## PURPOSE AND INTENT:

O CREATE A COHESIVE AND WELL PLANNED COMMUNITY TO ALLOW A MAXIMUM 418 DWELLING UNITS (224 TOWNHOMES & 194 DUPLEXES) - THAT GENERALLY CONFORMS TO THE SKETCH PLAN APPROVED BY THE EL PASO BOARD OF COUNTY COMMISSIONERS. ON SEPTEMBER 22, 2020. THE DEVELOPMENT WILL BE IN HARMONY WITH THE CHARACTER OF THE SURROUNDING AREA AND IS SUITABLE FOR THE INTENDED USE. THAT INCLUDES RESIDENTIAL, PARKS, AND OPEN SPACE.

AUTHORIT THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE. ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972. AS AMENDED

#### APPLICABILITY

THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS

#### ADOPTION

THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR GRANDVIEW RESERVE PHASE 2 IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972. AS AMENDED.

## **RELATIONSHIP TO COUNTY REGULATIONS**

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF GRANDVIEW RESERVE PHASE 2. PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

#### ENFORCEMENT

TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW. CONFLICT

#### WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

#### MAXIMUM LEVEL OF DEVELOPMENT

THE TOTAL NUMBER OF DWELLINGS OR THE TOTAL COMMERCIAL, BUSINESS, OR INDUSTRIAL INTENSITY SHOWN ON THE DEVELOPMENT PLAN FOR DEVELOPMENT WITHIN THE SPECIFIED PLANNING AREAS IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS ANY APPROVED DENSITY TRANSFERS). THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT MAY BE LESS DUE TO SUBDIVISION OR SITE DEVELOPMENT PLAN REQUIREMENTS, LAND CARRYING CAPACITY, OR OTHER REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS

#### **PROJECT TRACKING**

AT THE TIME OF ANY FINAL PLAT APPLICATION, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT, TO DATE, TO PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT, IN ORDER TO ASSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED. **OVERALL PROJECT STANDARDS** 

THE STANDARD ZONING REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE INCLUDING OFF-STREET PARKING, LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, BY SPECIAL REVIEW AND VARIANCE PROCESSES SHALL APPLY TO THIS PUD, EXCEPT AS MODIFIED BY THE PUD.

NOTE REGARDING REPORTS ON FILE: THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN AND ARE ON FILE AT THE COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT: TRANSPORTATION IMPACT STUDY: PRELIMINARY DRAINAGE REPORT: WATER RESOURCES REPORT; WASTEWATER DISPOSAL REPORT; GEOLOGY AND SOILS REPORT: NATURAL FEATURES RFPORT DPW asking for 100 buffer

#### WATER NOT

WATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT AND SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS WASTEWATER NOTE WASTEWATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY THE WOODMAN HILLS METROPOLITAN DISTRICT AND SUBJECT TO THE DISTRICT'S RULES, REGULATIONS AND SPECIFICATIONS SPECIAL DISTRICT NOTE

#### SPECIAL DISTRICT DISCLOSUR What district is LOCATED IN A SPECIAL DISTRICT

A TITLE 32 SPECIAL DISTRICT / this within? DISCLOSURE FORM-SATISFACTORY TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RECORDED WITH EACH PLAT identify lot numbers for the constrains/ a mapped

exhibit showing constraints and lot layout

#### SOIL AND GEOLOGY CONDITIONS

MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE REPORT ENTITLED: GEOLOGIC HAZARD EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION GRANDVIEW RESERVE, PHASE 3, COLORADO BY CTL THOMPSON INC. DATED MARCH 12, 2024 IN FILE GRANDVIEW RESERVE PUDSP FILE NUMBER: PUDSP- 241 VAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT. THE FOLLOWING GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED:

- 1. SHALLOW GROUNDWATER: REFER TO GROUNDWATER CONDITIONS MAP (FIGURE 3) IN REPORT FOR LOTS WHERE GROUNDWATER COULD POTENTIAL IMPACT CRAWL SPACE FOUNDATIONS. PROPOSED GRADES HAVE BEEN ESTABLISHED SUCH THAT BOTTOM OF FOOTING ELEVATIONS WILL BE ABOVE THE KNOWN PEAK GROUNDWATER ELEVATIONS. WHERE GROUNDWATER CONDITIONS ARE ENCOUNTERED THAT IMPACT CRAWLS SPACE FOUNDATIONS, SLAB ON GRADE FOUNDATIONS SYSTEMS ARE RECOMMENDED. IT SHALL BE NOTED THAT FUTURE LOT SPECIFIC STUDIES MAY ALTER THESE RECOMMENDATIONS. NO BASEMENTS ARE PROPOSED WITHIN THE LIMITS OF OF THIS DEVELOPMENT PLAN. 2. HARD BEDROCK: THE SANDSTONE AND CLAYSTONE OF THE DAWSON FORMATION ARE HARD TO VERY HARD AND PRESENT AT SHALLOW DEPTHS WITHIN THE SITE. THE HARD TO VERY
- HARD BEDROCK WILL BE DIFFICULT TO EXCAVATE AND WILL REQUIRE HEAVY DUTY EXCAVATION EQUIPMENT. DEEP EXCAVA-TIONS INTO BEDROCK WILL REQUIRE AGGRESSIVE EXCAVATION TECHNIQUES. THE RATE OF EXCAVA-TION WILL BE SLOW WITHIN THE BEDROCK. 3. EXPANSIVE SOILS AND BEDROCK: EXPANSIVE BEDROCK IS PRESENT AT THIS SITE. WHICH CONSTITUTES A GEO-LOGIC HAZARD. THERE IS RISK THAT FOUNDATIONS AND SLAB-ON-GRADE FLOORS WILL EXPERIENCE HEAVE OR SETTLEMENT AND DAMAGE. IT IS CRITICAL THAT PRECAUTIONS ARE TAKEN TO INCREASE THE CHANCES THAT THI
- FOUNDATIONS AND SLABS-ON-GRADE WILL PERFORM SATISFACTORILY. IT IS NOTED THAT THE PRESENCE OF EXPANSIVE MATERIALS WITHIN THE DAWSON FORMATION IS HIGHLY VARIABLE AND WILL NEED TO BE FURTHER EVALUATED AT THE TIME OF LOT SPECIFIC SOILS AND FOUNDATION INVESTIGATIONS. ENGINEERED PLANNING, DESIGN AND CONSTRUCTION OF GRADING, PAVEMENTS, FOUNDATIONS, SLABS-ON-GRADE, AND DRAINAGE CAN MITIGATE, BUT NOT ELIMINATE, THE EFFECTS OF EXPANSIVE AND COMPRESSIBLE SOILS. SUB-EXCAVATION IS A GROUND IMPROVEMENT METHOD THAT CAN BE USED TO REDUCE THE IMPACTS OF SWELLING SOILS.
- 4. FLOODING: THE MAJORITY OF THE SITE LIES WITHIN ZONE D (UNDETERMINED FLOOD HAZARD), AS SHOWN ON FIRM COMMUNITY MAP NUMBER 08041C0556G, REVISED DECEMBER 7 2018. ZONE D INDICATES FLOODS ARE POSSIBLE, BUT NOT LIKELY. SOME PORTIONS OF THE SITE WITHIN DRAINAGE AREAS LIE WITHIN ZONE A. A LOMR IS CURRENTLY IN PROCEES WITH FEMA TO REALIGN THE FLOODPLAIN WITHIN AN NEW CHANNEL. ALL PROPOSED LOTS WILL BE REMOVED FROM FLOOPLAIN WITH THE CONSTRUCTION OF CHANNEL B AND THE CORRESPONDING LOMR

NOTE: NO GEOLOGIC HAZARDS WERE IDENTIFIED THAT PRECLUDE THE PROPOSED DEVELOPMENT. POTENTIAL HAZARDS CAN BE MITIGATED WITH PROPER ENGINEERING, DESIGN, AND CONSTRUCTION PRACTICES

Soil and Geology Conditions:

2	Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances)
	The following lots have been found to be impacted by geologic hazards. Mitigation measures and a ma
	of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) b
LEGAL DESCRIPTION:	(author of the report) (date of report) in file (name of file and file number) available at the El Paso Count
	Planning and Community Development Department:
A TRACT OF LAND DEING A DODTION THE COUTH	Downslope Creep: (name lots or location of area)
A TRACT OF LAND BEING A PORTION THE SOUTH	Rockfall Source:(name lots or location of area)
SECTION 22, A FORTION OF THE NORTHWEST QUI	Rockfall Runout Zone: (name lots or location of area)
28, IUWNSHIP IZ SUUTH, RANGE 64 WEST OF IF	<ul> <li>Potentially Seasonally High Groundwater: (name lots or location of area)</li> </ul>
FOLLOWS:	Other Hazard:
	In Areas of High Groundwater:
BASIS OF BEARINGS: THE EAST LINE OF SEC	Due to high groundwater in the area, all foundations shall incorporate an underground drainage system

EL PASO COUNTY, COLORADO, BEIN CAP STAMPED ACCORDINGLY, "PLS 30087," AND BEING MONUMENTED AT THE NORTHERLY END BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED ACCORDINGLY. "PLS 30087." BEING ASSUMED TO BEAR NO0'52'26". A DISTANCE OF 5,290.17 FEET.

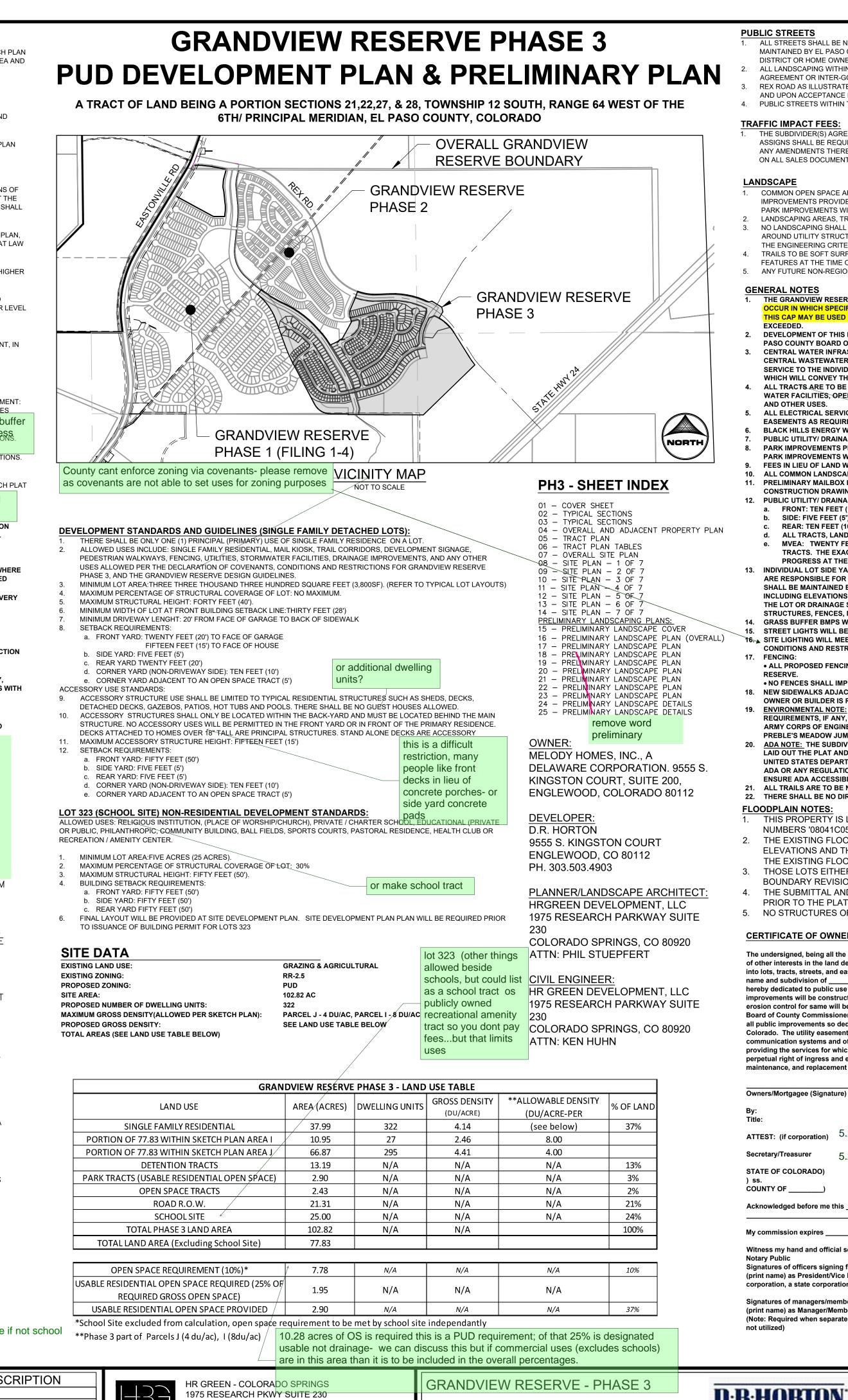
COMMENCING AT THE NORTHWEST CORNER OF SECTION 27, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6<sup>TH</sup> PRINCIPAL MERIDIAN. EL PASO COUNTY, COLORADO: THENCE N89°38'06'E A DISTANCE OF 602.59 FEET TO THE POINT OF BEGINNING: THENCE S32°03'23'E A DISTANCE OF 447.39 FEET TO A POINT OF CURVE: THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 07°12'46", A RADIUS OF 1,300.00 FEET A DISTANCE OF 163.65 FEET TO A POINT ON CURVE; THENCE S45°55'49"W A DISTANCE OF 1,166.50 FEET; THENCE N89°47'08"W A DISTANCE OF 88.92 FEET TO THE SOUTHEAST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28; THENCE N89°47'08"W, ON THE SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, A DISTANCE OF 1,127.53 FEET; THENCE NO0°12'52'E; A DISTANCE OF 11.41 FEET; THENCE N89°44'32'W A DISTANCE OF 289.10 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 61°56'07", A RADIUS OF 290.00 FEET A DISTANCE OF 313.48 FEET TO A POINT OF TANGENT; THENCE N27'48'24" A DISTANCE OF 779.86 FEET TO A POINT OF CURVE: THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 08'00'18", A RADIUS OF 2,050.00 FEET A DISTANCE OF 286.41 FEET TO A POINT OF TANGENT; THENCE N19°48'06"W A DISTANCE OF 438.38 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 29'29'59", A RADIUS OF 950.00 FEET, A DISTANCE OF 489.12 FEET TO A POINT OF TANGENT; THENCE N49°18'05"W A DISTANCE OF 29.46 FEET; THENCE N38°44'17"E A DISTANCE OF 100.06 FEET; THENCE S53°13'21"E A DISTANCE OF 159.27 FEET; THENCE S60°22'39"E A DISTANCE OF 211.52 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S22'55'07"W HAVING A DELTA OF 26'23'43"E, A RADIUS OF 1,668.20 FEET A DISTANCE OF 768.52 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S46"15'00"W HAVING A DELTA OF 12"10'43", A RADIUS OF 1,363.49 FEET A DISTANCE OF 289.82 FEET TO A POINT ON CURVE; THENCE S31°44'28"E A DISTANCE OF 23.97 FEET; THENCE N65°27'05"E A DISTANCE OF 122.04 FEET; THENCE S72°44'18"E A DISTANCE OF 15.00 FEET1

28.4 TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE OT THE RIGHT WHOSE CENTER BEARS S72°44'18"E HAVING A DELTA OF 76°32'04", A RADIUS OF 60.00 FEET A ; DISTANCE OF 80.15 FEET TO A POINT ON CURVE; THENCE N28°43'11"E A DISTANCE OF 325.08 FEET; THENCE N14°14'45"W A DISTANCE OF 65.01 FEET; THENCE N54°32'52"W A DISTANCE OF 5.87 FEET; THENCE NO6°45'50"W A DISTANCE OF 66.21 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 29"56'47", A RADIUS OF 142.50 FEET A DISTANCE OF 74.48 FEET TO A POINT OF TANGENT; THENCE N23"10'57"E A DISTANCE OF 204.59 FEET; THENCE N19°42'45'E A DISTANCE OF 111.00 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE WHOSE CENTER BEARS N19°42'45"E HAVING A DELTA OF 22°06'06", A RADIUS OF 839.00 FEET A DISTANCE OF 323.64 FEET TO A POINT OF ON CURVE; THENCE N87°36'38"E A DISTANCE OF 202.47 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 28°38''49", A RADIUS OF 1,306.00 FEET A DISTANCE OF 652.98 FEET TO A POINT ON CURVE; THENCE N76°41'38"E A DISTANCE OF 55.78 FEET; THENCE S58°18'02"E A DISTANCE OF 185.25 FEET; THENCE S13°18'02"E A DISTANCE OF 76.12 FEET; THENCE S30°22'37" A DISTANCE OF 119.64 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S30°22'37"W A DELTA OF 27°34'01", A RADIUS OF 700.00 FEET A DISTANCE OF 336.79 FEET TO A POINT OF TANGENT; THENCE S32°03'23"E A DISTANCE OF 15.72 FEET TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 4,478,988 SQUARE FEET OR 102.823 ACRES, MORE OR LESS.

#### ADD-MAX Commercial/ square footage if not school

DRAWN BY:	SPC	JOB DATE:	PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS.	NO.	DATE	BY	REVISION DE
APPROVED:	KVH	JOB NUMBER:	201662	0 1				
CAD DATE:	3/21/2024		AD	IF NOT ONE INCH, JUST SCALE ACCORDINGLY.				
CAD FILE:	J:\2020\201662\0	CAD\Dwgs\C\PUD_	Phase_3_662.203\PUD\Cover_	PUD				



- 1		TR GREEN - COLORADO SPRINC
	$  \rightarrow \rightarrow \rightarrow$	1975 RESEARCH PKWY SUITE 23
		COLORADO SPRINGS CO 80920
ור		PHONE: 719.300.4140
11	HRGreen	FAX: 713.965.0044

D.R. HORTON

EL PASO COUNTY, CO

#### ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS. DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY. SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS EXCEPT FOR LANDSCAPE AREAS WHICH SHALL BE MAINTAINED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT OR HOME OWNERS ASSOCIATION

ALL LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT VIA DEVELOPMENT AGREEMENT, LICENSE AGREEMENT OR INTER-GOVERNMENT AGREEMENT.

REX ROAD AS ILLUSTRATED ON THE DRAWINGS WILL BE A PUBLIC STREET DESIGNED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION. PUBLIC STREETS WITHIN THIS DEVELOPMENT PROVIDE LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY ON FILE FOR THIS PROJECT

#### **TRAFFIC IMPACT FEES**

THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO. AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

#### LANDSCAPE

COMMON OPEN SPACE AREAS SHALL BE XERISCAPED AS MUCH AS FEASIBLE BALANCING WITH AESTHETICALLY PLEASING LANDSCAPE DESIGN APPROACHES. URBAN PARK MPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARKS VIA PARK LAND AGREEMENTS.

LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.4.1.D. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER

THE ENGINEERING CRITERIA MANUAL TRAILS TO BE SOFT SURFACE (I.E. CRUSHED REFINES) AND FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES AT THE TIME OF THE FINAL PLAT.

ANY FUTURE NON-REGIONAL TRAILS TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT

#### phase 3...you cant exclude 25 acre tract from OS and then inlcude in density- 322 du/77.8 = 4.13 GENERAL NOTES THE GRANDVIEW RESERVE PHASE 2 OVÉRALL GROSS DENSITY IS 6.08 DU/ AC, ON 68.72 ACRES, FOR A TOTAL OF 418 UNITS. PER SKETCH PLAN APPROVAL DENSITY TRANSFERS MA OCCUR IN WHICH SPECIFIC AREAS EXCEED 4.24 DU/ AC SO LONG AS THE OVERALL DENSITY OF THE PROJECT IS BELOW THE APPROVED MAXIMUM UNIT COUNT. ANY DENSITY BELOW THIS CAP MAY BE USED IN SUBSEQUENT PHASES AND TRANSFERRED TO OTHER PARCELS AS LONG AS THE TOTAL MAXIMUM UNIT COUNT ON THE APPROVED SKETCH PLAN IS NOT

EXCEEDED DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THIS PUD DEVELOPMENT PLAN. MAJOR MODIFICATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS UNLESS OTHERWISE PROVIDED BY THE EPC LAND DEVELOPMENT CODE CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED. OWNED AND OPERATED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT TO PROVIDE WATER SERVICE TO THE PROJEC CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY WOODMAN HILLS METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE WOODMAN HILLS METROPOLITAN DISTRICT (WHMD) WASTEWATER SYSTEM WHICH WILL CONVEY THE WASTEWATER TO THE TREATMENT FACILITY WHERE CMD WILL BE RESPONSIBLE FOR TREATMENT ALL TRACTS ARE TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT. TRACTS INCLUDE LANDSCAPE EASEMENTS, DRAINAGE TRACTS, STORM WATER FACILITIES, OPEN SPACE TRACTS, STREETSCAPE PLANTINGS, DETENTION PONDS, UTILITIES, FENCES, PARKS AND RECREATIONAL FACILITIES, TRAILS, MAILBOX CLUSTERS AND OTHER USES.

ALL ELECTRICAL SERVICES SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED WILL BE GIVEN EASEMENTS AS REQUIRED. no school tract will be held by County until school requests it; lets discuss BLACK HILLS ENERGY WILL PROVIDE NATURAL GAS.

PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/ OR AS SHOWN WITHIN THE DETAILS. PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVED BY EL PASO COUNTY PARKS. PARK IMPROVEMENTS WILL BE SUBMITTED FOR REVIEW AND APPROVAL WITH THE FINAL PLAT.

FEES IN LIEU OF LAND WILL BE PROVIDED FOR SCHOOLS AND PARKS, IF REQUIREMENTS ARE NOT MET WITH LAND DEDICATION. ALL COMMON LANDSCAPE AREAS AND OPEN SPACE WITHIN THE DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT. 11. PRELIMINARY MAILBOX KIOSK LOCATIONS SHOWN. FINAL LOCATIONS SUBJECT TO APPROVAL BY THE USPS. ADJUSTMENTS TO LOCATION MAY BE MADE WITH FINAL PLAT AND

CONSTRUCTION DRAWINGS 12. PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLOWS

#### a. FRONT: TEN FEET (10') b. SIDE: FIVE FEET (5')

REAR: TEN FEET (10" ALL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.

MVEA: TWENTY FEET (20') MIN. WIDTH EASMENT WILL BE PROVIDED TO MVEA IN SELECT AREAS AROUND THE PERIMETER OF THE OVERALL SITE OR THROUGH OPEN SPACE TRACTS. THE EXACT LOCATIONS SHALL BE COORDINATED WITH MVEA WITH FINAL LOCATIONS TO BE INCLUDED ON THE FINAL PLAT. MVEA INFRASTRUCTURE DESIGN WAS IN PROGRESS AT THE TIME OF THIS PUD PRELIMINARY PLAN APPROVA Due to the project being within the Upper Black Squirrel Drainage Basin, please add the 13. INDIVIDUAL LOT SIDE YARD SWALES SHALL BE CONSTRUCTED DURING IN following note: OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHER 

Upper Black Squirrel Creek (UBSC) Groundwater Management District requires t INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELA RADE OF oundwater discharged to the surface or into an underdrain system must be THE LOT OR DRAINAGE SWALES. WITHIN SAID EASEMENTS. AS CONSTRU ERTIES. ed back into the ground. It is the developer's responsibility to comply with the STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPE 14. GRASS BUFFER BMPS WILL BE MAINTAINED IN ACCORDANCE WITH A PERU FINAL PLAT 15. STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS AND EL PASO COUNTY DETAILS AND SPECIFICATIONS.

16-x SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRANDVIEW RESERVE AND THE GRA Due to the shallow groundwater, please add the following note 17. FENCING:

• ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE AP El Paso County does not own and is not responsible for the underdrains or groundwater RESERVE

charge systems shown on these plans and assumes no liability for water rights NO FENCES SHALL IMPEDE DRAINAGE IN ANY WAY 18. NEW SIDEWALKS ADJACENT TO RESIDENTIAL LOTS ARE TO BE 5" THICK AI administration by approving these plans. Maintenance and water rights are the responsibility

OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTE of the developer and \_\_\_\_\_ [xx metropolitan district, or yy property owner's association]

ENVIRONMENTAL NOTE: DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE Laws, NEODENION, UNDIN REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE).

 ADA NOTE: THE SUBDIVIDER / DEVELOPER HAS FAMILIARIZED ITSELF WITH LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS
 Add note that no basements are allowed, as stated within the Soils & Geology report.
 Add note that no basements are allowed, as stated within the Soils & Geology report. (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS

UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND A SO COUNTY DOES NOT ASSURE COMPLIANCE WITH TH ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS. The Subdivider(s) agrees on behalf of him/herself and

21. ALL TRAILS ARE TO BE NON-MOTORIZED TRAILS. 22. THERE SHALL BE NO DIRECT LOT ACCESS TO REX ROAD AND WISHAW PL.

1. THIS PROPERTY IS LOCATED WITHIN A DESIGNED FEMA FLOODPLAIN AS DETERMINED BY THE FLC shall be required to pay traffic impact fees in NUMBERS '08041C0556G' AND '08041C0552G' EFFECTIVE DATE 7, 2018. 2. THE EXISTING FLOODPLAIN BOUNDARIES WILL BE REVISED VIA A LOMR MODELING THE PROPOSE ELEVATIONS AND THEN PROCESSED THROUGH TO FEMA TO ESTABLISH ZONE AE FLOODPLAIN LIN Program Resolution (Resolution No. 19-471), or any

THE EXISTING FLOODPLAIN LIMITS UNTIL THE CLOMR HAS BEEN APPROVED. 3. THOSE LOTS EITHER PARTIALLY OR ENTIRELY LOCATED WITHIN THE CURRENT FLOODPLAIN SHAL permit submittals. The fee obligation, if not paid at final BOUNDARY REVISION PROCESS IS COMPLETED EFFECTIVELY REMOVING THE FLOODPLAIN LIMITS plat recording, shall be documented on all sales 4. THE SUBMITTAL AND REVIEW OF THE FLOODPLAIN REVISION OCCUR INDEPENDENTLY OF THIS PR documents and on plat notes to ensure that a title PRIOR TO THE PLATTING OF ANY LOTS CURRENTLY LOCATED WITHIN FLOODPLAIN BOUNDARIES. search would find the fee obligation before sale of the 5. NO STRUCTURES OR SOLID FENCES ARE PERMITTED WITHIN THE DESIGNATED FLOODPLAIN AREA property.

that Subdivider and/or said successors and assigns accordance with the El Paso County Road Impact Fee amendments thereto, at or prior to the time of building

Developer shall comply with federal and

state laws, regulations, ordinances, review

irements, and other agency

Environmental:

any developer or builder successors and assignees

#### **CERTIFICATE OF OWNERSHIP**

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of \_\_\_\_ . All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for

providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, naintenance, and replacement of utility lines and related facilities.

and the record of the records of El Paso	
	Division of Wildlife, Colorado Department of
BOARD OF COUNTY COMMISSIONER'S	Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife
This plat for (name of subdivision or plat) was appr Colorado Board of County Commissioners on the _ any notes specified hereon and any conditions incl dedications of land to the public (streets, tracts, ea	Act, particularly as it relates to the listed species (e.g., Preble's Meadow Jumping Mouse).
but public improvements thereon will not become t	he maintenance responsibility of El Paso

CLERK AND RECORDER

STATE OF COLORADO

COUNTY OF EL PASO

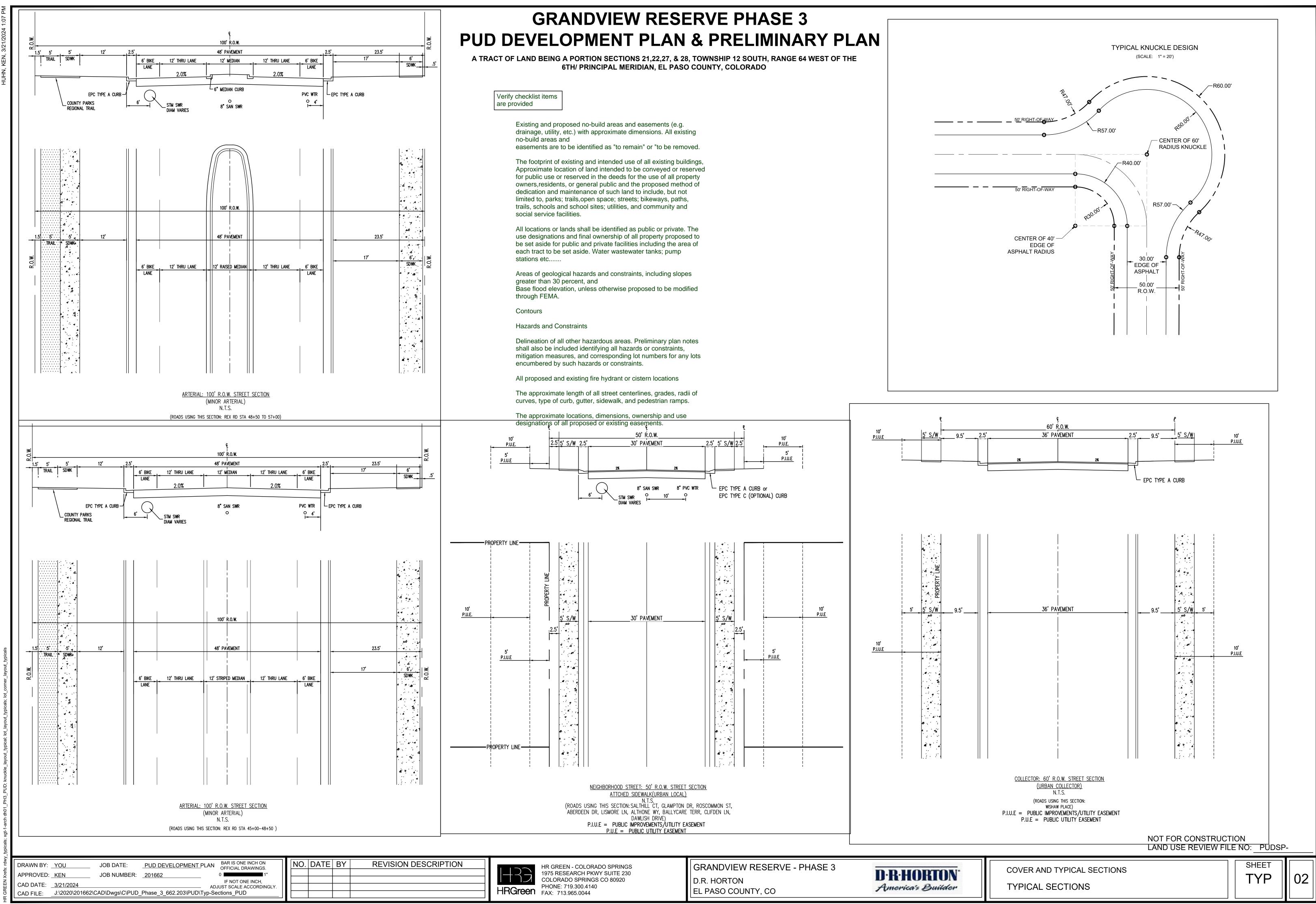
esponsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

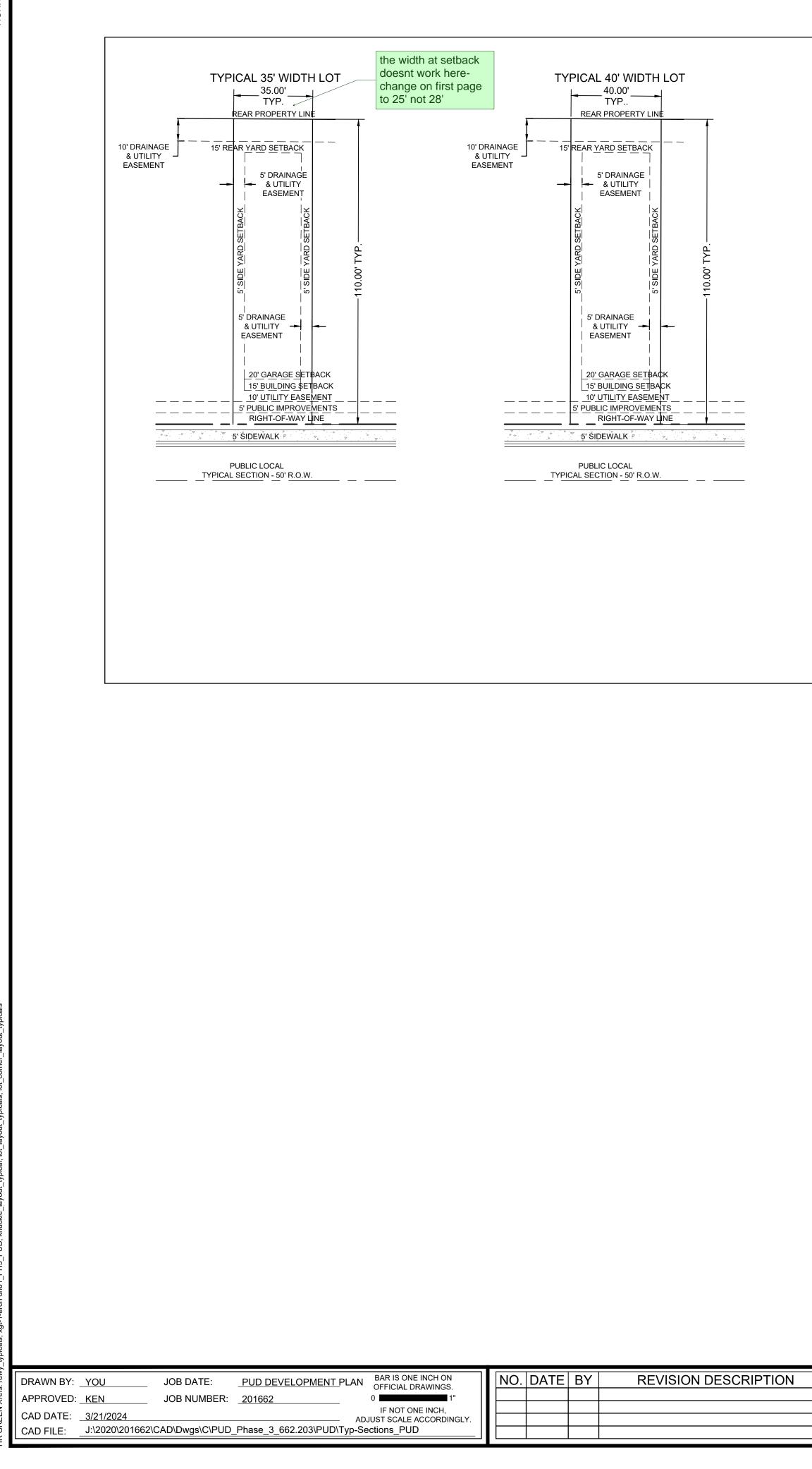
ary/Treasurer       5.2.22.       Dwelling, Additional       Director, Planning and Community Development       Date         corrector, Planning and Community Development       Date         corrector, Planning and Community Development       Date			
Director, Planning and Community Development       Date         pary/Treasurer       5.2.22.       Dwelling, Additional         E OF COLORADO)       Current Code       identifies accessory         TY OF       iving quarter (guest       house) additional         weldged before me thisday of, 200by       house) additional       dwelling unit is a         semmission expires       as       as eccond home verses a       a guest house. Did         you want to clarify in allowed uses or not       allowed uses since       they are different?       delete this from all         wurse of managers/members for a LLC shall be acknowledged as follows:       name) as Manager/Member of company, a state limited liability company.       Required when separate ratification statements for deed of trust holders, mortgagees are       NOT FOR CONSTRUCTION		Chair, Board of County Commissioners	Date
tary/Treasurer 5.2.22. Dwelling, Additional E OF COLORADO) TY OF weldged before me thisday of, 200by as mmission expires ss my hand and official seal Public tures of officers signing for a corporation shall be acknowledged as follows: name) as President/Vice President and print name as Secretary/Treasurer, name of allowed uses or not name) as President/Vice President and print name as Secretary/Treasurer, name of allowed uses since they are different? tures of manager/Members for a LLC shall be acknowledged as follows: name) as Manager/Member of company, a state limited liability company. Required when separate ratification statements for deed of trust holders, mortgagees are lized) NOT FOR CONSTRUCTION	T: (if corporation) 5.2.1. Accessory Living Quarters		
TY OF	ary/Treasurer 5.2.22. Dwelling, Additional	Director, Planning and Community Development	Date
<pre>mmission expires</pre>	OF COLORADO)	identifies accessory living quarter (guest house) additional	
tures of managers/members for a LLC shall be acknowledged as follows: name) as Manager/Member of company, a state limited liability company. Required when separate ratification statements for deed of trust holders, mortgagees are lized)	s my hand and official seal Public ures of officers signing for a corporation shall be acknowledged as follows: name) as President/Vice President and print name as Secretary/Treasurer, name	second home verses a guest house. Did you want to clarify in allowed uses or not etallowed uses since	
	name) as Manager/Member of company, a state limited liability company. Required when separate ratification statements for deed of trust holders, mortga	NOT FOR CONS	STRUCTION



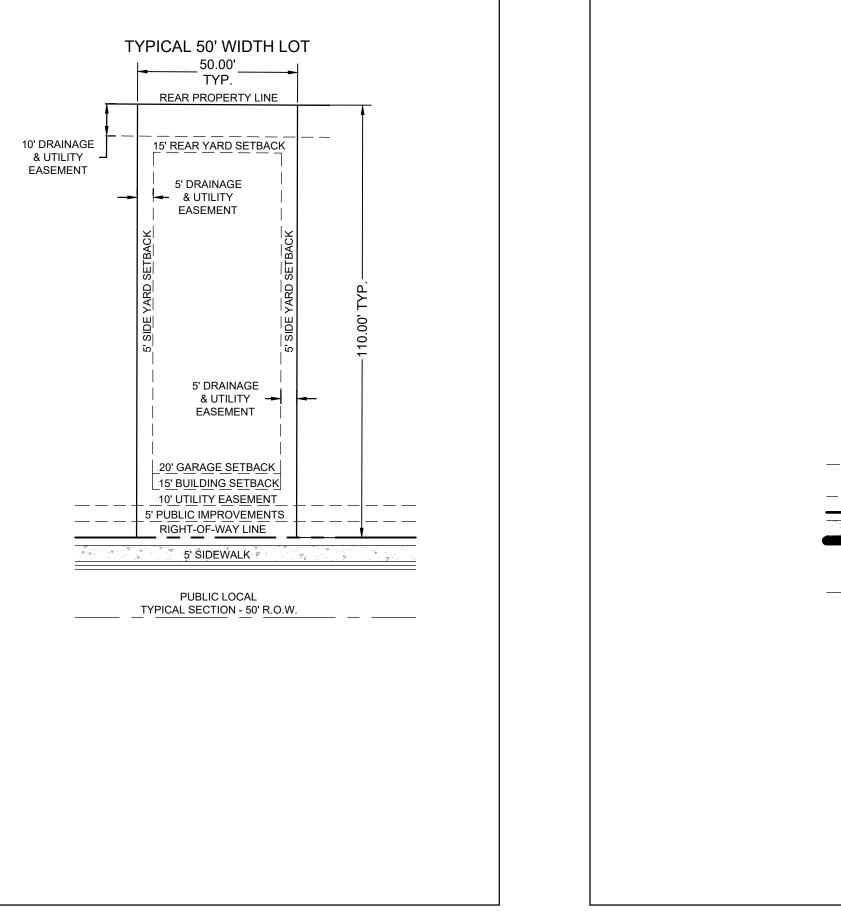
COVER SHEET

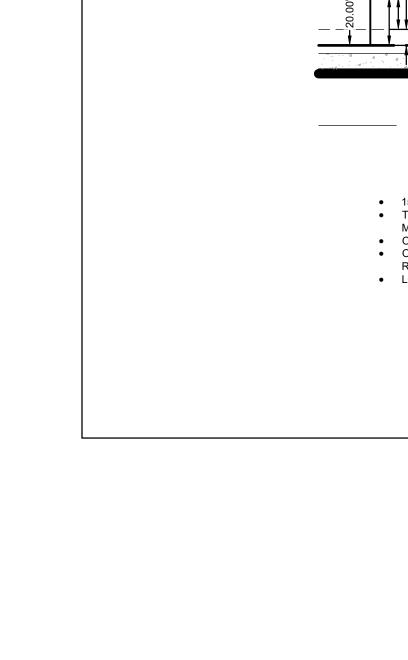
SHEET	I
CV	I





A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO





\_ \_ \_ \_ \_ \_ \_ \_ \_

**15.00**' -10.00

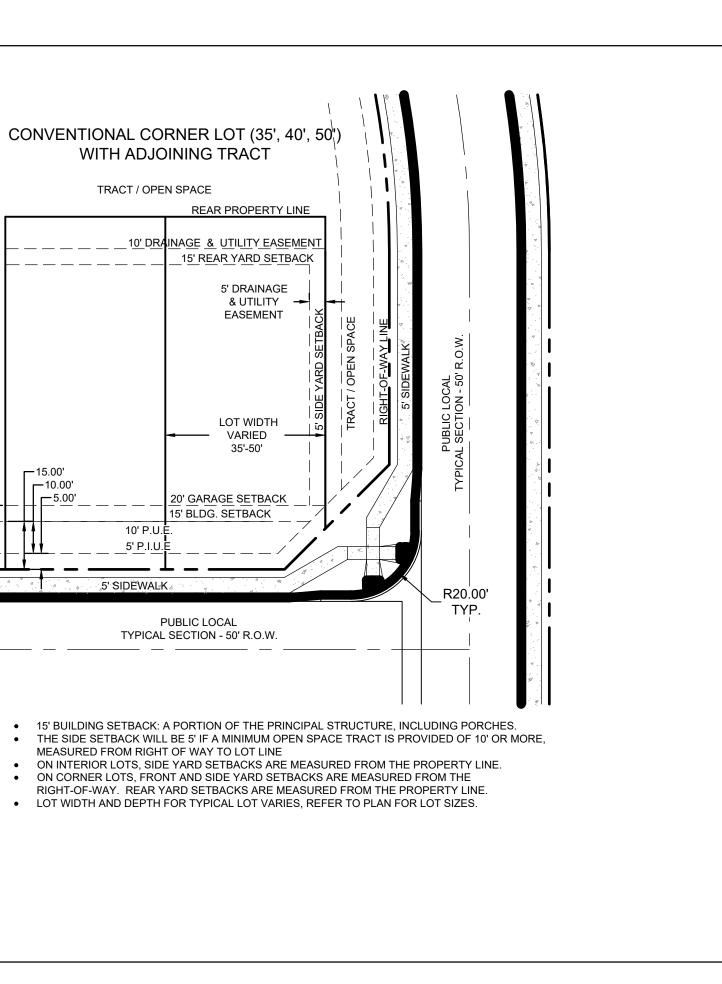
-5.00

10' P.

5' P.I.



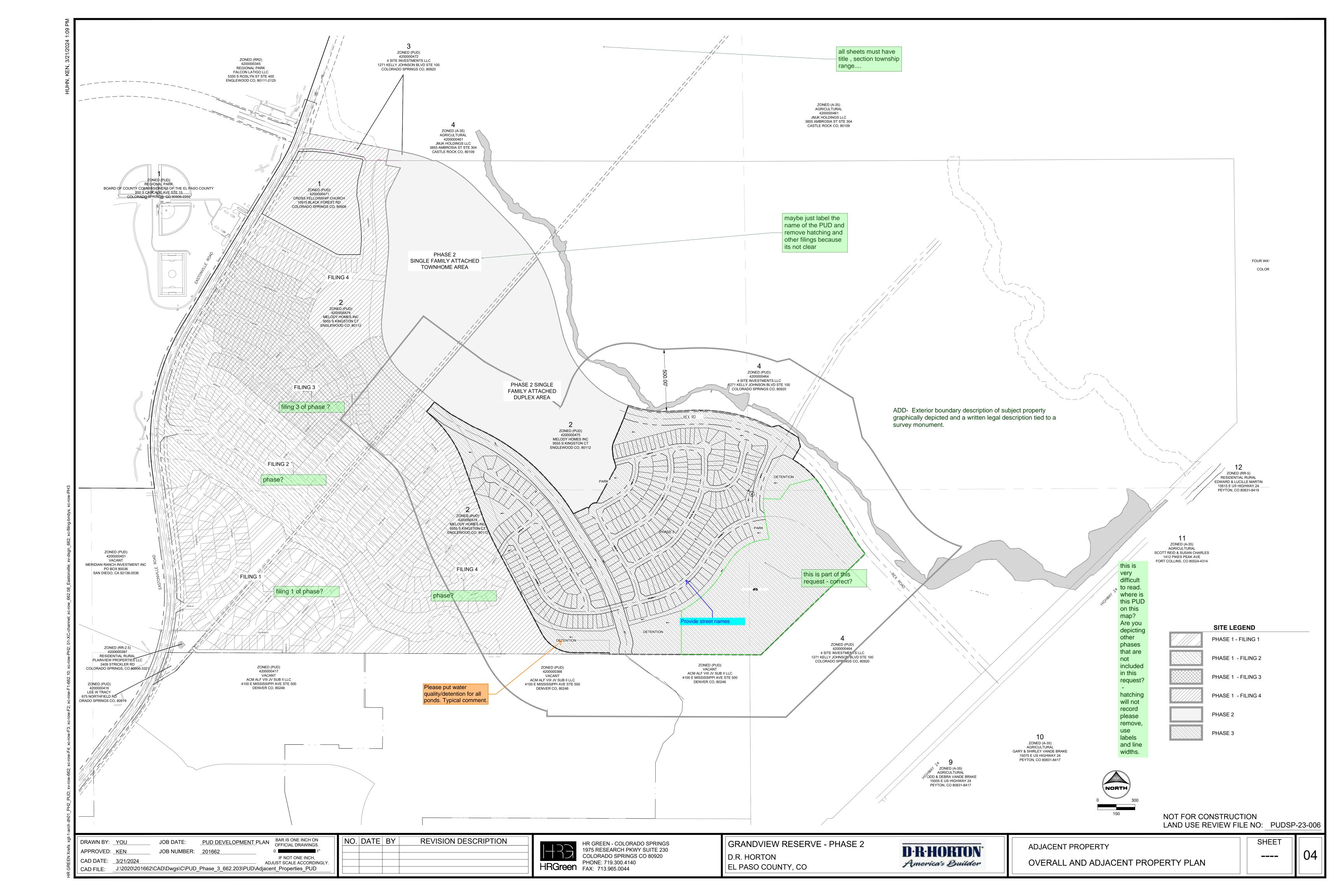


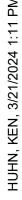


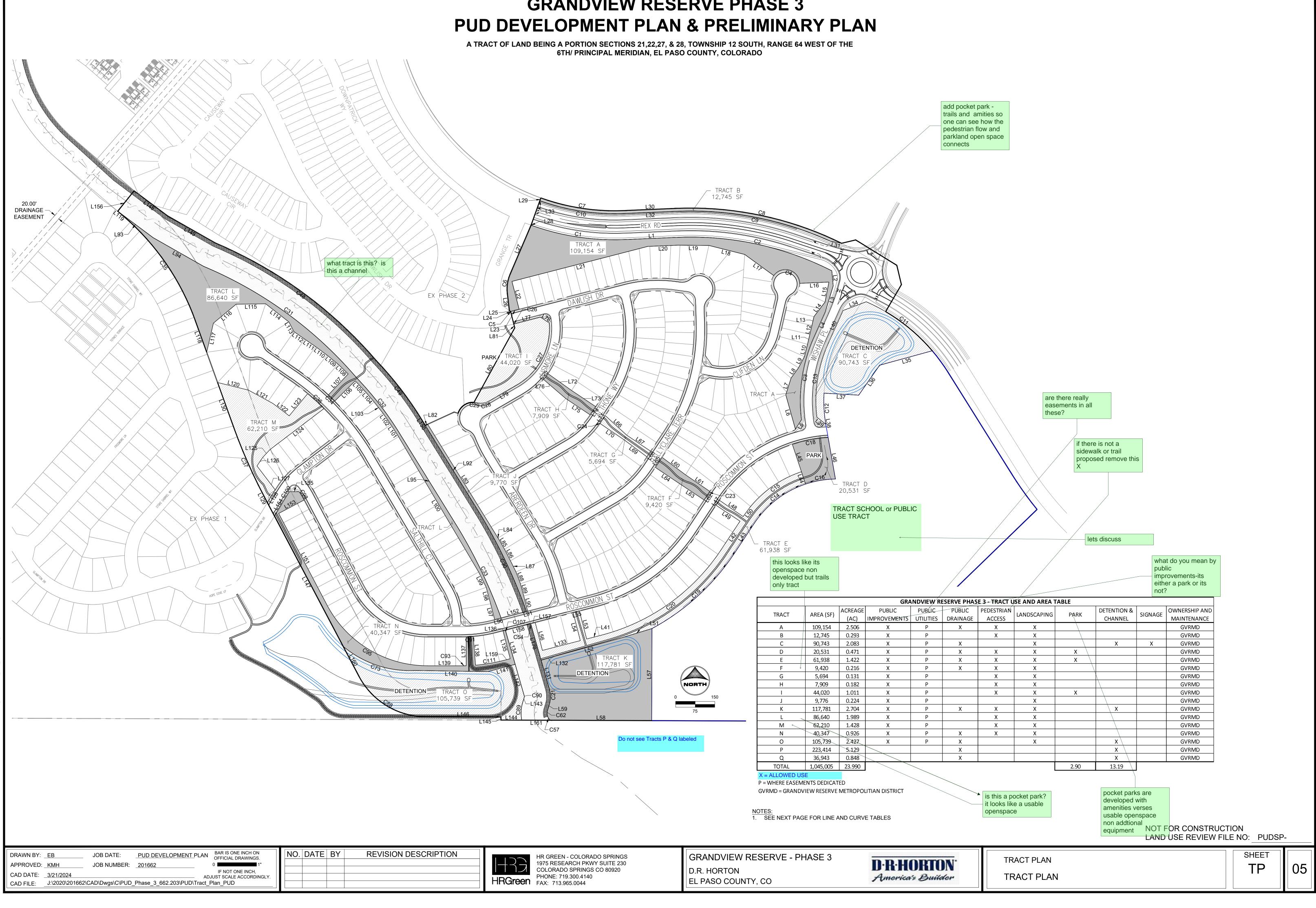
## NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: \_\_\_\_PUDSP-\_\_\_

COVER AND TYPICAL SECTIONS TYPICAL SECTIONS

SHEET 







# **GRANDVIEW RESERVE PHASE 3**

Line Table				
Line #	Length	Direction		
L1	202.47	N 87°36'38" E		
L2	58.08	S 5°14'50" E		
L3	104.27	S 16°57'43" W		
L4	101.59	S 24°12'01" W		
L5	42.20	S 33°32'34" W		
L6	136.34	N 15°33'32" W		
L7	67.31	N 17°20'16" E		
L8	48.57	N 36°06'41" E		
L9	48.57	N 27°55'10" E		
L10	48.47	N 13°49'18" E		
L11	39.03	N 13°33'35" E		
L12	35.00	N 13°04'02" E		
L13	35.00	N 13°04'02" E		
L14	70.06	N 37°16'32" E		
L15	77.93	N 10°56'07" E		
L16	112.00	S 87°26'30" W		
L17	137.63	N 54°00'30" W		
L18	141.66	N 75°54'01" W		
L19	117.87	N 89°29'22" W		
L20	116.36	S 87°36'38" W		
L21	537.50	S 75°34'07" W		
L22	110.00	S 14°25'53" E		
L23	32.19	S 75°34'07" W		
L24	0.01	N 14°14'45" W		
L25	5.87	N 54°32'52" W		

Line Table				
Line #	Length	Direction		
L26	66.21	N 6°45'50" W		
L27	204.59	N 23°10'57" E		
L28	0.66	S 70°18'27" E		
L29	11.00	S 19°42'45" W		
L30	202.47	S 87°36'38" W		
L31	42.09	S 79°47'02" E		
L32	202.47	N 87°36'38" E		
L33	0.59	S 70°17'15" E		
L34	94.81	S 69°12'01" W		
L35	208.97	N 74°45'56" E		
L36	140.61	N 35°03'41" E		
L37	133.04	S 86°38'21" E		
L38	2.48	N 9°55'07" W		
L39	43.57	S 51°56'11" E		
L40	134.69	S 24°12'01" W		
L41	58.44	S 75°32'06" W		
L42	132.38	S 33°32'58" W		
L43	136.28	N 33°32'58" E		
L44	50.00	N 18°24'23" W		
L45	110.00	S 18°24'23" E		
L46	161.42	N 9°55'07" W		
L47	23.08	S 33°32'58" W		
L48	110.01	N 55°35'16" W		
L49	110.00	S 56°27'02" E		
L50	48.14	S 36°32'28" W		

	Line Table		
Line #	Length	Direction	
L51	122.35	S 73°08'10" W	
L52	262.24	S 74°33'44" W	
L53	110.00	N 14°27'54" W	
L54	110.00	S 14°27'54" E	
L55	25.00	S 75°32'06" W	
L56	110.00	N 14°27'54" W	
L57	352.64	N 0°12'52" E	
L58	388.21	S 89°47'08" E	
L59	24.17	S 15°57'12" W	
L60	112.14	N 53°24'31" W	
L61	112.00	N 55°39'27" W	
L62	31.35	N 33°32'58" E	
L63	112.00	S 56°27'02" E	
L64	112.11	S 56°12'49" E	
L65	46.55	S 33°47'11" W	
L66	111.26	N 47°34'33" W	
L67	110.00	N 56°12'49" W	
L68	25.99	N 33°47'11" E	
L69	110.28	S 53°23'24" E	
L70	109.87	S 55°46'37" E	
L71	33.95	S 33°47'11" W	
L72	110.78	N 54°37'09" W	
L73	111.00	N 56°12'49" W	
L74	38.06	N 33°47'11" E	
L75	112.29	S 56°12'49" E	

Line #	Le
L76	1
L77	1(
L78	4
L79	12
L80	32
L81	1
L82	1
L83	5
L84	(
L85	5
L86	4
L87	4
L88	4
L89	4
L90	5
L91	!
L92	4(
L93	16
L94	2
L95	42
L96	2
L97	6
L98	6
L99	6
L100	6

	e Table		
Curve #	Length	Radius	Delta
C1	365.80	950.00	22°03'42"
C2	610.69	1195.00	29°16'49"
C3	328.90	595.00	31°40'19"
C4	135.78	55.00	141°27'00"
C5	1.54	475.00	0°11'08"
C6	74.48	142.50	29°56'47"
C7	323.64	839.00	22°06'06"
C8	652.98	1306.00	28°38'49"
C9	607.02	1295.00	26°51'24"
C10	327.29	850.00	22°03'42"
C11	318.25	700.00	26°02'56"
C12	117.04	505.00	13°16'46"
C13	292.99	535.00	31°22'38"
C23	8.17	590.00	0°47'36"
C24	2.48	325.00	0°26'12"
C25	27.77	300.00	5°18'11"

Curve Table						
Curve #	Length	Radius	Delta			
C26	1.70	525.00	0°11'08"			
C27	281.84	250.00	64°35'32"			
C28	47.02	60.00	44°54'02"			
C29	11.48	60.00	10°57'30"			
C30	408.21	2040.27	11°27'48"			
C31	730.90	1568.20	26°42'15"			
C32	271.37	1263.49	12°18'22"			
C33	378.63	1940.27	11°10'51"			
C34	34.10	1025.00	1°54'21"			
C35	489.12	950.00	29°29'59"			
C36	84.34	975.00	4°57'22"			
C37	291.22	2052.58	8°07'45"			
C48	768.52	1668.20	26°23'43"			
C49	289.82	1363.49	12°10'43"			
C54	6.62	2040.27	0°11'09"			
C57	21.07	27.79	43°25'39"			

DRAWN BY:	EB	JOB DATE:	PUD DEVELOPMENT PLAN	BAR IS ONE INCH ON OFFICIAL DRAWINGS.	N	D. DATE	BY	REVISION DES
APPROVED:	KMH	JOB NUMBER:	201662	0 1"				
CAD DATE:	3/21/2024			IF NOT ONE INCH, JUST SCALE ACCORDINGLY.				
CAD FILE:	J:\2020\201662\	CAD\Dwgs\C\PUD_	Phase_3_662.203\PUD\Tract_	Plan_PUD				
4								

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

Line Table				
Length	Direction			
112.31	S 49°19'49" E			
103.89	S 75°34'07" W			
40.05	N 56°18'17" W			
124.64	N 59°51'14" E			
325.08	S 28°43'11" W			
15.00	S 14°14'45" E			
10.00	N 58°15'32" E			
512.14	S 31°44'28" E			
0.16	S 31°44'11" E			
50.00	S 30°17'57" E			
49.24	S 26°58'27" E			
47.93	S 26°31'11" E			
47.96	S 20°32'44" E			
48.76	S 15°15'08" E			
59.98	S 14°27'54" E			
5.04	S 75°32'06" W			
403.68	N 31°44'28" W			
168.94	N 53°13'21" W			
223.72	N 60°22'39" W			
428.47	N 31°44'28" W			
25.04	N 75°32'06" E			
62.25	S 14°27'54" E			
65.59	S 14°59'14" E			
65.46	S 26°23'54" E			
602.22	S 30°37'31" E			

Line Table					
Line #	Length	Direction			
L101	54.31	S 32°22'56" E			
L102	54.31	S 35°06'00" E			
L103	54.31	S 37°50'30" E			
L104	54.31	S 40°35'00" E			
L105	54.31	S 43°19'30" E			
L106	110.00	N 45°18'15" E			
L107	110.00	S 43°23'54" W			
L108	54.39	S 45°51'57" E			
L109	54.40	S 50°42'51" E			
L110	54.40	S 53°27'21" E			
L111	50.89	S 55°19'18" E			
L112	50.00	S 55°22'54" E			
L113	41.58	S 27°19'07" E			
L114	113.33	S 51°55'10" E			
L115	113.33	N 89°08'18" E			
L116	113.33	N 50°11'45" E			
L117	114.56	N 12°55'13" E			
L118	130.57	S 19°48'06" E			
L119	29.46	S 49°18'05" E			
L120	122.15	S 76°08'36" E			
L121	106.55	S 61°23'04" E			
L122	78.49	S 52°46'53" E			
L123	110.00	N 39°49'08" E			
L124	259.66	S 52°44'02" W			
L125	39.80	S 43°10'53" W			

	Line T	able
Line #	Length	Direction
L126	40.25	S 33°53'31" W
L127	115.00	S 37°15'58" E
L128	57.35	S 31°14'26" W
L129	29.99	N 27°48'14" W
L130	177.71	N 19°48'06" W
L131	111.86	S 16°01'40" E
L132	57.23	S 73°58'20" W
L133	150.00	S 75°32'06" W
L134	124.54	N 16°01'40" W
L135	110.00	S 14°27'54" E
L136	9.03	S 75°32'06" W
L137	110.05	S 0°00'00" E
L138	110.00	N 4°47'12" W
L139	131.37	N 90°00'00" W
L140	281.84	N 89°06'25" W
L141	108.04	S 75°00'29" W
L142	124.54	N 16°01'40" W
L143	13.43	N 15°57'12" E
L144	79.51	S 89°47'08" E
L145	11.41	S 0°12'52" W
L146	289.10	S 89°44'32" E
L147	564.56	S 27°48'24" E
L148	159.27	N 53°13'21" W
L149	211.52	N 60°22'39" W
L150	25.23	N 31°44'28" W

	Line T	able
Line #	Length	Direction
L151	397.41	N 27°48'24" W
L152	100.42	N 75°32'06" E
L153	109.98	N 62°11'36" E
L154	92.80	S 31°14'26" W
L155	37.06	S 89°57'16" W
L156	100.06	S 38°44'17" W
L157	18.24	S 75°32'06" W
L158	100.22	N 75°32'06" E
L159	27.96	S 75°32'06" W
L160	129.50	S 27°48'24" E
L161	109.77	N 89°47'08" W
L176	138.47	S 16°01'40" E

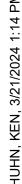


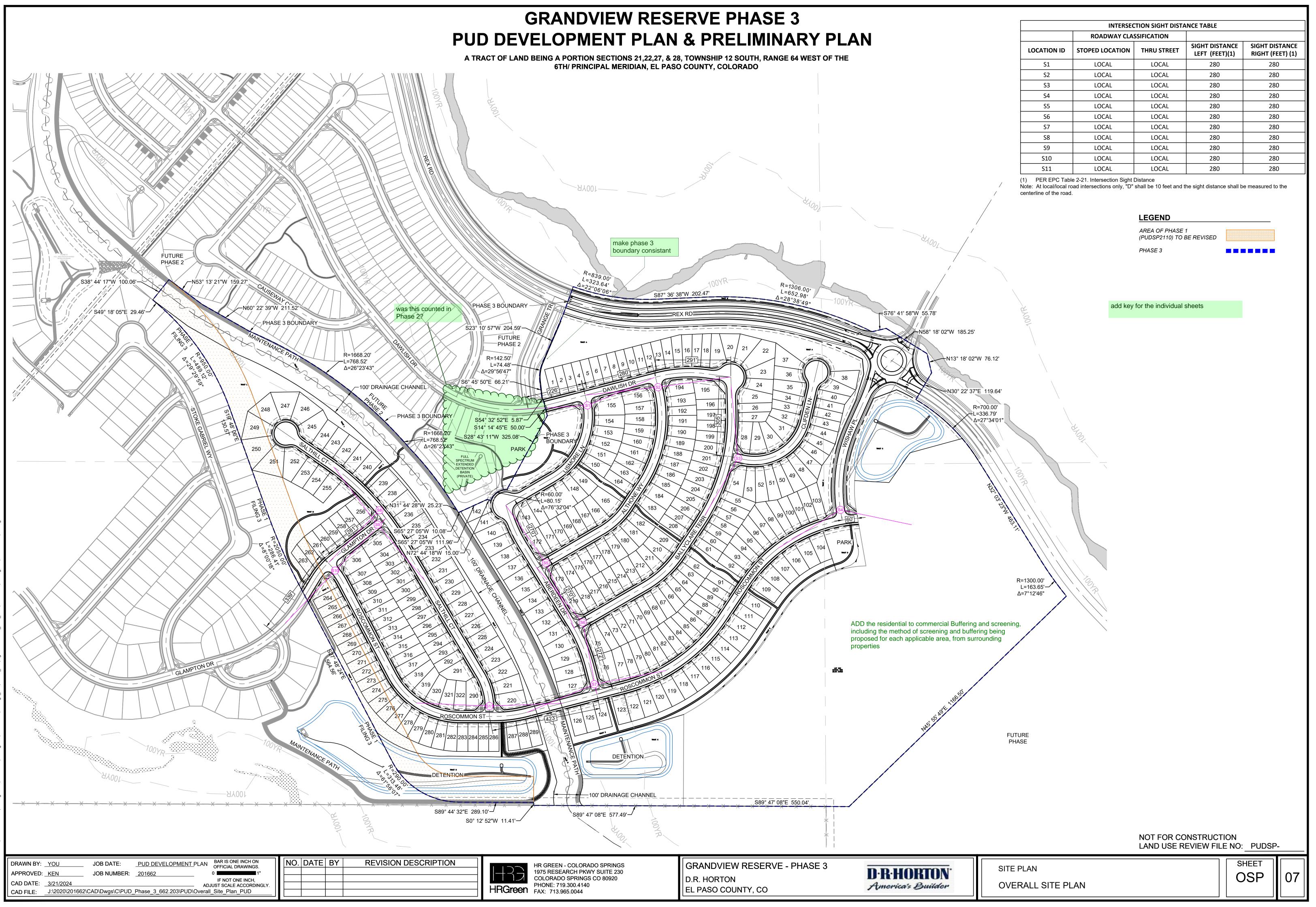




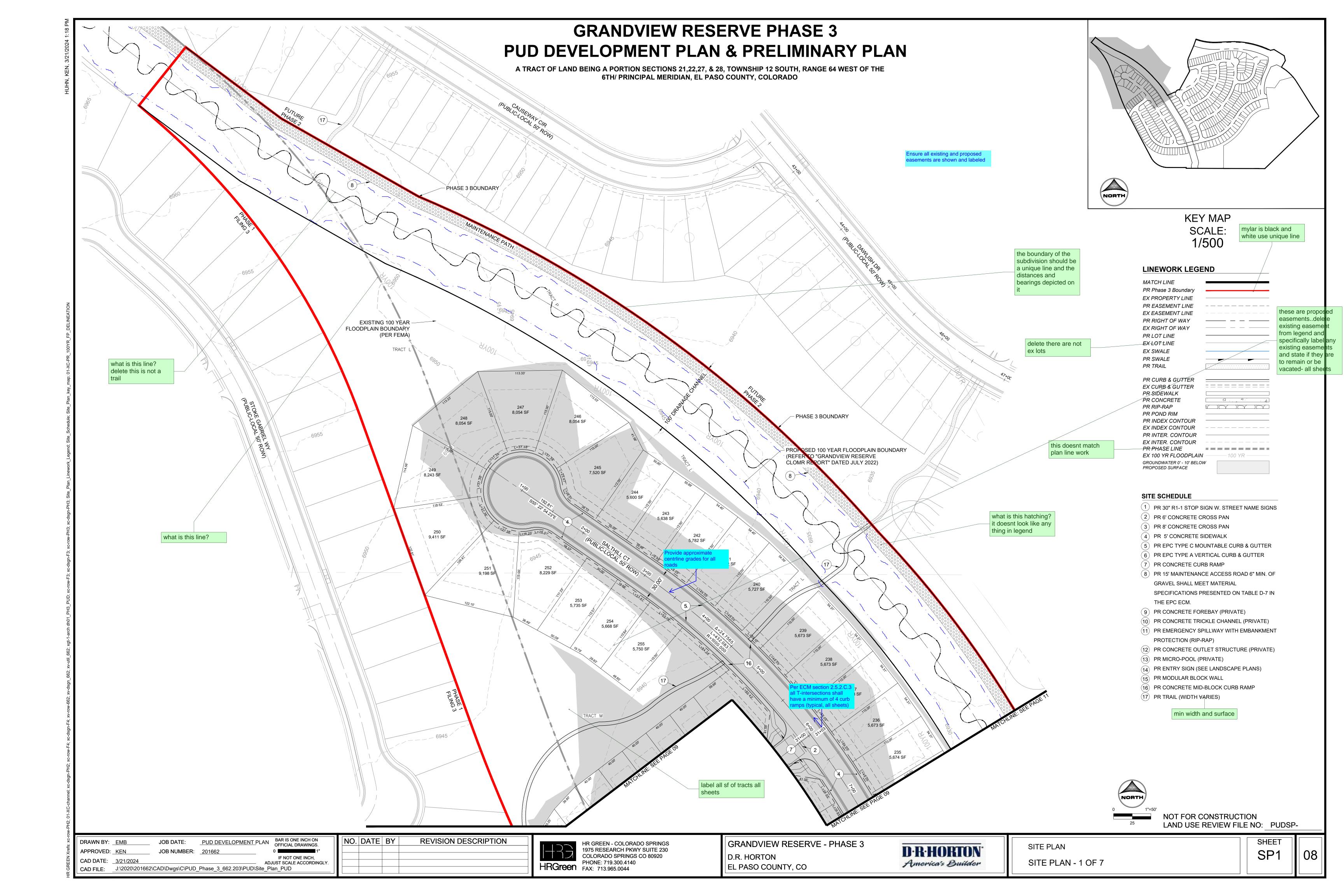
TRACT PLAN TRACT PLAN TABLES NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: PUDSP-

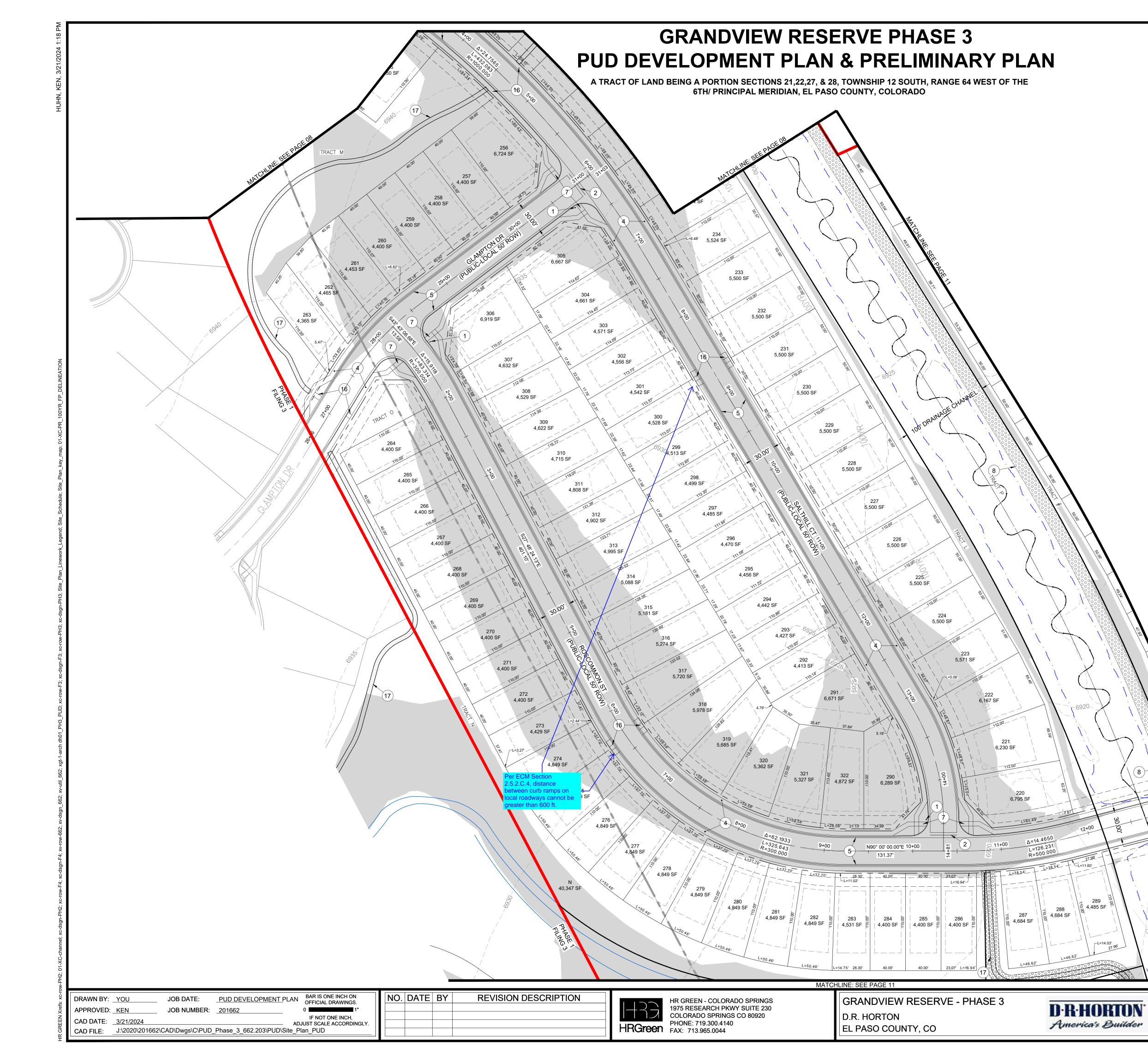
	SHEET				
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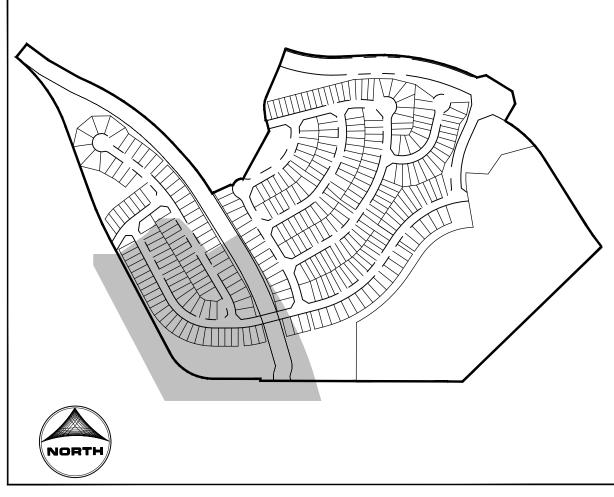




ROADWAY CLAS OPED LOCATION LOCAL LOCAL LOCAL	THRU STREET	SIGHT DISTANCE LEFT (FEET)(1) 280	SIGHT DISTANCE RIGHT (FEET) (1)
LOCAL LOCAL	LOCAL	LEFT (FEET)(1)	
LOCAL		200	
		280	280
LOCAL	LOCAL	280	280
	LOCAL	280	280
LOCAL	LOCAL	280	280
LOCAL	LOCAL	280	280
LOCAL	LOCAL	280	280
LOCAL	LOCAL	280	280
LOCAL	LOCAL	280	280
LOCAL	LOCAL	280	280
LOCAL	LOCAL	280	280
LOCAL	LOCAL	280	280
	LEGEND		
	PHASE 3		
add key	for the individual s	sheets	
r	LOCAL LOCAL LOCAL 21. Intersection Sight D ntersections only, "D" s	LOCAL       LOCAL         LOCAL       LOCAL         LOCAL       LOCAL         LOCAL       LOCAL         21. Intersection Sight Distance         Intersections only, "D" shall be 10 feet and t         LEGEND         AREA OF PHASE (PUDSP2110) TO B         PHASE 3	LOCAL       LOCAL       280         21. Intersection Sight Distance       Intersections only, "D" shall be 10 feet and the sight distance shall be         AREA OF PHASE 1 (PUDSP2110) TO BE REVISED       PHASE 3         PHASE 3       PHASE 3         add key for the individual sheets







## KEY MAP SCALE: 1/500

## LINEWORK LEGEND

MATCH LINE	
PR Phase 3 Boundary	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	_ <b>_</b>
PR TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK PR CONCRETE	
PR CONCRETE PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
PR PHASE LINE	
EX 100 YR FLOODPLAIN	100 YR
GROUNDWATER 0' - 10' BELOV PROPOSED SURFACE	V
I NOI USED SUNI AUE	

Δ

Y

what sheet is this on?

SHEET

SP2

09

what sheet is detail

#### SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- (2) PR 6' CONCRETE CROSS PAN
- (3) PR 8' CONCRETE CROSS PAN
- (4) PR 5' CONCRETE SIDEWALK

7) PR CONCRETE CURB RAMP

THE EPC ECM.

- 5) PR EPC TYPE C MOUNTABLE CURB & GUTTER

GRAVEL SHALL MEET MATERIAL

(9) PR CONCRETE FOREBAY (PRIVATE)

PROTECTION (RIP-RAP)

(13) PR MICRO-POOL (PRIVATE)

(17) PR TRAIL (WIDTH VARIES)

NORTH

1"=50'

13+00

SITE PLAN

SITE PLAN - 2 OF 7

(8) PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF

(10) PR CONCRETE TRICKLE CHANNEL (PRIVATE)

(11) PR EMERGENCY SPILLWAY WITH EMBANKMENT

(12) PR CONCRETE OUTLET STRUCTURE (PRIVATE)

NOT FOR CONSTRUCTION

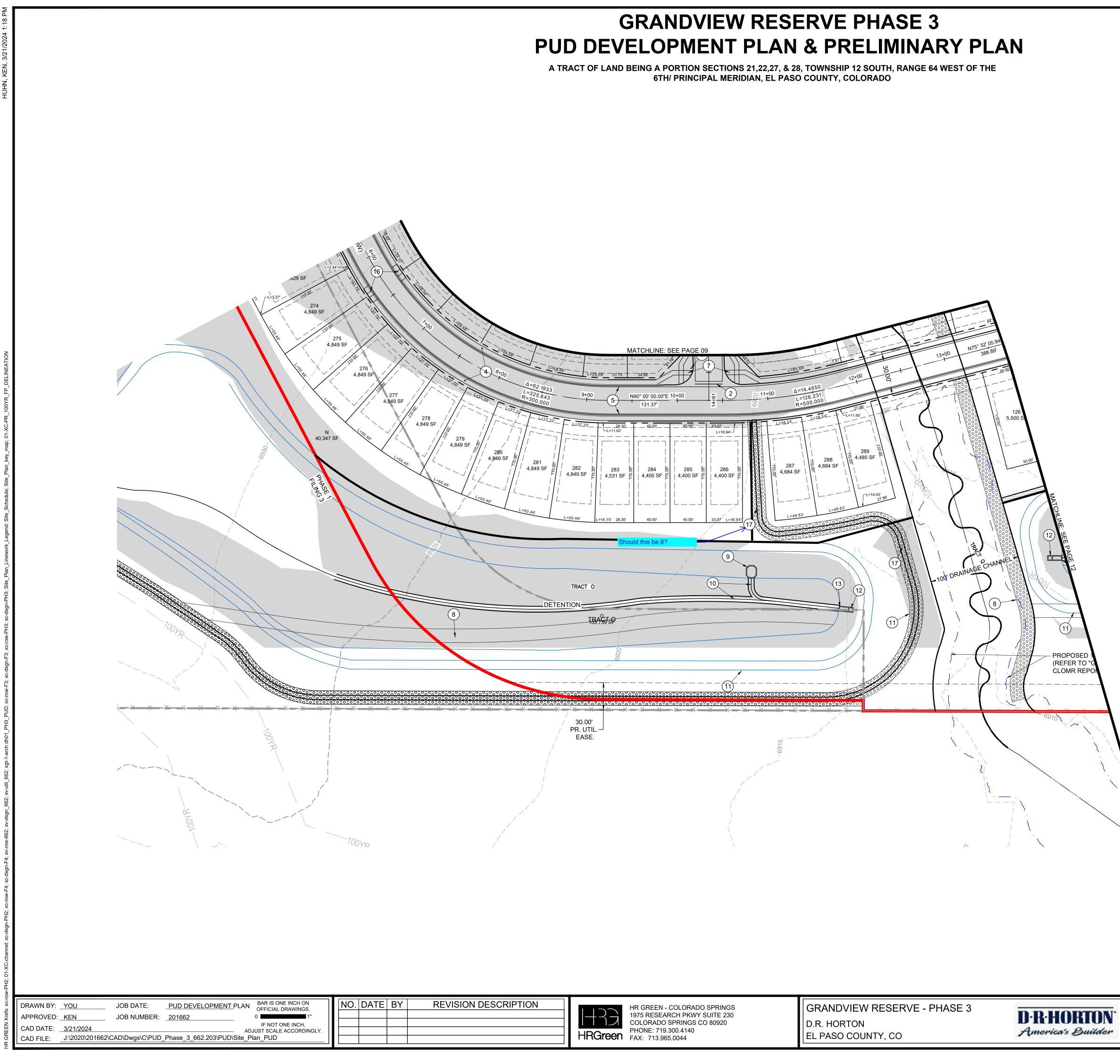
LAND USE REVIEW FILE NO: PUDSP-

(14) PR ENTRY SIGN (SEE LANDSCAPE PLANS)

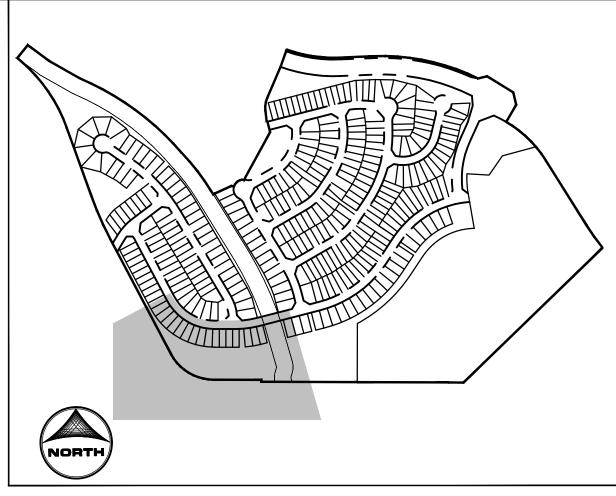
(16) PR CONCRETE MID-BLOCK CURB RAMP

SPECIFICATIONS PRESENTED ON TABLE D-7 IN

- (6) PR EPC TYPE A VERTICAL CURB & GUTTER



~ <u>, ^ `</u>



## KEY MAP SCALE: 1/500

## LINEWORK LEGEND

MATCH LINE	_
PR Phase 3 Boundary	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	· <u> </u>
PR RIP-RAP	Y XY XY XY
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
PR PHASE LINE	
EX 100 YR FLOODPLAIN	100 YR
GROUNDWATER 0' - 10' BELOV PROPOSED SURFACE	V

#### SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- (2) PR 6' CONCRETE CROSS PAN
- (3) PR 8' CONCRETE CROSS PAN
- (4) PR 5' CONCRETE SIDEWALK
- (5) PR EPC TYPE C MOUNTABLE CURB & GUTTER

(8) PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF

(10) PR CONCRETE TRICKLE CHANNEL (PRIVATE) (11) PR EMERGENCY SPILLWAY WITH EMBANKMENT

(12) PR CONCRETE OUTLET STRUCTURE (PRIVATE)

NOT FOR CONSTRUCTION

LAND USE REVIEW FILE NO: PUDSP-

SHEET

SP3

10

(14) PR ENTRY SIGN (SEE LANDSCAPE PLANS)

(16) PR CONCRETE MID-BLOCK CURB RAMP

SPECIFICATIONS PRESENTED ON TABLE D-7 IN

- (6) PR EPC TYPE A VERTICAL CURB & GUTTER

- (7) PR CONCRETE CURB RAMP

GRAVEL SHALL MEET MATERIAL

(9) PR CONCRETE FOREBAY (PRIVATE)

PROTECTION (RIP-RAP)

(13) PR MICRO-POOL (PRIVATE)

(15) PR MODULAR BLOCK WALL

(17) PR TRAIL (WIDTH VARIES)

IORTI

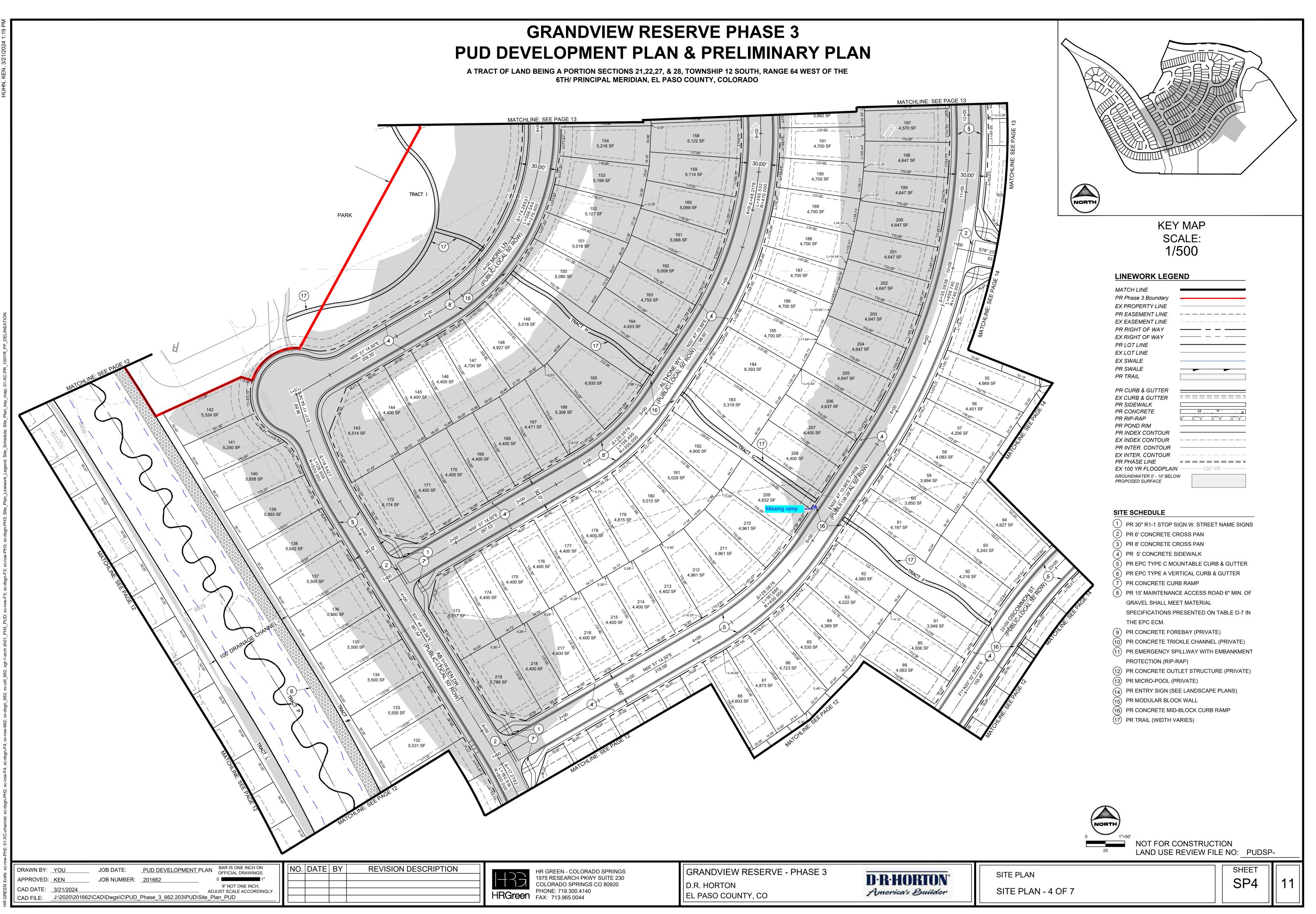
25

SITE PLAN

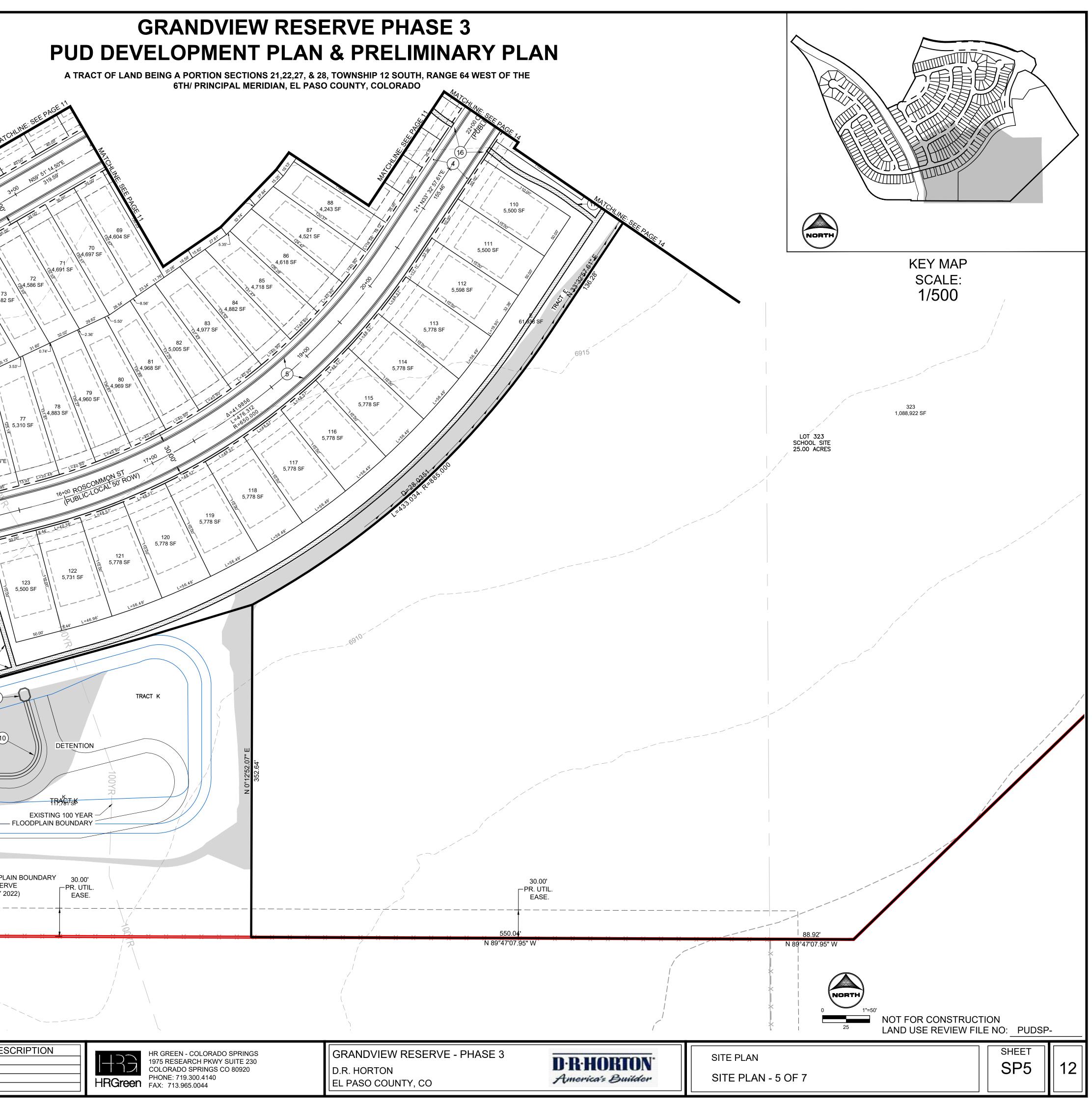
SITE PLAN - 3 OF 7

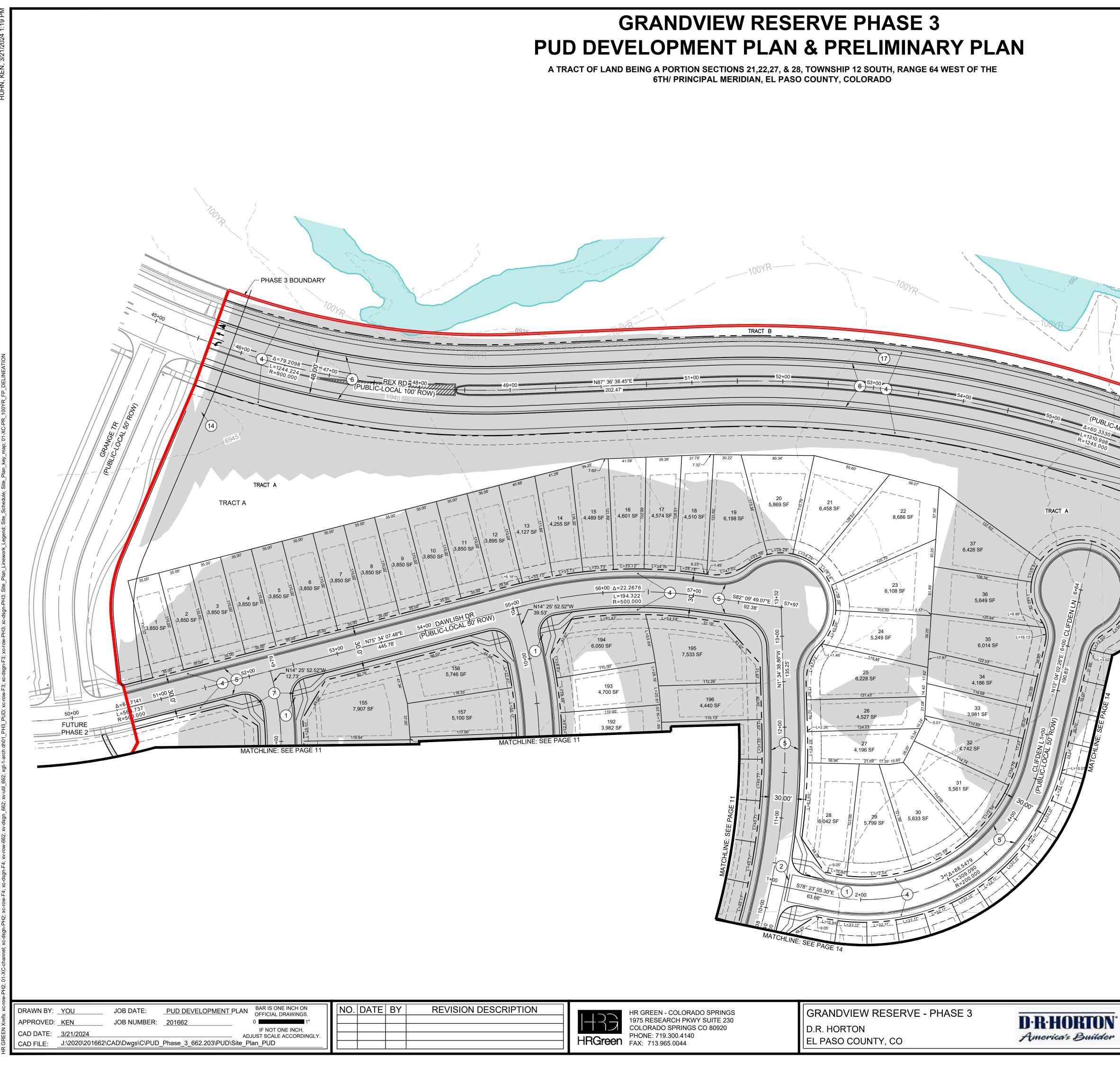
1"=50'

THE EPC ECM.



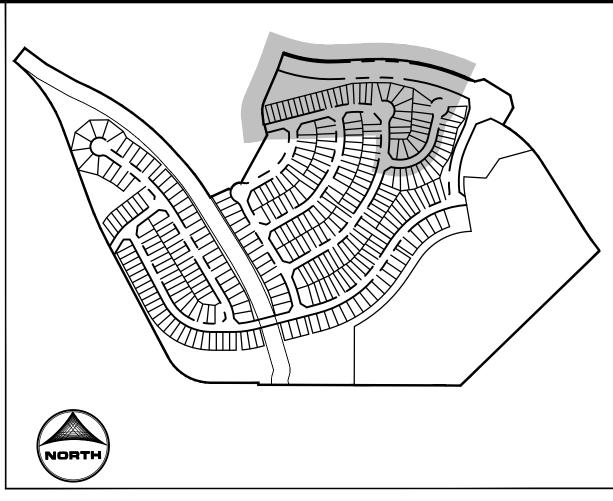
LINEWORK LEG	END	_					
PR Phase 3 Boundary EX PROPERTY LINE PR EASEMENT LINE							
EX EASEMENT LINE PR RIGHT OF WAY							
EX RIGHT OF WAY PR LOT LINE EX LOT LINE							
EX EOT LINE EX SWALE PR SWALE							
PR TRAIL PR CURB & GUTTER							40.00
EX CURB & GUTTER PR SIDEWALK							10.00
PR CONCRETE PR RIP-RAP PR POND RIM				43	50	M.OC	
PR INDEX CONTOUR EX INDEX CONTOUR PR INTER. CONTOUR				193	1	2+00	35.00
EX INTER. CONTOUR PR PHASE LINE			JGE 11	2	7	5.00	2001
EX 100 YR FLOODPLA GROUNDWATER 0' - 10' BEL PROPOSED SURFACE		HLINE: SEE	PAGE 11				
		MATCHLINE: SEL	131 5,815 SF	15-1 7-1600-000-000-000-000-000-000-000-000-00	1.2102		74 34,378 SF
		4 <u>19</u> 224	15.00		1400		SE
	K		130 6;223 SF		P		
			1150		PUBLIC-LOCAL SC		72.81
				129 ,227 SF	OCAL		
ATCHL	85.AR			115.00		ROWI BOOM	76 8,351 SF
MATCHLINE. SE		5920 - <b>1</b>	48.76	128 5,976 SF		5	S14° 27' 5
	PAGE ON BS. 58			115.00	29.24	t	108.92
				127 6,428 SF			
			B) +	84.36		2	15+00
	62.25			N75° 32' 05.94"E 388.89'	4	50	
	787	301	13+00	380.0	50.00		
		12+00					124 5,500 SF
				12 12 13 5,50	26 100 10 SF 1	125 ,500 SF	
	Г, '						50.00'
		289 4,485 SF			50.00'	50.00'	TRACT E
			A D		`- ^		
		L=14.03' 27.96'					
					(12		
		MATCHLINE: 17					
1) PR 30" R1-1 STOP SIGN W 2) PR 6' CONCRETE CROSS		SEE PAGE 10	100' DRAIN	LAGE CHANNEL		13	
<ul> <li>3) PR 8' CONCRETE CROSS</li> <li>4) PR 5' CONCRETE SIDEW.</li> </ul>		1GE 10					
<ul><li>5) PR EPC TYPE C MOUNTA</li><li>6) PR EPC TYPE A VERTICA</li></ul>						(11)	
<ul> <li>7) PR CONCRETE CURB RAI</li> <li>8) PR 15' MAINTENANCE AC</li> </ul>						$\checkmark$	
GRAVEL SHALL MEET MA SPECIFICATIONS PRESE		6 9 96 95				(REFER TO "O	100 YEAR FLOO GRANDVIEW R DRT" DATED JU
THE EPC ECM. 9 PR CONCRETE FOREBAY	′ (PRIVATE)	—			V		
0       PR CONCRETE TRICKLE (         11       PR EMERGENCY SPILLW/		-	<u> </u>		69		<u> </u>
PROTECTION (RIP-RAP) PR CONCRETE OUTLET S	STRUCTURE (PRIVATE)						
13) PR MICRO-POOL (PRIVAT 14) PR ENTRY SIGN (SEE LAN	•						
15) PR MODULAR BLOCK WA				<u>گر</u> ۱۰			
16) PR CONCRETE MID-BLOC						\	× ×





2

100-100



## KEY MAP SCALE: 1/500

## LINEWORK LEGEND

MATCH LINE PR Phase 3 Boundary EX PROPERTY LINE PR EASEMENT LINE EX EASEMENT LINE PR RIGHT OF WAY EX RIGHT OF WAY PR LOT LINE EX LOT LINE EX SWALE PR SWALE PR TRAIL

PR CURB & GUTTER EX CURB & GUTTER PR SIDEWALK PR CONCRETE PR RIP-RAP PR POND RIM PR INDEX CONTOUR EX INDEX CONTOUR PR INTER. CONTOUR EX INTER. CONTOUR PR PHASE LINE EX 100 YR FLOODPLAIN -GROUNDWATER 0' - 10' BELOW PROPOSED SURFACE

·		—		 — -
	—	—	—	
		—	—	 

XY XY

—100 YR -

## SITE SCHEDULE

- (1) PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- (2) PR 6' CONCRETE CROSS PAN
- (3) PR 8' CONCRETE CROSS PAN
- (4) PR 5' CONCRETE SIDEWALK
- (5) PR EPC TYPE C MOUNTABLE CURB & GUTTER

(7) PR CONCRETE CURB RAMP

THE EPC ECM.

- (6) PR EPC TYPE A VERTICAL CURB & GUTTER

(8) PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF

(10) PR CONCRETE TRICKLE CHANNEL (PRIVATE)

(11) PR EMERGENCY SPILLWAY WITH EMBANKMENT

(12) PR CONCRETE OUTLET STRUCTURE (PRIVATE)

we need height of

NOT FOR CONSTRUCTION

LAND USE REVIEW FILE NO: PUDSP-

SHEET

SP6

13

walls and clear line work of where these are so we can have them be allowed in setbacks on drawings

(14) PR ENTRY SIGN (SEE LANDSCAPE PLANS)

(16) PR CONCRETE MID-BLOCK CURB RAMP

SPECIFICATIONS PRESENTED ON TABLE D-7 IN

GRAVEL SHALL MEET MATERIAL

(9) PR CONCRETE FOREBAY (PRIVATE)

PROTECTION (RIP-RAP)

(13) PR MICRO-POOL (PRIVATE)

(15) PR MODULAR BLOCK WALL

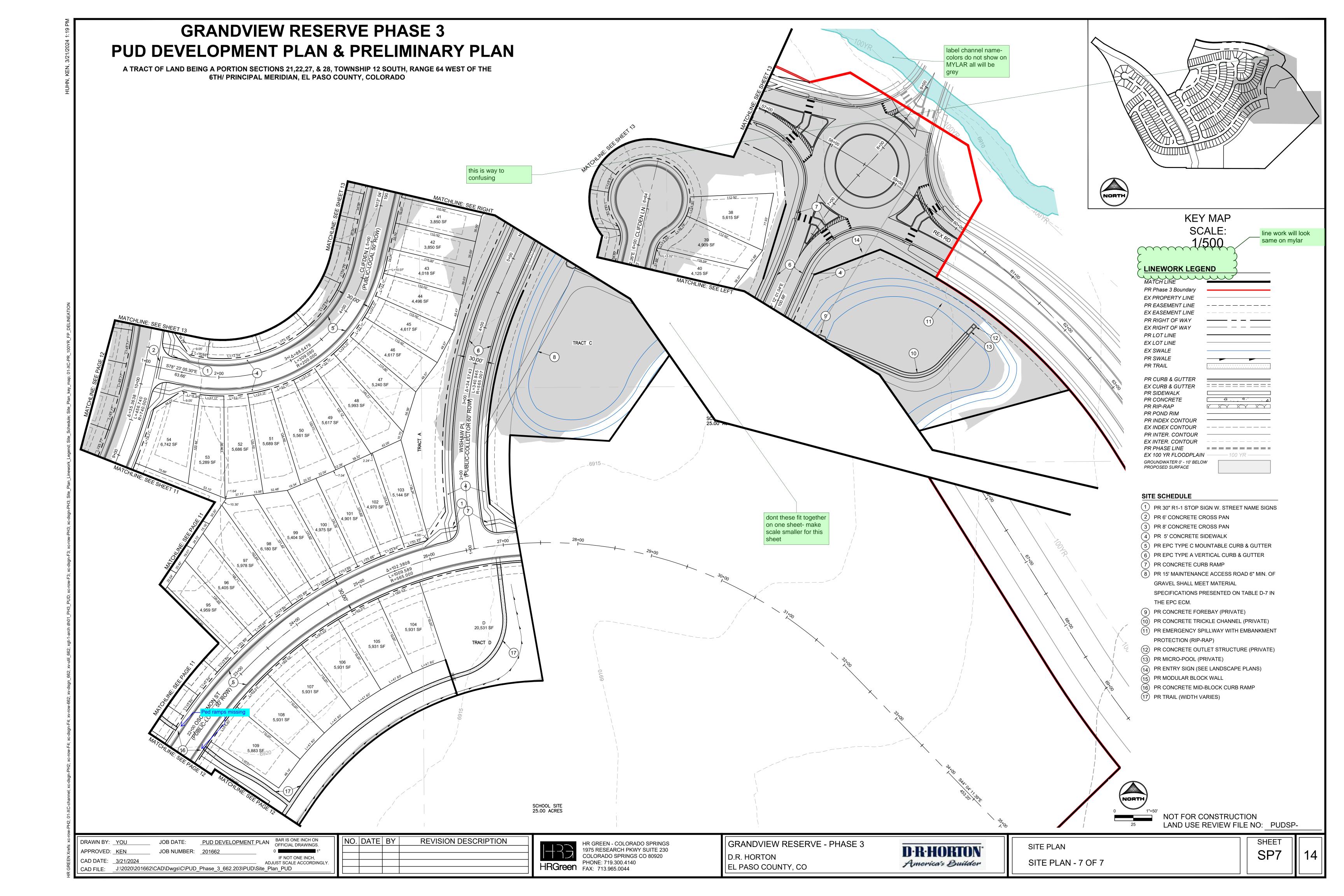
(17) PR TRAIL (WIDTH VARIES)

NORTH

SITE PLAN

SITE PLAN - 6 OF 7

1"=50'



## GENERAL LANDSCAPE PLAN NOTES:

- 1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE METRO DISTRICT OR HOA (HOME OWNERS ASSOCIATION). ALL INTERNAL LANDSCAPE AND OPEN
- SPACE SHALL BE OWNED AND MAINTAINED BY THE METRO DISTRICT OR HOA (HOME OWNERS ASSOCIATION) AFTER INSTALLATION. 2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN / AS SHOWN ON THESE PLANS.
- 3.NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIC PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- 4. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS. 5. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- 6. REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
- 7. STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS THE CONTRACTOR.
- 8. STREET TREES, STREETSCAPE IMPROVEMENTS, AND VEGETATION WITHIN THE COUNTY ROW SHALL BE OWNED BY THE COUNTY AND MAINTAINED BY THE CURRENT PROPERTY OWNER

## **IRRIGATION:**

1. ALL SHRUBS AND TREES SHALL BE DRIP IRRIGATED. ALL TREES LOCATED WITHIN SEEDING AREAS SHALL BE WATERED BY A DRIP VALVE

SHRUB/TREE PLANTING NOTES:

- 1. OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINIC FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
- 2. ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES AND PERENNIALS AS SPECIFIED. OBT/ OWNERS REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
- 3. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE FREE, AND BE TYPICAL OF THE SPECIES. 4. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
- 5. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNERS'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
- 6. PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE
- 7. PLANTS BED RECEIVING 3" DEPTH MIN. ROCK WOOD ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND ROCK MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
- 8. POROUS WEED BARRIER FABRIC SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
- 9. USE TRIANGULAR SPACING IN ALL GROUNDCOVER AND PERENNIAL BEDS.
- 10. THE CONTRACTOR SHALL PROVIDE WATER, WATERING DEVICES, AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.

#### SODDING & SEEDING:

- 1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE. 2. ALL PROPOSED TURF AND PLANTING AREAS ARE TO BE ROTO-TILLED TO A DEPTH OF 8". FINE GRADE, AND REMOVE ALL CONSTRUCTION DEBRIS AND ROCKS OVER 1" IN DIAMETER FROM THE SITE
- 3. AFTER TILLING APPLY SOIL AMENDMENTS & FERTILIZERS TO ALL TURF AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- 4. FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
- 5. ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1" DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- 6. ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEE VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- 7. SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULED DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEING DATE.
- 9. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER. SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED FOR REVEGETATION. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE DISTURBED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. WHERE FEASIBLE, RANGELAND DRILL SEEDING COMBINED WITH A COVER OF CRIMPED HAY MULCH OR HYDRO-MULCH IS THE REQUIRED METHOD.
- 9.1 SLOPES LESS THAN 3:1 SEED SHALL BE PLANTED USING A RANGELAND DRILL WITH A SMALL SEED/LEGUME BOX AND AN AGITATOR BOX FOR FLUFFY OR BULKY SEED. SEED ROWS SHALL BE SPACED 7-10 INCHES APART, AND PLANTED TO 0.5 TO 0.75 INCHES DEEP. THE DRILL SHALL HAVE DOUBLE-DISL FURROW OPENERS WITH DEPTH BANDS AND PACKER WHEELS. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
- 9.2 SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE SEED SHALL BE BROADCAST BY HAND, MECHANICAL SPREADER, OR HYDRO-SEEDING EQUIPMENT. BROADCAST SEEDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES. SLOPES GREATER THAN 3:1 SHALL HAVE EROSION CONTROL BLANKET AFTER SEEDING. REFER TO ENGINEERING SHEETS FOR EROSION CONTROL APPLICATIONS.
- 9.2.1. FOR AREAS LARGER THAN 0.1 ACRE-HYDRO-SEEDING SHALL BE USED. THE SEED SHALL NOT BE TANK MIXED WITH THE
- 9.2.2. BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
- 10. MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEE GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED AT 2,000 POUNDS/ACRE ON SLOPES LESS THAN 3:1. ON STEEPER SLOPES, A MULCHING RATE OF 2,500 POUNDS/ACRE SHALL BE USED.
- 11. NATIVE HAY OR STRAW SHALL BE CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES. AN ORGANIC TACKIFIER SHALL BE USED TO HOLD THE HAY OR STRAW IN PLACE IF THE CRIMPING RESULTS ARE INSUFFICIENT. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
- 12. FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER. MULCH SEEDED AREAS WITH WOOD CELLULOSE FIBER MULCH WITHIN 24 HOURS OF SEEDING. APPLY MULCH TACKIFIER AT RATE RECOMMENDED BY MANUFACTURER'S RECOMMENDATIONS.
- 13. SUPPLEMENTAL IRRIGATION SHALL NORMALLY NOT BE NECESSARY OR REQUIRED IF THE SEEDING IS ACCOMPLISHED DURING THE PREFERRED PLANTING PERIODS. HOWEVER, IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE A RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
- 14. APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PROCEDURES GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDED DURING THE SAME SEASON.

DRAWN BY: _JAG JOB DATE:PUD DEVELOPMENT PLAN BAR IS ONE INCH ON OFFICIAL DRAWINGS	
APPROVED:         JFR         JOB NUMBER:         201662         0         0	11"
CAD DATE: _3/21/2024 IF NOT ONE INCH, ADJUST SCALE ACCORDIN	
CAD FILE:J:\2020\201662\CAD\Dwgs\C\PUD_Phase_3_662.203\PUD\Landscape-Plan_PUD	

# **GRANDVIEW RESERVE PHASE 3** PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

		see landscape conservation manual	
PLA	ANT SCHEDULE	and code 2/2024	
CODE	BOTANICAL / COMMON NAME		SIZE
CODE	BOTANICAL / COMMON NAME		JIZE
-	UOUS TREES		
AG	ACER GINNALA / AMUR MAPLE		1.5" CA
CS	CATALPA SPECIOSA / NORTHERN CATA		1.5" CA
CO	CELTIS OCCIDENTALIS / COMMON HAC		1.5" CA
GT	GLEDITSIA TRIACANTHOS INERMIS 'HA	RVE' / NORTHERN ACCLAIM® HONEY LOCU	
GK	GYMNOCLADUS DIOICA / KENTUCKY CO	DFFEETREE	1.5" CA
KP	KOELREUTERIA PANICULATA / GOLDEN	I RAIN TREE	1.5" CA
EVERG	REEN TREES		
AC	ABIES CONCOLOR / WHITE FIR		6` HT.
PP	PICEA PUNGENS GLAUCA / COLORADO	BLUE SPRUCE not drought tolerant	6` HT.
PB	PINUS ARISTATA / BRISTLECONE PINE		6` HT.
PE	PINUS EDULIS / PINYON PINE		6` HT.
PN	PINUS NIGRA / AUSTRIAN PINE		6` HT.
MR PV PC	MALUS X 'RADIANT' / RADIANT CRABAP PRUNUS VIRGINIANA MELANOCARPA / PRUNUS X CISTENA / PURPLE LEAF SA	WESTERN CHOKECHERRY	1" CAL 1" CAL 1" CAL
	JOUS SHRUBS		
CD	CARYOPTERIS X CLANDONENSIS 'DAR	K KNIGHT' / DARK KNIGHT BLUEBEARD	#5
СР	CYTISUS PURGANS 'SPANISH GOLD' / S	PANISH GOLD BROOM	#5
EN	ERICAMERIA NAUSEOSA / RUBBER RAE	BITBRUSH	#5
PM	PHYSOCARPUS MONOGYNUS / MOUNT	AIN NINEBARK	#5
PF	POTENTILLA FRUTICOSA / BUSH CINQU	EFOIL	#5
RG	RHUS AROMATICA 'GRO-LOW' / GRO-LO	W FRAGRANT SUMAC	#5
RA	RIBES ALPINUM / ALPINE CURRANT		#5
SM	SYMPHORICARPOS OREOPHILUS / MOU	JNTAIN SNOWBERRY	#5
VL	VIBURNUM LENTAGO / NANNYBERRY		#5
			·
EVERO JB	REEN SHRUBS		#5
JH			#5 #5
	JUNIPERUS HORIZÔNTALIS 'HUGHES' /		
MM	PINUS MUGO 'MOPS' MOPS MUGO PIN		#5
GRASS			
GRASS BB	SES BOUTELOUA GRACILIS 'BLONDE AMBIT	ION' / BLONDE AMBITION BLUE GRAMA	#1
			#1 #1
BB	BOUTELOUA GRACILIS 'BLONDE AMBIT	/ EULALIA GRASS	

SHEET INDEX: SHEET 15 - PRELIMINARY LANDSCAPE COVER SHEET 16 - PRELIMINARY LANDSCAPE PLAN (OVERALL) SHEET 16-23 - PRELIMINARY LANDSCAPE PLAN SHEET 23-25 - PRELIMINARY LANDSCAPE DETAILS

# DEVE

STREET I LANDSCA ZONE DIS STREET ( SETBACK LINEAR F TREE/FEE NUMBER SHRUB SI ORNAME PLANT AB % GROUN

#### **GROUND COVER LEGEND/QUANTIES** TREE LEGEND QUANTITY UNITS SYMBOL DESCRIPTION DESCRIPTION \* \* \* \* **SOD TURF** IRRIGATED KENTUCKY BLUEGRASS SOD. DECIDUOUS ACRES 0.8 CONTACT LOCAL SUPPLIER WITHIN EL SHADE TREE PASO COUNTY AND INSTALLED PER SUPPLIER'S SPECIFICATIONS. NATIVE SEED IRRIGATED NATIVE SEED; TO BE EVERGREEN ACRES 13.4 PRE-BLENDED. EL PASO COUNTY ALL TREE PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS. DETENTION SEED DETENTION SEED; TO BE PRE-BLENDED. ACRES 5.8 EL PASO COUNTY CONSERVATION TREE DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.

TBD

TBD

SQ. FT

SQ. FT

ORNAMENTAL will these be eaten by

the numerous antelope and dear-? juniper are tasty to the deer

HYDRO-MULCH AND BROADCAST.

+?	HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920
HRGreen	PHONE: 719.300.4140 FAX: 713.965.0044

SYMBOL

 $\vee$   $\vee$ 

 $\vee$   $\vee$   $\vee$ 

 $\forall \quad \forall \quad \forall$ 

CRUSHED ROCK

COMPACTED FOR MAINTENANCE

ACCESS ROADS. WEED BARRIER INSTALLED IN ALL AREAS. INSTALL PER

SHREDDED HARDWOOD MULCH.

SUPPLIER'S SPECIFICATIONS.

WHERE SIGHT VISIBILITY TRIANGLES EXIST.

WESTERN CEDAR OR GORILLA HAIR MULCH IS RECOMMENDED. INSTALL PER

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY

SUPPLIER'S SPECIFICATIONS.

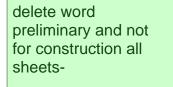
SHREDDED MULCH



ELOPMENT PLAN DATA					
NAME OR ZONE BOUNDARY	REX ROAD	WISHAW PLACE			
APE SETBACK LOCATION	NORTH EAST	EAST			
STRICT BOUNDARY	NO	NO			
CLASSIFICATION	MINOR ARTERIAL	COLLECTOR			
K DEPTH REQUIRED/PROVIDED	20' / 20'	10' / 10'			
FOOTAGE	1,223'	1,015'			
ET REQUIRED	1 TREE / 25'	1 TREE / 30'			
R OF TREES REQUIRED/PROVIDED	49 / 49	34 / 34			
SUBSTITUTION REQUIRED/RROVIDED	0 / 0	0 / 0			
ENTAL GRASS SUBSTITUTION REQ./PROV.	0 / 0	0 / 0			
BBREVIATION DENOTED ON PLAN *	RR	WP			
ND PLANE VEG. REQUIRED/PROVIDED	75% / 75%	75% / 75%			
		1			

identify the road names, classification per 2/2024 Code ; school or commercia lot will have all landscape requirements- depict or add statements that a site dev plan will meet criteria

	SEEDING SPECIFICATIONS				
QTY.	NATIVE SEEDING EL PASO COUNTY ALL PURPOSE LOW GROW MIX				
48	25% BUFFALOGRASS 20% GRAMA, BLUE 29% GRAMA, SIDEOATS 5% GREEN NEEDLEGRASS				
35	20% WHEATGRASS, WESTERN 1% DROPSEED, SAND SEEDING RATE: 42 LBS PLS/ACRE				
	DETENTION SEEDING				
TBD	EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX 20% BLUESTEM, BIG 10% GRAMA, BLUE				
	<ul> <li>10% GREEN NEEDLEGRASS</li> <li>20% WHEATGRASS, WESTERN</li> <li>10% GRAMA, SIDEOATS</li> </ul>				
	10% GRAMA, SIDEOATS 10% SWITCHGRASS 10% PRAIRIE SANDREED 10% YELLOW INDIANGRASS				
	SEEDING RATE: 19.3 LBS PLS/ACRE				

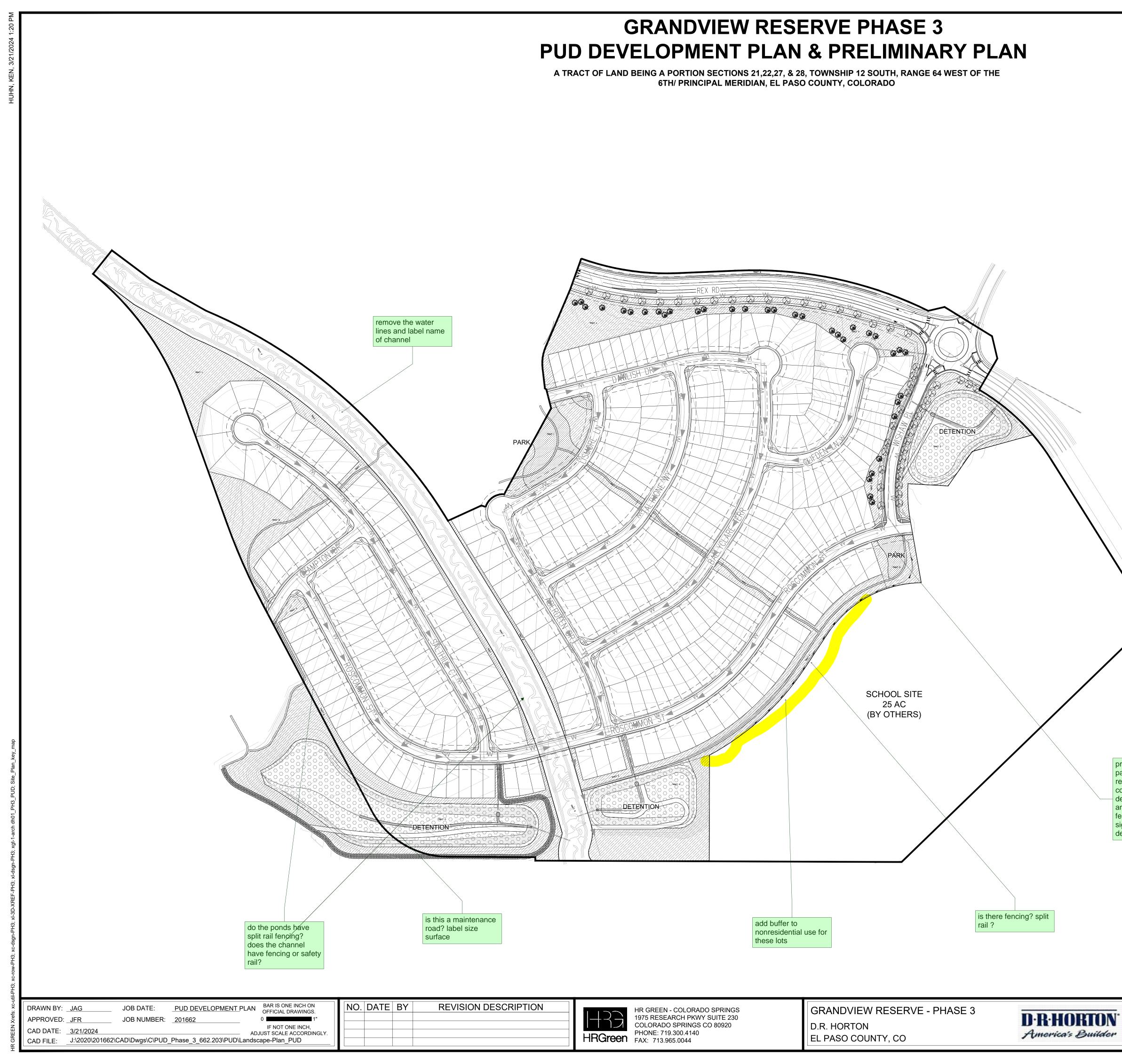


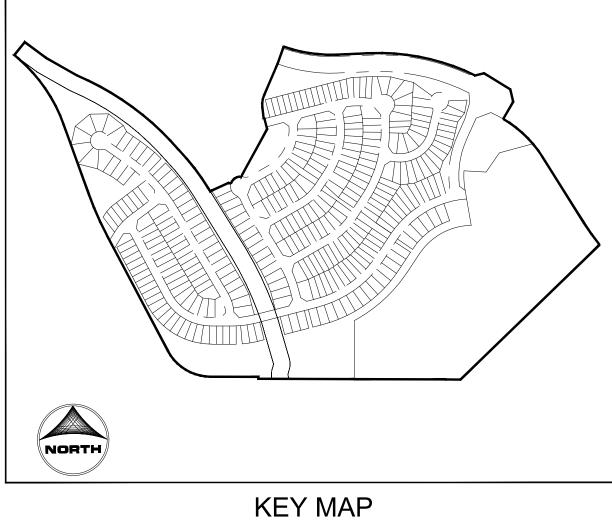
Landscape Code was amended 2/ 2024please review this plan and bring up to Code. All uses and streets require landscape

#### NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: PUDSP-

LANDSCAPE PRELIMINARY LANDSCAPE COVER SHEET L.01

15

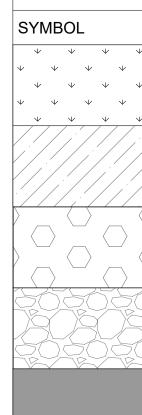




# SCALE: 1/500

# GROUND COVER LEGEND

DESCRIPTION



\* SOD TURF 
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 IRRIGATED KENTUCKY BLUEGRASS SOD.

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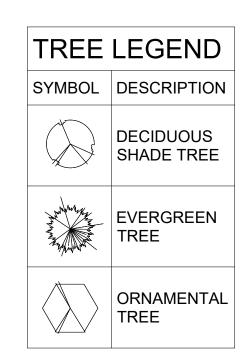
 CONTACT LOCAL SUPPLIER WITHIN EL
  $\Psi \quad \Psi \quad \Psi \quad \Psi \quad PASO COUNTY AND INSTALLED PER$  $\psi$   $\psi$   $\psi$   $\psi$   $\psi$  SUPPLIER'S SPECIFICATIONS. NATIVE SEED

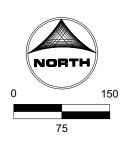
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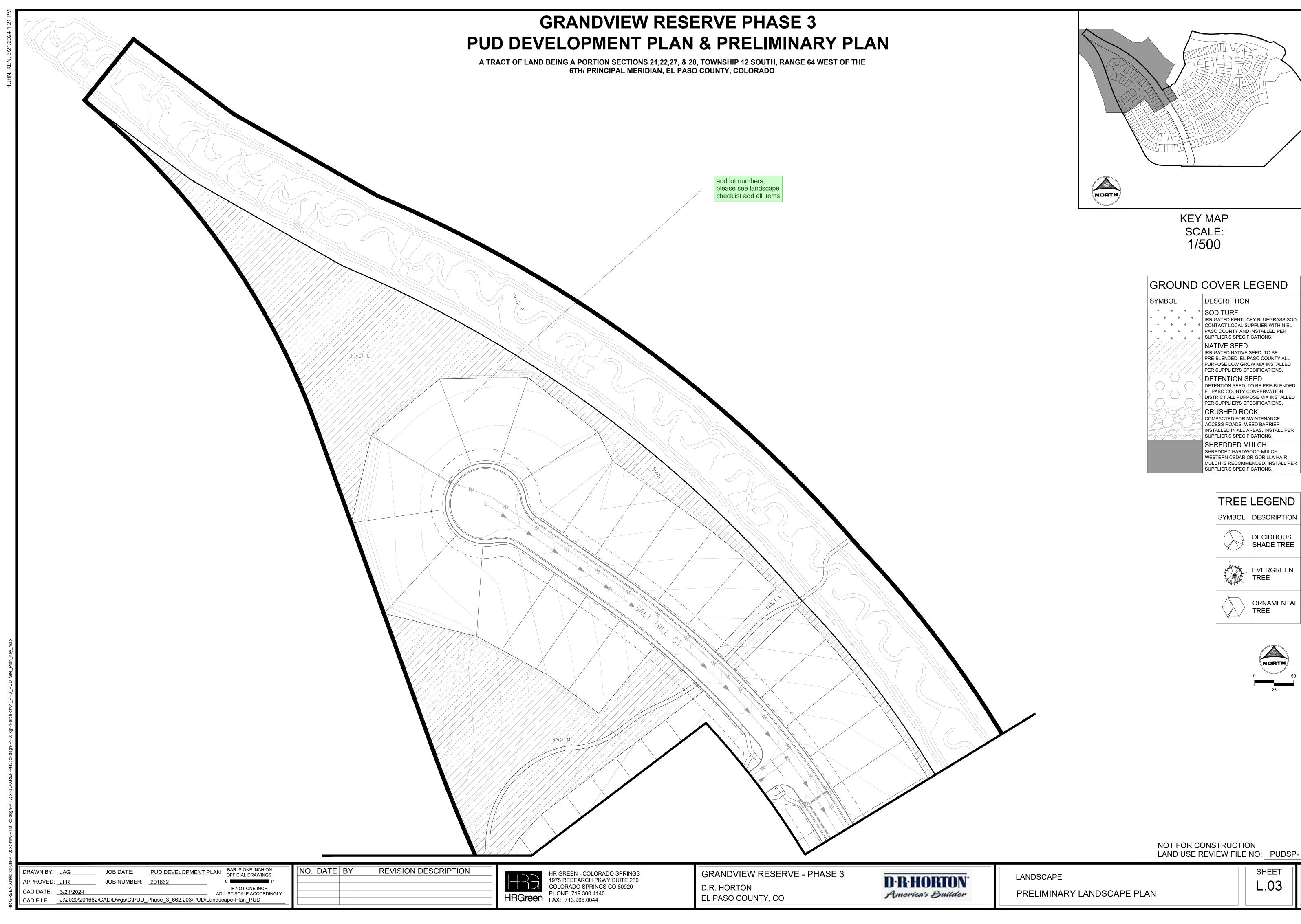


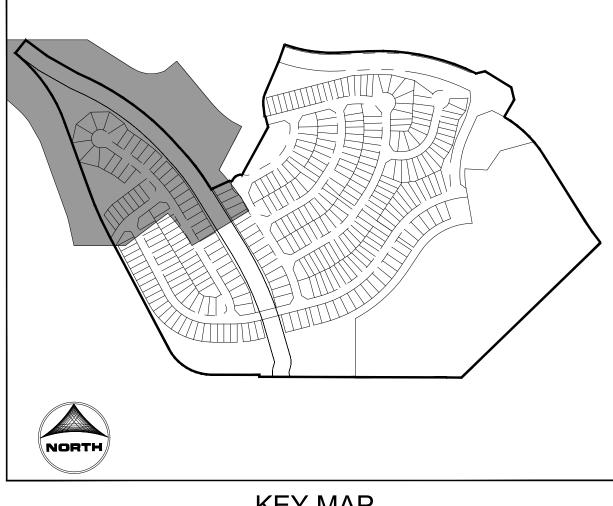


provide all pocket park amenities; review landscape code and update; depict all trails width and surfaces, depict fencing ; walls; signage: provide details

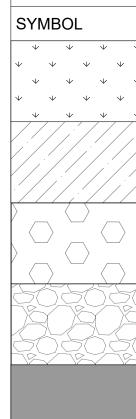
### NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: PUDSP-







# GROUND COVER LEGEND



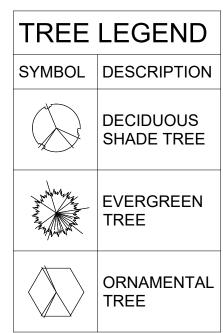
IRRIGATED NATIVE SEED; TO BE

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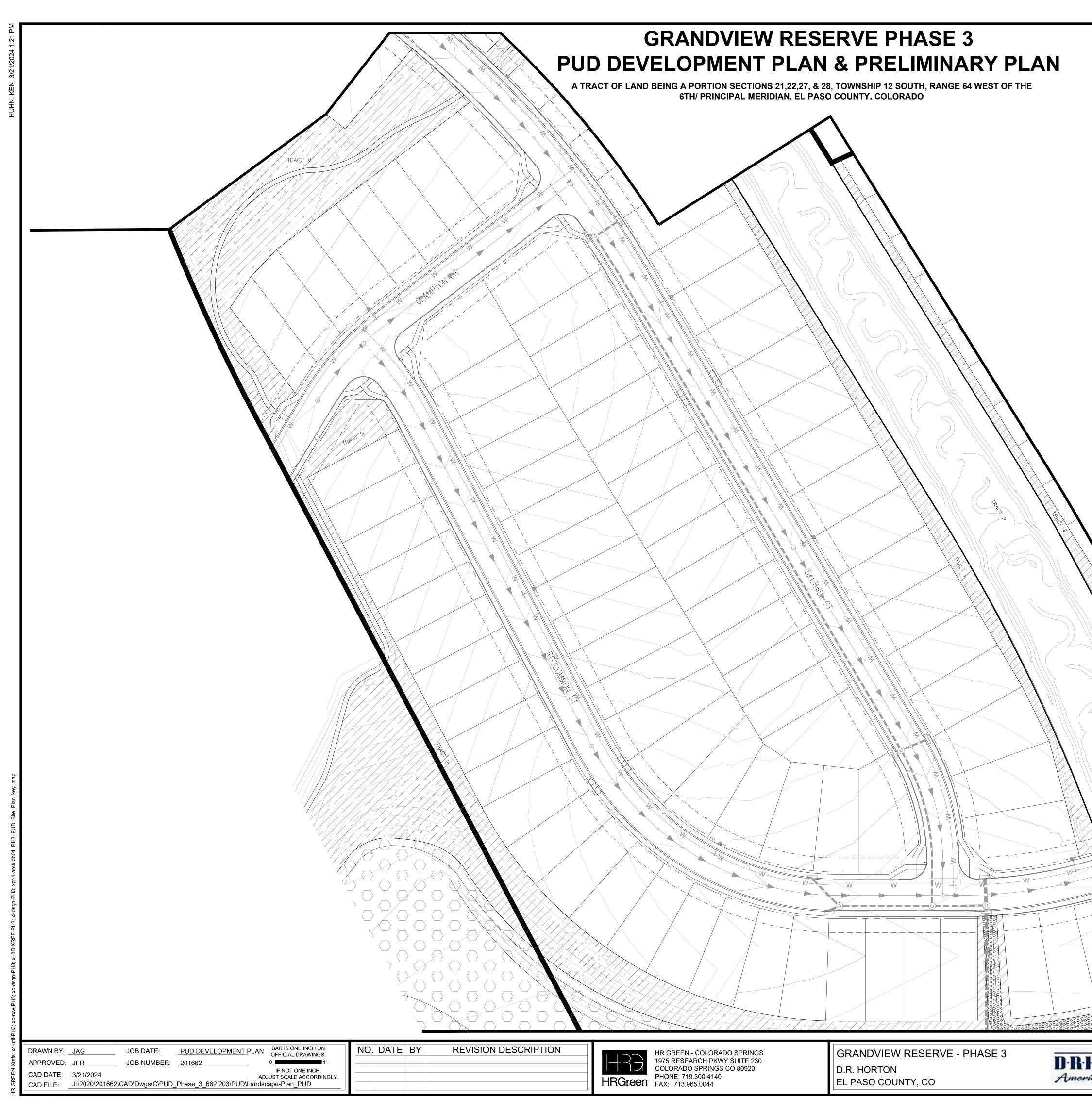
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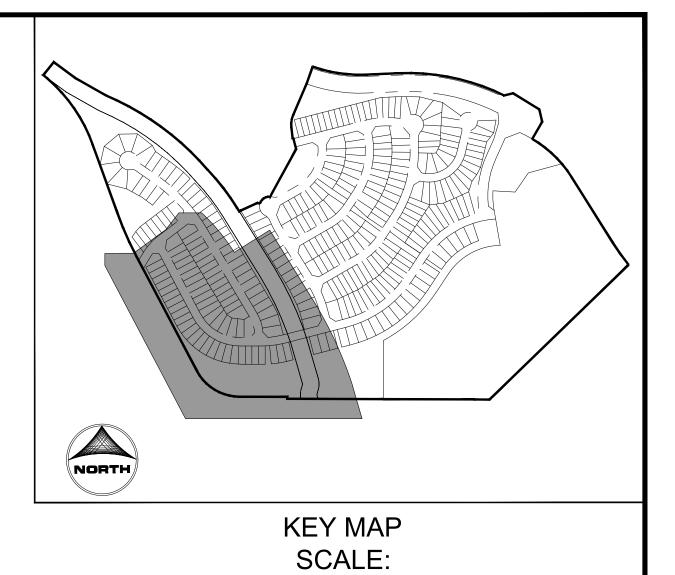




## NOT FOR CONSTRUCTION

SHEET L.03

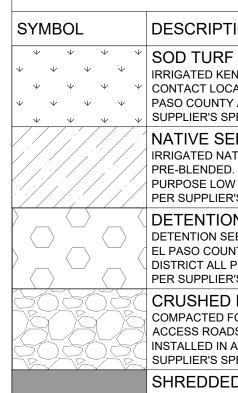




# 1/500

## GROUND COVER LEGEND

DESCRIPTION



 
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 IRRIGATED KENTUCKY BLUEGRASS SOD.

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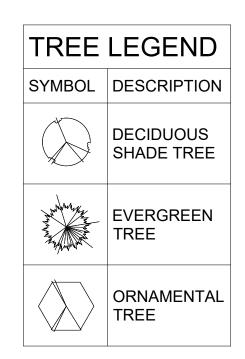
 CONTACT LOCAL SUPPLIER WITHIN EL
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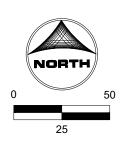
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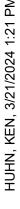


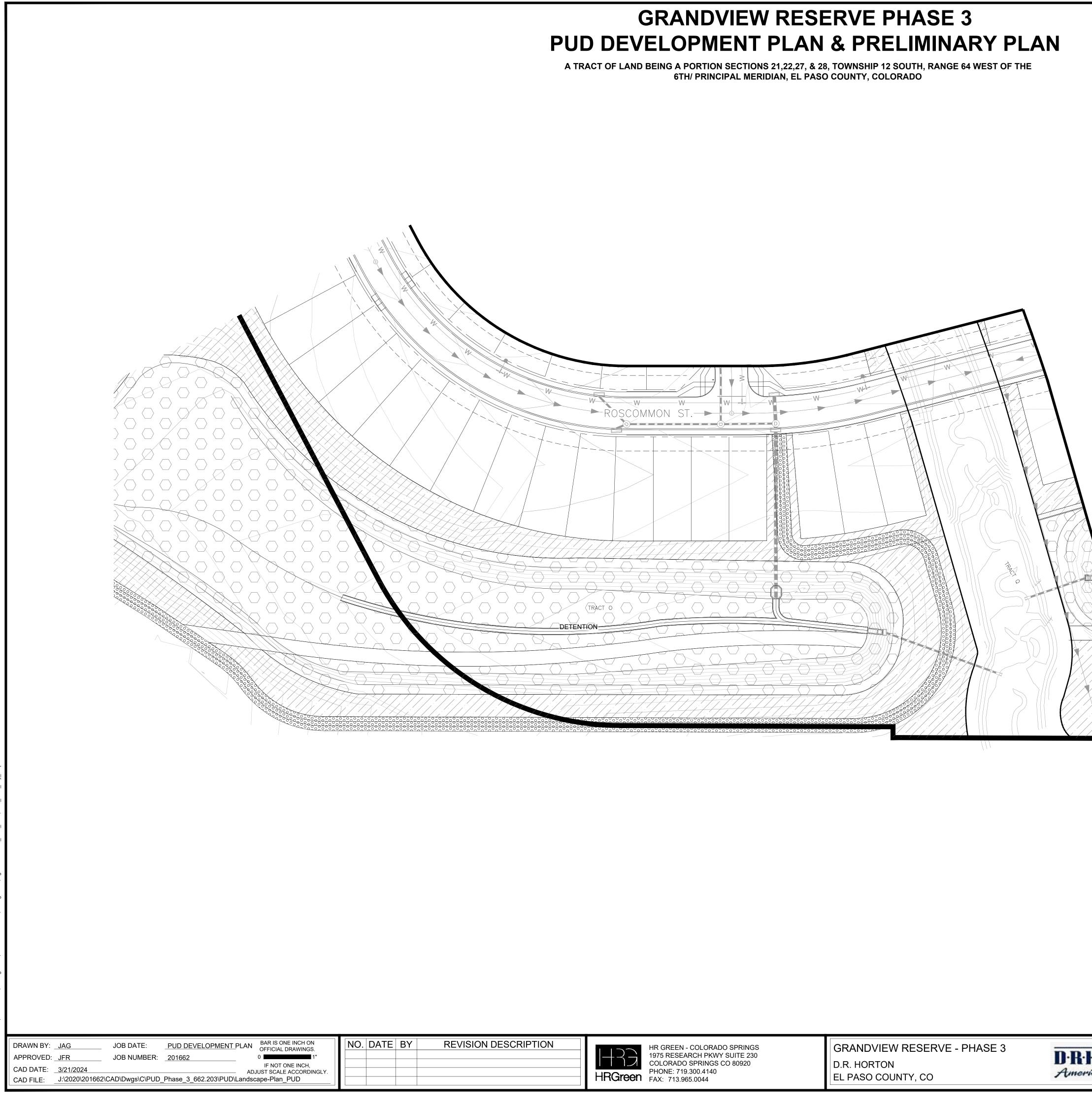
## NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: PUDSP-

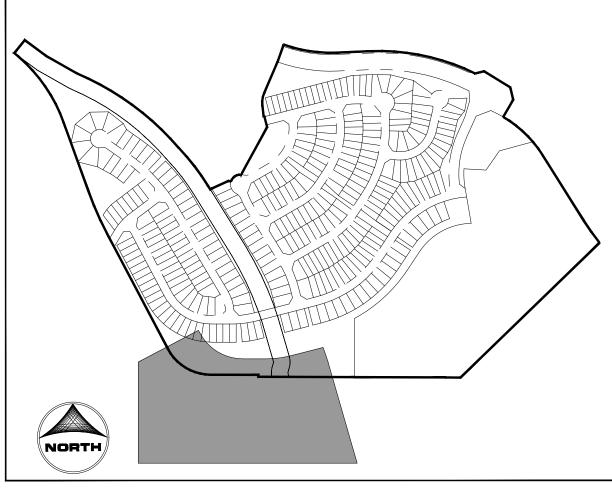


1

LANDSCAPE PRELIMINARY LANDSCAPE PLAN SHEET L.04



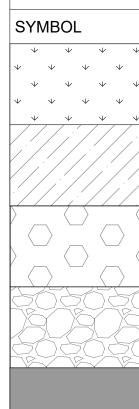




# KEY MAP SCALE: 1/500

## GROUND COVER LEGEND

DESCRIPTION



\* SOD TURF 
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 IRRIGATED KENTUCKY BLUEGRASS SOD.

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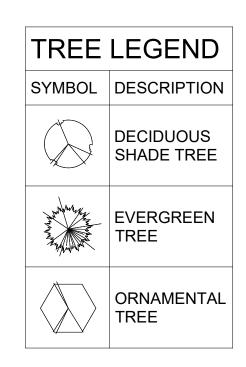
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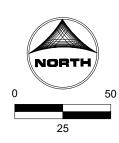
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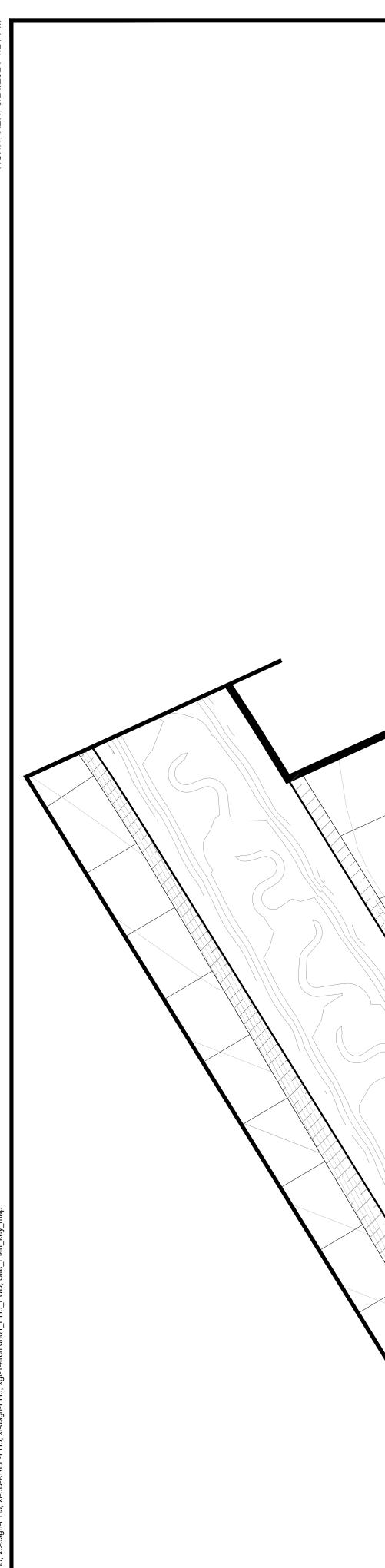


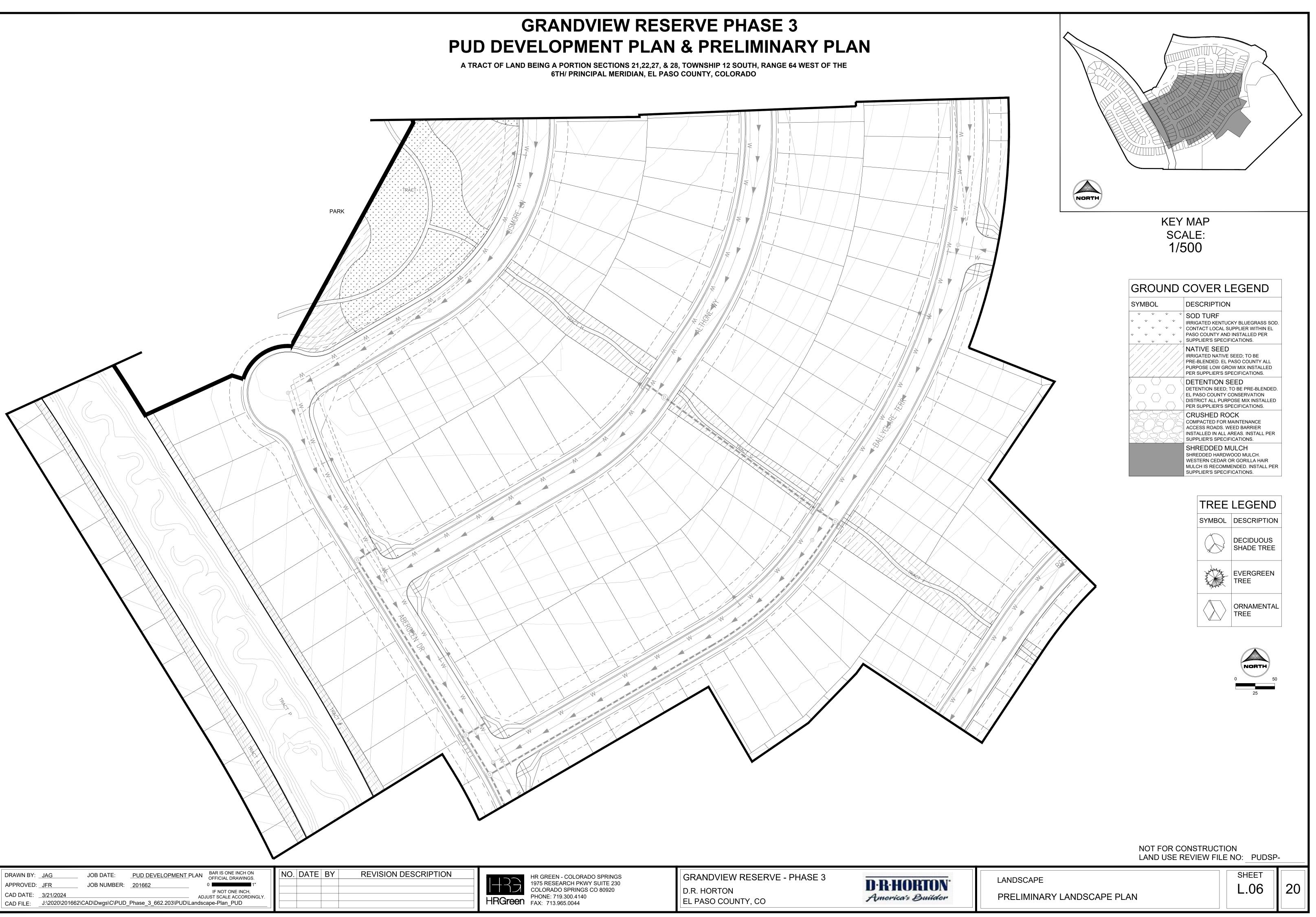


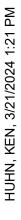
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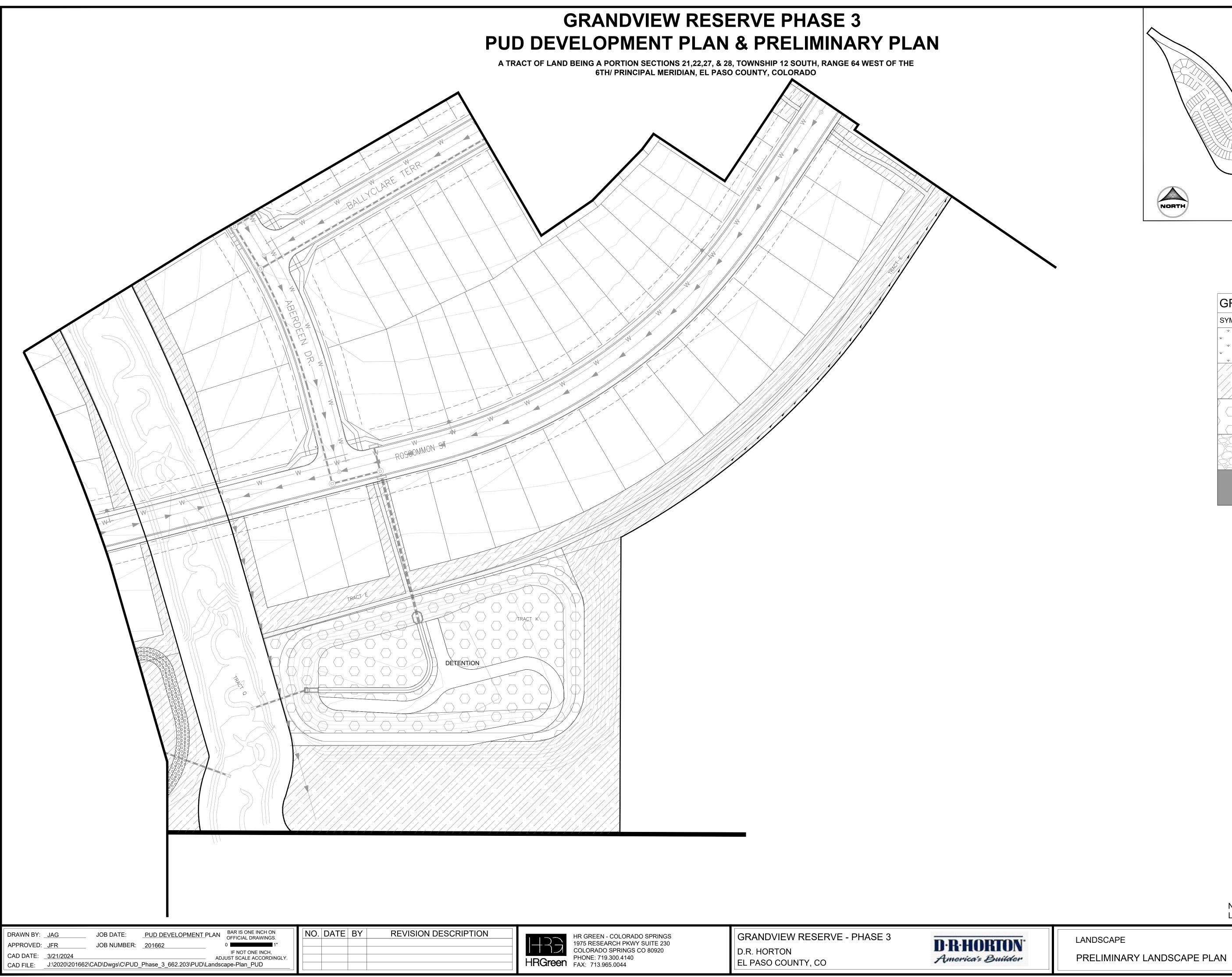


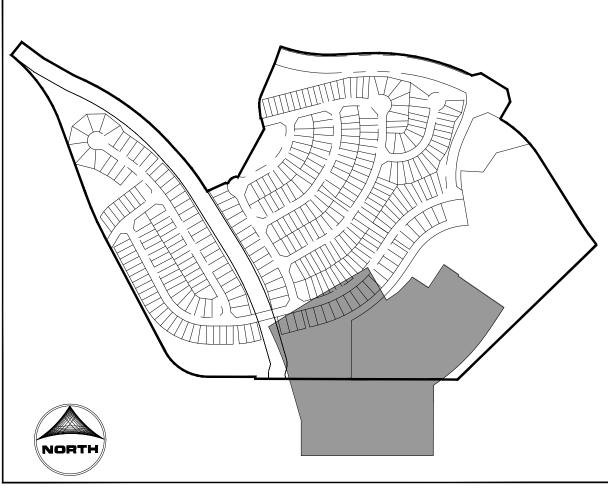
19





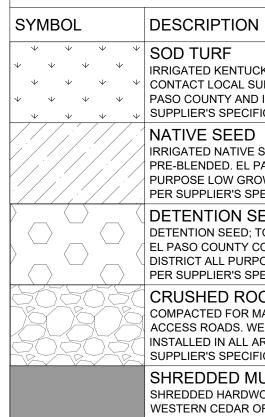






## KEY MAP SCALE: 1/500

# GROUND COVER LEGEND



 
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 IRRIGATED KENTUCKY BLUEGRASS SOD.

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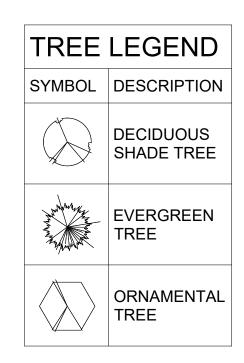
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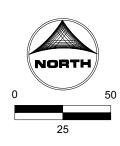
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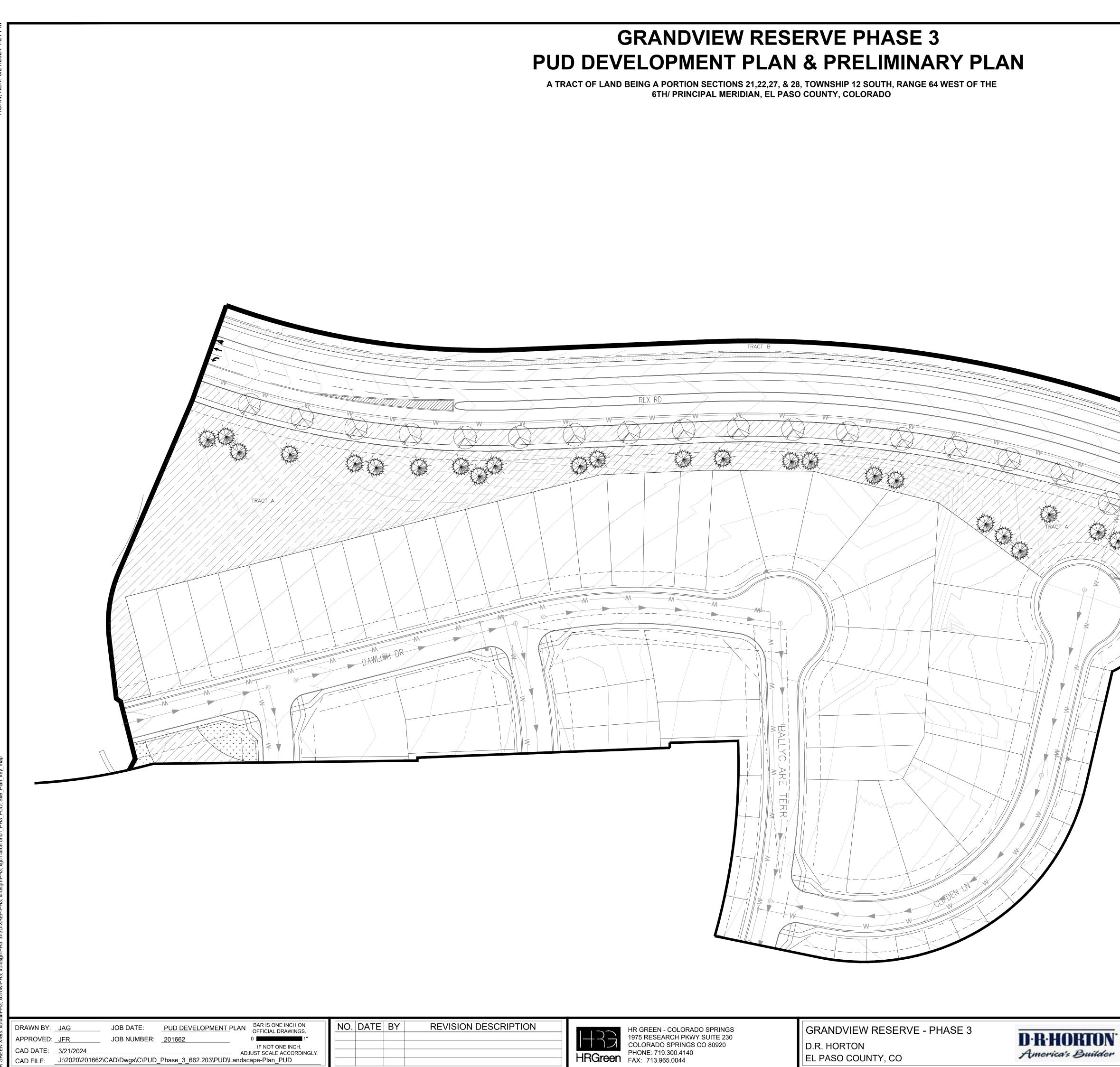


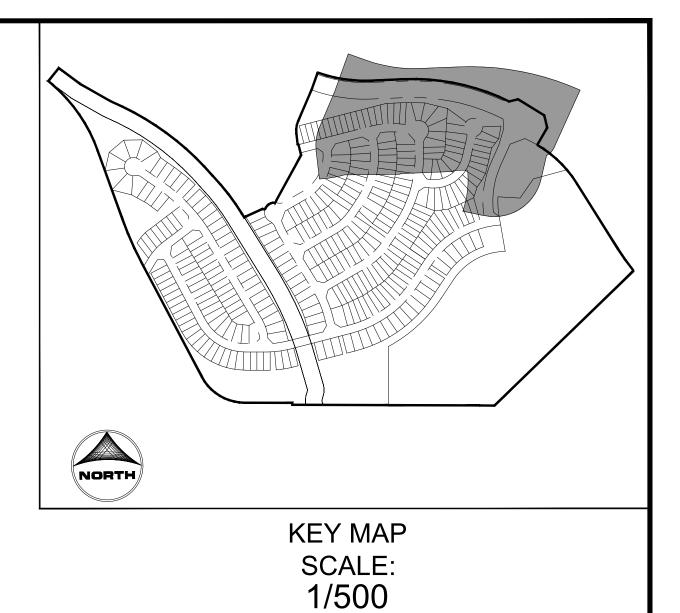


## NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: PUDSP-

SHEET L.07

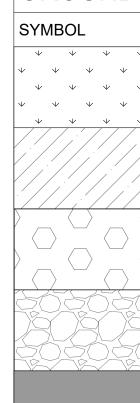
21





# GROUND COVER LEGEND

DESCRIPTION



<sup>∗</sup> SOD TURF 
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 \*
 IRRIGATED KENTUCKY BLUEGRASS SOD.

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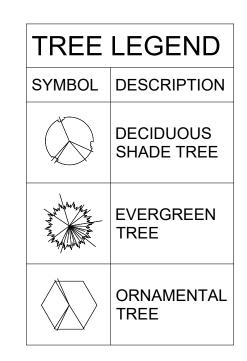
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  $\psi \qquad \psi \qquad \psi \qquad \psi$   $\psi \qquad \psi \qquad \psi \qquad \psi$   $\psi \qquad \psi \qquad \psi \qquad \psi \qquad \psi$ SUPPLIER'S SPECIFICATIONS. NATIVE SEED

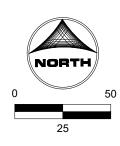
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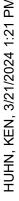


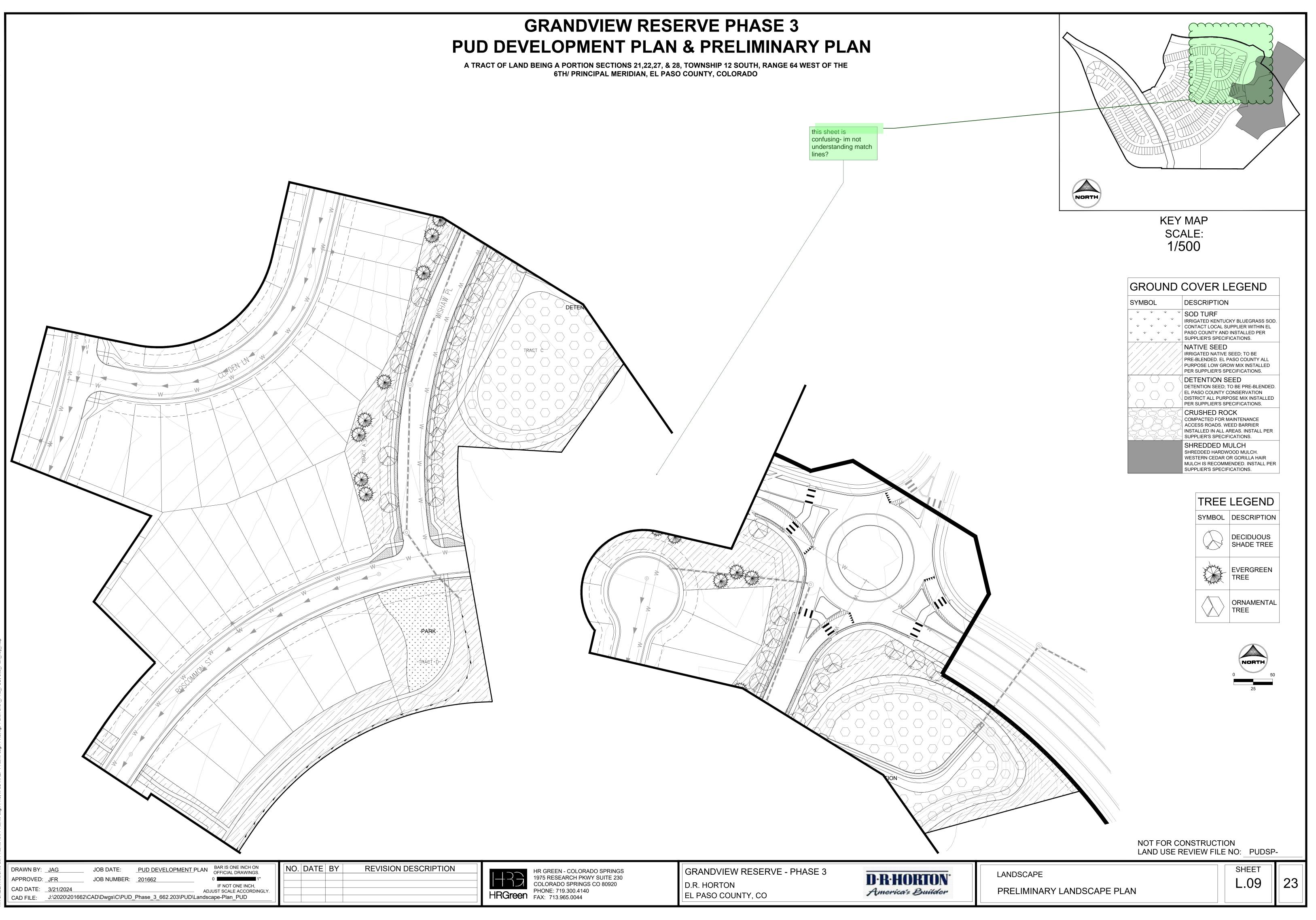


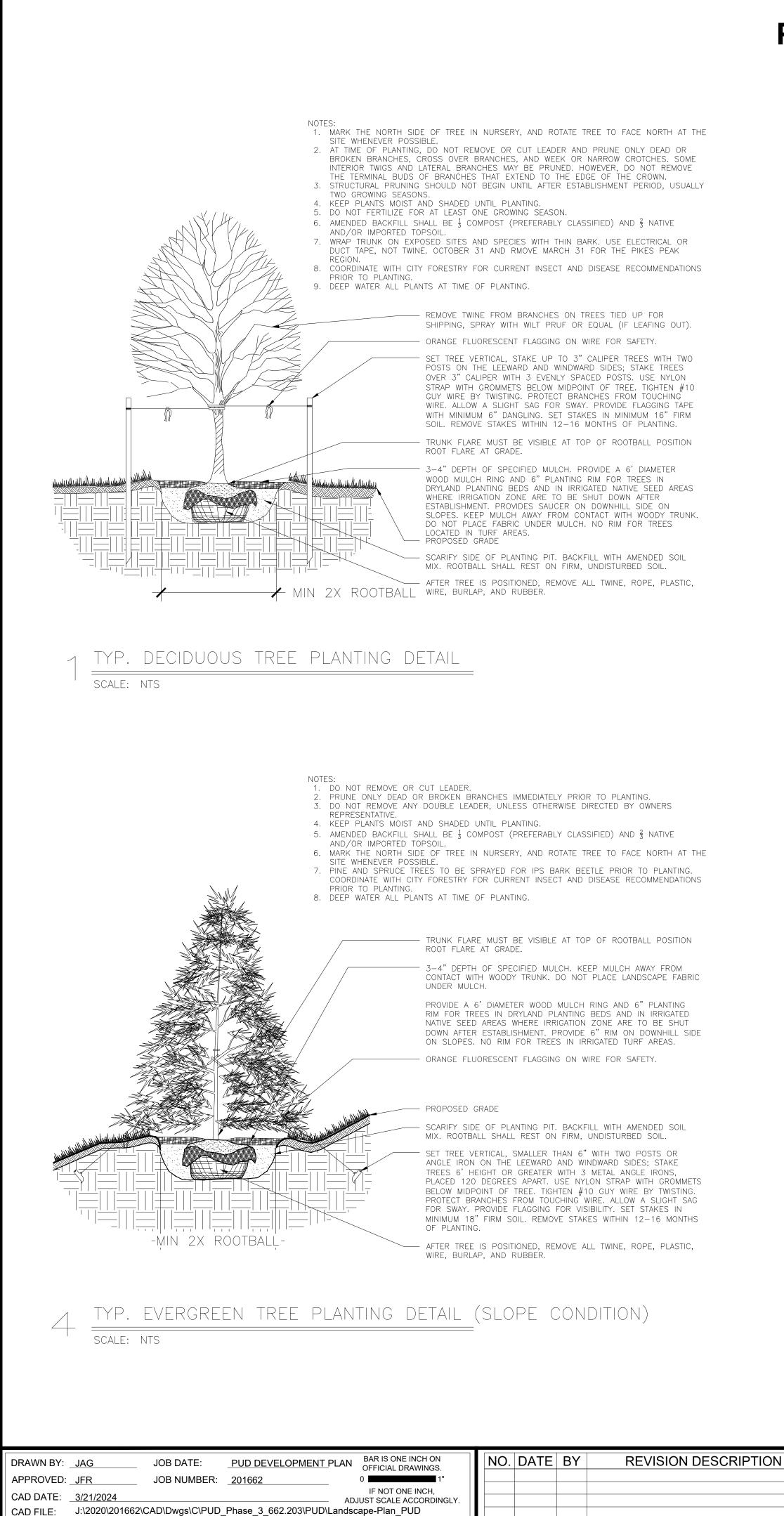
NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: PUDSP-

Jan Alexandre Start

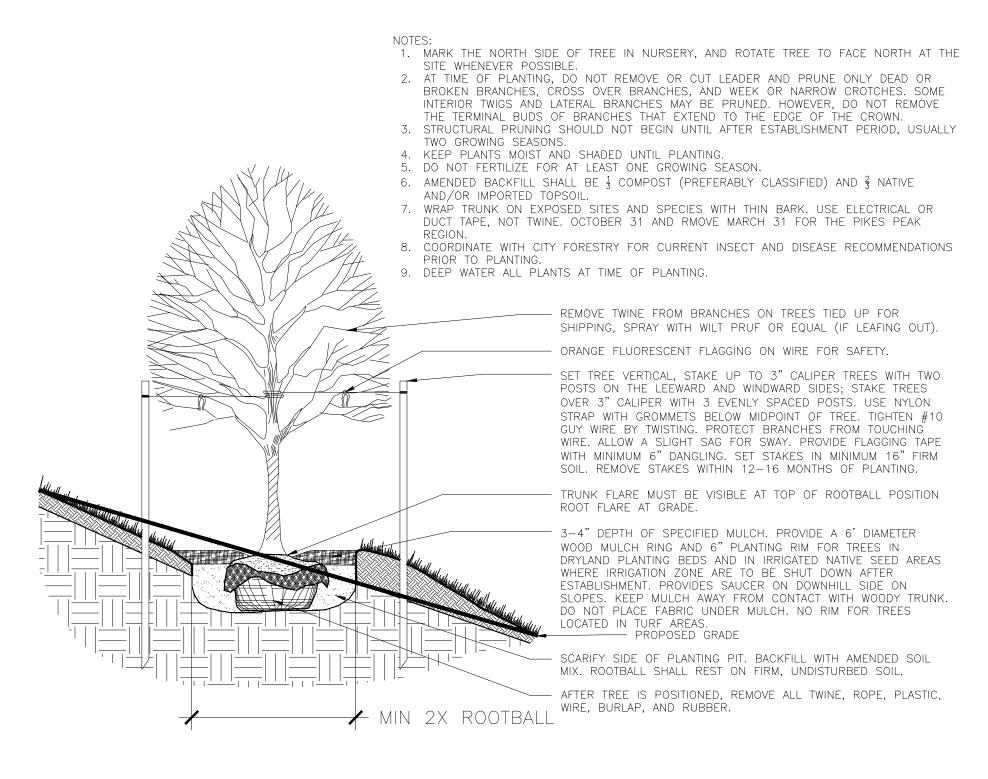
#### SHEET LANDSCAPE L.08 22 PRELIMINARY LANDSCAPE PLAN





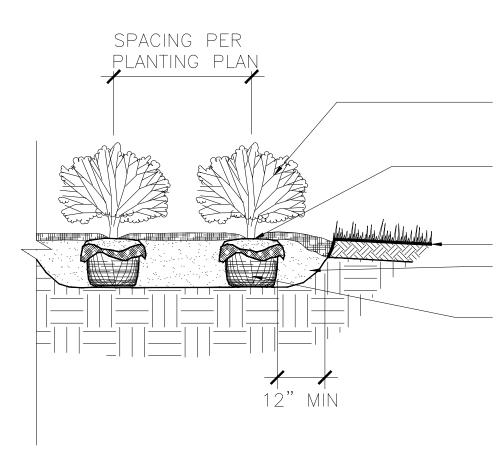


A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



## DECIDUOUS TREE PLANTING DETAIL (SLOPE CONDITION) SCALE: NTS

- NOTES: PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- 3. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON. 4. AMENDED BACKFILL SHALL BE  $\frac{1}{3}$  COMPOST (PREFERABLY CLASSIFIED) AND  $\frac{2}{3}$  NATIVE
- AND/OR IMPORTED TOPSOIL. 5. ALL SHRUBS IN ROCK AREAS TO RECIEVE SHREDDED MULCH RINGS.
- 6. DEEP WATER ALL PLANTS AT TIME OF PLANTING.



SET SHRUBS VERTICAL. SHRUBS SPACING AS PER PLANS. LAYOUT VARIES. FINISHED GRADE OF SHRUB BED TO BE 2" BELOW ADJACENT GINISHED GRADE AT EDGE TO HOLD MULCH.

3-4" DEPTH OF SPECIFIED MULCH. PROVIDE A 6" PLANTING RIM FOR SHRUBS NOT IN PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR SHRUBS IN PLANTING BED. KEEP MULCH AWAY FOM CONTACT WITH WOODY TRUNK.

PROPOSED GRADE SCARIFY SIDE OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

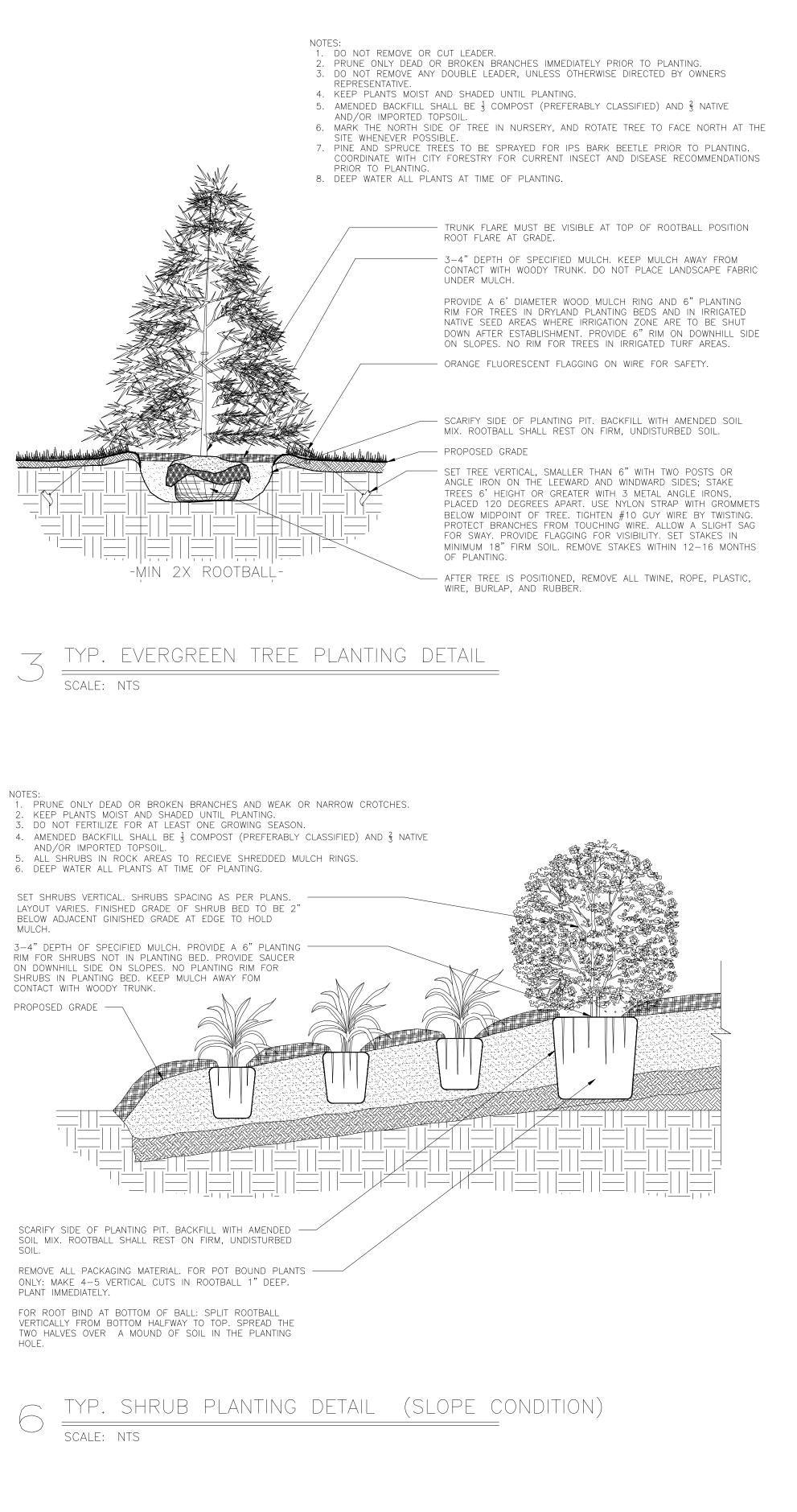
- REMOVE ALL PACKAGING MATERIAL. FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT IMMEDIATELY.

FOR ROOT BIND AT BOTTOM OF BALL: SPLIT ROOTBALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING HOLF.

TYP. SHRUB PLANTING DETAIL SCALE: NTS

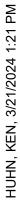
HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920 PHONE: 719.300.4140 HRGreen FAX: 713.965.0044

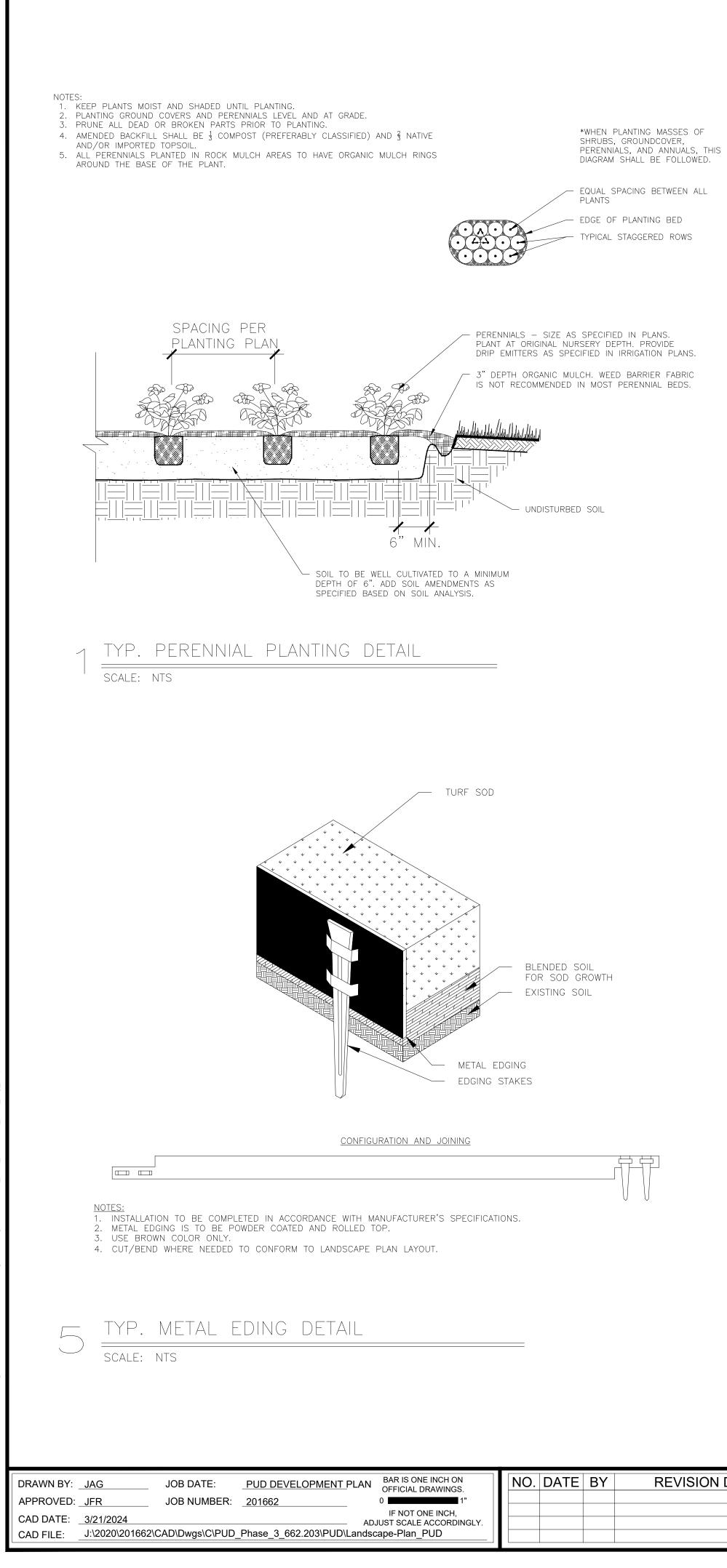




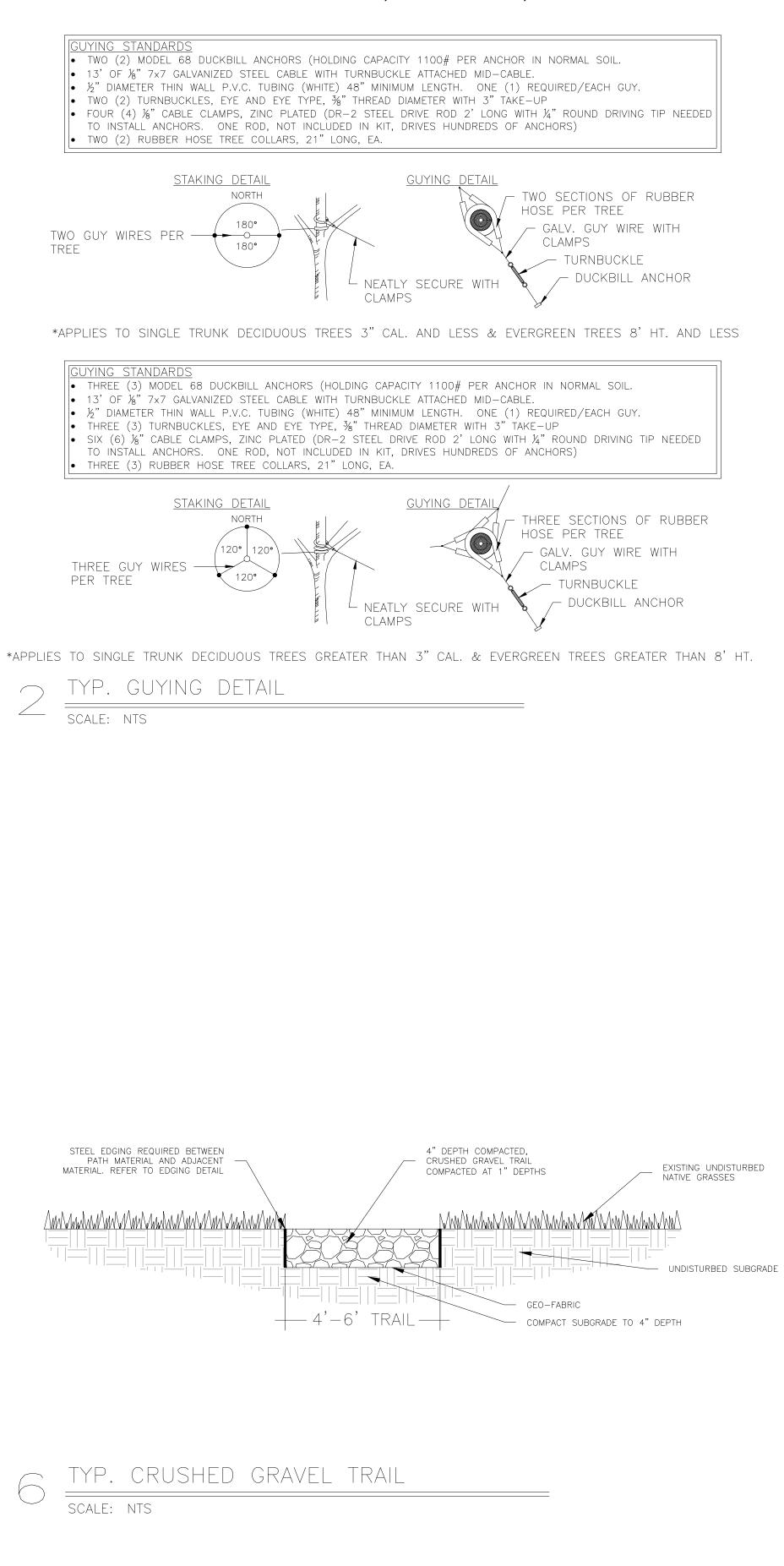
## NOT FOR CONSTRUCTION LAND USE REVIEW FILE NO: PUDSP-







A TRACT OF LAND BEING A PORTION SECTIONS 21,22,27, & 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



**REVISION DESCRIPTION** 

HR GREEN - COLORADO SPRINGS 1975 RESEARCH PKWY SUITE 230 COLORADO SPRINGS CO 80920 PHONE: 719.300.4140 HRGreen FAX: 713.965.0044

**GRANDVIEW RESERVE - PHASE 3** D.R. HORTON EL PASO COUNTY, CO



CUT ROOTS CLEANLY AT IF TEARING OCCURS, CU JUST BEYOND BEGINNING TEAR. BACKFILL ALL CO ROOTS IMMEDIATELY.	IT GOF	ullautla Ulautlautlau			
3 TYP. ROO	T PRUNING DETAIL				
2. APPLY FERTILIZER WITHIN 3. COMPOST TO CONSIST OF 4. MATERIALS GREATER THAN 5. TILLED SOIL SHALL BE S	F 1—YEAR OLD ORGANIC MATERIAL AND SH N 1" DIAMETER OR FROZEN SOIL SHALL B MOOTHLY RAKED TO A FINISHED GRADE TO	HOULD NOT INCLUDE CHICKEN I E REMOVED.		GN MATERIALS.	
APPLY FERTILIZER PRIOR TO TILLING EXISTING SOIL				DD/SEED DP SOIL MIXTURE F SOIL IS REQUIRED) LLED SOIL	
4 TYP. SOIL scale: nts	PREPARATION (ALL	AREAS)			
retaining wall details					
fencing details					
is there a wall along Rex Rd?					
P-R-HORTON			SE REVIEW FILE	NO: PUDSP-	25
America's Builder	PRELIMINARY LANDS	DUAPE DETAILS			