

**EROSION CONTROL NOTES:**

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE, AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND-DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND-DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGE TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK, OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS, AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, AND WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM, OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION, THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE WAS PREPARED BY EARTH ENGINEERING CONSULTANTS, LLC (DATED 09/08/14).
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP) OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATIONS MATERIALS, CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
 WATER QUALITY CONTROL DIVISION  
 WQCD - PERMITS  
 4300 CHERRY CREEK DRIVE SOUTH  
 DENVER, CO 80246-1530  
 ATTN: PERMITS UNIT

add: and shall be considered a part of these plans

EPC STORMWATER REVIEW COMMENTS ARE SHOWN IN ORANGE BOXES WITH BLACK TEXT

**TIMING, CONSTRUCTION STAGING, AND SEQUENCING:**

EXPECTED START DATE: FALL 2021  
 INSTALL TEMPORARY EROSION CONTROL - 2 DAYS  
 - PERIMETER SILT FENCING  
 - VEHICLE TRACKING CONTROL PAD  
 - CONCRETE WASHOUT  
 - CURB SOCK  
 ROUGH GRADING - 5 DAYS  
 INSTALL FINAL SITE IMPROVEMENTS - 10 MONTHS  
 REMOVE TEMPORARY EROSION CONTROL - 5 DAYS

**MINIMUM BEST MANAGEMENT PRACTICES ELEMENTS:**

- STEP 1- EROSION AND SEDIMENT CONTROL  
 INSTALL SEDIMENT TRAPPING DEVICES (PERIMETER CONTROLS) PRIOR TO THE START OF CONSTRUCTION.  
 STEP 2- SPILL PREVENTION AND RESPONSE  
 STEP 3- MATERIAL MANAGEMENT  
 MATERIAL AND EQUIPMENT STORAGE AREAS SHALL BE SECURE AND CONTAINED TO PREVENT DISCHARGE OF ANY MATERIAL IN RUNOFF. WASTE SHALL BE CONTAINED AND DISPOSED OF PROPERLY. MAINTAIN BMP'S DURING BUILDING AND UTILITY CONSTRUCTION.  
 STEP 4- INSPECTION AND MAINTENANCE (SEE EROSION CONTROL NOTES)  
 STEP 5- INSTALL FINAL STABILIZATION - PAVEMENT, LANDSCAPING, EROSION CONTROL BLANKETS, AND SEEDING  
 STEP 6- REMOVE TEMPORARY CONTROLS - SILT FENCING, CURB SOCK AFTER PERMANENT FEATURES ARE INSTALLED

**FINAL STABILIZATION AND LONG-TERM STORMWATER MANAGEMENT:**

FINAL STABILIZATION MEASURES INCLUDE PAVEMENT, PARTIAL LANDSCAPE, AND REVEGETATION

**EARTHWORK SUMMARY:**

PROPOSED SITE:  
 CUT - 1,945 CY  
 FILL - 507 (\*1.15) = 583 CY  
 NET - 1,362 CY FILL

DISTURBED AREA - 150,421 SF, 3.45 AC

**EROSION CONTROL FACILITIES:**

SILT FENCE (SF) - 1,197 LF  
 VEHICLE TRACKING PAD (VT) - 1  
 CURB SOCK LOCATIONS - 1  
 ROCK CHECK DAMS - 5  
 CONCRETE WASHOUT - 1

ALL AREAS DISTURBED BY EARTHWORK SHALL BE REVEGETATED BY DRILL SEEDING. SEED MIX FOR:

TYPE: AIR FOOHILLS MIX  
 COMMON NAME (TYPE & VARIETY)

ANNUAL RYEGRASS

SLENDER WHEATGRASS

OATS

PERENNIAL RYEGRASS

CRESTED WHEATGRASS

MOUNTAIN BROME

HARD FESCUE

CANADA BLUEGRASS

SIDE OATS GRAMA

SWITCHGRASS

BIG BLUESTEM

BLUE GRAMA

SAND DROPSEED

TOTAL LBS PLS/ACRE

Provide a cover sheet with point of contacts, sheet index, vicinity map, etc.  
 Move the signature blocks to the cover sheet.

Submit a Financial Assurance Estimate form and complete section 1 for the earthwork, construction BMPs, and permanent pond facility.

Update the GEC plan to include the permanent full spectrum detention pond construction.

**ENGINEER OF RECORD:**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY, AND I AM NOT ASSUMING ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

RYAN M. MANGINO, PE #43304 DATE

**OWNER'S STATEMENT:**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

EL PASO COUNTY: DATE

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY, THROUGH APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JENNIFER IRVINE, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR DATE

Add PPR-21-051

EPC PLANNING TO PROVIDE

PCD File No. \_\_\_\_\_

JDS-HYDRO CONSULTANTS, INC.  
 5540 TECH CENTER DR., SUITE 100  
 COLORADO SPRINGS, COLORADO 80919  
 (719) 227-0072

COLORADO CENTRE METROPOLITAN DISTRICT  
 ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN  
 GRADING & EROSION CONTROL NOTES

NO.	DESCRIPTION	BY	DATE
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PRELIMINARY

Project No.: 247.07  
 Date: 08/16/21  
 Design: EMS  
 Drawn: GGM/SKG  
 Check: RMM

C1  
 SHEET 1 OF

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**LEGEND**

	EX PROPERTY LINE		EX CONTOURS—MINOR		EROSION CONTROL SILT FENCE (INITIAL)		STAGING AREA (INITIAL)
	EX RIGHT-OF-WAY		EX FIRE HYDRANT		FENCE (INITIAL)		CONCRETE WASHOUT (INITIAL)
	EX BARBED WIRE FENCE		EX WATER LINE		EX VEGETATION (SIZE VARIES)		RIPRAP (FINAL)
	EX SPLIT RAIL FENCE		EX SANITARY SEWER LINE		PARKING LOT ISLAND LIGHT POLE		PRE-DEVELOPED FLOW DIRECTION
	EX CHAIN LINK FENCE		EX FIRE HYDRANT		VEHICLE TRACKING PAD (INITIAL)		DEVELOPED FLOW DIRECTION
	EX CONTOURS—MAJOR		CONTOURS—MAJOR		CHECK DAM		



**JDS-HYDRO CONSULTANTS, INC.**  
5540 TECH CENTER DR., SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
(719) 227-0072

REGARDLESS OF THE CONTRACTOR'S SCALE, DIMENSIONS, ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO JDS-HYDRO. JDS-HYDRO ASSUMES NO LIABILITY FOR UNAUTHORIZED CHANGES AND/OR REVISIONS MADE TO PLANS.

**COLORADO CENTRE METROPOLITAN DISTRICT**  
ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN  
GRADING & EROSION CONTROL PLAN

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PRELIMINARY

Project No.: 247.07
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<b>C2</b>
SHEET 2 OF

include details in plan

Sheet C5.  
Are these temporary or permanent bmps?

GEC Checklist Item h. If "limits of disturbance" and "construction boundary" are the same, change to "limits of construction/disturbance" or otherwise show as separate linetypes for each on the legend and figure.

Install an east-west ped ramp at the driveway entrance.

Provide detailed ramp spot elevations and ped ramp construction details.

INSTALL 4-FOOT-WIDE CURB OPENING W/ DRAINAGE CHASE PER ECM DETAILS SD\_3-25 & SD\_3-25A. INSTALL RIPRAP CHANNEL d50+12" FROM CURB OPENING TO MAIN CHANNEL FLOWLINE

NEW ADMINISTRATION BUILDING (4546 SF)  
FF EL = 5836'

PROJECT PROPERTY  
SCHEDULE: 5503400003  
AREA: 336,719 (7.73 AC)  
ZONING: RS-5000 CAD-0  
LAND USE: POLITICAL SUBDIVISION  
OWNER: COLORADO CENTRE METRO DIST  
ADDRESS: 9696 FLAGSTONE ST  
COLO SPRINGS, CO 80925  
MAILING ADDRESS: 4770 HORIZONVIEW DR  
COLO SPRINGS, CO 80925  
BUILDING SETBACKS: EXEMPT PER PREVIOUSLY APPROVED 1041

show areas of cut/fill

Provide location and details of temporary sediment basin including riser pipe perforation sizing, number of rows, required volume, location of outlet and spillway, and tributary area to the sediment basin.

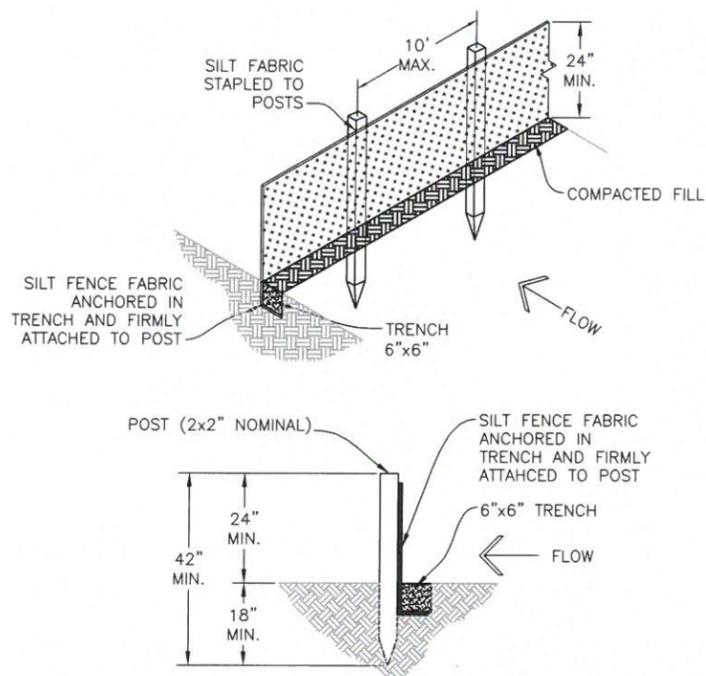
- GRADING AND EROSION CONTROL NOTES:**
- SEED AND MULCH ALL DISTURBED AREAS THAT WILL NOT HAVE IMPROVEMENTS (I.E. PAVED ROADS, RIPRAP, ETC.).
  - EROSION CONTROL BLANKETS ARE REQUIRED ON SLOPES 3:1 AND STEEPER. THERE ARE NO SLOPES ANTICIPATED TO BE 3:1 OR GREATER FOR THIS PROJECT.
  - NO BATCH PLANTS ARE PROPOSED AS A PART OF THIS PROJECT. THERE ARE NO STREAM CROSSINGS WITHIN THE LIMITS OF THIS PROJECT.
  - ACCESS POINTS AND SITE NOT ACCESSIBLE TO PUBLIC.
  - ALL BMP'S ARE TEMPORARY AND MUST BE INSTALLED PRIOR TO LAND DISTURBANCE. NO BMP'S ARE PHASED FOR THIS PROJECT.
  - PROPOSED BUILDING SITE/LANDSCAPING IS LOCATED OUTSIDE OF FLOODPLAIN.
  - J-HOOKS TO BE INSTALLED WHEREVER SILT FENCE IS INSTALLED PERPENDICULAR TO CONTOURS.
  - THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
  - EXISTING VEGETATION CONSISTS OF NATIVE GRASSES/WEEDS WITH APPROXIMATELY 75% GROUND COVER.

SCALE 11x17: 1" = 60'  
SCALE 24x36: 1" = 30'

ADJACENT PROPERTY  
SCHEDULE: 5503400004  
OWNER: COLORADO CENTRE METRO DIST  
AREA: 29,504 SF (.67 AC)  
LOCATION: 03-15-65  
ZONING: RS-5000 CAD-0  
LAND USE: POLITICAL SUBDIVISION

EPC PLANNING-TO-PROVIDE  
PCD File No. \_\_\_\_\_

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**SILT FENCE DETAIL**

**INSTALLATION REQUIREMENTS:**

- SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST AND SECURELY SEALED.
- METAL POSTS SHALL BE "STUDDED TEE" OR "U" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
- THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL POSTS USING WIRE TIES, OR TO WOOD POSTS WITH 3/4" LONG #9 HEAVY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
- WHILE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 3/4" LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 6 INCHES AND SHALL NOT EXTEND MORE THAN 3 FEET ABOVE THE ORIGINAL GROUND SURFACE.

- ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
- THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL NOT EXCEED 36 INCHES. HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.

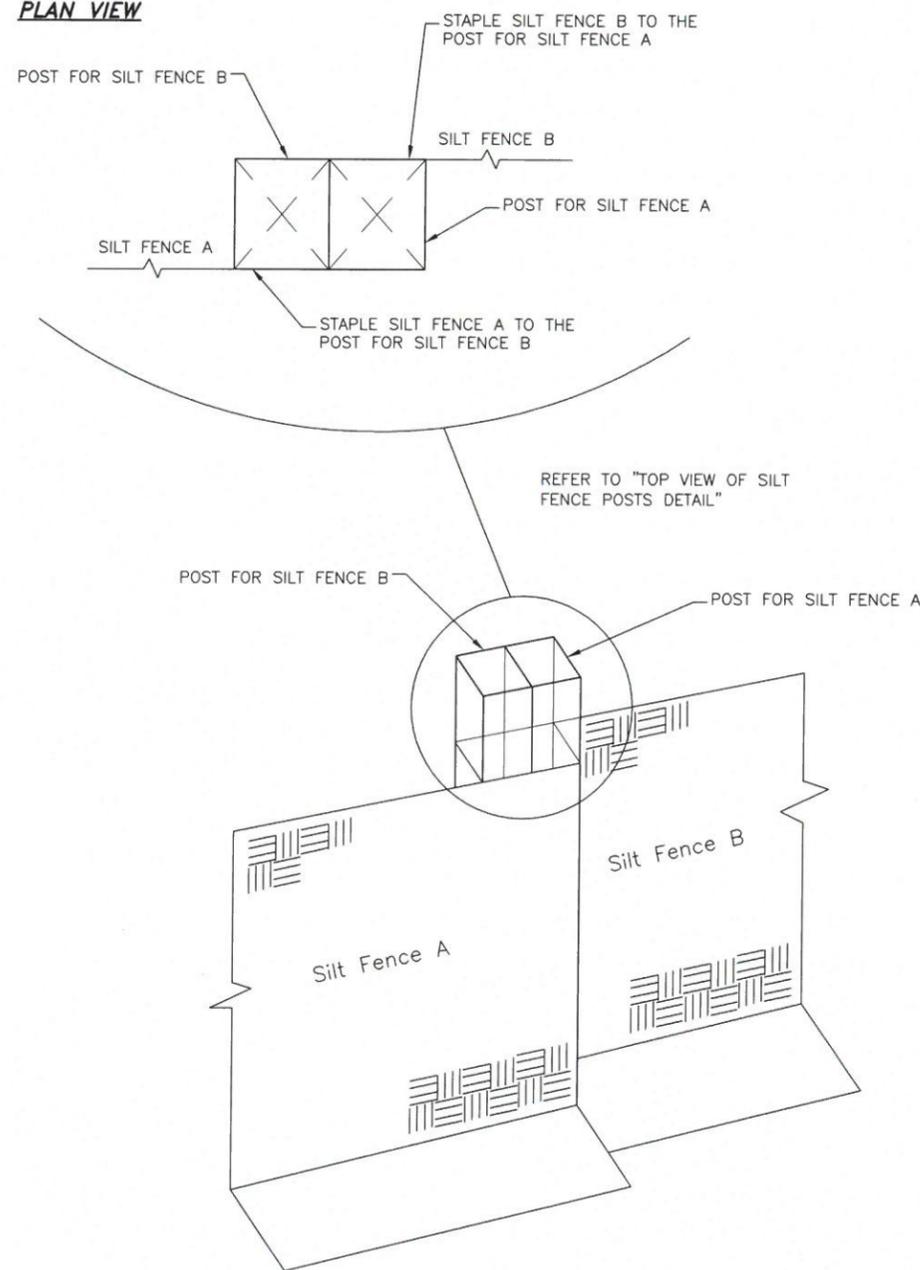
**MAINTENANCE REQUIREMENTS:**

- CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UNENTRENCHED OR INEFFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
- SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
- SILT FENCES SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED.

**A**  
**C3** **SILT FENCE DETAIL**  
SCALE: N.T.S.

include temporary sediment basin details.

**PLAN VIEW**



**B**  
**C3** **SILT FENCE POSTS DETAIL**  
SCALE: N.T.S.

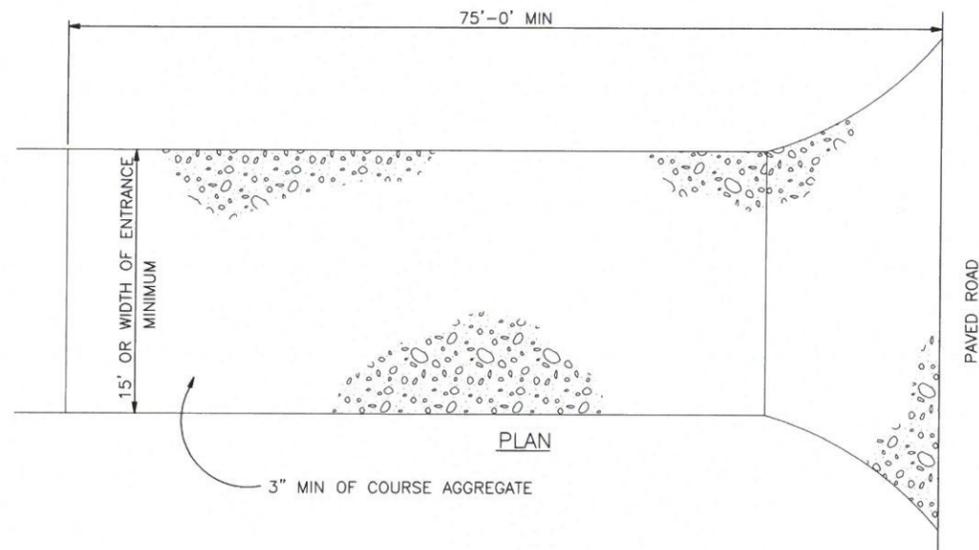
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**VEHICLE TRACKING PAD DETAIL**

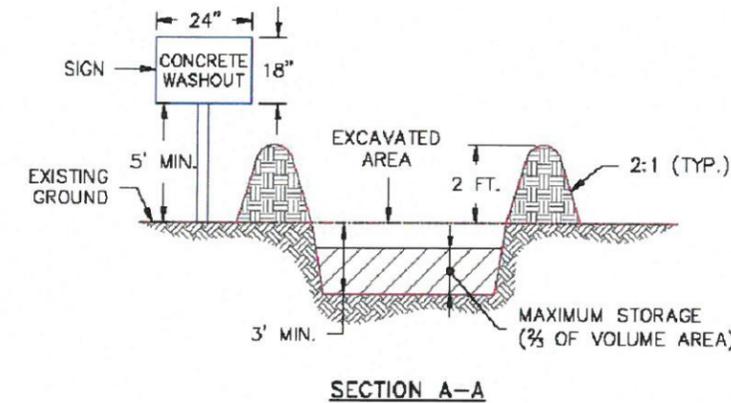
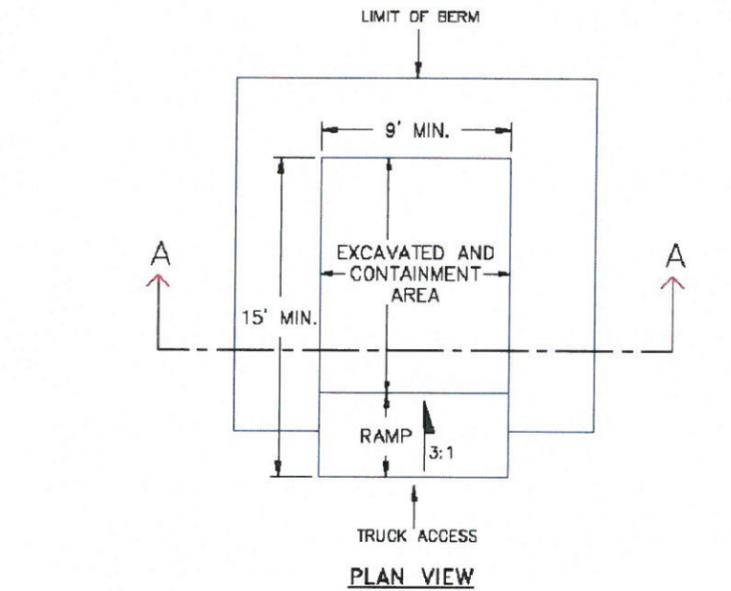
**INSTALLATION REQUIREMENTS:**

1. ALL ENTRANCES TO THE CONSTRUCTION SITE ARE TO BE STABILIZED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONSTRUCTION ENTRANCES ARE TO BE BUILT WITH AN APRON TO ALLOW FOR TURNING TRAFFIC, BUT SHOULD NOT BE BUILT OVER EXISTING PAVEMENT EXCEPT FOR A SLIGHT OVERLAP.
3. AREAS TO BE STABILIZED ARE TO BE PROPERLY GRADED AND COMPACTED.
4. CONSTRUCTION ROADS, PARKING AREAS, LOADING/UNLOADING ZONES, STORAGE AREAS, AND STAGING AREAS ARE TO BE STABILIZED.
5. CONSTRUCTION ROADS ARE TO BE BUILT TO CONFORM TO SITE GRADES, BUT SHOULD NOT HAVE SIDE SLOPES OR ROAD GRADES THAT ARE EXCESSIVELY STEEP.

**MAINTENANCE REQUIREMENTS**

1. REGULAR INSPECTIONS ARE TO BE MADE OF ALL STABILIZED AREAS, ESPECIALLY AFTER STORM EVENTS.
2. STONES ARE TO BE REAPPLIED PERIODICALLY AND WHEN REPAIR IS NECESSARY.
3. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED DAILY BY SHOVELING OR SWEEPING. SEDIMENT IS NOT TO BE WASHED DOWN STORM SEWER DRAINS.
4. OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED TO ENSURE GOOD WORKING CONDITION.
5. TO BE REMOVED JUST PRIOR TO FINAL SURFACING AND STABILIZATION.

**A**  
**C4** VEHICLE TRACKING PAD DETAIL  
SCALE: N.T.S.



- NOTES:**
1. SIGN MATERIAL, EXCAVATION, AND RESTORATION ARE INCLUDED IN THE COST OF THE CONCRETE WASHOUT STRUCTURE.
  2. EROSION BALES MAY BE USED AS AN ALTERNATIVE FOR THE BERM.

DATE APPROVED: 1/1/08 John A. McCarty DEPARTMENT OF TRANSPORTATION	Concrete Washout Structure Standard Drawing REVISION DATE: 7/17/07 FILE NAME: SD_3-84	
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**B**  
**C4** CONCRETE WASHOUT STRUCTURE DETAIL  
SCALE: N.T.S.

**JDS-HYDRO CONSULTANTS, INC.**  
5540 TECH CENTER DR., SUITE 100  
COLORADO SPRINGS, COLORADO 80919  
(719) 227-0072

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**COLORADO CENTRE METROPOLITAN DISTRICT**  
ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN  
GRADING & EROSION CONTROL DETAILS 2

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PRELIMINARY

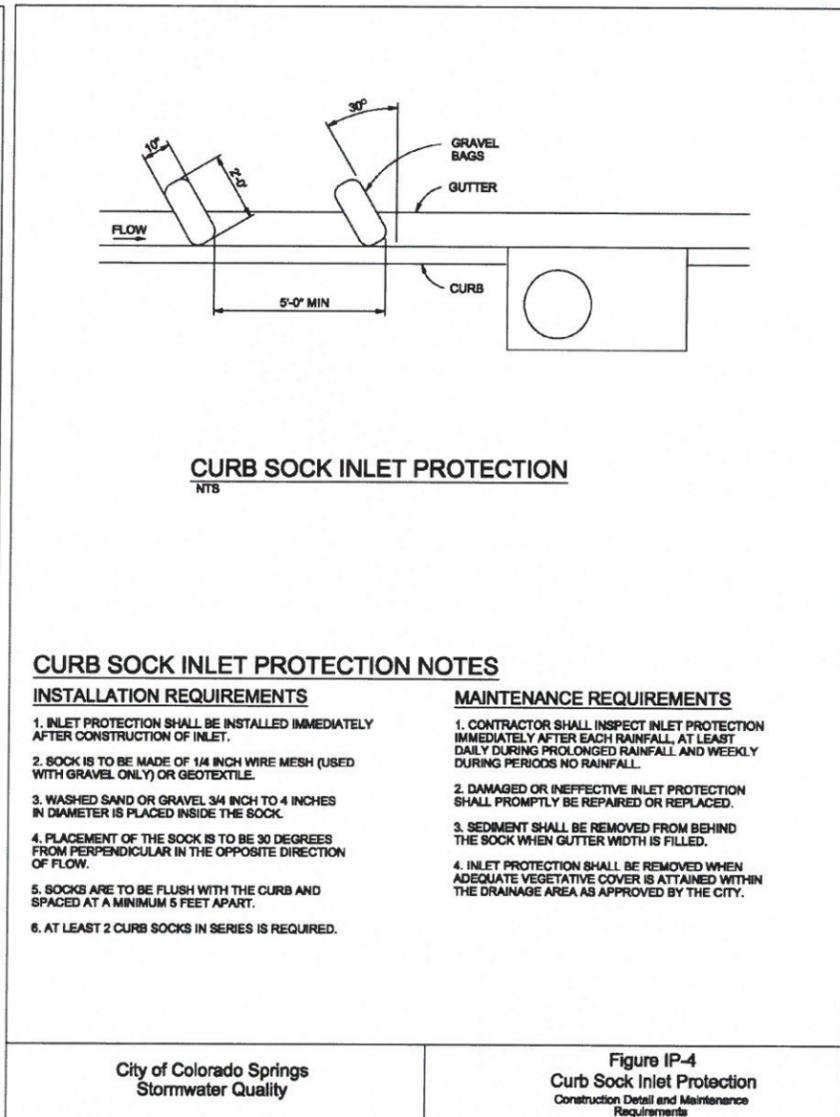
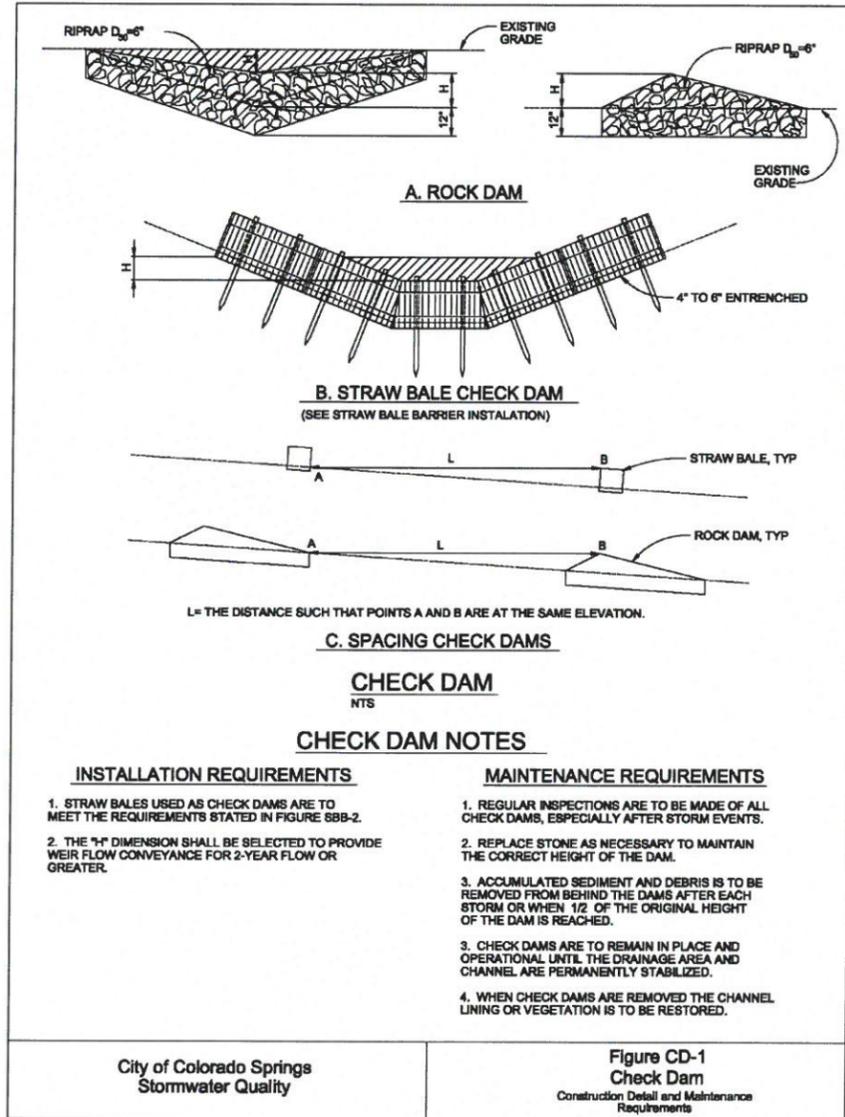
Project No.: 247.07  
Date: 08/16/21  
Design: EMS  
Drawn: GGM/SKG  
Check: RMM

**C4**  
SHEET 4 OF

EPC PLANNING TO PROVIDE  
PCD File No. \_\_\_\_\_

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2021/08/16 2:09 PM By: Shelby Gattin u:\JDS-Hydro\Project Files\247 Colorado Centre MD\247.07 Admin Building Support\Drawings\Working\24707\_Civil.dwg



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COLORADO CENTRE METROPOLITAN DISTRICT  
 ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN  
 GRADING & EROSION CONTROL DETAILS 3

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PRELIMINARY

Project No.: 247.07  
 Date: 08/16/21  
 Design: EMS  
 Drawn: GGM/SKG  
 Check: RMM

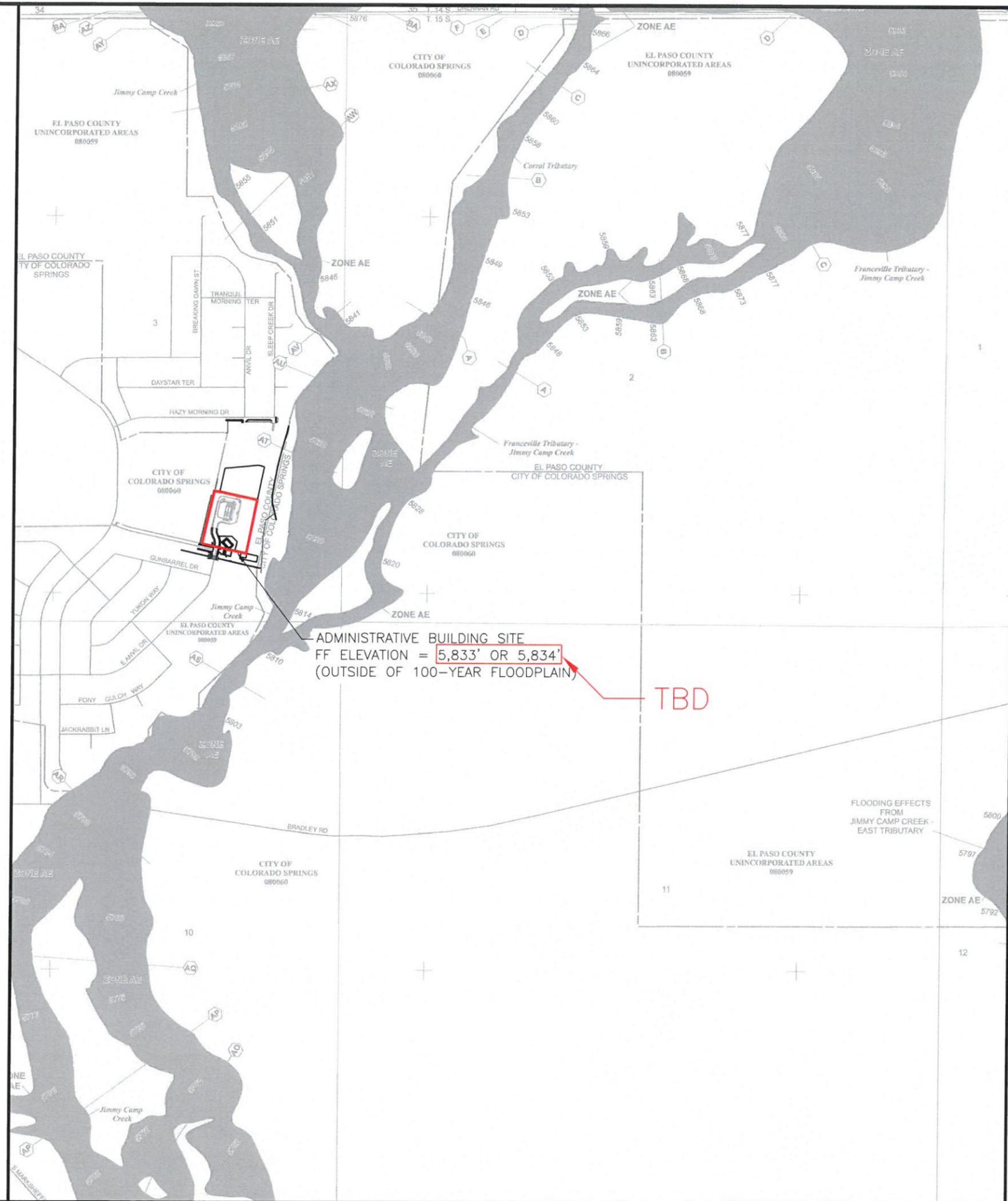
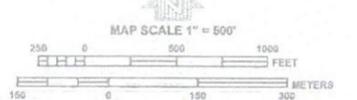
C5  
 SHEET 5 OF

EPC PLANNING TO PROVIDE  
 PCD File No. \_\_\_\_\_

2021/08/16 2:10 PM By: Shelby Cotlin j:\JDS-Hydro\Project Files\247 Colorado Centre MD\247.07 Admin Building Support\Drawings\Working\24707\_1\_Floodplain.dwg

**LEGEND**

- SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**  
The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AD, AR, A99, V, and VE. The Base Flood Elevation is the water surface elevation of the 1% annual chance flood.
- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alkali fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Area Formerly protected from the 1% annual chance flood by a flood control system that was subsequently decommissioned. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE**  
The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS**
- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- OTHER AREAS**
- ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.
- ZONE D** Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**
- OTHERWISE PROTECTED AREAS (OPAs)**  
CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- Floodplain boundary
- Floodway boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
- Base Flood Elevation line and value; elevation in feet\* (EL 987)
- Base Flood Elevation value where uniform within zone; elevation in feet\*
- \* Referenced to the North American Vertical Datum of 1988 (NAVD 88)
- Cross section line
- Traverse line
- 87° 07' 30.00" 32° 22' 30.00" Geographic coordinates referenced to the North American Datum of 1983 (NAD 83)
- 4796494 3000-meter Universal Transverse Mercator grid ticks, zone 13
- 8000000 FT 5000-foot grid ticks: Colorado State Plane coordinate system, central zone (FIPSZONE 0502), Lambert Conformal Conic Projection
- DX5510 Bench mark (see explanation in Notes to Users section of this FIRM panel)
- M1.5 River Mile
- MAP REPOSITORIES**  
Refer to Map Repositories list on Map Index
- EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP**  
MARCH 17, 1997
- EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL**  
DECEMBER 7, 2018 - to update corporate limits, to change Base Flood Elevations and Special Flood Hazard Areas, to update map format, to add roads and road names, and to incorporate previously issued Letters of Map Revision
- For community map revision history prior to countywide mapping, refer to the Community Map History Table located in the Flood Insurance Study report for this jurisdiction.
- To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.



**NFP** PANEL 0769G

**FIRM**  
FLOOD INSURANCE RATE MAP  
EL PASO COUNTY,  
COLORADO  
AND INCORPORATED AREAS

PANEL 769 OF 1300  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

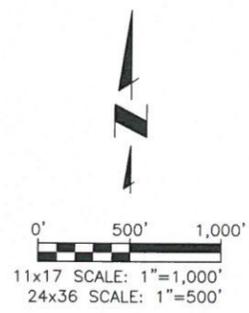
COMMUNITY	NUMBER	PANEL	SUFFIX
COLORADO SPRINGS, CITY OF	08060	0769	0
EL PASO COUNTY	08059	0769	0

**MAP NUMBER**  
08041C0769G

**MAP REVISED**  
DECEMBER 7, 2018

Federal Emergency Management Agency

Notes to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.



**NOTE:**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

EPC PLANNING TO PROVIDE

**PCD File No.** \_\_\_\_\_

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**COLORADO CENTRE METROPOLITAN DISTRICT**  
ADMINISTRATIVE BUILDING - SITE DEVELOPMENT PLAN  
FLOODPLAIN MAP

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**PRELIMINARY**

Project No.: 247.07	
Date: 08/16/21	
Design: EMS	
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C6

SHEET 6 OF