

OWNER: COLORADO CENTRE METROPOLITAN DISTRICT
 OWNERS REPRESENTATIVE: AL TESTA
 4770 HORIZONVIEW DR.
 COLORADO SPRINGS, CO 80925
 (719) 380-8857
 al.testa@proconinc.net

APPLICANT / PLAN PREPARER: T-BONE CONSTRUCTION, INC.
 DARIN WEISS, AIA
 1310 FORD ST.
 COLORADO SPRINGS, CO 80915
 (719) 623-3314
 darin.weiss@tboneconstruction.com

SITE DEVELOPMENT PLAN, NEW CONSTRUCTION OF AN OFFICE BUILDING ON THE VACANT PORTION OF THE EXISTING LOT.

THE PROPOSED DEVELOPMENT WILL NOT ENCR OACH ON ANY AVIGATION EASEMENTS.

PROPERTY INFORMATION:

TAX SCHEDULE NUMBER: 5503400003
 LOT SIZE: 7.73 ACRES / 336,719 SF
 BUILDING AUTHORITY: EL PASO COUNTY
 ZONING CLASSIFICATION: RS-5000 CAD-O

PROPOSED USE: OFFICE
 CONSTRUCTION TYPE: VB
 OCCUPANCY TYPE: B

	PLANNED	ALLOWABLE
BUILDING AREA:	4,450 SF	9,000 SF
BUILDING HEIGHT LIMITS:	24'-0"	30'

LOT COVERAGE:

BUILDING AREA
 PROPOSED BUILDING: 4450 SF
 EXISTING BUILDING: 3728 SF
 TOTAL BUILDING COVERAGE: 8178 SF (2.43% OF LOT)

IMPERVIOUS AREA
 EXISTING IMPERVIOUS SPACE: 12,388 SF
 PROPOSED: 35,031 SF
 TOTAL IMPERVIOUS AREA: 47,419 SF (14.08% OF LOT)

OPEN SPACE/LANDSCAPING: 281,122 SF (83.49% OF LOT)

PARKING REQUIREMENTS:

OFFICE: 1 PARKING SPACE PER 200 SF; 2,800SF/200 = 14 PARKING SPACES
 COMMUNITY SPACE: 1 PARKING SPACE PER 100 SF; 1,417SF/100 = 15 PARKING SPACES

TOTAL REQUIRED: 29 PARKING SPACES REQUIRED / 2 ADA PARKING SPACE REQUIRED

PROVIDED: 35 PARKINGS SPACES / 2 ADA PARKING SPACES

SYMBOL LEGEND:

●	BOUNDARY MONUMENT FOUND (MARKED AS NOTED)
○	TEST BORE
⊠	CABLE TV PEDESTAL
⊡	ELECTRIC METER
⊞	ELECTRIC TRANSFORMER
⊞	ELECTRIC VAULT
☼	ELECTRIC LIGHT POLE
⊞	SANITARY SEWER MANHOLE
⊞	TELEPHONE PEDESTAL
⊞	FIRE HYDRANT
—●—●—	CHAIN LINK FENCE
—●—●—	UNDERGROUND SANITARY SEWER
—●—●—	UNDERGROUND CABLE TV LINE
—●—●—	UNDERGROUND ELECTRIC LINE
—●—●—	UNDERGROUND GAS LINE
—●—●—	UNDERGROUND TELEPHONE LINE
—●—●—	UNDERGROUND WATER LINE
---	PROPERTY LINE
---	EASEMENT
---	VARIOUS SETBACKS (MARKED AS NOTED)
—●—●—	UNDERGROUND DATA LINE (COMMUNICATION CABLE)

NOTES:

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

CCMD ADMIN BUILDING

9686 FLAGSTONE ST., COLORADO SPRINGS, CO SITE DEVELOPMENT PLAN

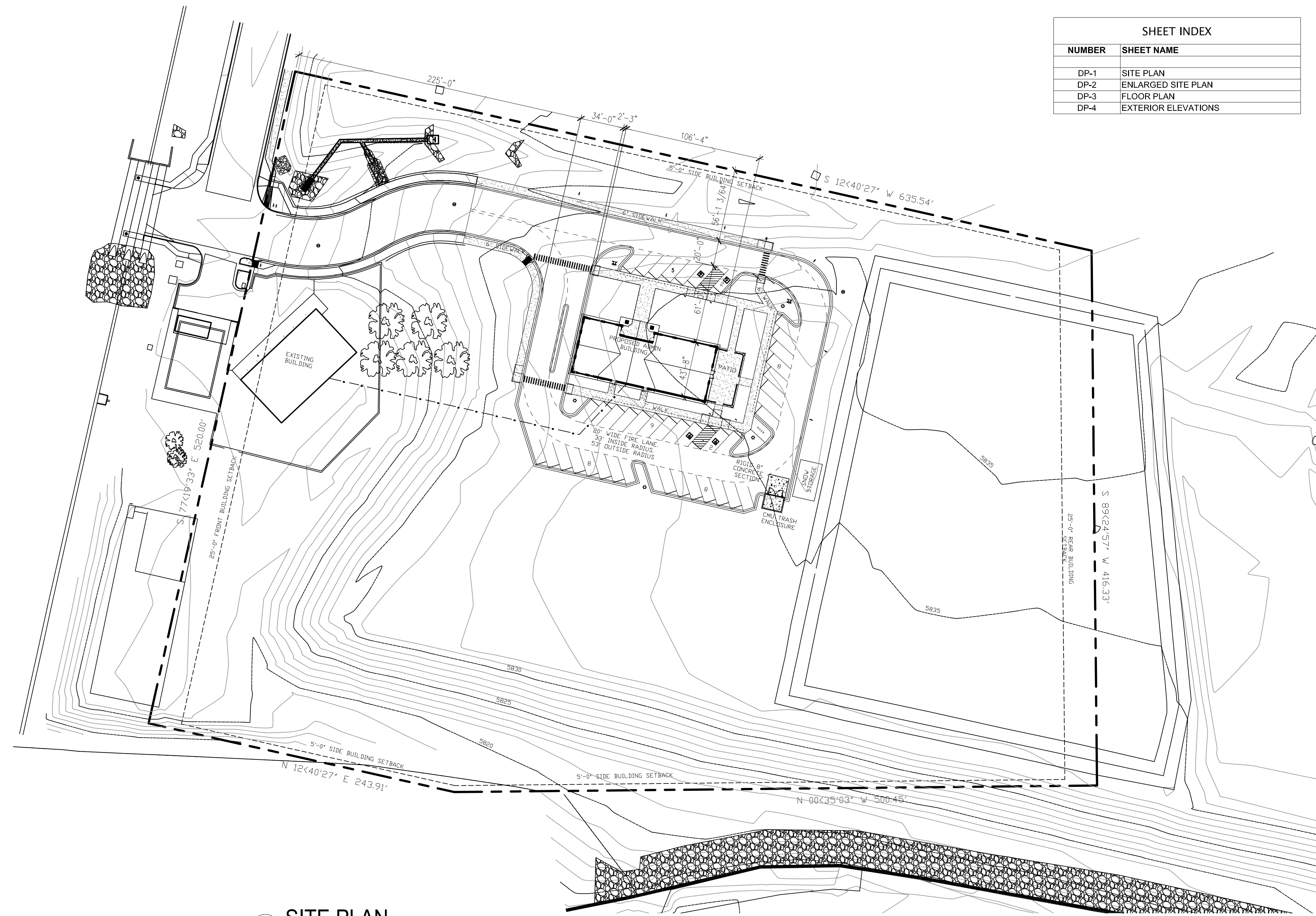
TRACT OF LAND IN SEC 03-15-65 DESC AS FOLS: COM AT SE COR OF SD SEC TH N 00<10'17" E 1322.35 FT, S 89<24'57" W 636.74 FT TO POB, TH CONT 416.33 FT, S 12<40'27" W 635.54 FT, S 77<19'33" E 520.00 FT, N 12<40'27" E 243.91 FT, TH N 00<35'03" W 500.45 FT TO POB

LOCATION MAP



SHEET INDEX

NUMBER	SHEET NAME
DP-1	SITE PLAN
DP-2	ENLARGED SITE PLAN
DP-3	FLOOR PLAN
DP-4	EXTERIOR ELEVATIONS



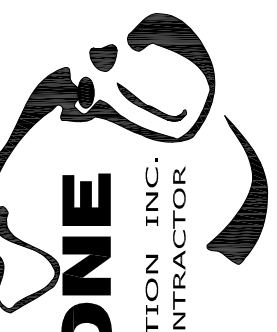
1 SITE PLAN
 1" = 50'-0"

Approved
 By: Ryan Howser, AICP
 Date: 06/30/2023
 El Paso County Planning & Community Development



APPROVAL SIGNATURE BLOCK

PCD FILE #PPR-21-051



T-BONE CONSTRUCTION INC.
 GENERAL CONTRACTOR

Design Development Consultants @
 1310 FORD STREET
 COLORADO SPRINGS, CO 80915
 (719) 570-1456

Revisions

#	DESCRIPTION	DATE

CO. CTR. METRO. DISTRICT ADMINISTRATION BUILDING
 9686 FLAGSTONE STREET
 COLORADO SPRINGS, CO 80916

DP

DATE 03-04-2023

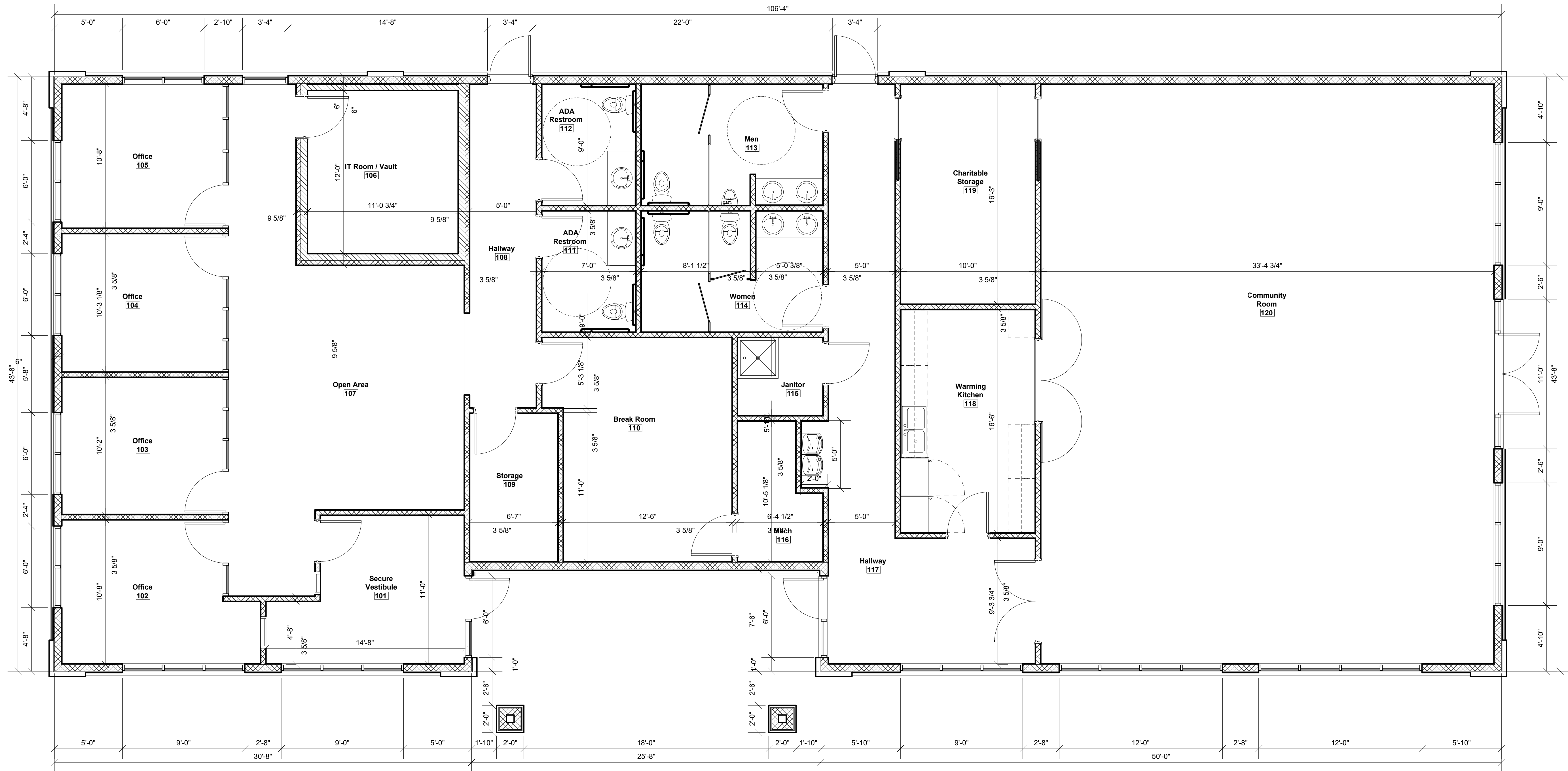
CHECKED -

DRAWN BY -

ARCHITECTURAL SITE PLAN

DP-1

(C) ALL RIGHTS RESERVED



1 FLOOR PLAN
1/4" = 1'-0"

PCD FILE #



Design Development
Consultants @
1310 FORD STREET
COLORADO SPRINGS, CO 80915
(719) 570-1456

Revisions	DESCRIPTION	DATE
#		

**CO. CTR. METRO. DISTRICT
ADMINISTRATION BUILDING**

9696 FLAGSTONE STREET
COLORADO SPRINGS, CO 80916

D2-0321

DP

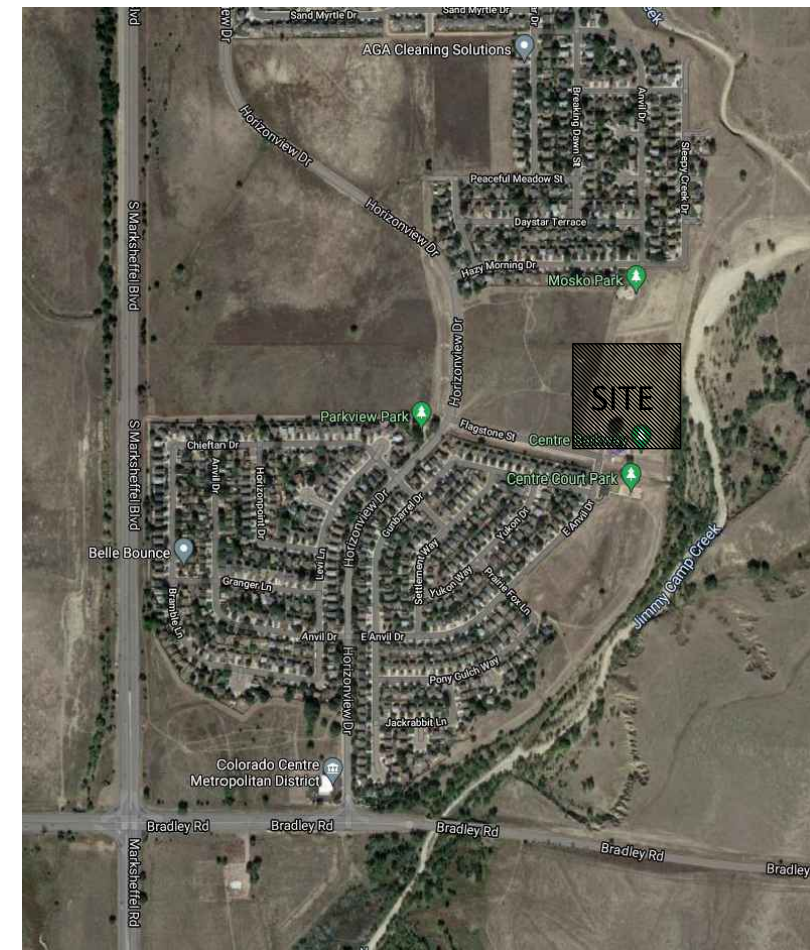
DATE	06-28-2021
CHECKED	-
DRAWN BY	-

FLOOR PLAN

DP-2

(C) ALL RIGHTS RESERVED

LOCATION MAP



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 COLORADO SPRINGS, CO 80925
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 AL.TESTA@PROCONINC.NET

APPLICANT
 T-BONE CONSTRUCTION, INC.
 DARIN WEISS, AIA
 1310 FORD ST.
 COLORADO SPRINGS, CO 80915
 (719) 623-3314
 DARIN.WEISS@TBONECONSTRUCTION.COM

PLAN PREPARER
 MCSHEA CONSULTING, LLC.
 COREE FORRESTER
 4445 NORTHPARK DR. STE. 200
 COLORADO SPRINGS, CO 80907
 (719) 358-8208
 COREE@MCSHEACONSULTING.COM

PROPERTY ADDRESS
 9696 FLAGSTONE ST.
 COLORADO SPRINGS, CO 80925

McShea Consulting, LLC
 MECHANICAL + ELECTRICAL + PLUMBING
 4445 Northpark Dr. Suite 200
 Colorado Springs, CO 80907
 mcsheaconsulting.com
 Project #: 21-1847



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 CONSTRUCTION, INC.
 GENERAL CONTRACTOR
 Design Development Consultants @
 1310 FORD STREET
 COLORADO SPRINGS, CO 80915
 (719) 570-1456
 (C) ALL RIGHTS RESERVED

LIGHT FIXTURE SCHEDULE									
MARK	MANUF.	MODEL	LAMP			MOUNTING	DESCRIPTION	VOLTAGE	TOTAL WATTS
			QTY.	WATT	TYPE				
P1	LITHONIA	DSX1 LED P1 40K VLS HS FBZ	1	85.5	LED	POLE @ 25'-0"	AREA LUMINAIRE	120	85.5
P2	LITHONIA	DSX1 LED P2 40K 80CRI T4M HS	1	67.8	LED	POLE @ 25'-0"	AREA LUMINAIRE	120	67.8
SC1	LITHONIA	OLLWU LED P1 40K 120 DDB	1	13.8	LED	SURFACE	SCONCE	120	13.8
WP1	LITHONIA	ARC1 LED P2 40K	1	16.8	LED	SURFACE	WALLPACK	120	16.8

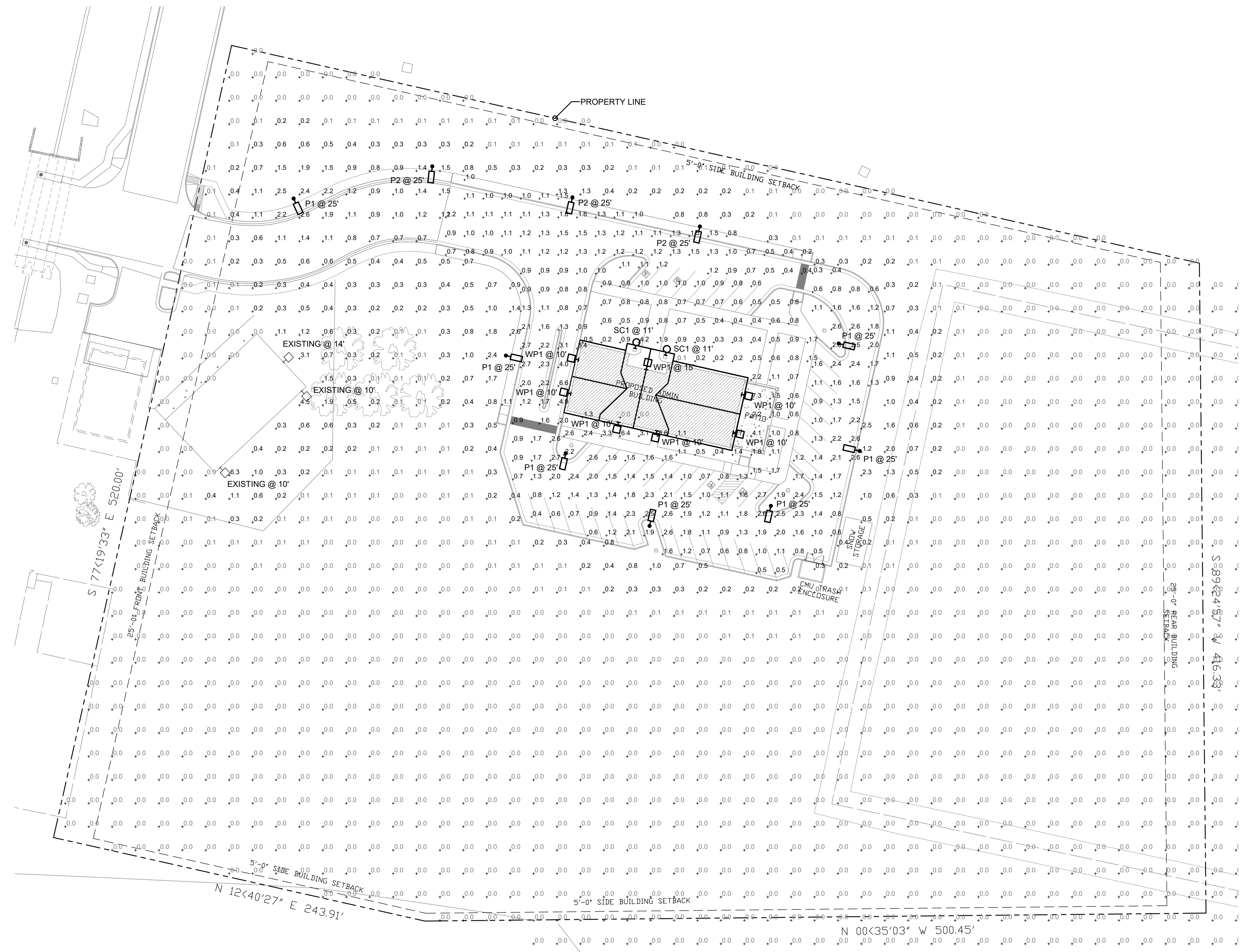
CALCULATION ZONE STATISTICS						
DESCRIPTION	SYMBOL (fc)	AVERAGE (fc)	MAXIMUM (fc)	MINIMUM (fc)	MAX./MIN. (fc)	AVG./MIN. (fc)
PARKING LOT	+	1.5	2.7	0.3	9.0:1	5.0:1
BLDG. PARAMETER	+	1.3	7.3	0.0	N/A	N/A
DRIVE WAY	+	1.3	6.6	0.2	33.0:1	6.5:1
TO PROP. BOUNDARY	+	0.1	6.3	0.0	N/A	N/A

Revisions	DESCRIPTION	DATE
#		

CO. CTR. METRO. DISTRICT
ADMINISTRATION BUILDING
 9696 FLAGSTONE STREET
 COLORADO SPRINGS, CO 80916
 CDD'S
 D2-0321

DATE 05-27-2021
 CHECKED MRM
 DRAWN BY CCF

ES0.1



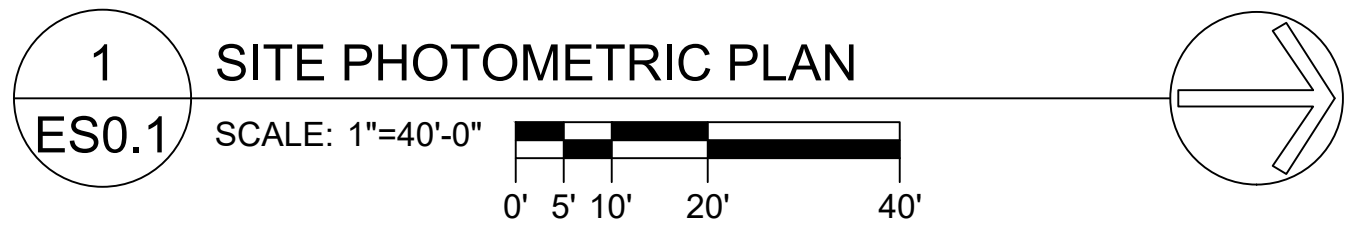
4 ARC1 WALLPACK LUMINAIRE
 ES0.1 SCALE: NONE



3 OLLWU SCONCE LUMINAIRE
 ES0.1 SCALE: NONE



2 DSX1 AREA LUMINAIRE
 ES0.1 SCALE: NONE



PCD FILE #PPR-21-051

LITHONIA LIGHTING

Outdoor General Purpose OLLWD & OLLWU LED WALL CYLINDER LIGHT

FEATURES & SPECIFICATIONS

INTENDED USE: For use in outdoor applications where a high quality, weather-resistant lighting fixture is required. Ideal for applications such as entry vestibule and entrance to entry canopy.

CONSTRUCTION: Cast aluminum housing with stainless steel trim and anodized aluminum finish.

OPICS: AIA certified. 4000-1200K. High CRI (90+).

PHOTOMETRICS: The OLLWD and OLLWU are available in 4000K, 5000K, and 6000K color temperatures. For lighting facts sheet see page 2 for performance details.

ELECTRICAL: 100V line voltage. 100W max. 120V max. 100W max. 120V max.

INSTALLATION: Surface mount or recessed. See installation instructions for details.

LISTINGS: UL Listed for Wet Locations. ETL Listed for Wet Locations.

WARRANTY: 5-year limited warranty. See warranty details on our website.

NOTES: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

Accessories and Options: For standard trim, contact your local distributor. Example: OLLWD LED P1 40K MVOLT DDBX

Series	Performance Package	Color Temperature (K)	Voltage	Finish
OLLWD LED - 4000K	P1	40K	120V/277V	Dark Bronze
OLLWU LED - 5000K	P1	50K	120V	White

Notes:
1. Ddb available with 20W max. 120V.
2. Ddb available with 20W max.

COMMERCIAL OUTDOOR

OLLWD & OLLWU LED Wall Cylinder Light

PHOTOMETRICS

For complete photometric reports or download see file for this product, visit Lithonia Lighting's Outdoor LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

OLLWD

OLLWU

LED lighting facts

Series	Light Output (Lumens)	Watts	Lumens per Watt (lm/W)
OLLWD LED	333	6.5	51.2
OLLWU LED	442	8.5	52.0

COMMERCIAL OUTDOOR

D-Series Size 1 LED Area Luminaire

Specifications:

- Depth: 6.5"
- Length: 33"
- Width: 3.5"
- Height: 3.5"
- Height (H1): 7.12"
- Height (H2): 3.12"
- Weight: 27 lbs
- IMC: 70/10

Introduction: The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for nightguying up to 750M retail trade in pedestrian and area lighting applications with typical energy savings of 60% and expected service life of over 100,000 hours.

Ordering Information: EXAMPLE: DSX1 LED P7 40K 3TM MVOLT SPA NLAIR2 PIRNH DDBX

Series	LED	Performance Package	Color Temperature	Voltage	Finish
DSX1 LED	P7	P1	40K	120V/277V	Dark Bronze
DSX1 LED	P7	P1	50K	120V	White

COMMERCIAL OUTDOOR

Ordering Information:

Accessories:

- ESS - External Glass Shield
- DRILLING - HANDBOARD ORIENTATION
- DSX1 Area Luminaire - EPA

Photometric Diagrams:

COMMERCIAL OUTDOOR

Photometric Diagrams:

COMMERCIAL OUTDOOR

ARC1 LED Architectural Wall Luminaire

Specifications:

- Depth (H1): 4.5"
- Depth (D2): 4.75"
- Height: 5"
- Width: 11"
- Weight (without options): 7 lbs

Introduction: The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback. ARC1 delivers up to 3,000 lumens with a soft, non-polluted light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

Ordering Information: EXAMPLE: ARC1 LED P2 40K MVOLT PE DDBX

Series	Package	Color Temperature	Voltage	Finish
ARC1 LED	P1	40K	120V/277V	Dark Bronze
ARC1 LED	P1	50K	120V	White

Accessories:

- ESS - External Glass Shield
- DRILLING - HANDBOARD ORIENTATION

Performance Data:

Lumen Output:

Temperature	Series	Color Temp	Power	Output
25°C	P1	40K	10W	3,000
25°C	P1	50K	10W	3,000

Electrical Load:

Series	Voltage	Power	Current
P1	120V	10W	0.083
P1	277V	10W	0.036

Lumen Output in Emergency Mode (90MIN, 90 CRI)

Series	Power	Output
P1	10W	300

Lumen Ambient Temperature (LAT) Multiplier:

Temperature	Multiplier
0°C	1.04
10°C	1.02
20°C	1.00
30°C	0.99
40°C	0.97

Projected Lumen Maintenance:

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	0.97	>0.96	>0.95	>0.91

Photometric Diagrams:

Emergency Egress Options:

Emergency Battery Backup: The emergency battery backup is integral to the luminaire - no external housing required. This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes).

CONSTRUCTION: The ARC1 luminaire housing and door are cast in aluminum. The multiple step junction board and separate LED luminaire housing are cast in aluminum. Both are finished with a powder coat finish. The luminaire housing is finished with a powder coat finish. The luminaire housing is finished with a powder coat finish.

OPICS: AIA certified. 4000-1200K. High CRI (90+).

PHOTOMETRICS: The ARC1 LED luminaire is available in 4000K, 5000K, and 6000K color temperatures. For lighting facts sheet see page 2 for performance details.

ELECTRICAL: 100V line voltage. 100W max. 120V max. 100W max. 120V max.

INSTALLATION: Surface mount or recessed. See installation instructions for details.

LISTINGS: UL Listed for Wet Locations. ETL Listed for Wet Locations.

WARRANTY: 5-year limited warranty. See warranty details on our website.

NOTES: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

COMMERCIAL OUTDOOR

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COMMERCIAL OUTDOOR

cShea Consulting, LLC

MECHANICAL + ELECTRICAL + PLUMBING

4445 Northpark Dr. Suite 200
Colorado Springs, CO 80907
mcsheaconsulting.com
Project # 21-1847

COMMERCIAL OUTDOOR

CO. CTR. METRO. DISTRICT ADMINISTRATION BUILDING

9686 FLAGSTONE STREET
COLORADO SPRINGS, CO 80916

Revisions

#	DESCRIPTION	DATE

DESIGN DEVELOPMENT CONSULTANTS @

T-BONE CONSTRUCTION INC. GENERAL CONTRACTOR

1310 FORD STREET
COLORADO SPRINGS, CO 80915
(719) 570-1456

COMMERCIAL OUTDOOR

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Revisions

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(719) 570-1456

COMMERCIAL OUTDOOR

PCD FILE #PPR-21-051

DATE 05-27-2021

CHECKED MRM

DRAWN BY CCF

ES0.2

COMMERCIAL OUTDOOR

COLORADO CENTRE METROPOLITAN DISTRICT ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN

PCD File No. PPR-21-51

GRADING & EROSION CONTROL PLAN

LEGEND

	EX PROPERTY LINE
	EX RIGHT-OF-WAY
	EX BARBED WIRE FENCE
	EX SPLIT RAIL FENCE
	EX CHAIN LINK FENCE
	EX CONTOURS-MAJOR
	EX CONTOURS-MINOR
	EX FIRE HYDRANT
	EX WATER LINE
	EX SANITARY SEWER LINE
	EX FIRE HYDRANT
	CONTOURS-MAJOR
	CONTOURS-MINOR
	EROSION CONTROL SILT FENCE (INITIAL)
	EX VEGETATION (SIZE VARIES)
	PARKING LOT ISLAND LIGHT POLE
	VEHICLE TRACKING PAD (INITIAL)
	CHECK DAM (PERMANENT)
	STAGING AREA (INITIAL)
	CONCRETE WASHOUT (INITIAL)
	RIPRAP (FINAL)
	AREA OF CUT
	AREA OF FILL
	PRE-DEVELOPED FLOW DIRECTION
	DEVELOPED FLOW DIRECTION

SHEET INDEX

SHEET NUMBER	DESCRIPTION
	COVER SHEET
CIVIL	
C1	GRADING & EROSION CONTROL NOTES
C2	GRADING & EROSION CONTROL PLAN
C3	GRADING & EROSION CONTROL DETAILS 1
C4	GRADING & EROSION CONTROL DETAILS 2
C5	GRADING & EROSION CONTROL DETAILS 3
C6	GRADING & EROSION CONTROL DETAILS 4
C7	FLOODPLAIN MAP
LANDSCAPE	
LS1	OVERALL ALTERNATE LANDSCAPE PLAN
LS2	ALTERNATE LANDSCAPE PLAN
LS3	LANDSCAPING SCHEDULES/NOTES
LS4	LANDSCAPING DETAILS

SIGNATURE BLOCKS

ENGINEER OF RECORD:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

RYAN M. MANGINO, PE #43304

DATE

OWNER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY, THROUGH APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

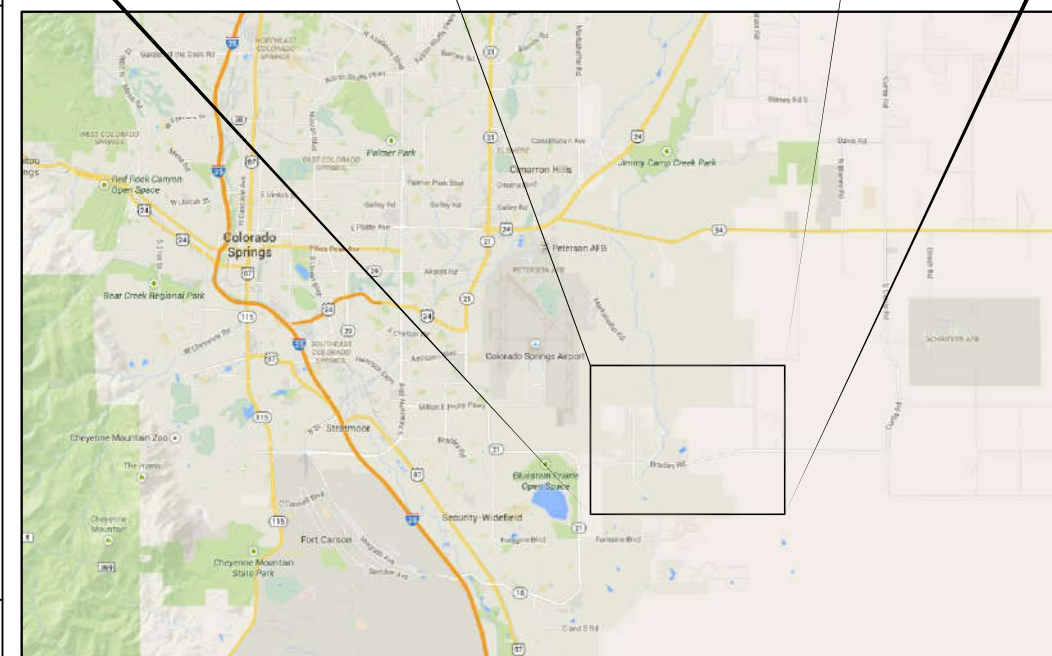
IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, P.E.
COUNTY ENGINEER / ECM ADMINISTRATOR

DATE



VICINITY MAP
N.T.S.



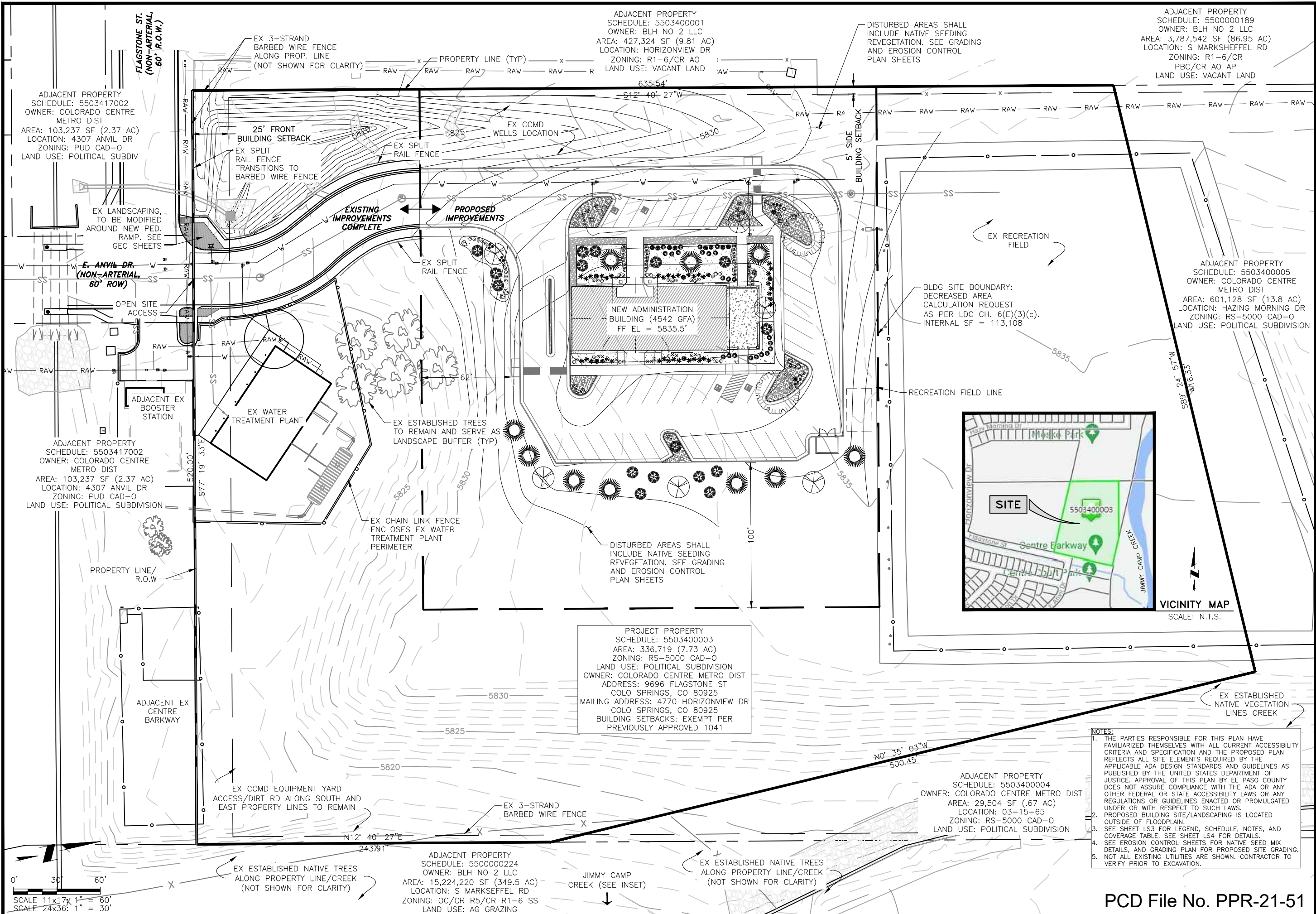
LOCATION MAP
N.T.S.

PRE-EXCAVATION CHECKLIST

PRE-EXCAVATION CHECKLIST	COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES
<input type="checkbox"/> Gas and Other Utility Lines Shown on Construction Plans	WHITE PROPOSED EXCAVATION
<input type="checkbox"/> Utility Notification Center of Colorado (UNCC)—Call at Least Two (2) Business Days Ahead—1-800-922-1987	MAGENTA TEMPORARY SURVEY MARKINGS
<input type="checkbox"/> Utilities <u>Located & Marked</u> on the Ground	RED ELECTRIC
<input type="checkbox"/> Employees Briefed on Marking and Color Codes*	YELLOW GAS, OIL, STEAM
<input type="checkbox"/> Employees Trained on Excavation and Safety Procedures for Natural Gas Lines	ORANGE COMMUNICATION, CATV
<input type="checkbox"/> When Excavation Approaches Gas Lines, Employees Must Expose Lines by Careful Probing and Hand-Digging	BLUE POTABLE WATER
	PURPLE IRRIGATION, RECLAIMED WATER, SLURRY LINES
	GREEN SEWER



2022/11/04 1:33 PM By: Alexis (Lead) \Yoder\N\Projects\247 Colorado Centre MD\247.07 Admin Building Support\Drawings\Working\24707_Civil_Landscape.dwg



PROJECT PROPERTY
SCHEDULE: 5503400003
AREA: 336,719 (7.73 AC)
ZONING: RS-5000 CAD-0
LAND USE: POLITICAL SUBDIVISION
OWNER: COLORADO CENTRE METRO DIST
ADDRESS: 9696 FLAGSTONE ST
COLO SPRINGS, CO 80925
MAILING ADDRESS: 4770 HORIZONVIEW DR
COLO SPRINGS, CO 80925
BUILDING SETBACKS: EXEMPT PER
PREVIOUSLY APPROVED 1041



- NOTES:
1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
 2. PROPOSED BUILDING SITE/LANDSCAPING IS LOCATED OUTSIDE OF FLOODPLAIN.
 3. SEE SHEET LS3 FOR LEGEND, SCHEDULE, NOTES, AND COVERAGE TABLE. SEE SHEET LS4 FOR DETAILS.
 4. SEE EROSION CONTROL SHEETS FOR NATIVE SEED MIX DETAILS, AND GRADING PLAN FOR PROPOSED SITE GRADING.
 5. NOT ALL EXISTING UTILITIES ARE SHOWN. CONTRACTOR TO VERIFY PRIOR TO EXCAVATION.

JDS-HYDRO CONSULTANTS, INC.
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COLORADO SPRINGS, COLORADO 80919
(719) 227-0072

COLORADO CENTRE METROPOLITAN DISTRICT
ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN
OVERALL ALTERNATE LANDSCAPE PLAN

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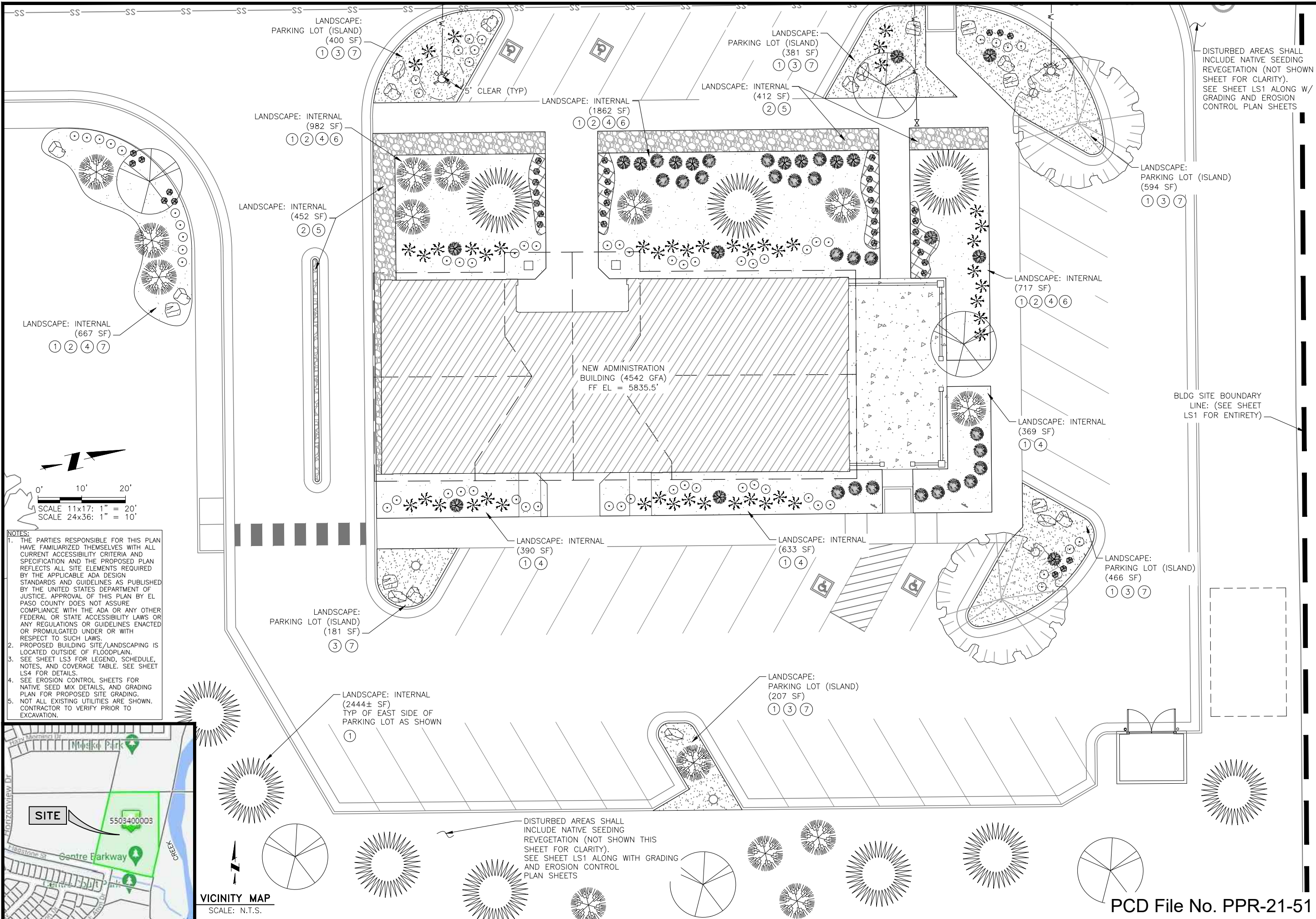
100% DESIGN

Project No.: 247.07
Date: 11/03/22
Design: GGM
Drawn: GGM
Check: RMM

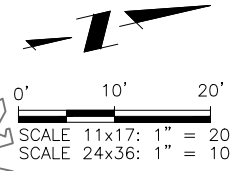
PCD File No. PPR-21-51

LS1
SHEET 1 OF

2022/11/04 1:33 PM By: Alexis (Lead) Yoder NA\Projects\247 Colorado Centre MD\247.07 Admin Building Support\Drawings\Working\24707_Civil_Landscape.dwg



DISTURBED AREAS SHALL INCLUDE NATIVE SEEDING REVEGETATION (NOT SHOWN SHEET FOR CLARITY). SEE SHEET LS1 ALONG W/ GRADING AND EROSION CONTROL PLAN SHEETS



NOTES:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
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COLORADO CENTRE METROPOLITAN DISTRICT
ADMINISTRATIVE BUILDING – SITE DEVELOPMENT PLAN
ALTERNATE LANDSCAPE PLAN

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Project No.: 247.07
Date: 11/03/22
Design: GGM
Drawn: GGM
Check: RMM

LS2
SHEET 2 OF

PCD File No. PPR-21-51

LEGEND

	EX PROPERTY LINE		5900		CONTOURS--MAJOR
	EX RIGHT-OF-WAY				CONTOURS--MINOR
	EX BARBED WIRE FENCE				EROSION CONTROL SILT FENCE (INITIAL)
	EX SPLIT RAIL FENCE				VEHICLE TRACKING PAD (INITIAL)
	EX CHAIN LINK FENCE				STAGING AREA (INITIAL)
	EX CONTOURS--MAJOR				CONCRETE WASHOUT (INITIAL)
	EX CONTOURS--MINOR				RIPRAP (FINAL)
	EX FIRE HYDRANT				PRE--DEVELOPED FLOW DIRECTION
	EX WATER LINE				DEVELOPED FLOW DIRECTION
	EX SANITARY SEWER LINE				CHECK DAM
	EX RAW WATER LINE				
	EX VEGETATION (SIZE VARIES)				
	PARKING LOT ISLAND LIGHT POLE				

LANDSCAPING NOTES:

- PLANT QUANTITY AND SUBSTITUTION:** IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT TABLE AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLANTING PLAN SHALL GOVERN. THE MINIMUM ACCEPTABLE SIZES OF PLANTS MEASURED BEFORE PRUNING WITH BRANCHES IN NORMAL POSITION SHALL CONFORM TO THE PLANTING SIZES AS SPECIFIED IN THE SCHEDULE. ANY SUBSTITUTION OF PLANT SIZE OR SPECIES MUST BE SUBMITTED TO THE ENGINEER IN WRITING FOR APPROVAL PRIOR TO INSTALLATION.
 - ACCEPTABLE PLANT MATERIAL:** ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET BY THE "COLORADO NURSERY ASSOCIATION," AND THE "AMERICAN STANDARD OF NURSERY STOCK." ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES, HEALTHY, FREE OF DISEASE, INSECT PESTS, MECHANICAL INJURIES, AND HAVE ADEQUATE ROOT SYSTEMS. ALL PLANTINGS SHALL BE INSTALLED PER PLANTING DETAILS. ALL PLANT MATERIAL SHALL BE INSPECTED BY THE ENGINEER OR OWNER PRIOR TO INSTALLATION. STAKING/CONTRACTOR INSPECTION NOTE: ALL PLANTING LOCATIONS TO BE STAKED AND INSPECTED BY CONTRACTOR PRIOR TO INSTALLATION. ALL PLANTS TO BE INSPECTED AT NURSERY LOCATION PRIOR TO TRANSPORTING TO THE SITE.
 - SITE DISTURBANCE:** ALL AREAS OF SITE DISTURBANCE DUE TO CONSTRUCTION SHALL BE RENOVATED OR PLANTED PER THIS PLAN UNLESS OTHERWISE NOTED. SITE-SPECIFIC LANDSCAPING SHALL AT A MINIMUM, INCLUDE REVEGETATION OF DISTURBED AREAS WITH MATERIALS INDIGENOUS TO THE SITE OR OTHERWISE ADAPTABLE.
 - SOIL AMENDMENTS:** CONTRACTOR SHALL AMENDED PLANTING AREAS AS FOLLOWS:
 -ADD MINIMUM OF 3 CUBIC YARDS OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST PER 1000 S.F.
 -ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
 -3 CUBIC YARDS PER 1000 S.F. OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST.
 -ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
 - SEEDED TURF:** ALL SEEDED OR HYDROMULCHED AREAS SHALL DEMONSTRATE 95% GERMINATION PRIOR TO FINAL ACCEPTANCE.
 - IRRIGATION:** OWNER TO IRRIGATE FOR ONE TO TWO GROWING SEASONS UNTIL ESTABLISHED AND ON AN AS-NEEDED BASIS THEREAFTER. DISTURBED AREA SEED/GRASS MIXTURE MUST BE IRRIGATED BY OWNER UNTIL ESTABLISHED AND IN TIMES OF DROUGHT. THE ON-GOING MAINTENANCE OF THE NATIVE GRASS IS THE RESPONSIBILITY OF OWNER.
 - INORGANIC MULCH AND FABRIC:** ALL PLANTINGS TO RECEIVE 3-INCH DEPTH OF INORGANIC MULCH. MULCH RINGS TO BE 15-INCH DIA. FOR (5) GALLON SHRUBS/GRASSES (SEE DRAWING DETAILS). HIGH QUALITY COMMERCIAL-GRADE (SPUN-BONDED POLYPROPYLENE OR EQUAL) LANDSCAPING FABRIC SHALL BE APPLIED UNDER ALL ROCK/MULCH BASES.
 - STEEL EDGE:** ALL EDGER SHALL BE ACME 4" PERFORATED STEEL EDGER "SELF COLORING" 14 GAUGE OR APPROVED EQUAL.
 - APPROVAL:** ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - FINAL TREE AND SHRUB LOCATIONS:** ALL TREE LOCATIONS SHALL BE STAKED FOR APPROVAL BY OWNER REPRESENTATIVE/ENGINEER PRIOR TO PLANTING. SHRUBS SHALL BE PLACED IN THEIR LOCATIONS PER THIS PLAN AND APPROVED BY OWNER REPRESENTATIVE/ENGINEER. THE FINAL LOCATION OF TREES TO BE PLANTED MAY REQUIRE ADJUSTMENT BASED ON APPROVAL OF THE FINAL UTILITIES PLANS AND ANY ASSOCIATED FINAL EASEMENTS LOCATIONS.
 - COMPLIANCE WITH PLANS:** THE COMPLETED LANDSCAPING SHALL COMPLY WITH THE APPROVED LANDSCAPE PLAN AND SHALL INCLUDE THE QUANTITIES, LOCATIONS, SPECIES AND SIZES OF PLANTS AND OTHER LANDSCAPE MATERIALS AS REPRESENTED ON THE APPROVED LANDSCAPE PLAN. SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN 6 SQUARE INCHES AFTER GERMINATION.
 - MAINTENANCE:**
 - THE OWNER IS RESPONSIBLE FOR ALL REGULAR AND NORMAL MAINTENANCE OF REQUIRED LANDSCAPING INCLUDING WEEDING, IRRIGATION, FERTILIZING, PRUNING AND MOWING.
 - REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL OCCUR WITHIN 6 MONTHS FROM WHEN THE PLANT MATERIAL DIED, OR WHEN THE INSPECTION DETERMINED THE PLANT MATERIAL WAS DEAD OR DAMAGED. REPLACEMENT SHALL BE OF THE SAME OR SIMILAR TYPE AS ORIGINALLY APPROVED. AN ALTERNATIVE TYPE OF SPECIES SHALL REQUIRE APPROVAL BY THE PCD DIRECTOR.
 - MAINTENANCE INSPECTIONS MAY BE PERFORMED PERIODICALLY. FAILURE TO MAINTAIN THE LANDSCAPING IN COMPLIANCE WITH THE APPROVAL IS CONSIDERED A ZONING VIOLATION.
- * BY APPROVING THIS PLAN, THE DIRECTOR IS APPROVING AN ALTERNATE LANDSCAPING DESIGN AS IT RELATES AND CONFORMS TO HOMELAND SECURITY STANDARDS (AS DESCRIBED IN THE LETTER OF INTENT), AND PROMOTES WATER CONSERVATION WHILE MEETING THE PURPOSES DESCRIBED IN THE LAND DEVELOPMENT CODE.

LANDSCAPE SCHEDULE - HARDSCAPE/MULCH	
	3/8" GRAVEL MULCH: WASHED RIVER ROCK OR APPROVED EQUAL
	BREEZE/MINUS MULCH: PIONEER GRANITE OR APPROVED EQUAL
	DECORATIVE ROCK MULCH: 3/4" - 1-1/2" MIX PIONEER GRANITE OR APPROVED EQUAL
	SHREDDED WOOD MULCH: BROWN
	DECORATIVE ROCK BOULDERS: PIONEER GRAY GRANITE OR APPROVED EQUAL

- TYP PLANTING. REF: SHEET LS4
- STEEL EDGE, TYP FOR SEPARATION BETWEEN SEED AND MULCH AREAS (GRAVEL, BREEZE, ROCK, WOOD). REF: DETAIL F/LS4
- GRAVEL MULCH @ 4" DEPTH MIN
- BREEZE/MINUS MULCH @ 4" DEPTH MIN
- DECORATIVE ROCK MULCH @ 4" DEPTH MIN
- SHREDDED WOOD MULCH @ 3" DEPTH MIN
- DECORATIVE ROCK BOULDERS. REF: DETAIL H/LS4

ALTERNATE LANDSCAPING COVERAGES:	
SITE AREA (REDUCED BOUNDARY)	113,108
ROADWAY FRONTAGE	
FLAGSTONE ST, NON-ARTERIAL	N/A (SEE ALT. LANDSCAPE REQUEST PER PCD REQUIREMENT/ALLOWANCE)
-DEPTH REQUIRED/PROVIDED	15'/0
-TREES REQUIRED/PROVIDED	1 PER 15'/0
PARKING LOT	
REQUIRED TREES PER 15 SPACES REQUIRED/PROVIDED	3/3
ISLAND QUANTITY PER 15 SPACES REQUIRED/PROVIDED	3/6
SCREENING, EAST (DIFFERING LAND USE) REQUIRED/PROVIDED	2/3 MIN./3/3
BUFFER & SCREEN AREAS (PROPERTY LINES)	
-DEPTH REQUIRED/PROVIDED	15'/0
-TREES REQUIRED/PROVIDED	1 PER 15'/0
INTERNAL	
% MINIMUM INTERNAL AREA REQUIRED	5
INTERNAL AREA (REDUCED) REQUIRED/PROVIDED (PLANTINGS)	5655/5655
INTERNAL AREA (REDUCED) REQUIRED/PROVIDED (PLANTINGS & HARDSCAPE)	5655/11157
MINIMUM QUANTITY OF TREES REQUIRED/PROVIDED	11/34
LIVE GROUND COVER WITHIN APPLICABLE REQ. LANDSCAPE AREAS	
% GROUND COVER REQUIRED/PROVIDED (INCL. SEED MIX)	75/100+
OTHER	
ZONING DISTRICT BOUNDARY TREES	N/A (SEE ALT. LANDSCAPE REQUEST)
LANDSCAPING BETWEEN LOT AND CURB	N/A (SEE ALT. LANDSCAPE REQUEST)
MISCELLANEOUS	
% GROUND COVER REQUIRED/PROVIDED (ABOVE OVER-RIDES)	50/100+

LANDSCAPE SCHEDULE - XERIC/LOW WATER VEGETATION						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	MATURE SIZE	PLANTING SIZE (MIN)	COMMENTS
	GRASS					
	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	42	2'-0" x 1'-6"	#3 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING LATE MARCH
	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER FEATHER REED	63	4'/6"-0" x 2'-0"	#5 CONT.	CUT CLUMPS OF GRASS NEAR THE GROUND LATE WINTER PRIOR TO NEW SHOOTS APPEARING
	SHRUB					
	RHUS TRILOBATA	SKUNKBUSH SUMAC	17	4'-0" x 3'-0"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING LATE WINTER
	POTENTILLA FRUTICOSA	GOLDSTAR POTENTILLA	46	2'-6" x 3'-0"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING EARLY SPRING
	GROUND COVER					
	RHUS TRILOBATA (R.AROMATICA 'GRO-LOW')	GROW-LOW FRAGRANT SUMAC	23	4'-0" x 3'-0"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING EARLY SPRING
	EVERGREEN TREE					
	PINUS EDULIS	PINON PINE	10	25'-0" x 15'-0"	4' MIN. HEIGHT	MUST ARRIVE BALLED AND BURLAPPED. PRUNE TO SHAPE TREE AT EARLY GROWTH
	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	16	15'-0" x 8'-0"	4' MIN. HEIGHT	MUST ARRIVE BALLED AND BURLAPPED. PRUNE OUT SPORE HORNS WHEN SEEN IN SPRING
	DECIDUOUS ORNAMENTAL TREE					
	ROBINIA NEOMEXICANA	NEW MEXICO LOCUST	6	15'/25'-0" x 10'/15'-0"	1" CAL	MUST ARRIVE BALLED AND BURLAPPED. CALIPER SHALL BE MEASURED 6" ABOVE GROUND
	GLEDITSIA TRIACANTHOS VAR. INERMIS	IMPERIAL HONEYLOCUST	2	35'-0" x 30'-0"	1.5" CAL	MUST ARRIVE BALLED AND BURLAPPED. PRUNING BEST DONE IN LATE WINTER TO EARLY SPRING

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COLORADO CENTRE METROPOLITAN DISTRICT
 ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN
 LANDSCAPING SCHEDULES/NOTES

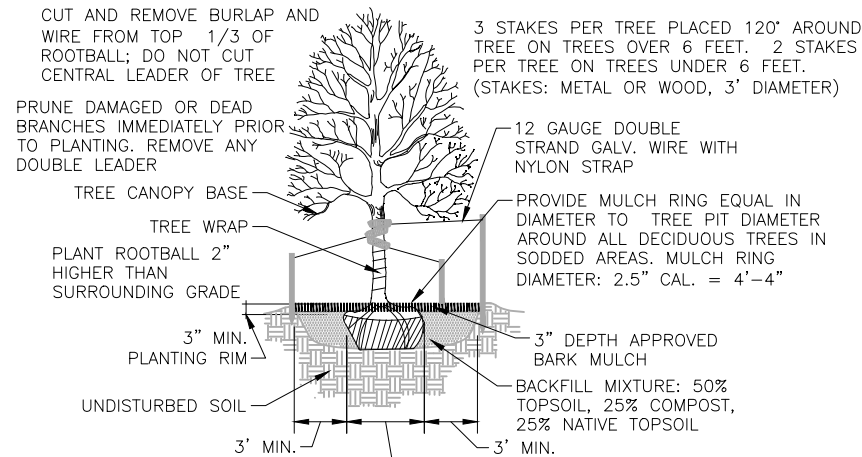
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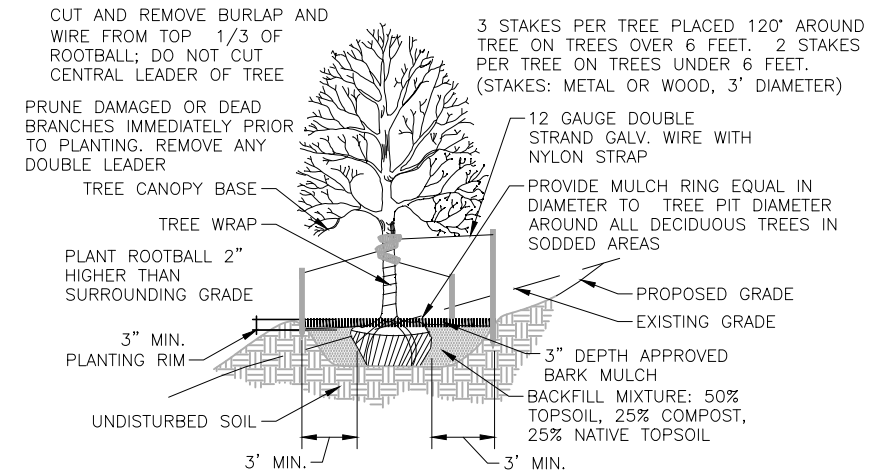
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 Date: 11/03/22
 Design: GGM
 Drawn: RMM
 Check: RMM

LS3
 SHEET 3 OF

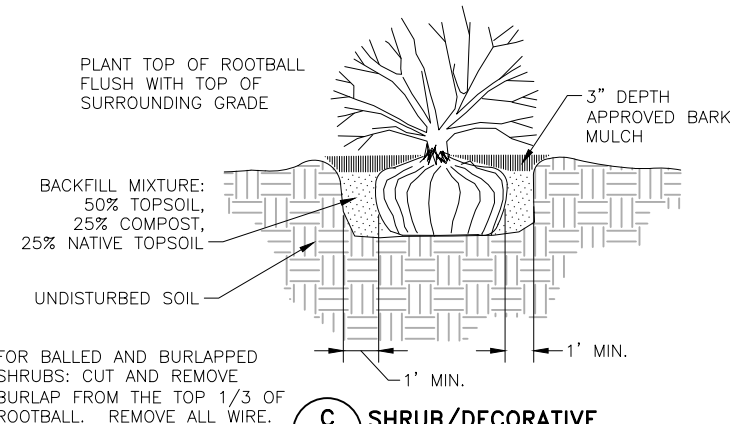
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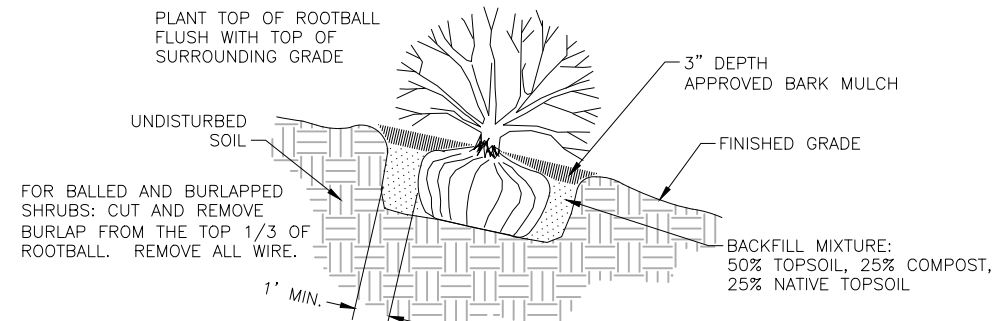
A TREE PLANTING
LS4 SCALE: N.T.S.



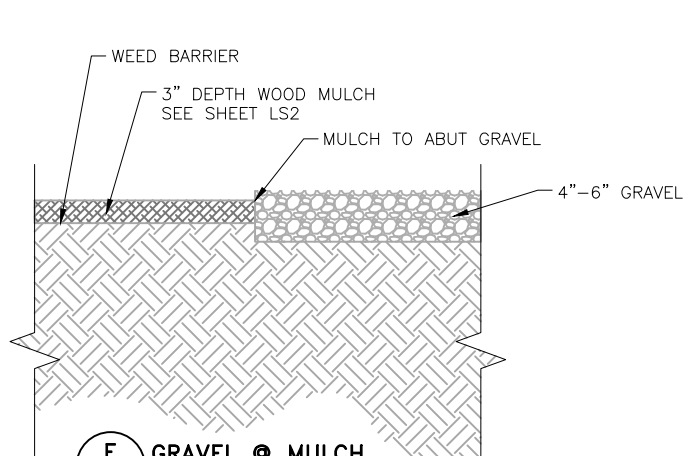
B TREE PLANTING ON SLOPES
LS4 SCALE: N.T.S.



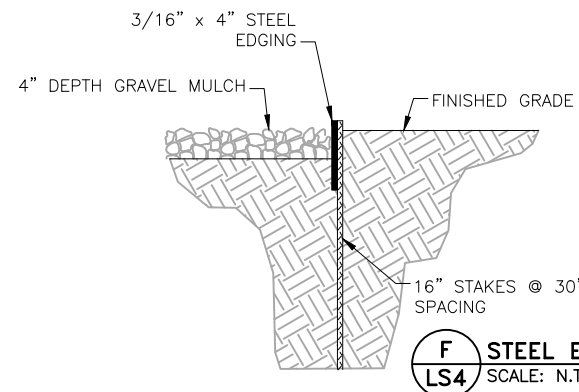
C SHRUB/DECORATIVE GRASS PLANTING
LS4 SCALE: N.T.S.



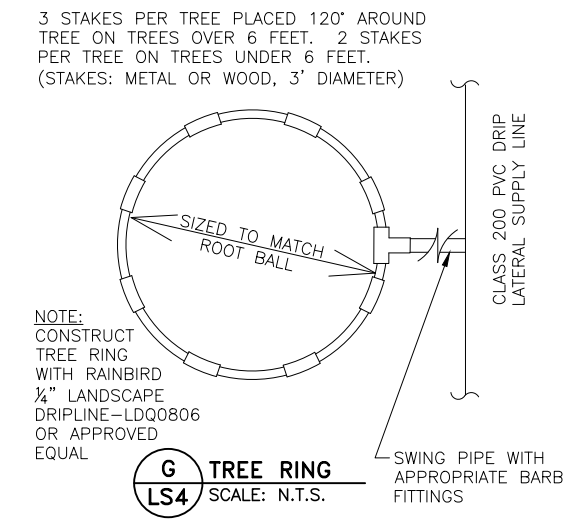
D SHRUB/DECORATIVE GRASS PLACEMENT ON SLOPES
LS4 SCALE: N.T.S.



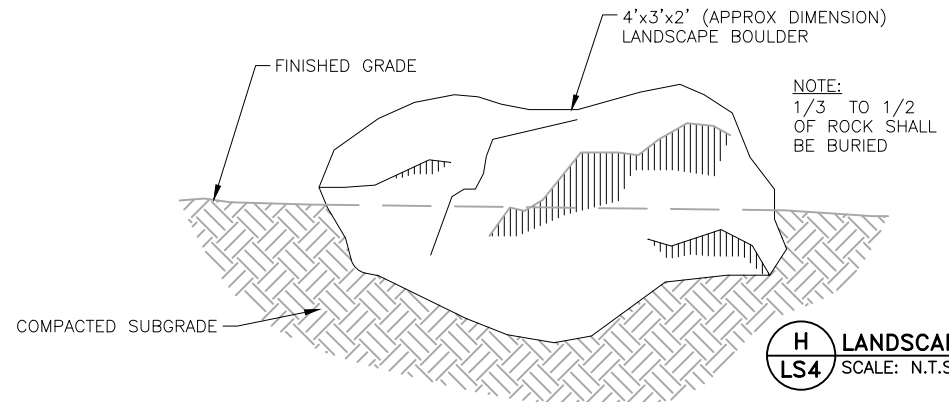
E GRAVEL & MULCH
LS4 SCALE: N.T.S.



F STEEL EDGE
LS4 SCALE: N.T.S.



G TREE RING
LS4 SCALE: N.T.S.



H LANDSCAPE BOULDER
LS4 SCALE: N.T.S.

NOTE:
1. SEE SHEET LS3 FOR SCHEDULES AND MIN. MATERIAL DEPTH STANDARDS

2022/11/04 1:34 PM By: Alexis (Lex) Yoder N:\Projects\247 Colorado Centre MD\247.07 Admin Building Support\Drawings\Working\24707_Civil_Landscape.dwg

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COLORADO CENTRE METROPOLITAN DISTRICT
ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN
LANDSCAPING DETAILS

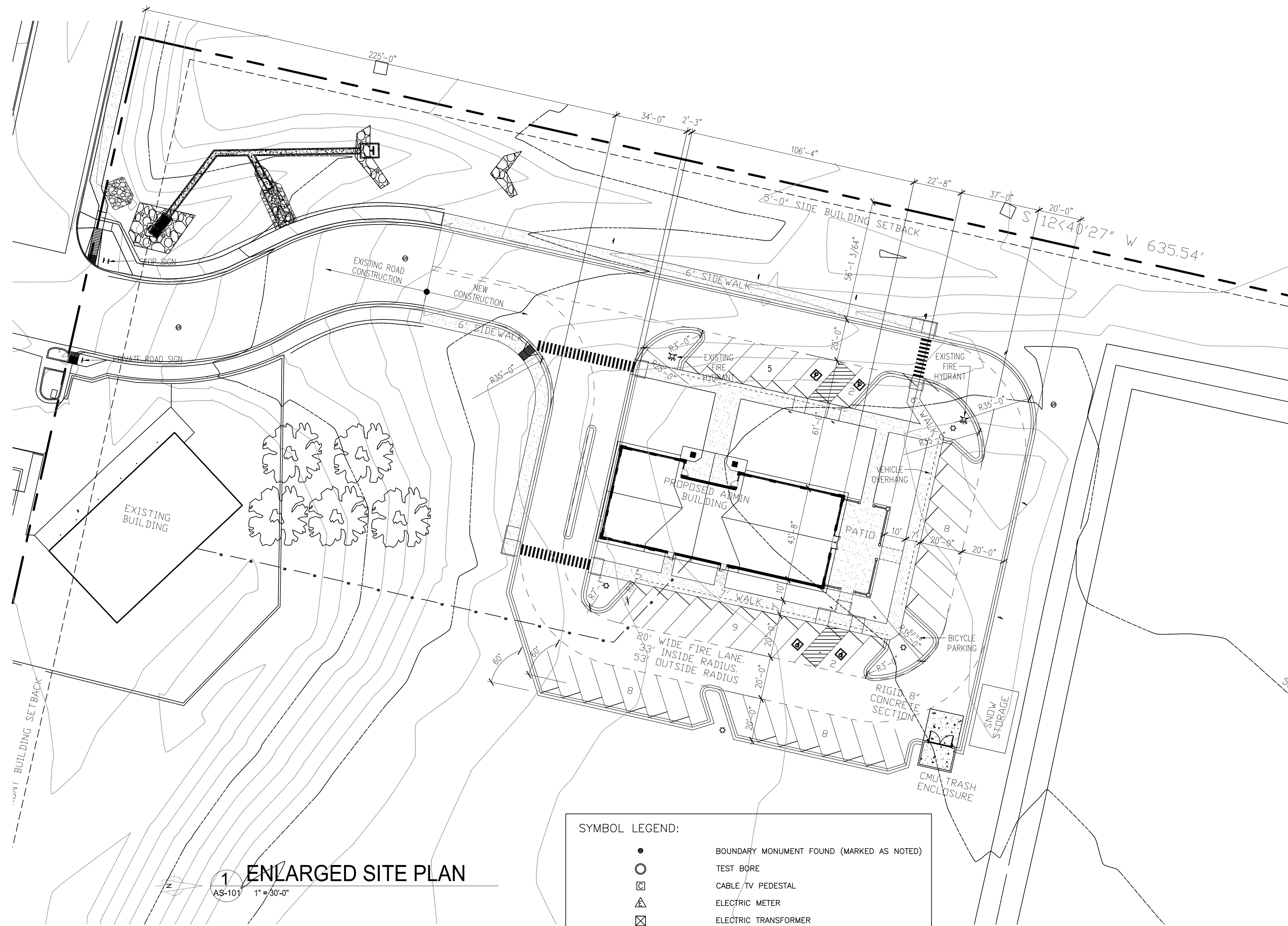
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Drawn: GGM
Check: RMM

LS4
SHEET 4 OF

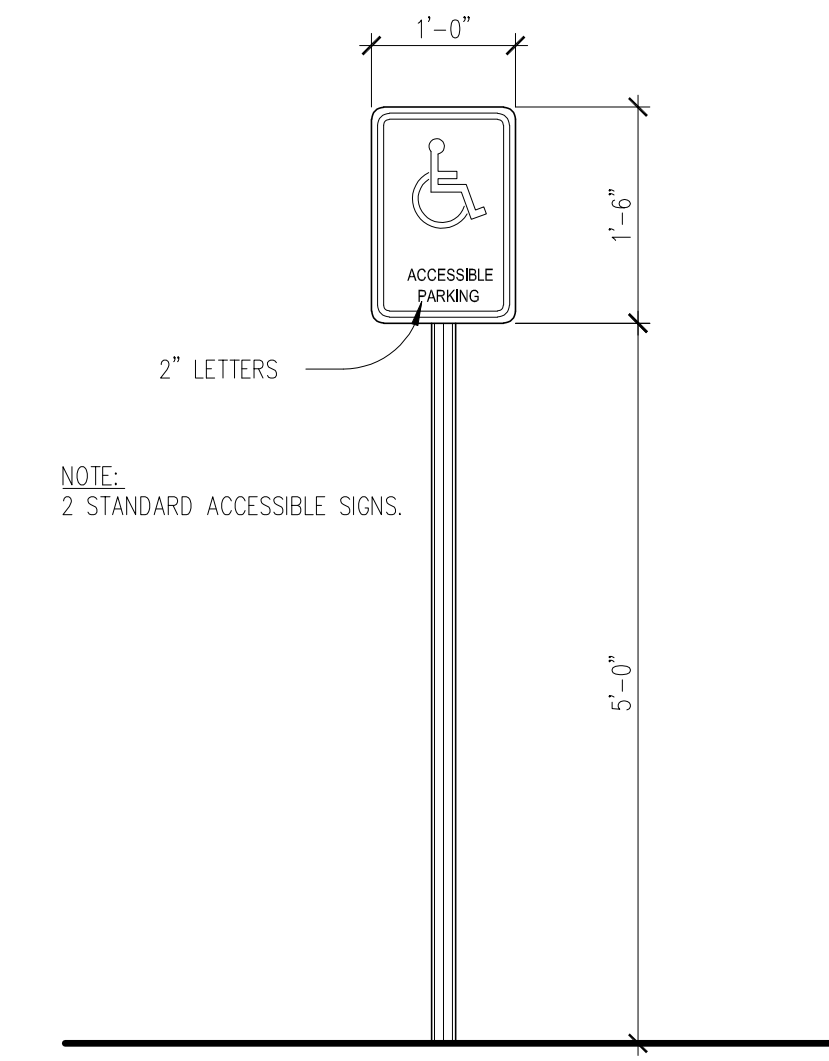
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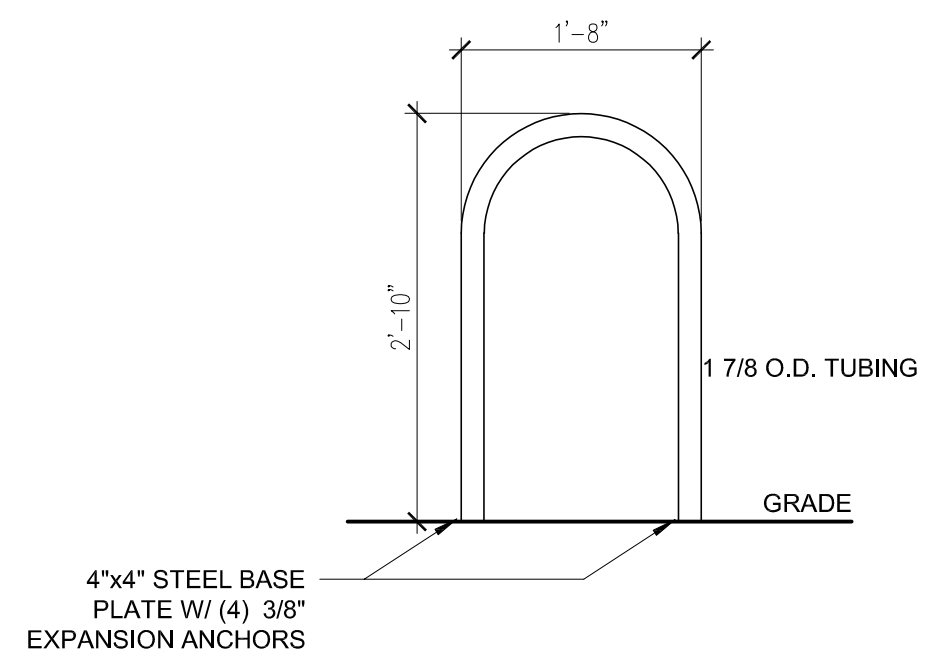
1 ENLARGED SITE PLAN
AS-101 1" = 30'-0"

SYMBOL LEGEND:

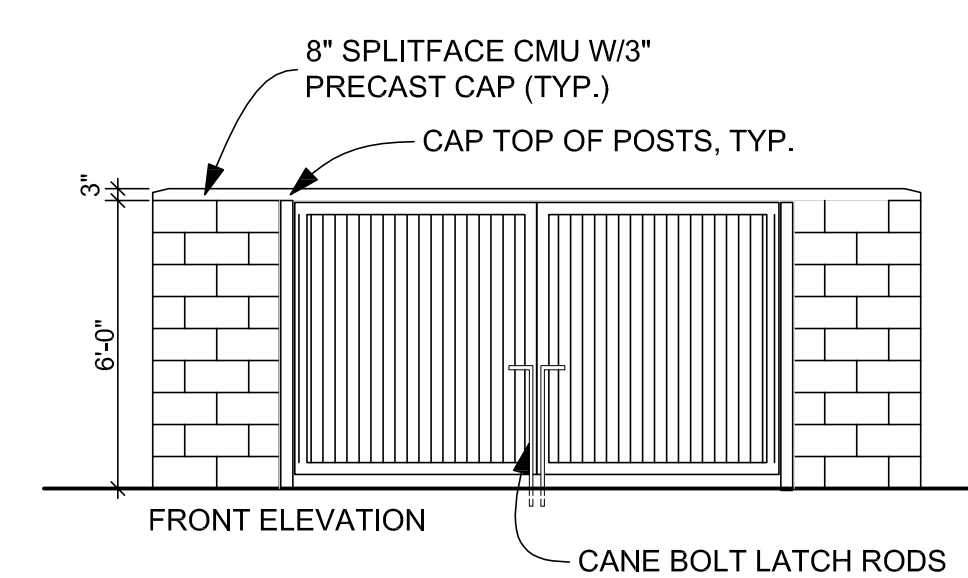
●	BOUNDARY MONUMENT FOUND (MARKED AS NOTED)
○	TEST BORE
□	CABLE TV PEDESTAL
△	ELECTRIC METER
⊠	ELECTRIC TRANSFORMER
⊞	ELECTRIC VAULT
⊙	ELECTRIC LIGHT POLE
⊕	SANITARY SEWER MANHOLE
⊞	TELEPHONE PEDESTAL
⊞	FIRE HYDRANT
— — — — —	CHAIN LINK FENCE
— — — — —	UNDERGROUND SANITARY SEWER
— — — — —	UNDERGROUND CABLE TV LINE
— — — — —	UNDERGROUND ELECTRIC LINE
— — — — —	UNDERGROUND GAS LINE
— — — — —	UNDERGROUND TELEPHONE LINE
— — — — —	UNDERGROUND WATER LINE
— — — — —	PROPERTY LINE
— — — — —	EASEMENT
— — — — —	VARIOUS SETBACKS (MARKED AS NOTED)
— — — — —	UNDERGROUND DATA LINE (COMMUNICATION CABLE)



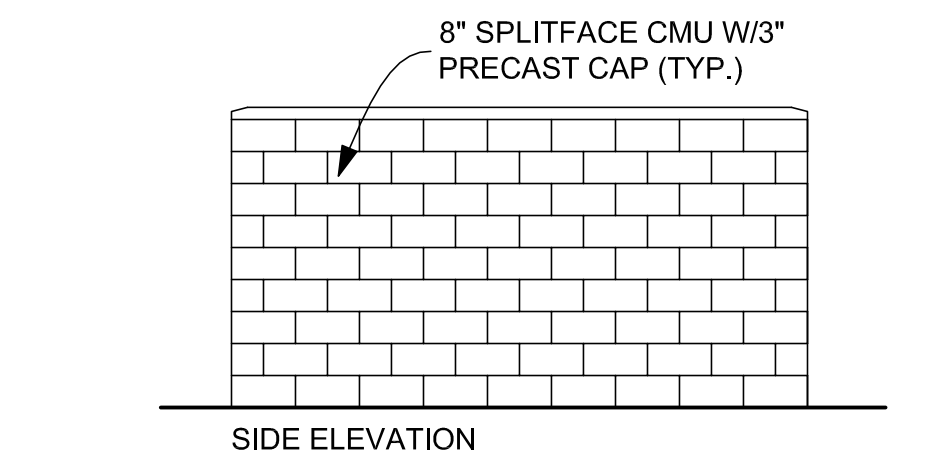
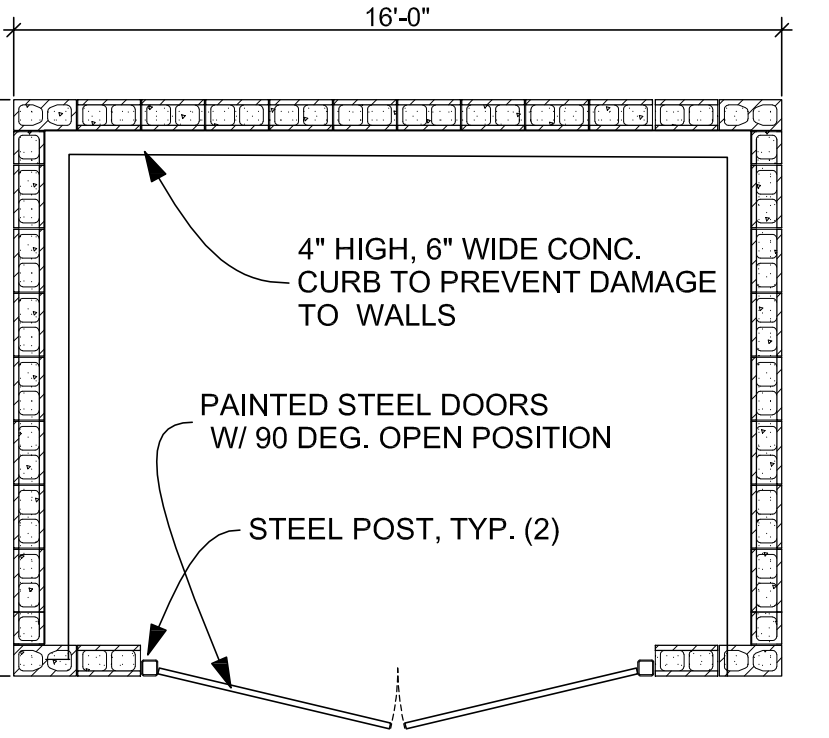
2 ADA SIGN DETAIL
3/4" = 1'-0"



3 BICYCLE RACK
3/4" = 1'-0"



4 TRASH ENCLOSURE
1/4" = 1'-0"



NOTE:
2 STANDARD ACCESSIBLE SIGNS.

NOTES:
1. DO NOT SCALE DRAWINGS.
2. SEE SITE PLAN FOR LOCATION.



T-BONE
CONSTRUCTION INC.
GENERAL CONTRACTOR
Design Development
Consultants @
1310 FORD STREET
COLORADO SPRINGS, CO 80915
(719) 570-1456

Revisions	DESCRIPTION	DATE
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**CO. CTR. METRO. DISTRICT
ADMINISTRATION BUILDING**

D2-0321

9686 FLAGSTONE STREET
COLORADO SPRINGS, CO 80916

DP

DATE 03-04-2023
CHECKED -
DRAWN BY -

ARCHITECTURAL
SITE PLAN

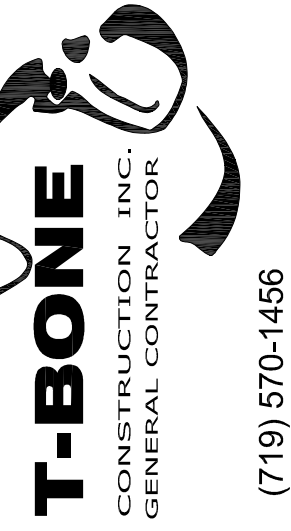
PCD FILE #PPR-21-051

DP-2

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1 FLOOR PLAN
1/4" = 1'-0"



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GENERAL CONTRACTOR
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Design Development
Consultants @

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**CO. CTR. METRO. DISTRICT
ADMINISTRATION BUILDING**

9686 FLAGSTONE STREET
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D2-0321

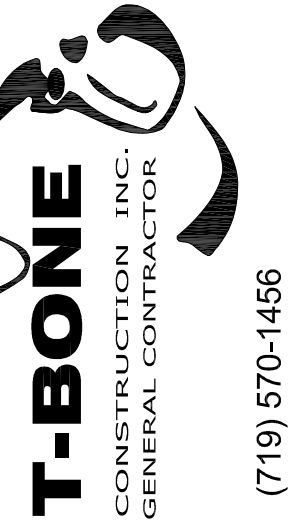
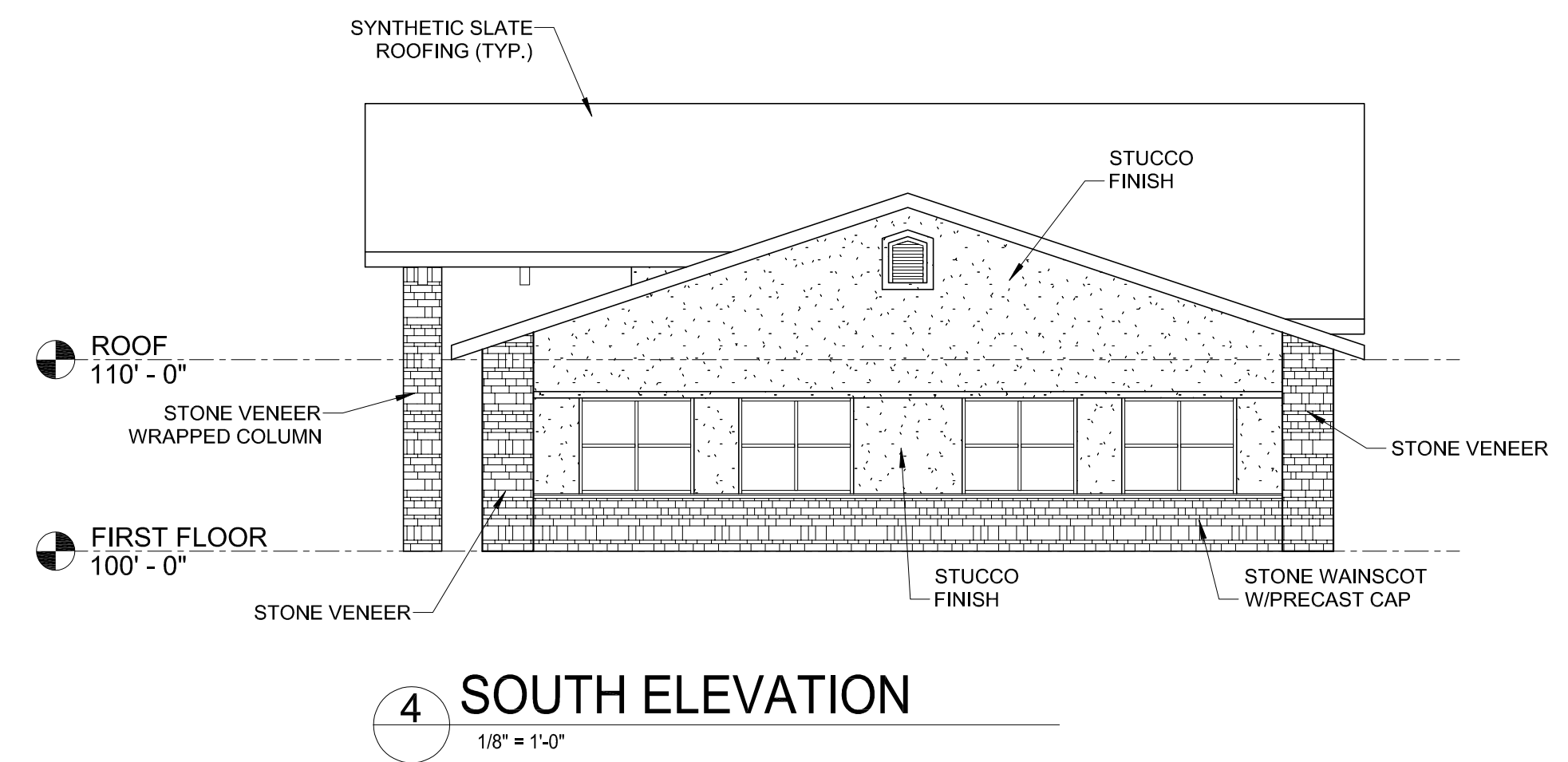
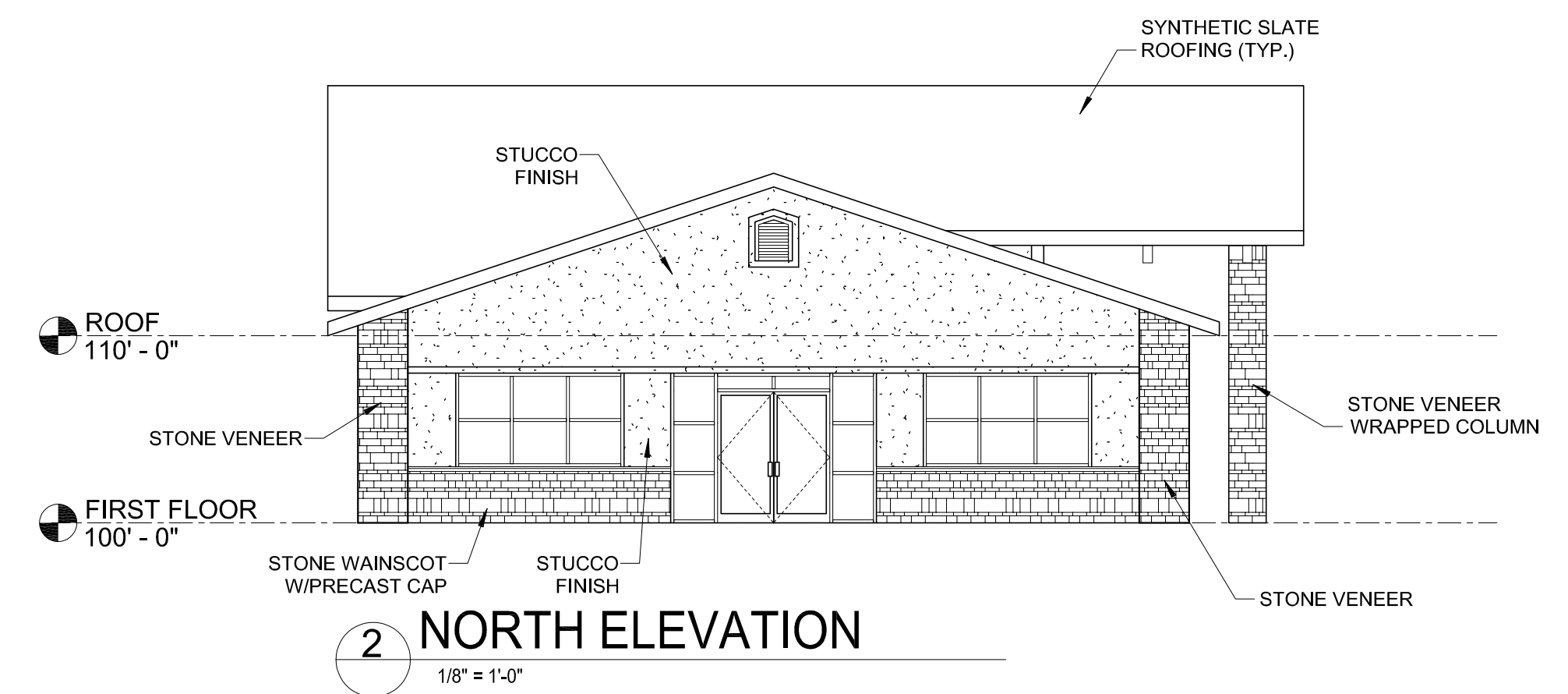
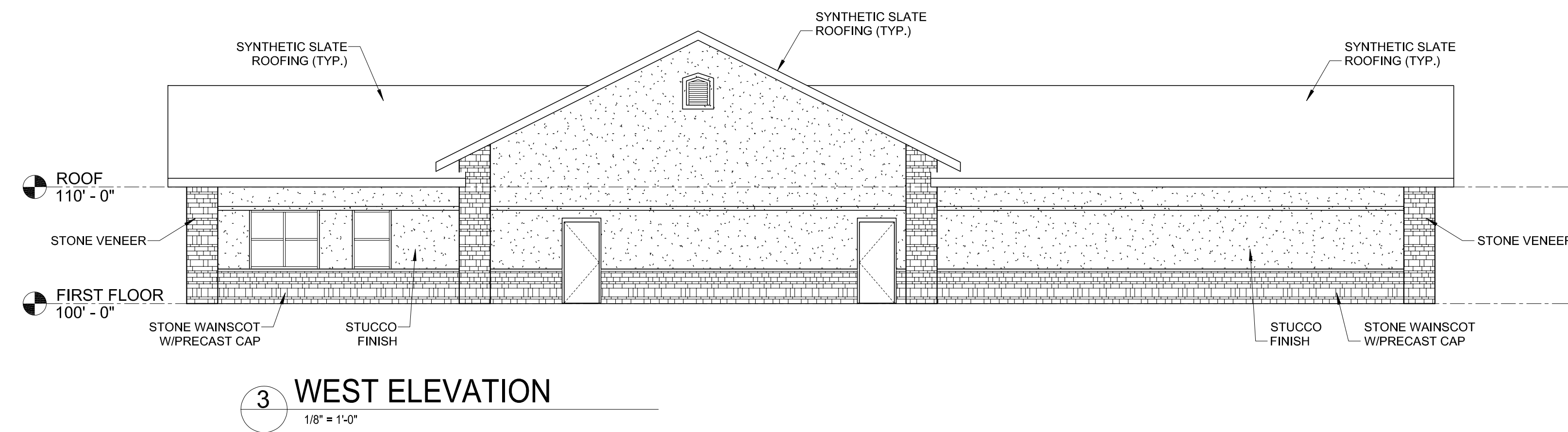
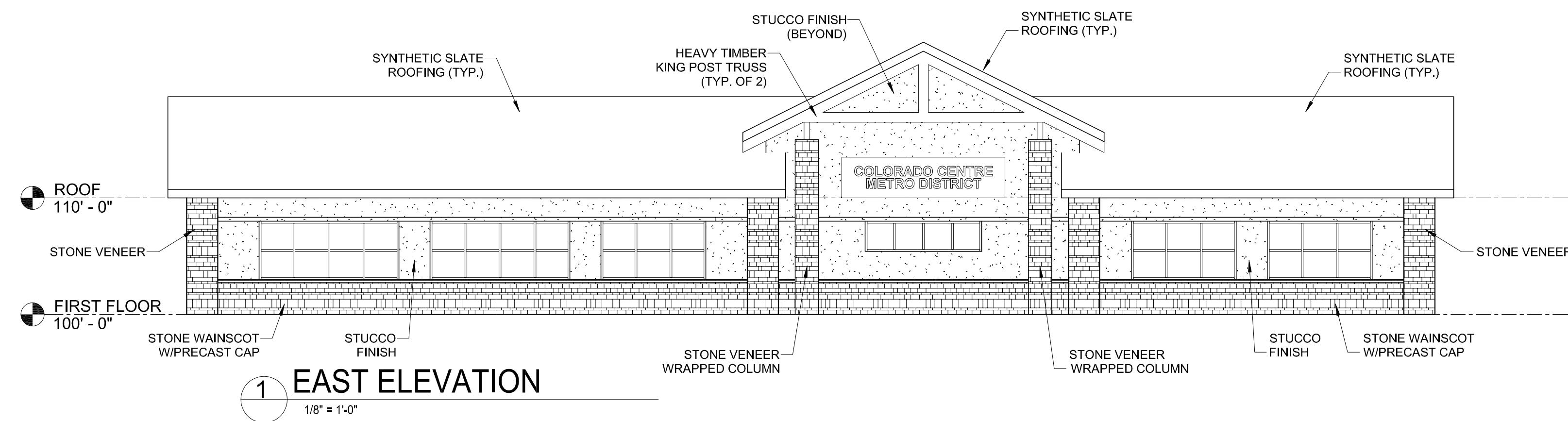
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DATE 03-04-2023
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FLOOR PLAN

PCD FILE #PPR-21-051

DP-3



T-BONE
CONSTRUCTION, INC.
GENERAL CONTRACTOR
Design Development
Consultants @
1310 FORD STREET
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(719) 570-1456

Revisions	DESCRIPTION	DATE
#		

**CO. CTR. METRO. DISTRICT
ADMINISTRATION BUILDING**
9686 FLAGSTONE STREET
COLORADO SPRINGS, CO 80916

D2-0321

DP

DATE	03-04-2023
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EXTERIOR
ELEVATIONS

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DP-4

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