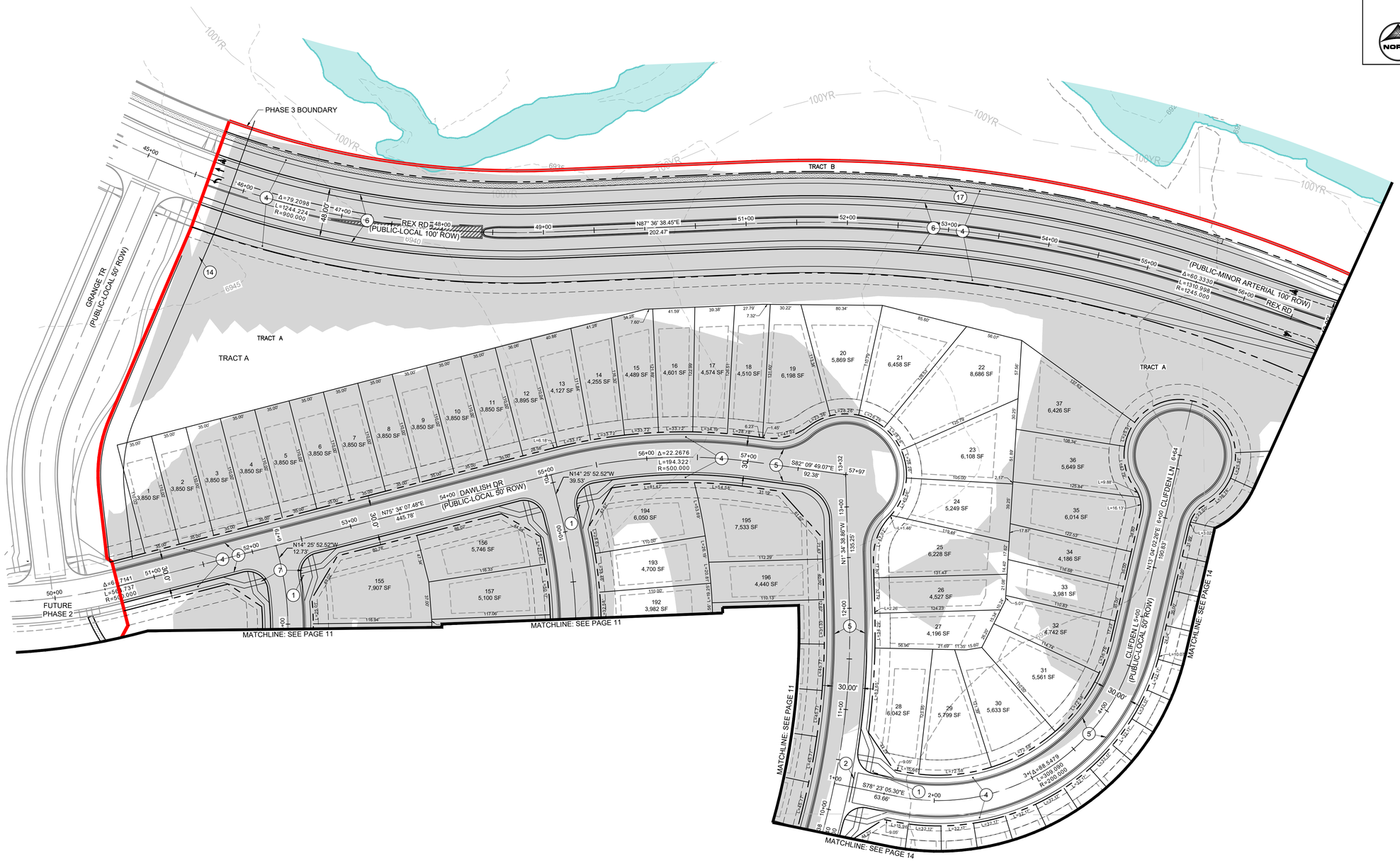
SITE PLAN
SITE PLAN - 5 OF 7

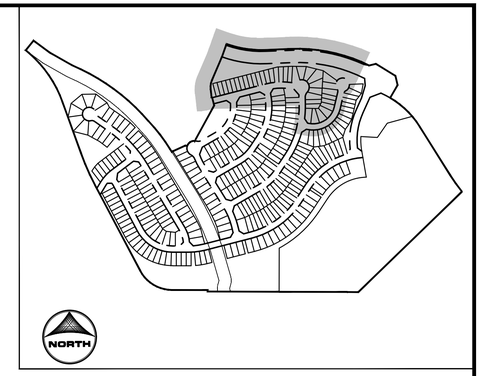
SHEET SP5

HUHN, KEN, 3/21/2024 1:19 PM
HR GREEN Xrefs: xc-row-PH2; 01-XC-channel; xc-dsgn-PH2; xc-row-F4; xc-dsgn-F4; xv-row-662; xv-dsgn_662; xv-util_662; xgt-1-arch dh01_PH3_PUD; xc-row-F3; xc-dsgn-F3; xc-row-PH3; xc-dsgn-PH3; Site_Plan_Linework_Legend; Site_Schedule; Site_Plan_key_map; 01-XC-PR_100YR_FP_DELINEATION

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
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LINEWORK LEGEND

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NORTH
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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

SITE PLAN
SITE PLAN - 6 OF 7

SHEET SP6

HUHN, KEN, 3/21/2024 1:19 PM
HR GREEN Xrefs: xc-row-PH2; 01-XC-channel; xc-dsgn-PH2; xc-row-F4; xc-dsgn-F4; xv-row-662; xv-dsgn_662; xv-util_662; xgl-1-arch dh01_PH3_PUD; xc-row-F3; xc-dsgn-F3; xc-row-PH3; xc-dsgn-PH3; Site_Plan_Linework_Legend; Site_Schedule; Site_Plan_key_map; 01-XC-PR_100YR_FP_DELINEATION

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

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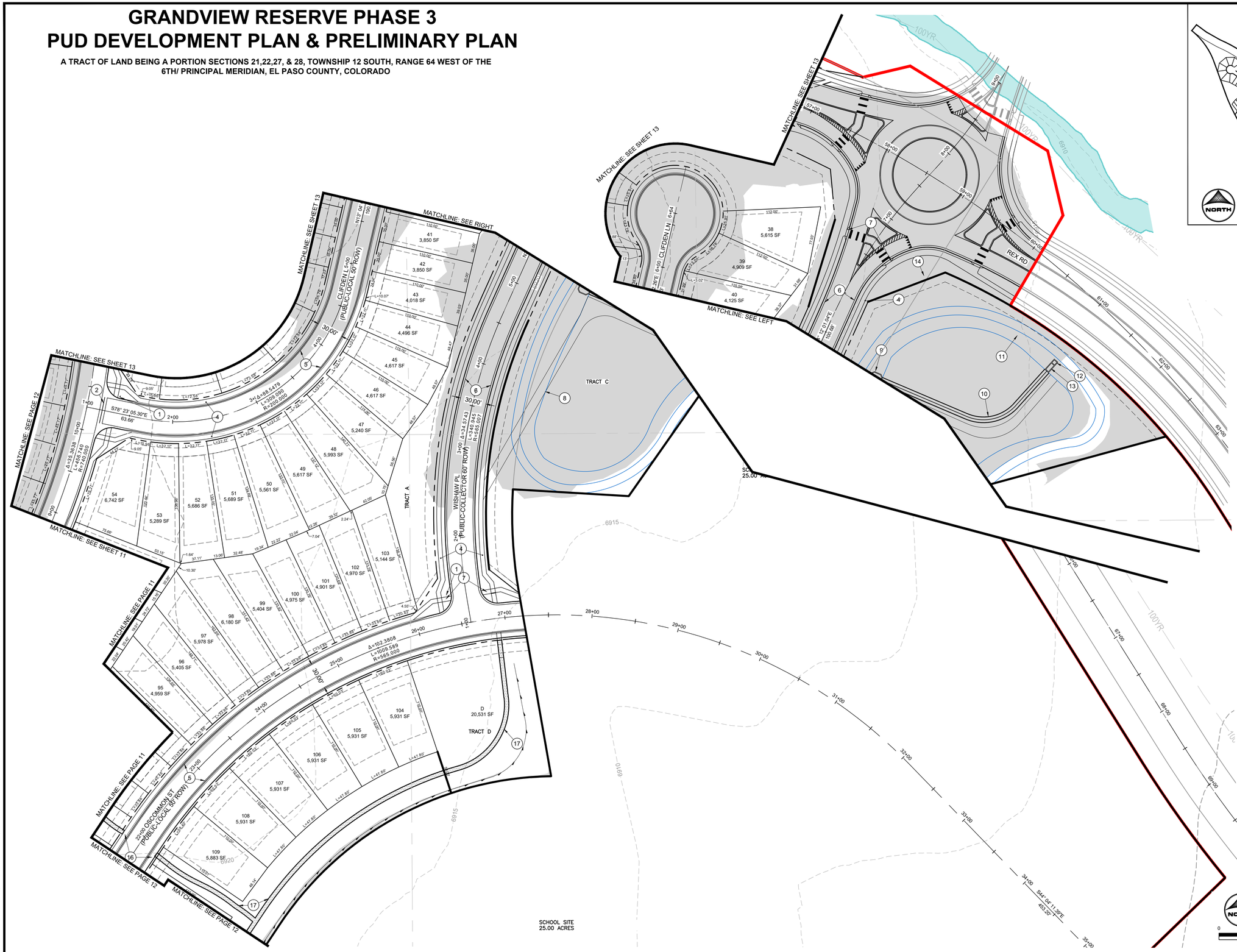

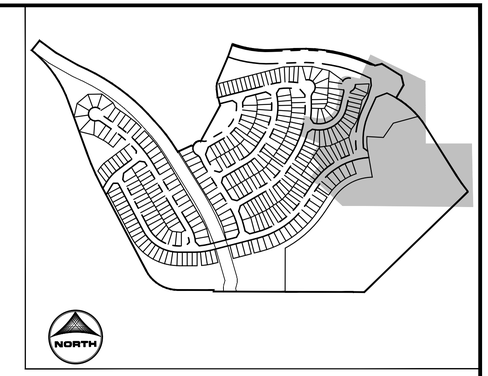

KEY MAP
SCALE:
1/500

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

SITE PLAN
SITE PLAN - 7 OF 7

SHEET SP7

HUHN, KEN, 3/21/2024 1:19 PM
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GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

GENERAL LANDSCAPE PLAN NOTES:

1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE METRO DISTRICT OR HOA (HOME OWNERS ASSOCIATION). ALL INTERNAL LANDSCAPE AND OPEN SPACE SHALL BE OWNED AND MAINTAINED BY THE METRO DISTRICT OR HOA (HOME OWNERS ASSOCIATION) AFTER INSTALLATION.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
5. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
6. REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
7. STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
8. STREET TREES, STREETSCAPE IMPROVEMENTS, AND VEGETATION WITHIN THE COUNTY ROW SHALL BE OWNED BY THE COUNTY AND MAINTAINED BY THE CURRENT PROPERTY OWNER.

IRRIGATION:

1. ALL SHRUBS AND TREES SHALL BE DRIP IRRIGATED. ALL TREES LOCATED WITHIN SEEDING AREAS SHALL BE WATERED BY A DRIP VALVE.

SHRUB/TREE PLANTING NOTES:

1. OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
2. ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES AND PERENNIALS AS SPECIFIED. OBTAIN OWNERS REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
3. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE FREE, AND BE TYPICAL OF THE SPECIES.
4. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
5. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNERS'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
6. PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE.
7. PLANTS BED RECEIVING 3" DEPTH MIN. ROCK WOOD ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND ROCK MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
8. POROUS WEED BARRIER FABRIC SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
9. USE TRIANGULAR SPACING IN ALL GROUNDCOVER AND PERENNIAL BEDS.
10. THE CONTRACTOR SHALL PROVIDE WATER, WATERING DEVICES, AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.

SODDING & SEEDING:

1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
2. ALL PROPOSED TURF AND PLANTING AREAS ARE TO BE ROTO-TILLED TO A DEPTH OF 8". FINE GRADE, AND REMOVE ALL CONSTRUCTION DEBRIS AND ROCKS OVER 1" IN DIAMETER FROM THE SITE.
3. AFTER TILLING APPLY SOIL AMENDMENTS & FERTILIZERS TO ALL TURF AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
4. FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
5. ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1" DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
6. ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEE VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
7. SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULED DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEING DATE.
9. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER. SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED FOR REVEGETATION. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE DISTURBED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. WHERE FEASIBLE, RANGELAND DRILL SEEDING COMBINED WITH A COVER OF CRIMPED HAY MULCH OR HYDRO-MULCH IS THE REQUIRED METHOD.
   - 9.1 SLOPES LESS THAN 3:1 - SEED SHALL BE PLANTED USING A RANGELAND DRILL WITH A SMALL SEED/LEGUME BOX AND AN AGITATOR BOX FOR FLUFFY OR BULKY SEED. SEED ROWS SHALL BE SPACED 7-10 INCHES APART, AND PLANTED TO 0.5 TO 0.75 INCHES DEEP. THE DRILL SHALL HAVE DOUBLE-DISL FURROW OPENERS WITH DEPTH BANDS AND PACKER WHEELS. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
   - 9.2 SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE - SEED SHALL BE BROADCAST BY HAND, MECHANICAL SPREADER, OR HYDRO-SEEDING EQUIPMENT. BROADCAST SEEDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES. SLOPES GREATER THAN 3:1 SHALL HAVE EROSION CONTROL BLANKET AFTER SEEDING. REFER TO ENGINEERING SHEETS FOR EROSION CONTROL APPLICATIONS.
   - 9.2.1. FOR AREAS LARGER THAN 0.1 ACRE-HYDRO-SEEDING SHALL BE USED. THE SEED SHALL NOT BE TANK MIXED WITH THE HYDRO-MULCH AND BROADCAST.
   - 9.2.2. BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
10. MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEE GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED AT 2,000 POUNDS/ACRE ON SLOPES LESS THAN 3:1. ON STEEPER SLOPES, A MULCHING RATE OF 2,500 POUNDS/ACRE SHALL BE USED.
11. NATIVE HAY OR STRAW SHALL BE CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES. AN ORGANIC TACKIFIER SHALL BE USED TO HOLD THE HAY OR STRAW IN PLACE IF THE CRIMPING RESULTS ARE INSUFFICIENT. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
12. FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER. MULCH SEEDED AREAS WITH WOOD CELLULOSE FIBER MULCH WITHIN 24 HOURS OF SEEDING. APPLY MULCH TACKIFIER AT RATE RECOMMENDED BY MANUFACTURER'S RECOMMENDATIONS.
13. SUPPLEMENTAL IRRIGATION SHALL NORMALLY NOT BE NECESSARY OR REQUIRED IF THE SEEDING IS ACCOMPLISHED DURING THE PREFERRED PLANTING PERIODS. HOWEVER, IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE A RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
14. APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PROCEDURES GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDED DURING THE SAME SEASON.

PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	SIZE
DECIDUOUS TREES		
AG	ACER GINNALA / AMUR MAPLE	1.5" CAL.
CS	CATALPA SPECIOSA / NORTHERN CATALPA	1.5" CAL.
CO	CELTIS OCCIDENTALIS / COMMON HACKBERRY	1.5" CAL.
GT	GLEDITSIA TRIACANTHOS INERMIS 'HARVE' / NORTHERN ACCLAIM® HONEY LOCUST	1.5" CAL.
GK	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE	1.5" CAL.
KP	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	1.5" CAL.
EVERGREEN TREES		
AC	ABIES CONCOLOR / WHITE FIR	6` HT.
PP	PICEA PUNGENS GLAUCA / COLORADO BLUE SPRUCE	6` HT.
PB	PINUS ARISTATA / BRISTLECONE PINE	6` HT.
PE	PINUS EDULIS / PINYON PINE	6` HT.
PN	PINUS NIGRA / AUSTRIAN PINE	6` HT.
ORNAMENTAL TREES		
MR	MALUS X 'RADIANT' / RADIANT CRABAPPLE	1" CAL.
PV	PRUNUS VIRGINIANA MELANOCARPA / WESTERN CHOKECHERRY	1" CAL.
PC	PRUNUS X CISTENA / PURPLE LEAF SAND CHERRY	1" CAL.
DECIDUOUS SHRUBS		
CD	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / DARK KNIGHT BLUEBEARD	#5
CP	CYTISUS PURGANS 'SPANISH GOLD' / SPANISH GOLD BROOM	#5
EN	ERICAMERIA NAUSEOSA / RUBBER RABBITBRUSH	#5
PM	PHYSOCARPUS MONOGYNUS / MOUNTAIN NINEBARK	#5
PF	POTENTILLA FRUTICOSA / BUSH CINQUEFOIL	#5
RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5
RA	RIBES ALPINUM / ALPINE CURRANT	#5
SM	SYMPHORICARPOS OREOPHILUS / MOUNTAIN SNOWBERRY	#5
VL	VIBURNUM LENTAGO / NANNYBERRY	#5
EVERGREEN SHRUBS		
JB	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP CREEPING JUNIPER	#5
JH	JUNIPERUS HORIZONTALIS 'HUGHES' / HUGHES CREEPING JUNIPER	#5
MM	PINUS MUGO 'MOPS' / MOPS MUGO PINE	#5
GRASSES		
BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	#1
MG	MISCANTHUS SINENSIS 'GRACILLIMUS' / EULALIA GRASS	#1
PS	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	#1
SH	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	#1

SHEET INDEX:

SHEET 15 - PRELIMINARY LANDSCAPE COVER
SHEET 16 - PRELIMINARY LANDSCAPE PLAN (OVERALL)
SHEET 16-23 - PRELIMINARY LANDSCAPE PLAN
SHEET 23-25 - PRELIMINARY LANDSCAPE DETAILS

DEVELOPMENT PLAN DATA

STREET NAME OR ZONE BOUNDARY	**REX ROAD**	**WISHAW PLACE**
LANDSCAPE SETBACK LOCATION	NORTH EAST	EAST
ZONE DISTRICT BOUNDARY	NO	NO
STREET CLASSIFICATION	MINOR ARTERIAL	COLLECTOR
SETBACK DEPTH REQUIRED/PROVIDED	20' / 20'	10' / 10'
LINEAR FOOTAGE	1,223'	1,015'
TREE/FEET REQUIRED	1 TREE / 25'	1 TREE / 30'
NUMBER OF TREES REQUIRED/PROVIDED	49 / 49	34 / 34
SHRUB SUBSTITUTION REQUIRED/PROVIDED	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTION REQ./PROV.	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN *	RR	WP
% GROUND PLANE VEG. REQUIRED/PROVIDED	75% / 75%	75% / 75%

GROUND COVER LEGEND/QUANTIES

SYMBOL	DESCRIPTION	QUANTITY	UNITS
	SOD TURF IRRIGATED KENTUCKY BLUEGRASS SOD. CONTACT LOCAL SUPPLIER WITHIN EL PASO COUNTY AND INSTALLED PER SUPPLIER'S SPECIFICATIONS.	0.8	ACRES
	NATIVE SEED IRRIGATED NATIVE SEED; TO BE PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.	13.4	ACRES
	DETENTION SEED DETENTION SEED; TO BE PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.	5.8	ACRES
	CRUSHED ROCK COMPACTED FOR MAINTENANCE ACCESS ROADS. WEED BARRIER INSTALLED IN ALL AREAS. INSTALL PER SUPPLIER'S SPECIFICATIONS.	TBD	SQ. FT.
	SHREDDED MULCH SHREDDED HARDWOOD MULCH. WESTERN CEDAR OR GORILLA HAIR MULCH IS RECOMMENDED. INSTALL PER SUPPLIER'S SPECIFICATIONS.	TBD	SQ. FT.

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

TREE LEGEND

SYMBOL	DESCRIPTION	QTY.
	DECIDUOUS SHADE TREE	48
	EVERGREEN TREE	35
	ORNAMENTAL TREE	TBD

SEEDING SPECIFICATIONS

NATIVE SEEDING
EL PASO COUNTY ALL PURPOSE LOW GROW MIX

25%	BUFFALOGRASS
20%	GRAMA, BLUE
29%	GRAMA, SIDEOATS
5%	GREEN NEEDLEGRASS
20%	WHEATGRASS, WESTERN
1%	DROPSEED, SAND

SEEDING RATE: 42 LBS PLS/ACRE

DETENTION SEEDING
EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX

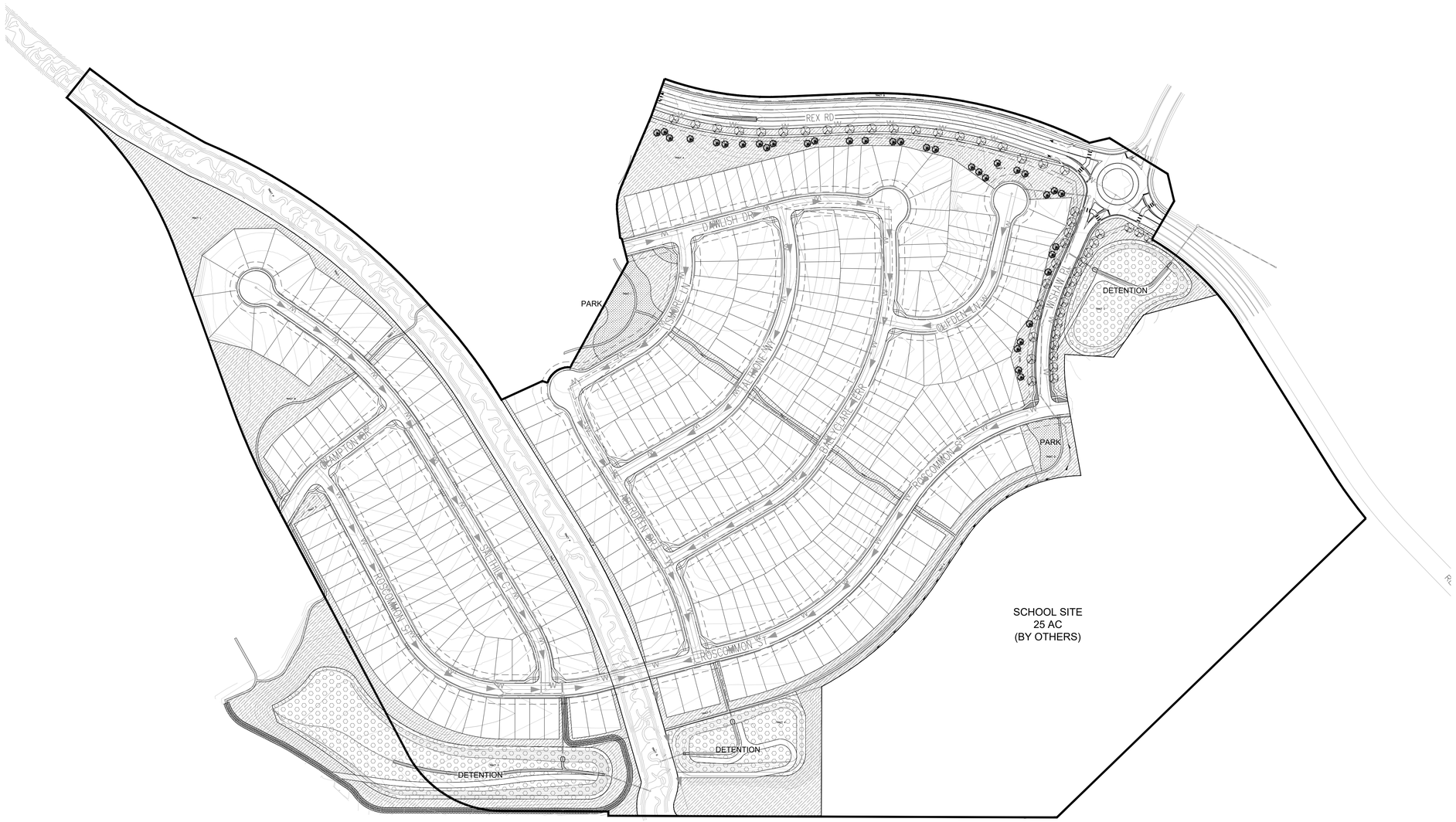
20%	BLUESTEM, BIG
10%	GRAMA, BLUE
10%	GREEN NEEDLEGRASS
20%	WHEATGRASS, WESTERN
10%	GRAMA, SIDEOATS
10%	SWITCHGRASS
10%	PRAIRIE SANDREED
10%	YELLOW INDIANGRASS

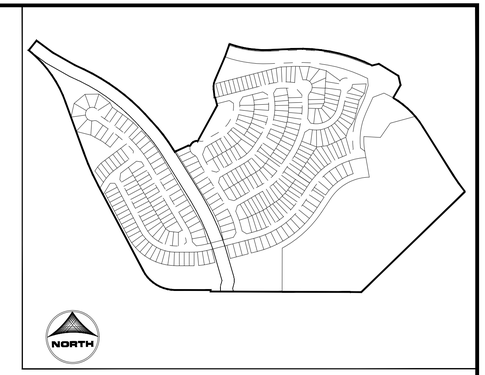
SEEDING RATE: 19.3 LBS PLS/ACRE

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

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TREE LEGEND

SYMBOL	DESCRIPTION
	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE

NORTH
0 75 150

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DRAWN BY: JAG JOB DATE: PUD DEVELOPMENT PLAN
APPROVED: JFR JOB NUMBER: 201662
CAD DATE: 3/21/2024
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Landscape-Plan_PUD

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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

LANDSCAPE
PRELIMINARY LANDSCAPE PLAN (OVERALL)

SHEET L.02

HUHN, KEN, 3/21/2024 1:20 PM
HR GREEN Xrefs: xc-utilPH3; xc-row-PH3; xc-dsgn-PH3; xl-3D-XREF-PH3; xl-dsgn-PH3; xgl-l-arch dh01_PH3_PUD_Site_Plan_key_map

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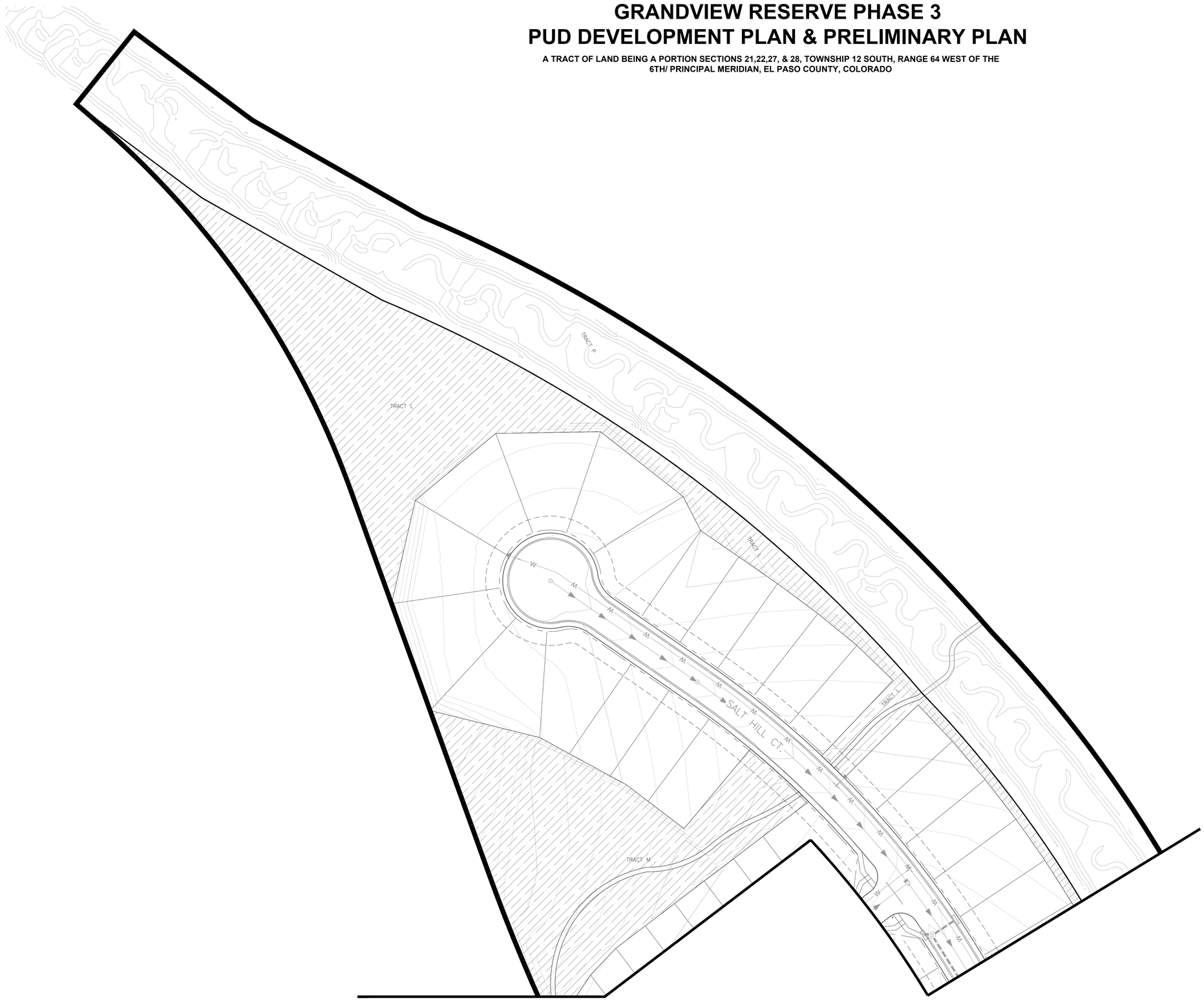

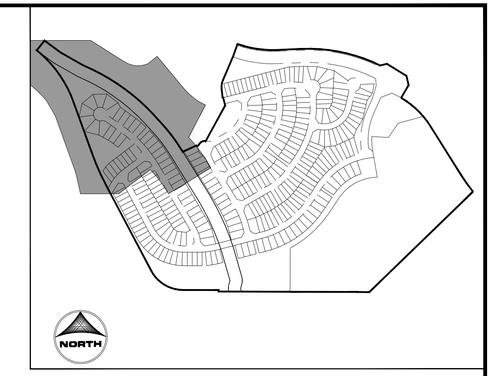

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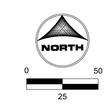

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EL PASO COUNTY, CO

D·R·HORTON America's Builder

LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

SHEET
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HUHN, KEN, 3/21/2024 1:21 PM
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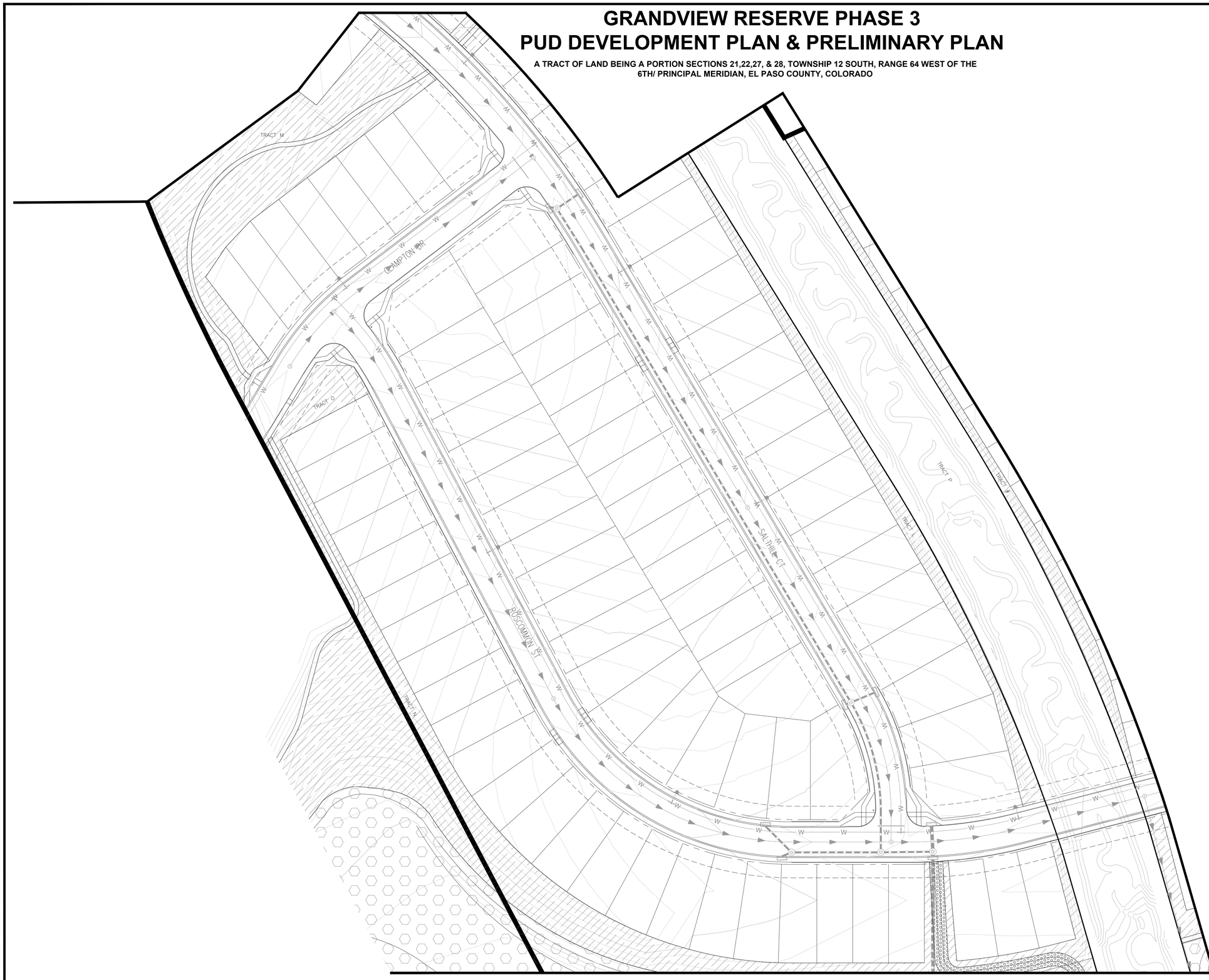

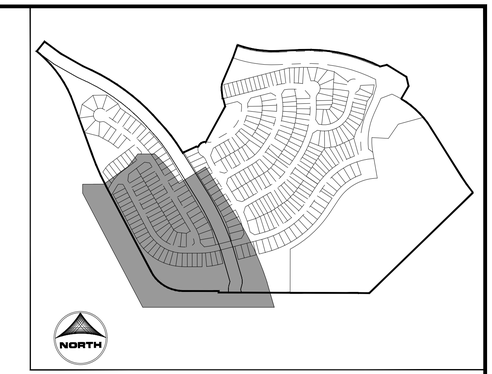

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

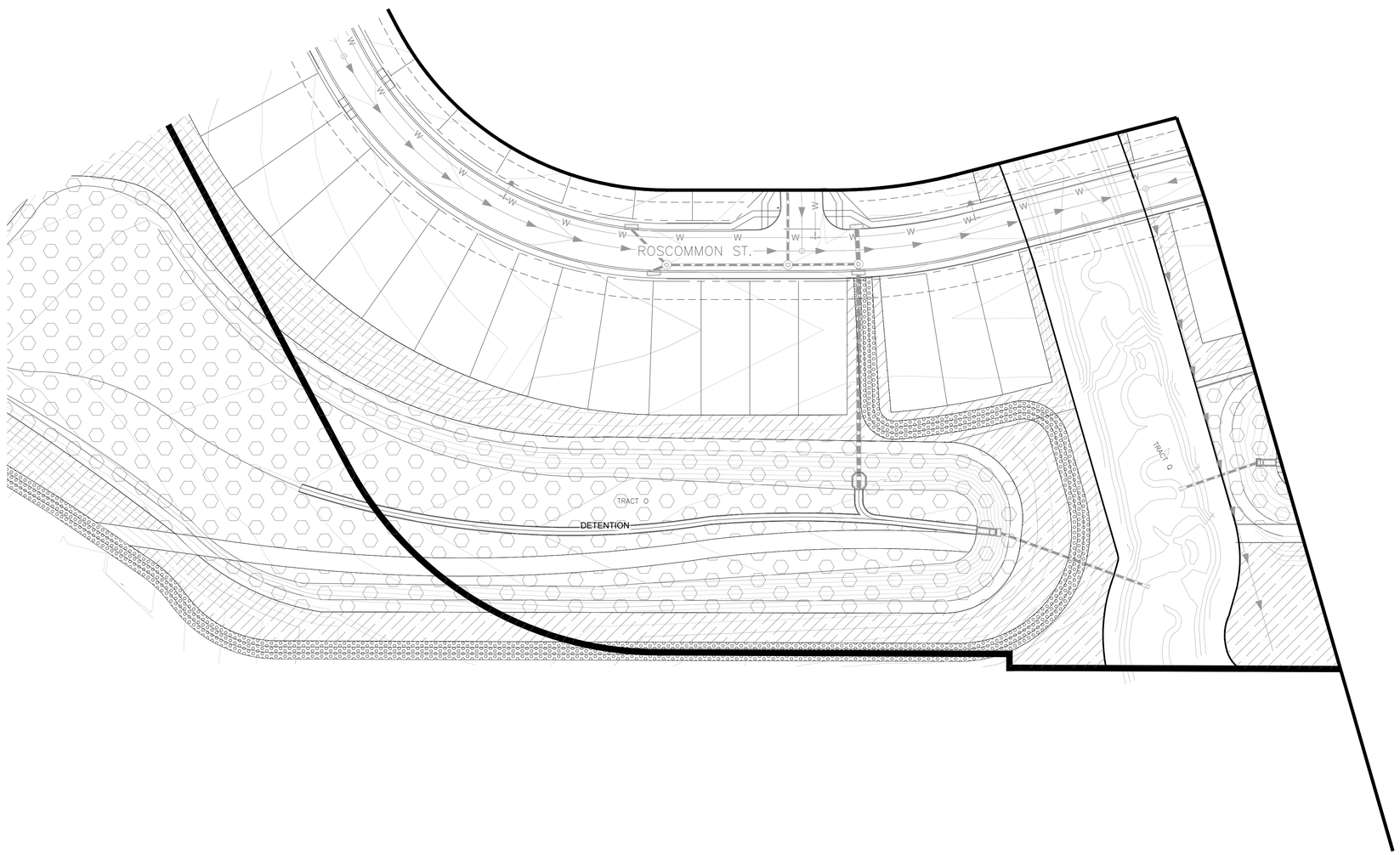
LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

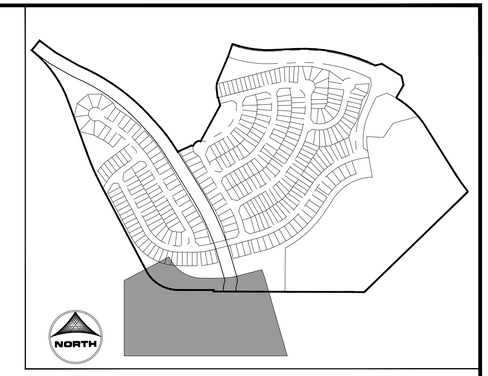
SHEET L.04

HUHN, KEN, 3/21/2024 1:21 PM
HR GREEN Xrefs: xc-util-PH3; xc-cnw-PH3; xc-dsgn-PH3; xl-3D-XREF-PH3; xl-dsgn-PH3; xgt-1-arch dfx1_PH3_PUD; Site_Plan_key_map

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

SYMBOL	DESCRIPTION
	SOD TURF IRRIGATED KENTUCKY BLUEGRASS SOD. CONTACT LOCAL SUPPLIER WITHIN EL PASO COUNTY AND INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	NATIVE SEED IRRIGATED NATIVE SEED; TO BE PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	DETENTION SEED DETENTION SEED; TO BE PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	CRUSHED ROCK COMPACTED FOR MAINTENANCE ACCESS ROADS. WEED BARRIER INSTALLED IN ALL AREAS. INSTALL PER SUPPLIER'S SPECIFICATIONS.
	SHREDDED MULCH SHREDDED HARDWOOD MULCH. WESTERN CEDAR OR GORILLA HAIR MULCH IS RECOMMENDED. INSTALL PER SUPPLIER'S SPECIFICATIONS.

TREE LEGEND

SYMBOL	DESCRIPTION
	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE

NORTH
0 50
25

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: JAG JOB DATE: PUD DEVELOPMENT PLAN
APPROVED: JFR JOB NUMBER: 201662
CAD DATE: 3/21/2024
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Landscape-Plan_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

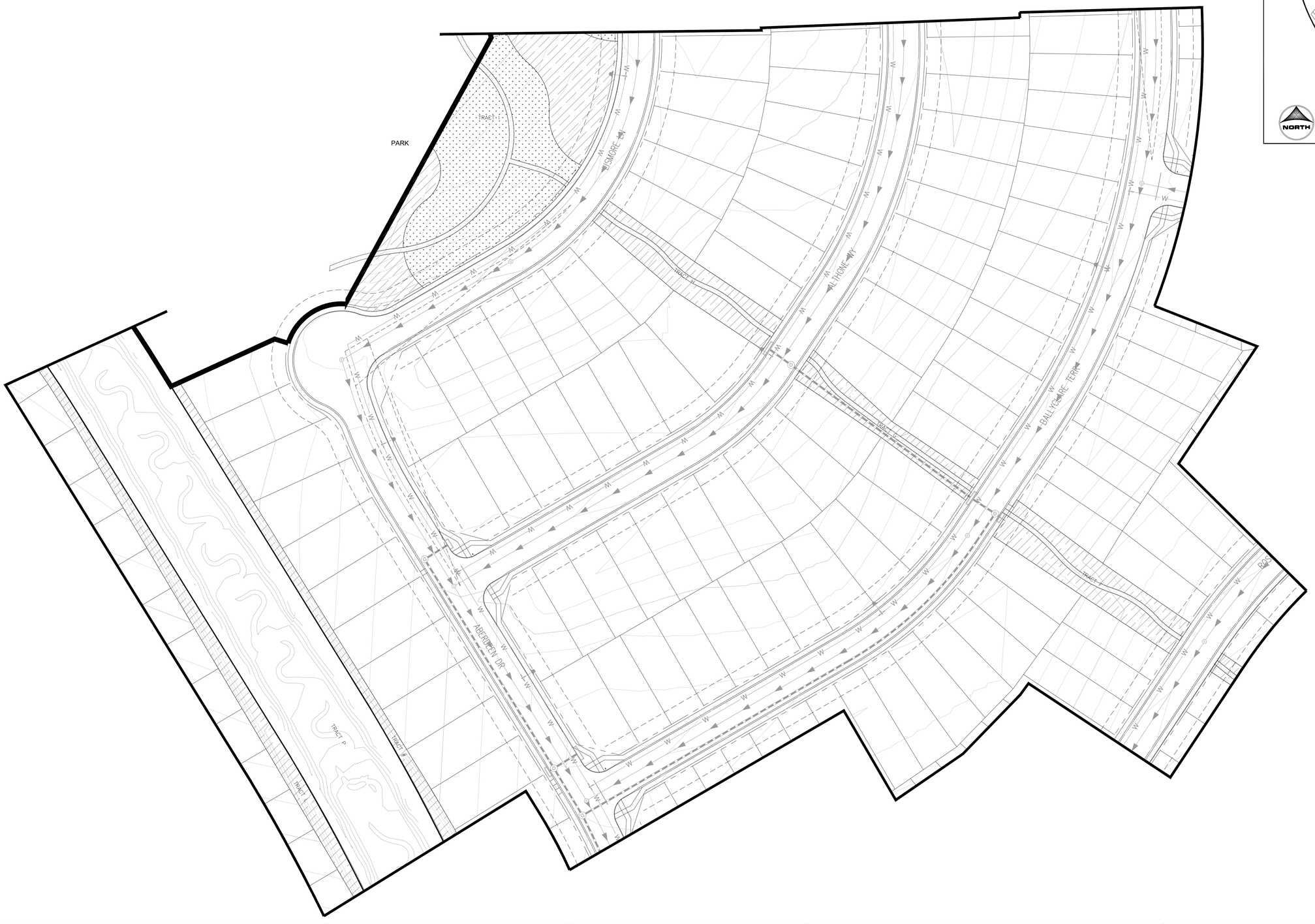
LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

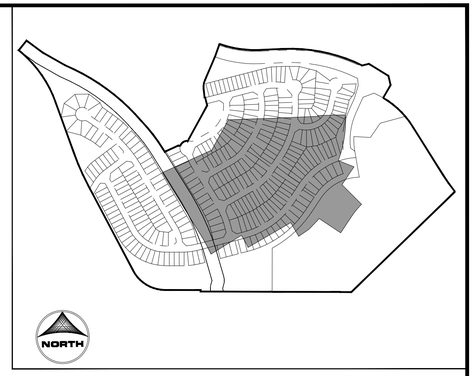
SHEET L.05

HUHN, KEN, 3/21/2024 1:21 PM
HR GREEN Xrefs: xc-utilPH3; xc-row-PH3; xc-dsgn-PH3; xl-3D-XREF-PH3; xl-dsgn-PH3; xgl-l-arch dh01_PH3_PUD_Site_Plan_key_map

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

SYMBOL	DESCRIPTION
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	SHREDDED MULCH SHREDDED HARDWOOD MULCH. WESTERN CEDAR OR GORILLA HAIR MULCH IS RECOMMENDED. INSTALL PER SUPPLIER'S SPECIFICATIONS.

TREE LEGEND

SYMBOL	DESCRIPTION
	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE

NORTH

0 25 50

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: JAG
JOB DATE: PUD DEVELOPMENT PLAN
APPROVED: JFR
JOB NUMBER: 201662
CAD DATE: 3/21/2024
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Landscape-Plan_PUD

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

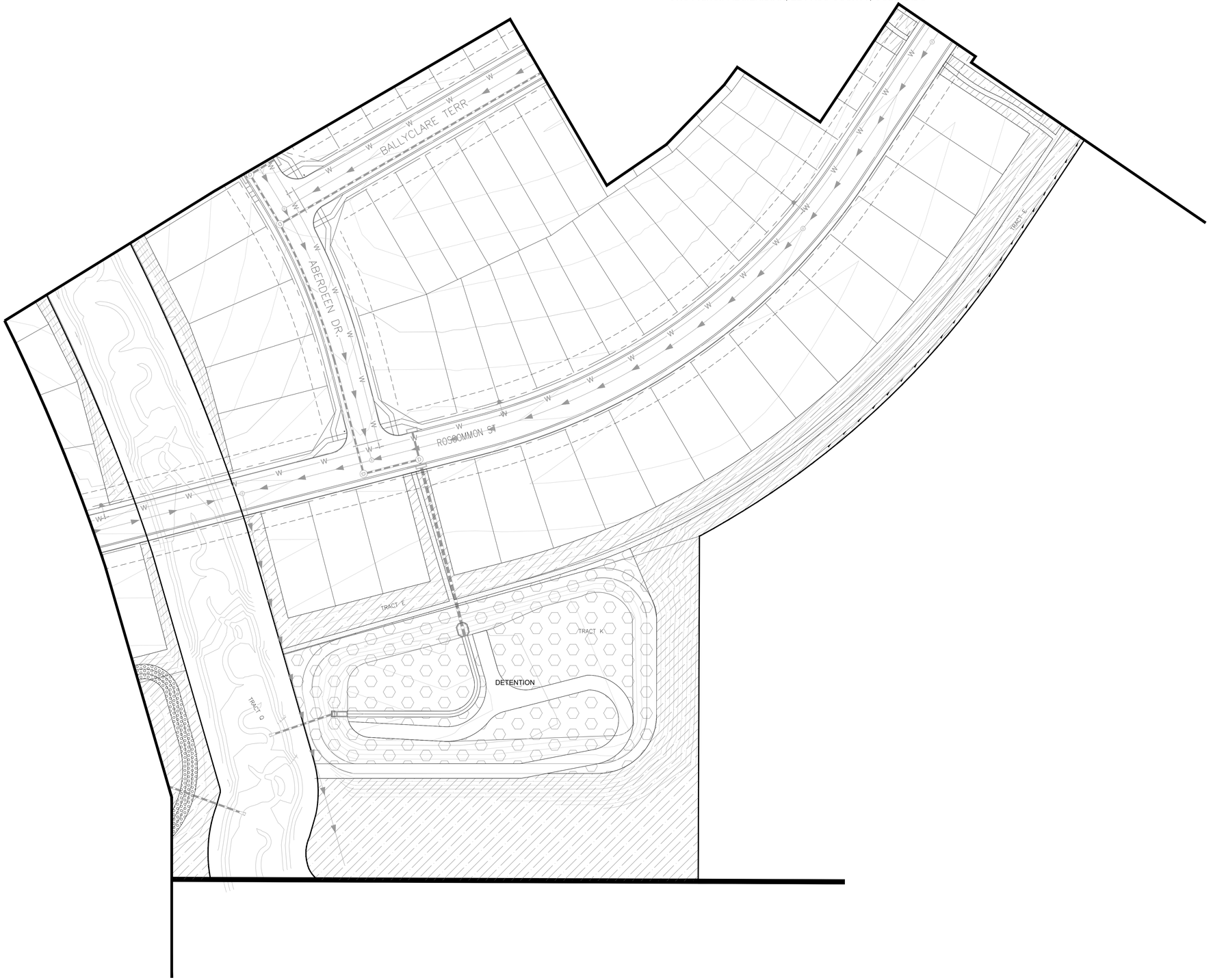
LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

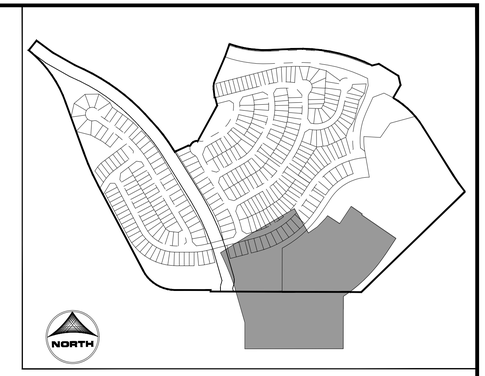
SHEET
L.06

HUHN, KEN, 3/21/2024 1:21 PM
HR GREEN Xrefs: xc-utilPH3; xc-crowPH3; xc-dsgnPH3; xi-3D-XREF-PH3; xi-dsgnPH3; xgt-1-arch dh01_PH3_PUD; Site_Plan_key_map

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

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TREE LEGEND

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	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE

NORTH
0 25 50

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

SHEET
L.07

HUHN, KEN, 3/21/2024 1:21 PM
HR GREEN Xrefs: xc-utl-PH3; xc-row-PH3; xc-dtgn-PH3; xl-3D-XREF-PH3; xl-dtgn-PH3; xgt-1-arch dfx01_PH3_PUD_Site_Plan_key_map

GRANDVIEW RESERVE PHASE 3
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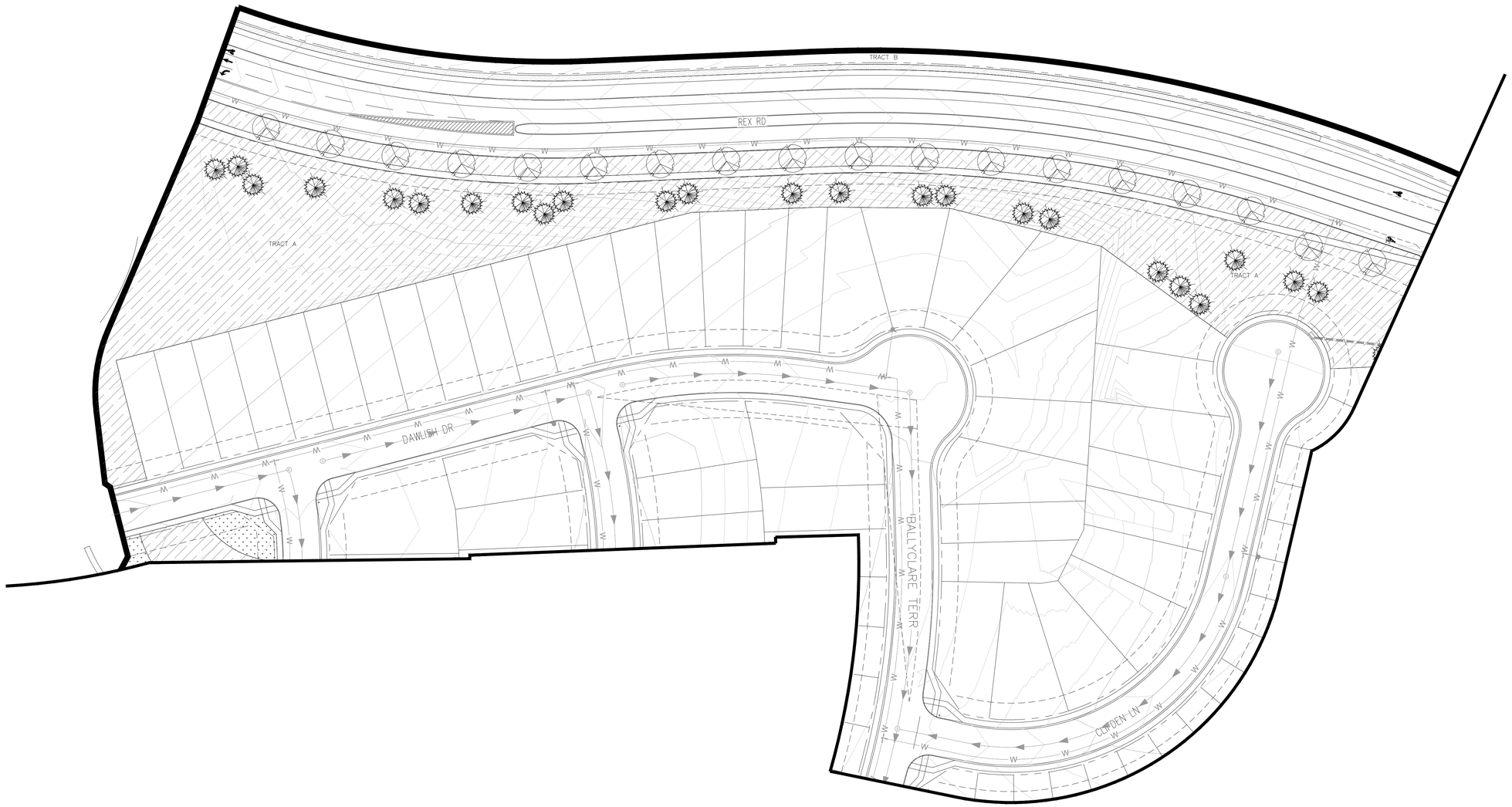

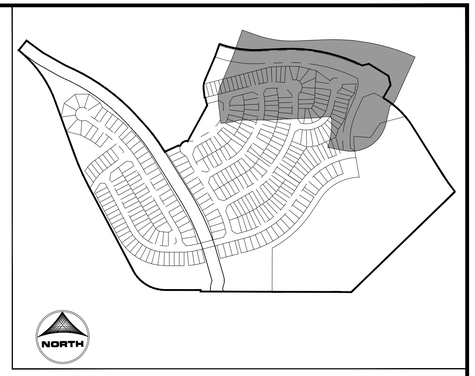

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SCALE:
1/500

GROUND COVER LEGEND

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NORTH

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D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

SHEET L.08

22

HUHN, KEN, 3/21/2024 1:21 PM
HR GREEN Xrefs: xc-utilPH3; xc-rowPH3; xc-dsgnPH3; xi-3D-XREF-PH3; xi-dsgn-PH3; xgl-1-arch dh01_PH3_PUD; Site_Plan_key_map

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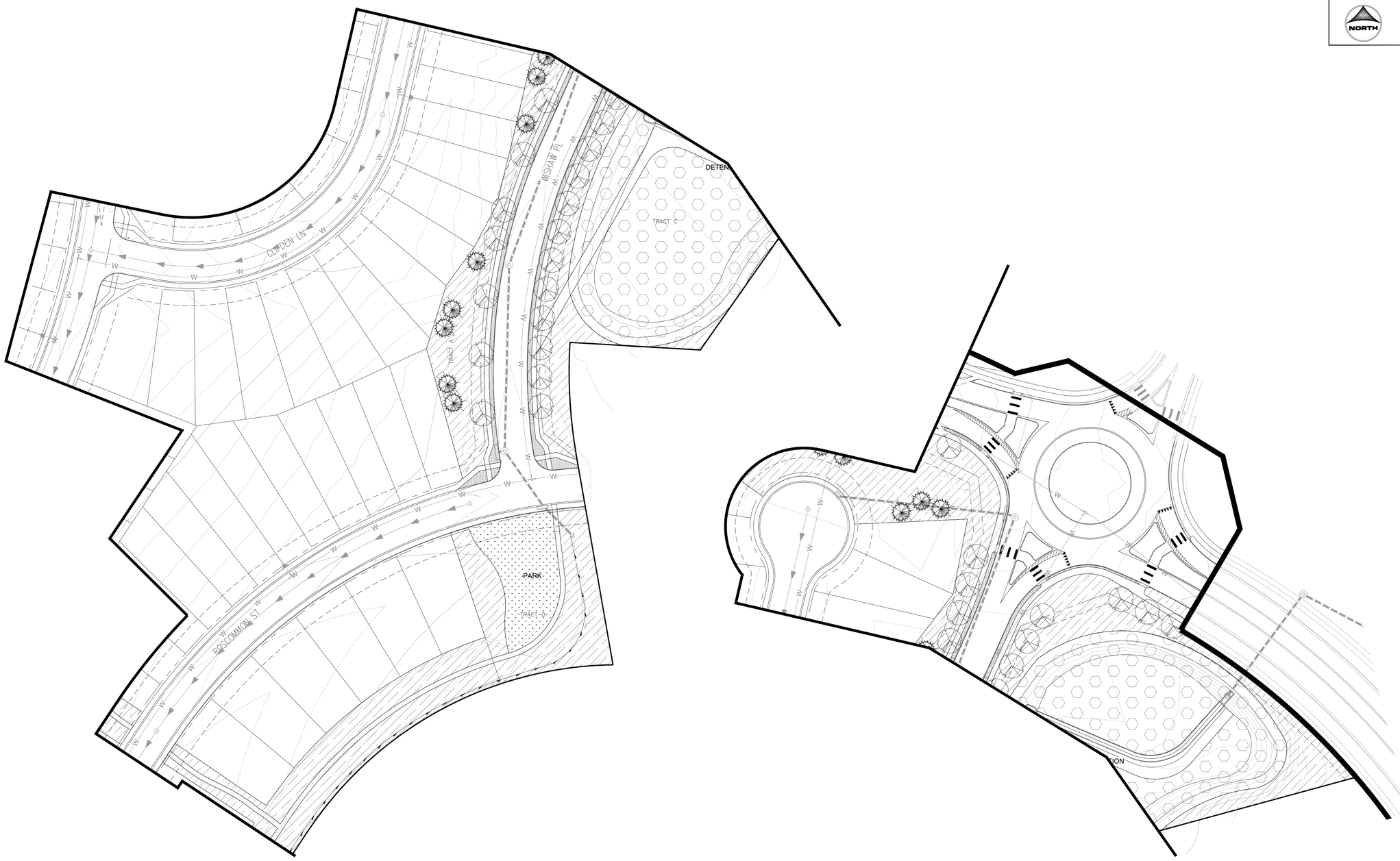

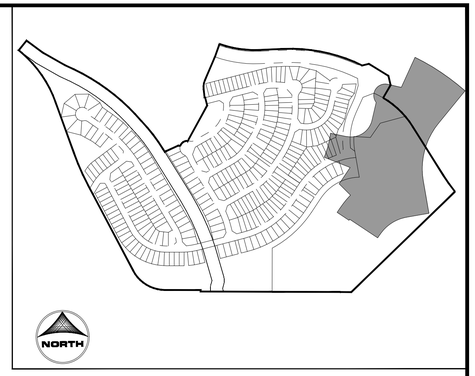

KEY MAP
SCALE:
1/500

GROUND COVER LEGEND

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	DECIDUOUS SHADE TREE
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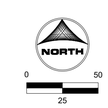

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

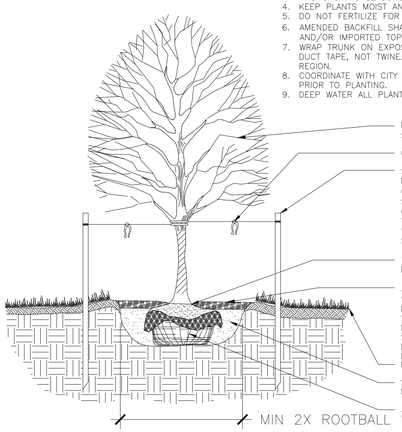
SHEET
L.09

HUHN, KEN, 3/21/2024 1:21 PM
HR GREEN Xrefs: xc-utilPH3; xc-row-PH3; xc-dsgn-PH3; x-3D-XREF-PH3; xgl-1-arch dft01_PH3_PUD; Site_Plan_key_map

GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

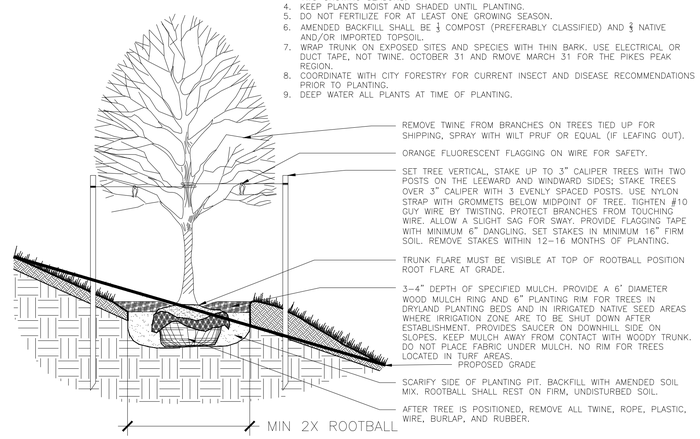
A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

NOTES:
1. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEEK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
6. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE. OCTOBER 31 AND RMOVE MARCH 31 FOR THE PIKES PEAK REGION.
8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



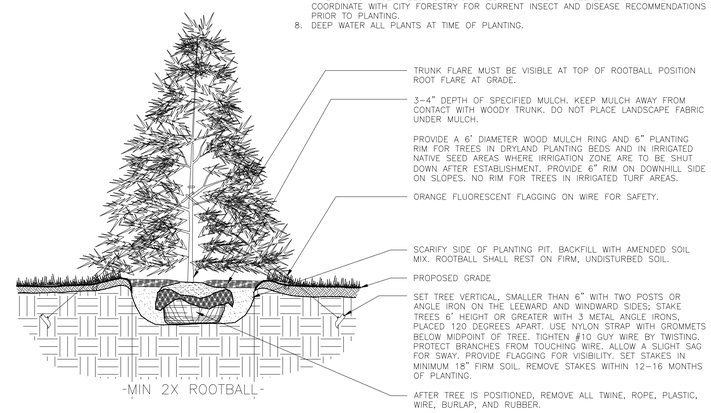
1 TYP. DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS

NOTES:
1. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEEK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
6. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE. OCTOBER 31 AND RMOVE MARCH 31 FOR THE PIKES PEAK REGION.
8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



2 TYP. DECIDUOUS TREE PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS

NOTES:
1. DO NOT REMOVE OR CUT LEADER.
2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
6. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



3 TYP. EVERGREEN TREE PLANTING DETAIL
SCALE: NTS

NOTES:
1. DO NOT REMOVE OR CUT LEADER.
2. PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
5. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
6. MARK THE NORTH SIDE OF TREE IN NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
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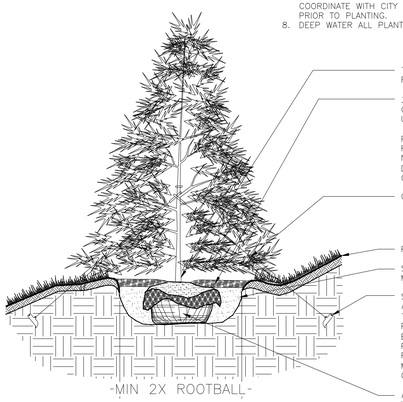
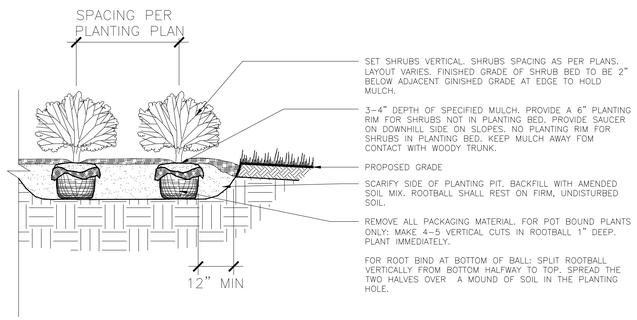


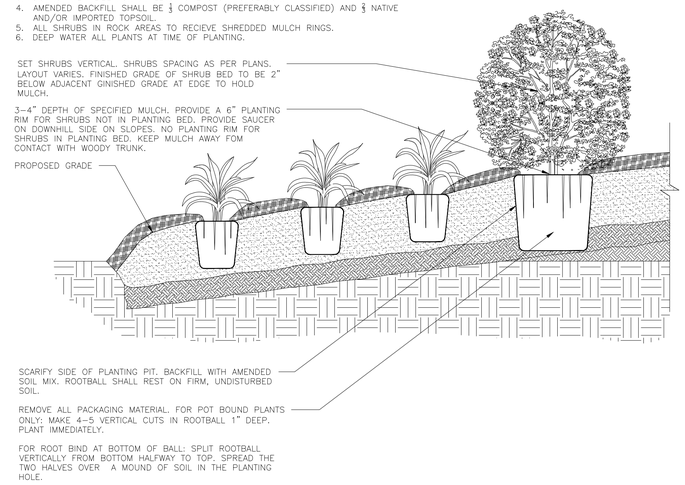
4 TYP. EVERGREEN TREE PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS

NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
4. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL SHRUBS IN ROCK AREAS TO RECIEVE SHREDDED MULCH RINGS.
6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



5 TYP. SHRUB PLANTING DETAIL
SCALE: NTS

NOTES:
1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
2. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
4. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL SHRUBS IN ROCK AREAS TO RECIEVE SHREDDED MULCH RINGS.
6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



6 TYP. SHRUB PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: JAG	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS.	
APPROVED: JFR	JOB NUMBER: 201662	0 1"	
CAD DATE: 3/21/2024		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD FILE: J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Landscape-Plan_PUD			

NO.	DATE	BY	REVISION DESCRIPTION

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GRANDVIEW RESERVE - PHASE 3
D.R. HORTON
EL PASO COUNTY, CO

D·R·HORTON America's Builder

LANDSCAPE
PRELIMINARY LANDSCAPE DETAILS

SHEET L.10

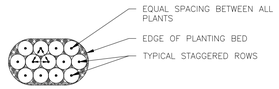
HUHN, KEN, 3/21/2024 1:21 PM
HR GREEN Xrefs: xc-utils-PH3; xc-row-PH3; xc-dsgn-PH3; xl-3D-XREF-PH3; xl-dsgn-PH3; xgl-1-arch ch01_PH3_PUD_Site_Plan_key_map

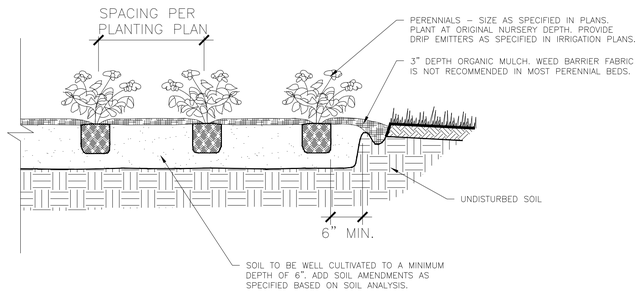
GRANDVIEW RESERVE PHASE 3
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

NOTES:
1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
2. PLANTING GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
4. AMENDED BACKFILL SHALL BE ⅓ COMPOST (PREFERABLY CLASSIFIED) AND ⅔ NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.

*WHEN PLANTING MASSES OF SHRUBS, GROUNDCOVER, PERENNIALS, AND ANNUALS, THIS DIAGRAM SHALL BE FOLLOWED.

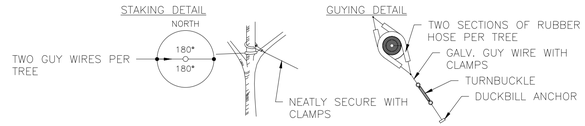




1 TYP. PERENNIAL PLANTING DETAIL

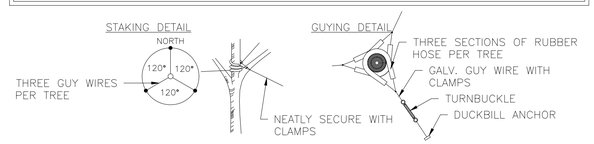
SCALE: NTS

GUYING STANDARDS
- TWO (2) MODEL 68 DUCKBILL ANCHORS (HOLDING CAPACITY 1100# PER ANCHOR IN NORMAL SOIL.
- 13' OF ⅛" 7x7 GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.
- ½" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH. ONE (1) REQUIRED/EACH GUY.
- TWO (2) TURNBUCKLES, EYE AND EYE TYPE, ⅜" THREAD DIAMETER WITH 3" TAKE-UP
- FOUR (4) ⅛" CABLE CLAMPS, ZINC PLATED (DR-2 STEEL DRIVE ROD 2' LONG WITH ¾" ROUND DRIVING TIP NEEDED TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS)
- TWO (2) RUBBER HOSE TREE COLLARS, 21" LONG, EA.



*APPLIES TO SINGLE TRUNK DECIDUOUS TREES 3" CAL. AND LESS & EVERGREEN TREES 8' HT. AND LESS

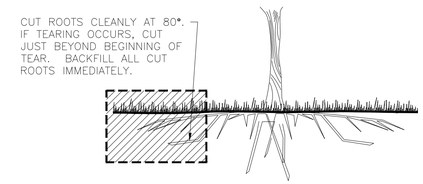
GUYING STANDARDS
- THREE (3) MODEL 68 DUCKBILL ANCHORS (HOLDING CAPACITY 1100# PER ANCHOR IN NORMAL SOIL.
- 13' OF ⅛" 7x7 GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.
- ½" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH. ONE (1) REQUIRED/EACH GUY.
- THREE (3) TURNBUCKLES, EYE AND EYE TYPE, ⅜" THREAD DIAMETER WITH 3" TAKE-UP
- SIX (6) ⅛" CABLE CLAMPS, ZINC PLATED (DR-2 STEEL DRIVE ROD 2' LONG WITH ¾" ROUND DRIVING TIP NEEDED TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS)
- THREE (3) RUBBER HOSE TREE COLLARS, 21" LONG, EA.



*APPLIES TO SINGLE TRUNK DECIDUOUS TREES GREATER THAN 3" CAL. & EVERGREEN TREES GREATER THAN 8' HT.

2 TYP. GUYING DETAIL

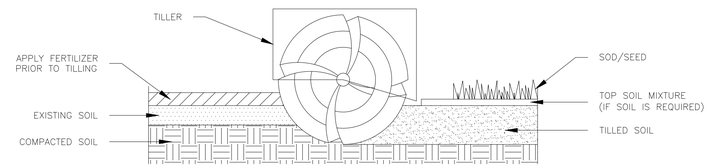
SCALE: NTS



3 TYP. ROOT PRUNING DETAIL

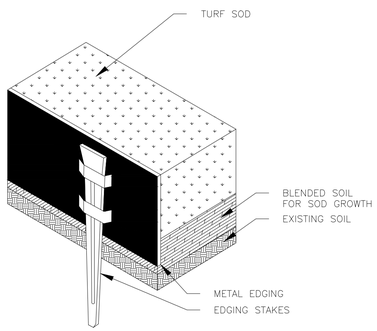
SCALE: NTS

NOTES:
1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ALL IMPURITIES SUCH AS ROCKS, ROOTS AND OTHER FOREIGN MATERIALS.
2. APPLY FERTILIZER WITHIN 2-3 DAYS OF PLANTINGS.
3. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
4. MATERIALS GREATER THAN 1" DIAMETER OR FROZEN SOIL SHALL BE REMOVED.
5. TILLED SOIL SHALL BE SMOOTHLY RAKED TO A FINISHED GRADE TO PROVIDE POSITIVE DRAINAGE.

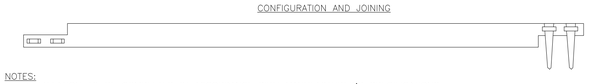


4 TYP. SOIL PREPARATION (ALL AREAS)

SCALE: NTS



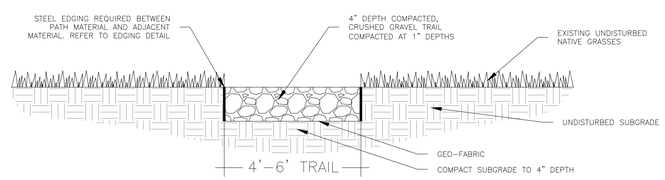
CONFIGURATION AND JOINING



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. METAL EDGING IS TO BE POWDER COATED AND ROLLED TOP.
3. USE BROWN COLOR ONLY.
4. CUT/BEND WHERE NEEDED TO CONFORM TO LANDSCAPE PLAN LAYOUT.

5 TYP. METAL EDING DETAIL

SCALE: NTS



6 TYP. CRUSHED GRAVEL TRAIL

SCALE: NTS

NOT FOR CONSTRUCTION
LAND USE REVIEW FILE NO: PUDSP-

DRAWN BY: JAG	JOB DATE: PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
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GRANDVIEW RESERVE - PHASE 3
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EL PASO COUNTY, CO

D·R·HORTON America's Builder

LANDSCAPE
PRELIMINARY LANDSCAPE DETAILS

SHEET L.11

HUHN, KEN, 3/21/2024 1:21 PM
HR GREEN Xrefs: xc-util-PH3; xc-row-PH3; xc-dsgn-PH3; xl-3D-XREF-PH3; xl-dsgn-PH3; xgl-1-arch dh01_PH3_PUD; Site_Plan_key_map