

# COLORADO CENTRE METROPOLITAN DISTRICT ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN

PCD File No. PPR-21-51

## GRADING & EROSION CONTROL PLAN

### LEGEND

	EX PROPERTY LINE
	EX RIGHT-OF-WAY
	EX BARBED WIRE FENCE
	EX SPLIT RAIL FENCE
	EX CHAIN LINK FENCE
	EX CONTOURS-MAJOR
	EX CONTOURS-MINOR
	EX FIRE HYDRANT
	EX WATER LINE
	EX SANITARY SEWER LINE
	EX FIRE HYDRANT
	CONTOURS-MAJOR
	CONTOURS-MINOR
	EROSION CONTROL SILT FENCE (INITIAL)
	EX VEGETATION (SIZE VARIES)
	PARKING LOT ISLAND LIGHT POLE
	VEHICLE TRACKING PAD (INITIAL)
	CHECK DAM (PERMANENT)
	STAGING AREA (INITIAL)
	CONCRETE WASHOUT (INITIAL)
	RIPRAP (FINAL)
	AREA OF CUT
	AREA OF FILL
	PRE-DEVELOPED FLOW DIRECTION
	DEVELOPED FLOW DIRECTION

### SHEET INDEX

SHEET NUMBER	DESCRIPTION
	COVER SHEET
CIVIL	
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### SIGNATURE BLOCKS

ENGINEER OF RECORD:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

RYAN M. MANGINO, PE #43304

DATE

OWNER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY, THROUGH APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

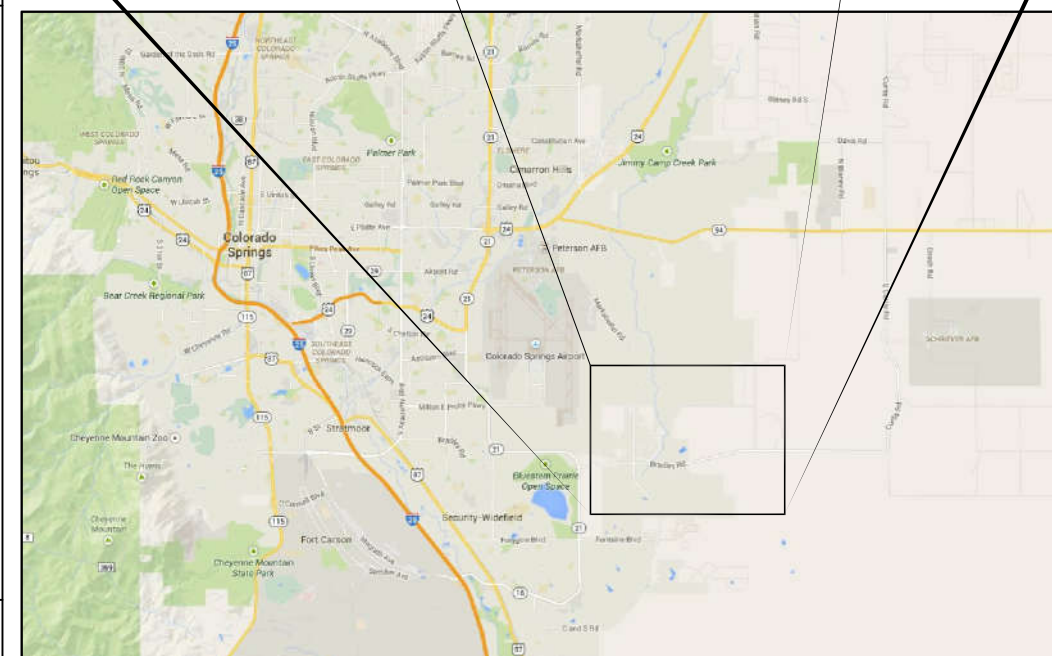
IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, P.E.  
COUNTY ENGINEER / ECM ADMINISTRATOR

DATE



**VICINITY MAP**  
N.T.S.



**LOCATION MAP**  
N.T.S.

### PRE-EXCAVATION CHECKLIST

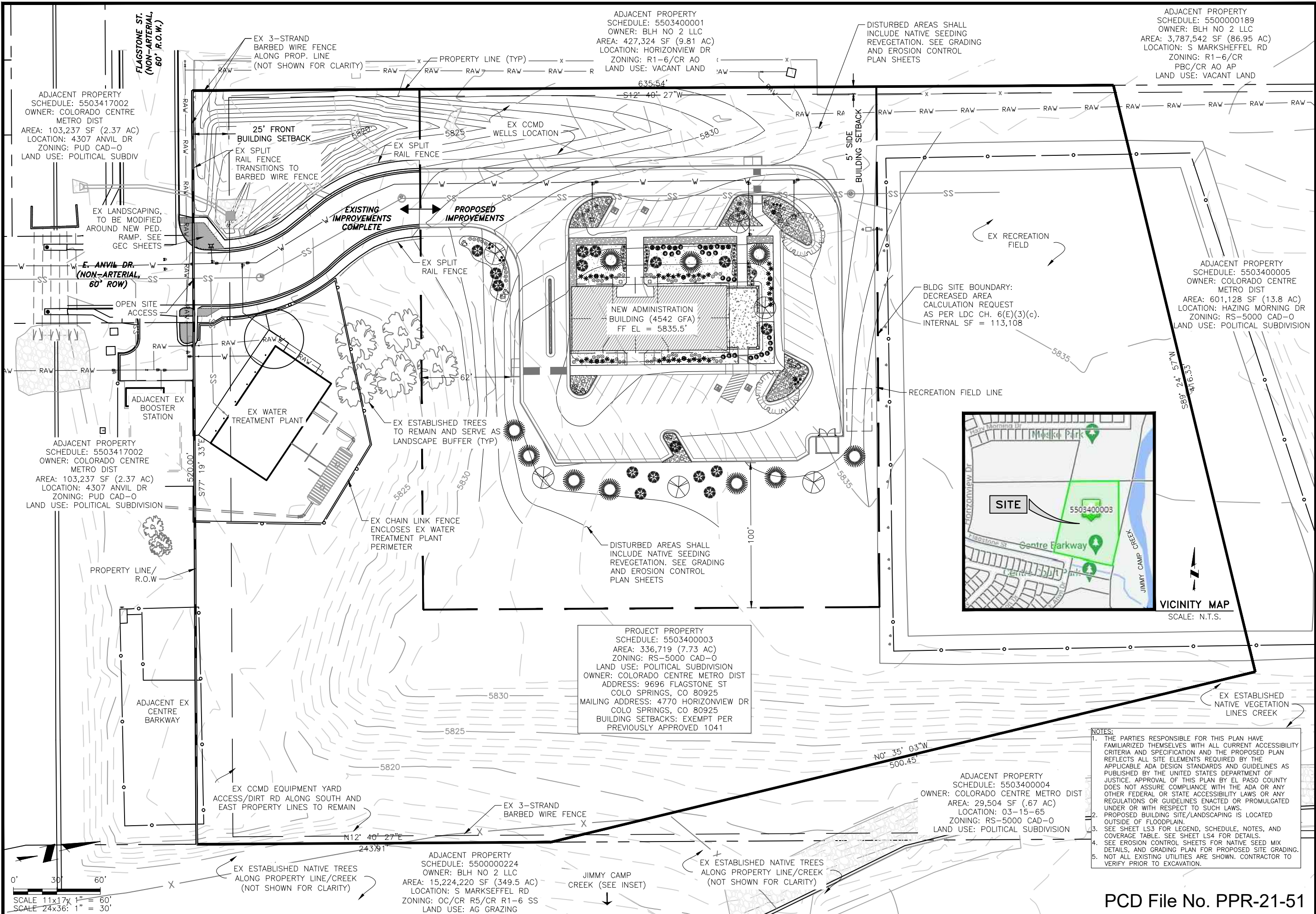
PRE-EXCAVATION CHECKLIST	
<input type="checkbox"/>	Gas and Other Utility Lines Shown on Construction Plans
<input type="checkbox"/>	Utility Notification Center of Colorado (UNCC)—Call at Least Two (2) Business Days Ahead—1-800-922-1987
<input type="checkbox"/>	Utilities <u>Located &amp; Marked</u> on the Ground
<input type="checkbox"/>	Employees Briefed on Marking and Color Codes*
<input type="checkbox"/>	Employees Trained on Excavation and Safety Procedures for Natural Gas Lines
<input type="checkbox"/>	When Excavation Approaches Gas Lines, Employees Must Expose Lines by Careful Probing and Hand-Digging

COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES	
	PROPOSED EXCAVATION
	TEMPORARY SURVEY MARKINGS
	ELECTRIC
	GAS, OIL, STEAM
	COMMUNICATION, CATV
	POTABLE WATER
	IRRIGATION, RECLAIMED WATER, SLURRY LINES
	SEWER



THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF FOUNTAIN DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

2022/11/04 1:33 PM By: Alexis (Lead) \Yoder\NA\Projects\247 Colorado Centre MD\247.07 Admin Building Support\Drawings\Working\24707\_Civil\_Landscape.dwg



ADJACENT PROPERTY  
SCHEDULE: 5503400001  
OWNER: BLH NO 2 LLC  
AREA: 427,324 SF (9.81 AC)  
LOCATION: HORIZONVIEW DR  
ZONING: R1-6/CR AO  
LAND USE: VACANT LAND

ADJACENT PROPERTY  
SCHEDULE: 5500000189  
OWNER: BLH NO 2 LLC  
AREA: 3,787,542 SF (86.95 AC)  
LOCATION: S MARKSHEFFEL RD  
ZONING: R1-6/CR  
PBC/CR AO AP  
LAND USE: VACANT LAND

ADJACENT PROPERTY  
SCHEDULE: 5503417002  
OWNER: COLORADO CENTRE  
METRO DIST  
AREA: 103,237 SF (2.37 AC)  
LOCATION: 4307 ANVIL DR  
ZONING: PUD CAD-0  
LAND USE: POLITICAL SUBDIV

ADJACENT PROPERTY  
SCHEDULE: 5503417002  
OWNER: COLORADO CENTRE  
METRO DIST  
AREA: 103,237 SF (2.37 AC)  
LOCATION: 4307 ANVIL DR  
ZONING: PUD CAD-0  
LAND USE: POLITICAL SUBDIVISION

PROJECT PROPERTY  
SCHEDULE: 5503400003  
AREA: 336,719 (7.73 AC)  
ZONING: RS-5000 CAD-0  
LAND USE: POLITICAL SUBDIVISION  
OWNER: COLORADO CENTRE METRO DIST  
ADDRESS: 9696 FLAGSTONE ST  
COLO SPRINGS, CO 80925  
MAILING ADDRESS: 4770 HORIZONVIEW DR  
COLO SPRINGS, CO 80925  
BUILDING SETBACKS: EXEMPT PER  
PREVIOUSLY APPROVED 1041

ADJACENT PROPERTY  
SCHEDULE: 5503400004  
OWNER: COLORADO CENTRE METRO DIST  
AREA: 29,504 SF (.67 AC)  
LOCATION: 03-15-65  
ZONING: RS-5000 CAD-0  
LAND USE: POLITICAL SUBDIVISION

ADJACENT PROPERTY  
SCHEDULE: 5500000224  
OWNER: BLH NO 2 LLC  
AREA: 15,224,220 SF (349.5 AC)  
LOCATION: S MARKSHEFFEL RD  
ZONING: OC/CR R5/CR R1-6 SS  
LAND USE: AG GRAZING

- NOTES:
1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
  2. PROPOSED BUILDING SITE/LANDSCAPING IS LOCATED OUTSIDE OF FLOODPLAIN.
  3. SEE SHEET LS3 FOR LEGEND, SCHEDULE, NOTES, AND COVERAGE TABLE. SEE SHEET LS4 FOR DETAILS.
  4. SEE EROSION CONTROL SHEETS FOR NATIVE SEED MIX DETAILS, AND GRADING PLAN FOR PROPOSED SITE GRADING.
  5. NOT ALL EXISTING UTILITIES ARE SHOWN. CONTRACTOR TO VERIFY PRIOR TO EXCAVATION.

**JDS-HYDRO** CONSULTANTS, INC.  
5640 TECH CENTER DR, SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
(719) 227-0072

**COLORADO CENTRE METROPOLITAN DISTRICT**  
ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN  
OVERALL ALTERNATE LANDSCAPE PLAN

NO.	DESCRIPTION	BY	DATE
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100% DESIGN

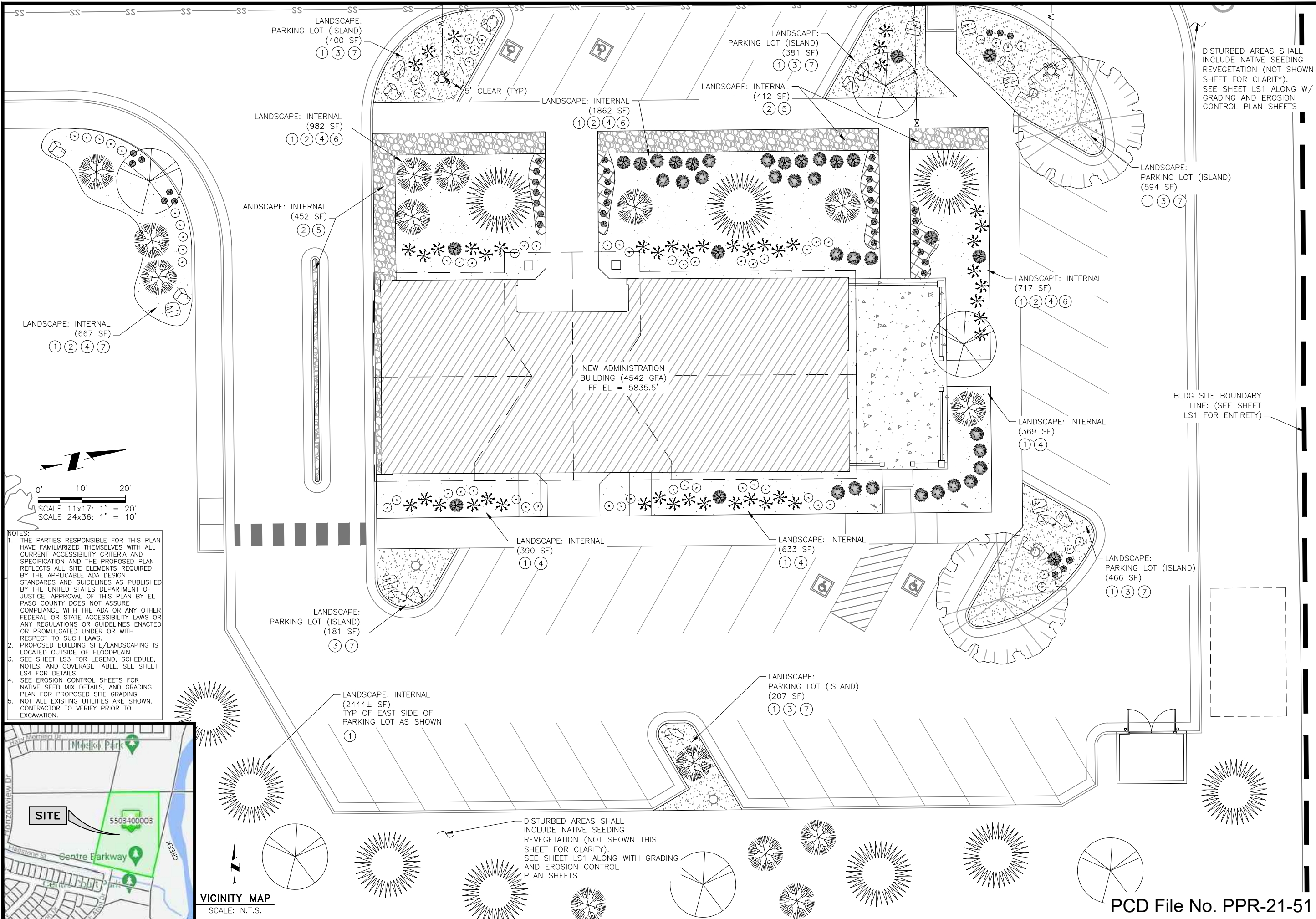
Project No.: 247.07  
Date: 11/03/22  
Design: GGM  
Drawn: GGM  
Check: RMM

PCD File No. PPR-21-51

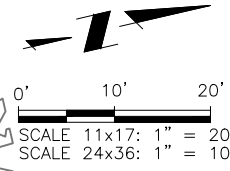
LS1  
SHEET 1 OF



2022/11/04 1:33 PM By: Alexis (Lead) Yoder NA\Projects\247 Colorado Centre MD\247.07 Admin Building Support\Drawings\Working\24707\_Civil\_Landscape.dwg



DISTURBED AREAS SHALL INCLUDE NATIVE SEEDING REVEGETATION (NOT SHOWN SHEET FOR CLARITY). SEE SHEET LS1 ALONG W/ GRADING AND EROSION CONTROL PLAN SHEETS



- NOTES:**
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**COLORADO CENTRE METROPOLITAN DISTRICT**  
ADMINISTRATIVE BUILDING – SITE DEVELOPMENT PLAN  
ALTERNATE LANDSCAPE PLAN

NO.	DESCRIPTION	BY	APP.	DATE
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100% DESIGN

Project No.: 247.07  
Date: 11/03/22  
Design: GGM  
Drawn: GGM  
Check: RMM

LS2  
SHEET 2 OF

PCD File No. PPR-21-51

**LEGEND**

	EX PROPERTY LINE		5900	CONTOURS--MAJOR
	EX RIGHT-OF-WAY			CONTOURS--MINOR
	EX BARBED WIRE FENCE			EROSION CONTROL SILT FENCE (INITIAL)
	EX SPLIT RAIL FENCE			VEHICLE TRACKING PAD (INITIAL)
	EX CHAIN LINK FENCE			STAGING AREA (INITIAL)
	EX CONTOURS--MAJOR			CONCRETE WASHOUT (INITIAL)
	EX CONTOURS--MINOR			RIPRAP (FINAL)
	EX FIRE HYDRANT			PRE--DEVELOPED FLOW DIRECTION
	EX WATER LINE			DEVELOPED FLOW DIRECTION
	EX SANITARY SEWER LINE			CHECK DAM
	EX RAW WATER LINE			
	EX VEGETATION (SIZE VARIES)			
	PARKING LOT ISLAND LIGHT POLE			

**LANDSCAPING NOTES:**

- PLANT QUANTITY AND SUBSTITUTION:** IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT TABLE AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLANTING PLAN SHALL GOVERN. THE MINIMUM ACCEPTABLE SIZES OF PLANTS MEASURED BEFORE PRUNING WITH BRANCHES IN NORMAL POSITION SHALL CONFORM TO THE PLANTING SIZES AS SPECIFIED IN THE SCHEDULE. ANY SUBSTITUTION OF PLANT SIZE OR SPECIES MUST BE SUBMITTED TO THE ENGINEER IN WRITING FOR APPROVAL PRIOR TO INSTALLATION.
  - ACCEPTABLE PLANT MATERIAL:** ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET BY THE "COLORADO NURSERY ASSOCIATION," AND THE "AMERICAN STANDARD OF NURSERY STOCK." ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES, HEALTHY, FREE OF DISEASE, INSECT PESTS, MECHANICAL INJURIES, AND HAVE ADEQUATE ROOT SYSTEMS. ALL PLANTINGS SHALL BE INSTALLED PER PLANTING DETAILS. ALL PLANT MATERIAL SHALL BE INSPECTED BY THE ENGINEER OR OWNER PRIOR TO INSTALLATION. STAKING/CONTRACTOR INSPECTION NOTE: ALL PLANTING LOCATIONS TO BE STAKED AND INSPECTED BY CONTRACTOR PRIOR TO INSTALLATION. ALL PLANTS TO BE INSPECTED AT NURSERY LOCATION PRIOR TO TRANSPORTING TO THE SITE.
  - SITE DISTURBANCE:** ALL AREAS OF SITE DISTURBANCE DUE TO CONSTRUCTION SHALL BE RENOVATED OR PLANTED PER THIS PLAN UNLESS OTHERWISE NOTED. SITE-SPECIFIC LANDSCAPING SHALL AT A MINIMUM, INCLUDE REVEGETATION OF DISTURBED AREAS WITH MATERIALS INDIGENOUS TO THE SITE OR OTHERWISE ADAPTABLE.
  - SOIL AMENDMENTS:** CONTRACTOR SHALL AMENDED PLANTING AREAS AS FOLLOWS:  
 -ADD MINIMUM OF 3 CUBIC YARDS OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST PER 1000 S.F.  
 -ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.  
 -3 CUBIC YARDS PER 1000 S.F. OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST.  
 -ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
  - SEEDED TURF:** ALL SEEDED OR HYDROMULCHED AREAS SHALL DEMONSTRATE 95% GERMINATION PRIOR TO FINAL ACCEPTANCE.
  - IRRIGATION:** OWNER TO IRRIGATE FOR ONE TO TWO GROWING SEASONS UNTIL ESTABLISHED AND ON AN AS-NEEDED BASIS THEREAFTER. DISTURBED AREA SEED/GRASS MIXTURE MUST BE IRRIGATED BY OWNER UNTIL ESTABLISHED AND IN TIMES OF DROUGHT. THE ON-GOING MAINTENANCE OF THE NATIVE GRASS IS THE RESPONSIBILITY OF OWNER.
  - INORGANIC MULCH AND FABRIC:** ALL PLANTINGS TO RECEIVE 3-INCH DEPTH OF INORGANIC MULCH. MULCH RINGS TO BE 15-INCH DIA. FOR (5) GALLON SHRUBS/GRASSES (SEE DRAWING DETAILS). HIGH QUALITY COMMERCIAL-GRADE (SPUN-BONDED POLYPROPYLENE OR EQUAL) LANDSCAPING FABRIC SHALL BE APPLIED UNDER ALL ROCK/MULCH BASES.
  - STEEL EDGE:** ALL EDGER SHALL BE ACME 4" PERFORATED STEEL EDGER "SELF COLORING" 14 GAUGE OR APPROVED EQUAL.
  - APPROVAL:** ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - FINAL TREE AND SHRUB LOCATIONS:** ALL TREE LOCATIONS SHALL BE STAKED FOR APPROVAL BY OWNER REPRESENTATIVE/ENGINEER PRIOR TO PLANTING. SHRUBS SHALL BE PLACED IN THEIR LOCATIONS PER THIS PLAN AND APPROVED BY OWNER REPRESENTATIVE/ENGINEER. THE FINAL LOCATION OF TREES TO BE PLANTED MAY REQUIRE ADJUSTMENT BASED ON APPROVAL OF THE FINAL UTILITIES PLANS AND ANY ASSOCIATED FINAL EASEMENTS LOCATIONS.
  - COMPLIANCE WITH PLANS:** THE COMPLETED LANDSCAPING SHALL COMPLY WITH THE APPROVED LANDSCAPE PLAN AND SHALL INCLUDE THE QUANTITIES, LOCATIONS, SPECIES AND SIZES OF PLANTS AND OTHER LANDSCAPE MATERIALS AS REPRESENTED ON THE APPROVED LANDSCAPE PLAN. SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN 6 SQUARE INCHES AFTER GERMINATION.
  - MAINTENANCE:**
    - THE OWNER IS RESPONSIBLE FOR ALL REGULAR AND NORMAL MAINTENANCE OF REQUIRED LANDSCAPING INCLUDING WEEDING, IRRIGATION, FERTILIZING, PRUNING AND MOWING.
    - REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL OCCUR WITHIN 6 MONTHS FROM WHEN THE PLANT MATERIAL DIED, OR WHEN THE INSPECTION DETERMINED THE PLANT MATERIAL WAS DEAD OR DAMAGED. REPLACEMENT SHALL BE OF THE SAME OR SIMILAR TYPE AS ORIGINALLY APPROVED. AN ALTERNATIVE TYPE OF SPECIES SHALL REQUIRE APPROVAL BY THE PCD DIRECTOR.
    - MAINTENANCE INSPECTIONS MAY BE PERFORMED PERIODICALLY. FAILURE TO MAINTAIN THE LANDSCAPING IN COMPLIANCE WITH THE APPROVAL IS CONSIDERED A ZONING VIOLATION.
- \* BY APPROVING THIS PLAN, THE DIRECTOR IS APPROVING AN ALTERNATE LANDSCAPING DESIGN AS IT RELATES AND CONFORMS TO HOMELAND SECURITY STANDARDS (AS DESCRIBED IN THE LETTER OF INTENT), AND PROMOTES WATER CONSERVATION WHILE MEETING THE PURPOSES DESCRIBED IN THE LAND DEVELOPMENT CODE.

LANDSCAPE SCHEDULE - HARDSCAPE/MULCH	
	3/8" GRAVEL MULCH: WASHED RIVER ROCK OR APPROVED EQUAL
	BREEZE/MINUS MULCH: PIONEER GRANITE OR APPROVED EQUAL
	DECORATIVE ROCK MULCH: 3/4" - 1-1/2" MIX PIONEER GRANITE OR APPROVED EQUAL
	SHREDDED WOOD MULCH: BROWN
	DECORATIVE ROCK BOULDERS: PIONEER GRAY GRANITE OR APPROVED EQUAL

- TYP PLANTING. REF: SHEET LS4
- STEEL EDGE, TYP FOR SEPARATION BETWEEN SEED AND MULCH AREAS (GRAVEL, BREEZE, ROCK, WOOD). REF: DETAIL F/LS4
- GRAVEL MULCH @ 4" DEPTH MIN
- BREEZE/MINUS MULCH @ 4" DEPTH MIN
- DECORATIVE ROCK MULCH @ 4" DEPTH MIN
- SHREDDED WOOD MULCH @ 3" DEPTH MIN
- DECORATIVE ROCK BOULDERS. REF: DETAIL H/LS4

ALTERNATE LANDSCAPING COVERAGES:	
SITE AREA (REDUCED BOUNDARY)	113,108
<b>ROADWAY FRONTAGE</b>	
FLAGSTONE ST, NON-ARTERIAL	N/A (SEE ALT. LANDSCAPE REQUEST PER PCD REQUIREMENT/ALLOWANCE)
-DEPTH REQUIRED/PROVIDED	15'/0
-TREES REQUIRED/PROVIDED	1 PER 15'/0
<b>PARKING LOT</b>	
REQUIRED TREES PER 15 SPACES REQUIRED/PROVIDED	3/3
ISLAND QUANTITY PER 15 SPACES REQUIRED/PROVIDED	3/6
SCREENING, EAST (DIFFERING LAND USE) REQUIRED/PROVIDED	2/3 MIN./3/3
<b>BUFFER &amp; SCREEN AREAS (PROPERTY LINES)</b>	
-DEPTH REQUIRED/PROVIDED	15'/0
-TREES REQUIRED/PROVIDED	1 PER 15'/0
<b>INTERNAL</b>	
% MINIMUM INTERNAL AREA REQUIRED	5
INTERNAL AREA (REDUCED) REQUIRED/PROVIDED (PLANTINGS)	5655/5655
INTERNAL AREA (REDUCED) REQUIRED/PROVIDED (PLANTINGS & HARDSCAPE)	5655/11157
MINIMUM QUANTITY OF TREES REQUIRED/PROVIDED	11/34
<b>LIVE GROUND COVER WITHIN APPLICABLE REQ. LANDSCAPE AREAS</b>	
% GROUND COVER REQUIRED/PROVIDED (INCL. SEED MIX)	75/100+
<b>OTHER</b>	
ZONING DISTRICT BOUNDARY TREES	N/A (SEE ALT. LANDSCAPE REQUEST)
LANDSCAPING BETWEEN LOT AND CURB	N/A (SEE ALT. LANDSCAPE REQUEST)
<b>MISCELLANEOUS</b>	
% GROUND COVER REQUIRED/PROVIDED (ABOVE OVER-RIDES)	50/100+

LANDSCAPE SCHEDULE - XERIC/LOW WATER VEGETATION						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	MATURE SIZE	PLANTING SIZE (MIN)	COMMENTS
	GRASS					
	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	42	2'-0" x 1'-6"	#3 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING LATE MARCH
	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER FEATHER REED	63	4'/6"-0" x 2'-0"	#5 CONT.	CUT CLUMPS OF GRASS NEAR THE GROUND LATE WINTER PRIOR TO NEW SHOOTS APPEARING
	SHRUB					
	RHUS TRILOBATA	SKUNKBUSH SUMAC	17	4'-0" x 3'-0"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING LATE WINTER
	POTENTILLA FRUTICOSA	GOLDSTAR POTENTILLA	46	2'-6" x 3'-0"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING EARLY SPRING
	GROUND COVER					
	RHUS TRILOBATA (R.AROMATICA 'GRO-LOW')	GROW-LOW FRAGRANT SUMAC	23	4'-0" x 3'-0"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING EARLY SPRING
	EVERGREEN TREE					
	PINUS EDULIS	PINON PINE	10	25'-0" x 15'-0"	4' MIN. HEIGHT	MUST ARRIVE BALLED AND BURLAPPED. PRUNE TO SHAPE TREE AT EARLY GROWTH
	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	16	15'-0" x 8'-0"	4' MIN. HEIGHT	MUST ARRIVE BALLED AND BURLAPPED. PRUNE OUT SPORE HORNS WHEN SEEN IN SPRING
	DECIDUOUS ORNAMENTAL TREE					
	ROBINIA NEOMEXICANA	NEW MEXICO LOCUST	6	15'/25'-0" x 10'/15'-0"	1" CAL	MUST ARRIVE BALLED AND BURLAPPED. CALIPER SHALL BE MEASURED 6" ABOVE GROUND
	GLEDITSIA TRIACANTHOS VAR. INERMIS	IMPERIAL HONEYLOCUST	2	35'-0" x 30'-0"	1.5" CAL	MUST ARRIVE BALLED AND BURLAPPED. PRUNING BEST DONE IN LATE WINTER TO EARLY SPRING

**JDS-HYDRO CONSULTANTS, INC.**  
 5640 TECH CENTER DR., SUITE 100  
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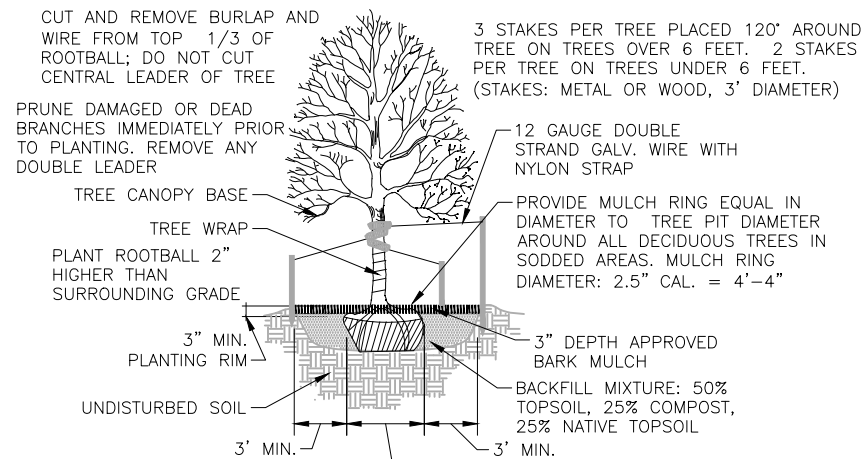
**COLORADO CENTRE METROPOLITAN DISTRICT**  
 ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN  
 LANDSCAPING SCHEDULES/NOTES

NO.	DESCRIPTION	BY	DATE
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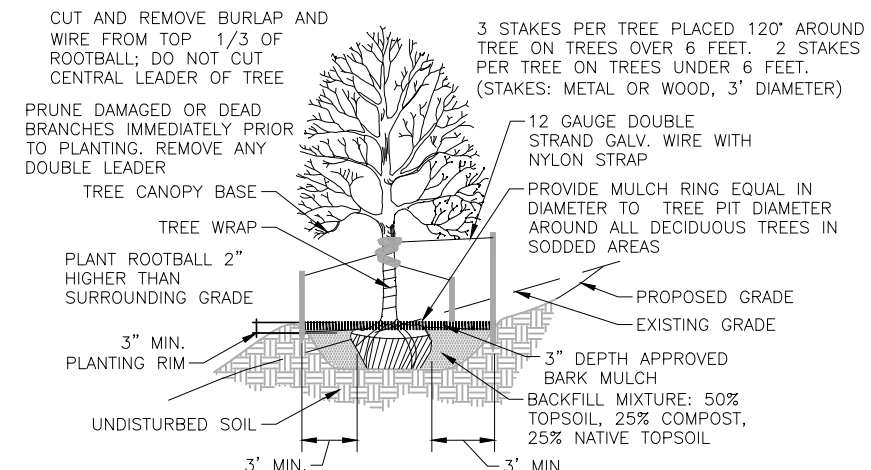
**100% DESIGN**

Project No.: 247.07  
 Date: 11/03/22  
 Design: GGM  
 Drawn: RMM  
 Check: RMM

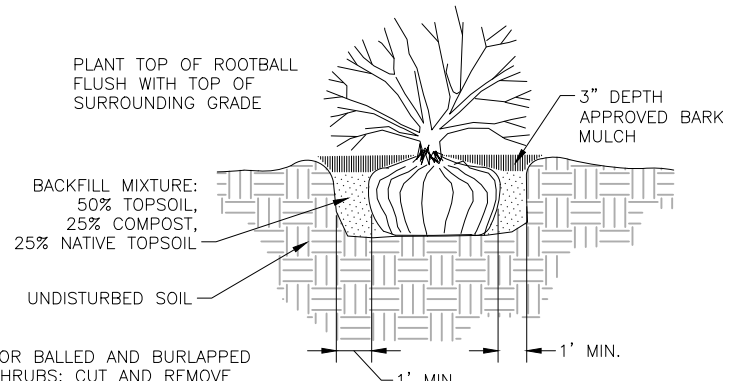
**LS3**  
 SHEET 3 OF



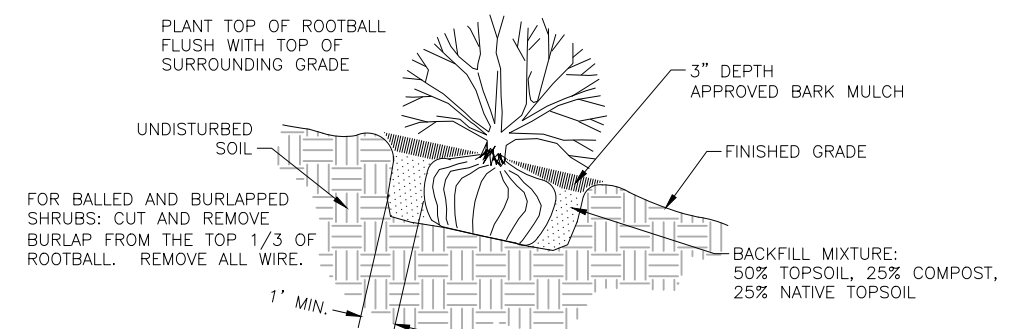
**A TREE PLANTING**  
LS4 SCALE: N.T.S.



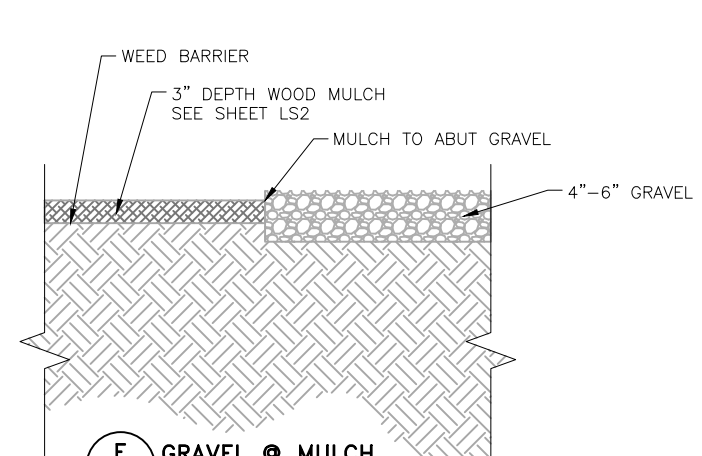
**B TREE PLANTING ON SLOPES**  
LS4 SCALE: N.T.S.



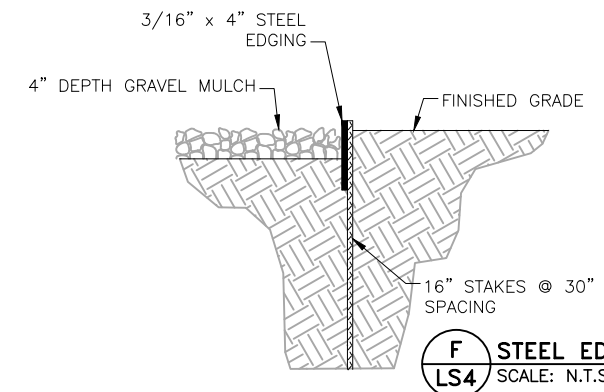
**C SHRUB/DECORATIVE GRASS PLANTING**  
LS4 SCALE: N.T.S.



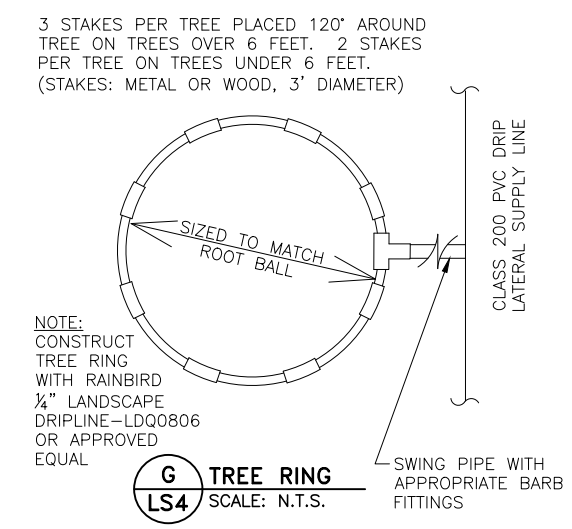
**D SHRUB/DECORATIVE GRASS PLACEMENT ON SLOPES**  
LS4 SCALE: N.T.S.



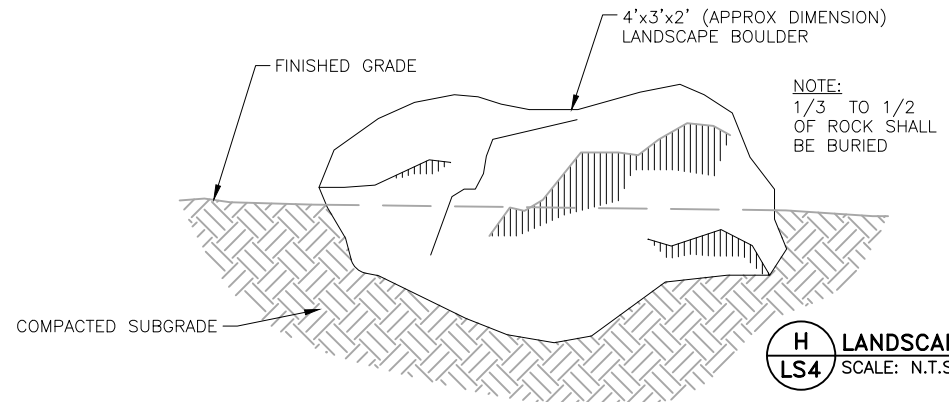
**E GRAVEL @ MULCH**  
LS4 SCALE: N.T.S.



**F STEEL EDGE**  
LS4 SCALE: N.T.S.



**G TREE RING**  
LS4 SCALE: N.T.S.



**H LANDSCAPE BOULDER**  
LS4 SCALE: N.T.S.

NOTE:  
1. SEE SHEET LS3 FOR SCHEDULES AND MIN. MATERIAL DEPTH STANDARDS

2022/11/04 1:34 PM By: Alexis (Lex) Yoder N:\Projects\247 Colorado Centre MD\247.07 Admin Building Support\Drawings\Working\24707\_Civil\_Landscape.dwg

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DISCLAIMER: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO JDS-HYDRO CONSULTANTS, INC. JDS-HYDRO ASSUMES NO LIABILITY FOR UNAUTHORIZED CHANGES AND/OR REVISIONS MADE TO PLANS.

COLORADO CENTRE METROPOLITAN DISTRICT  
ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN  
LANDSCAPING DETAILS

NO.	DESCRIPTION	BY	APP.	DATE
1				
2				
3				
4				
5				
6				
7				

100% DESIGN

Project No.: 247.07  
Date: 11/03/22  
Design: GGM  
Drawn: GGM  
Check: RMM

LS4  
SHEET 4 OF

PCD File No. PPR-21-51