

RICHMOND AMERICAN HOMES

LOT 58

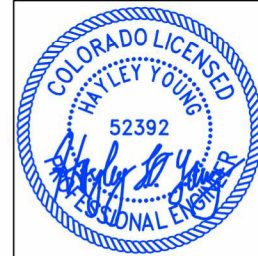
PLOT PLAN

JOB#33060036

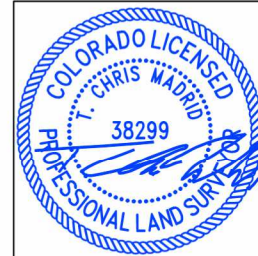
SCHEDULE NUMBER 5522402005



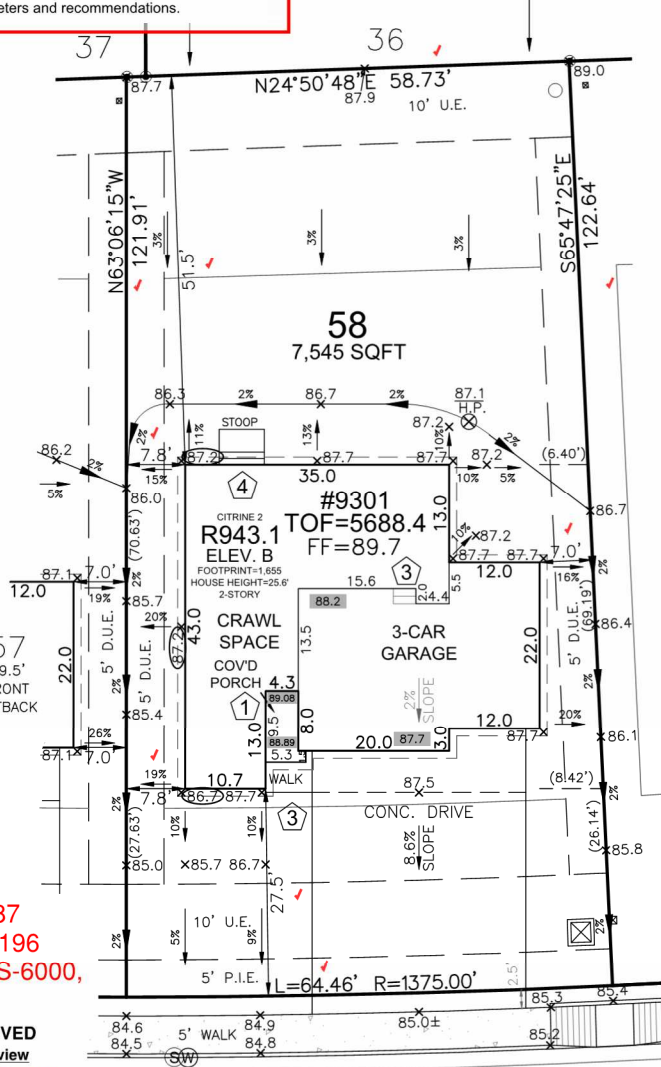
Applicant did not provide evidence to show that the recommendation below has been followed: As in other filings of The Glen at Widefield East, each individual lot is to be investigated by the lot owner's Geotechnical Engineer of Record for final foundation parameters and recommendations.



HAYLEY YOUNG, P.E.
DATE: 09.13.24
I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.E.



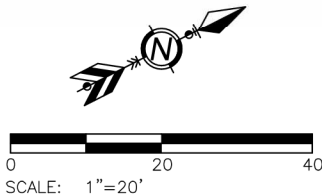
T. CHRIS MADRID, P.L.S.
DATE: 09.13.24
I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.L.S.



SFD24887
PLAT 15196
ZONE RS-6000,
CAD-0

APPROVED
Plan Review
09/17/2024 3:05:50 PM
dsdarchuleta
EPC Planning & Community
Development Department
APPROVED
BESQCP
09/17/2024 3:05:58 PM
dsdarchuleta
EPC Planning & Community
Development Department

Released for Permit
09/16/2024 2:47:01 PM
REGIONAL Building Department
Becky A
ENUMERATION



ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBTAIN THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION
Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.
An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.
Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department

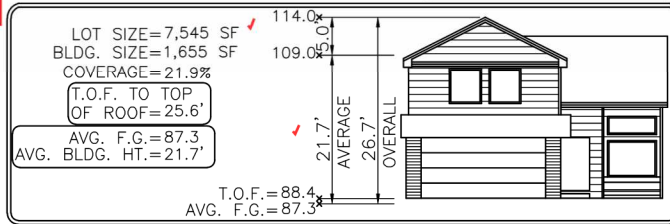
It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

SITE SPECIFIC PLOT PLAN NOTES:
TOF = 88.4
GARAGE SLAB = 87.7
GRADE BEAM = 12"
(88.4 - 87.7 = 00.7 * 12 = 8" + 4" = 12")
*FROST DEPTH MUST BE MAINTAINED

FRONT SETBACK DRIVE COVERAGE
FRONT SETBACK = 1,600 SF
DRIVE COVERAGE IN
FRONT SETBACK = 707 SF
COVERAGE = 44.1 %

LEGEND

LOWERED FINISH GRADE:	
(XX.X) HOUSE	
(XX.X) PORCH	
(XX.X) GARAGE/CRAWL SPACE	
(XX.X) FOUNDATION STEP	
(XX) CONCRETE	
(X) RISER COUNT	
(XX.XX) CONCRETE ELEVATION	
(XX.X) GRADING PLAN ELEVATION	
--- OVEREX LIMITS	



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

MODEL OPTIONS: R943.1-B/3-CAR/CRAWL SPACE	
SUBDIVISION: THE GLEN AT WIDEFIELD FILING NO. 11	
COUNTY: EL PASO	
ADDRESS: 9301 GOLDEN BUFFS DRIVE	
MINIMUM SETBACKS:	DATE: 09.13.24
FRONT: 25'	<p>6841 South Yosemite Street #100 Centennial, CO 80112 USA Phone: (303) 850-0559 Fax: (303) 850-0711 E-mail: info@bjsurvey.net</p>
REAR: 25'	
CORNER: 15'	
SIDE: 5'	
<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT. PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT. EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD. PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT. LOT CORNER ELEVATION CHECK: 05.30.24 	

SITE

2023 PPRBC
2021 IECC Amended



Parcel: 5522402005

Address: 9301 GOLDEN BUFFS DR, COLORADO SPRINGS

Plan Track #: 194180  Received: 16-Sep-2024 (BECKYA)

Description: **RESIDENCE** Required PPRBD Departments (2)

Type of Unit:

Garage	418	
Main Level	930	
Upper Level 1	982	
	2330	Total Square Feet

Enumeration
APPROVED
BECKYA
9/16/2024 2:47:13 PM

Floodplain
(N/A) RBD GIS

Required Outside Departments (1)

County Zoning
APPROVED
Plan Review
09/17/2024 3:16:23 PM
dsdarchuleta
EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.